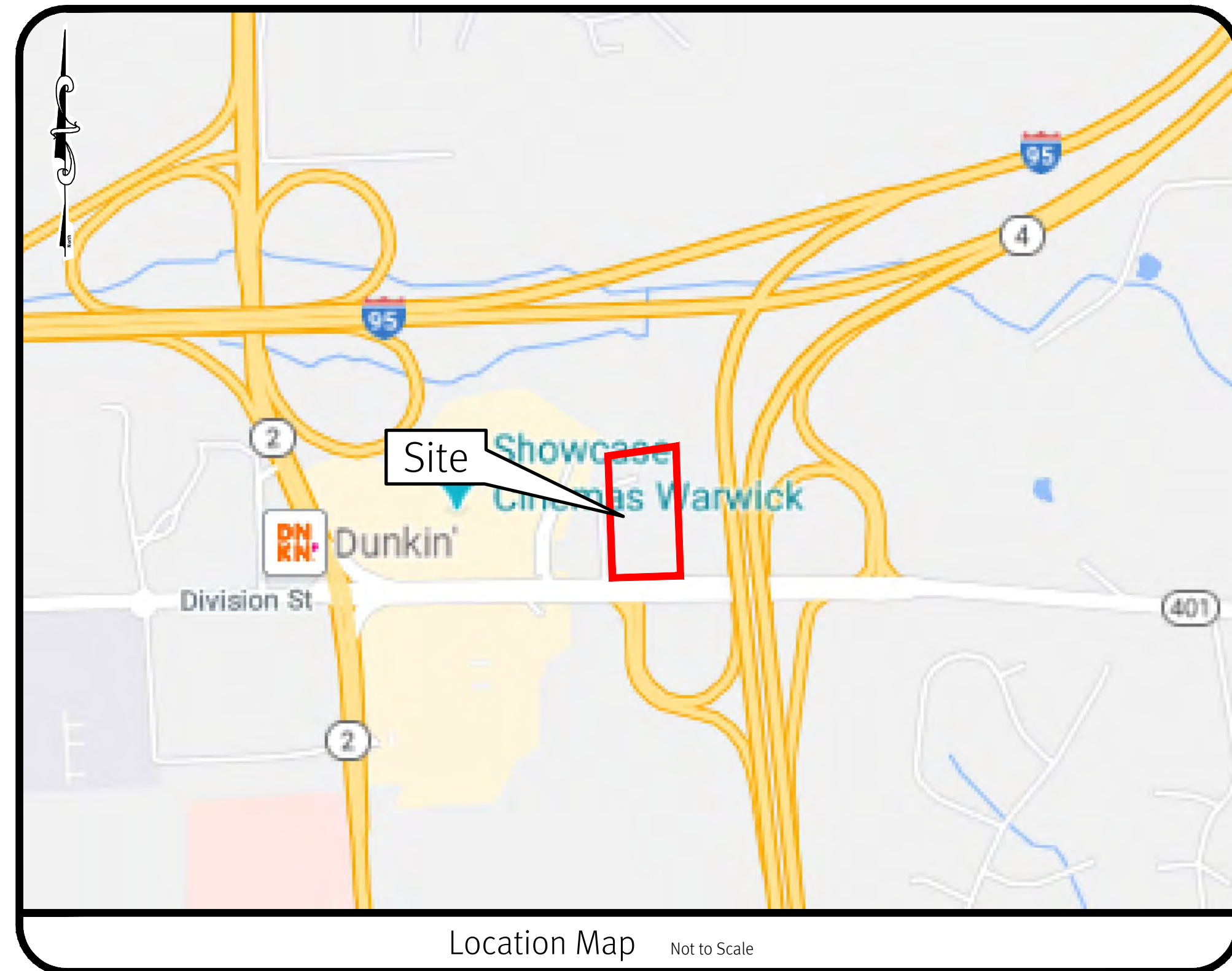


Preliminary Submission

# 1149 Division Street

1149 Division Street  
Warwick, Rhode Island

Assessor's Plat 215 Lot 8



## Sheet Index

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**SESC / O&M**  
The Soil Erosion and Sediment Control Plan (SESC) and Stormwater Operation and Maintenance Plan (O&M) are required documents with this plan set and must be maintained by the contractor and owner on site.

**RIDOT**  
The Proposed Improvements Will Not Increase the Rate of Stormwater Runoff Onto the State Highway. All Work Within the State Right of Way Must Conform to the RI Standard Specifications, Details, and Addendums.

**DiPrete Engineering**  
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JASON P. CLOUGH  
No. 0410  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

This plan set must not be used for construction purposes unless stamped, issued for construction, and stamped by a registered professional engineer of DiPrete Engineering.  
The contractor is responsible for all of the means, methods, safety and site work during construction. DiPrete Engineering does not warrant plans by any other party.  
The contractor is responsible for all of the means, methods, safety and site work during construction. DiPrete Engineering does not warrant plans by any other party.  
Existing utilities shown on this plan are approximate only. DiPrete Engineering assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

No.	Date	Description	By	Design By
6	11/19/2021	Preliminary Submission	J.A.R.	N.D.K.
5	11/14/2021	Final Submission	J.A.R.	N.D.K.
4	10/28/2021	8/20/21 PREL. Submission	J.A.R.	N.D.K.
3	10/28/2021	8/20/21 PREL. Submission	J.A.R.	N.D.K.
2	8/11/2021	8/20/21 PREL. Submission	J.A.R.	N.D.K.
1	5/12/2021	8/20/21 PREL. Submission	J.A.R.	N.D.K.

Drawn By: N.D.K.

**Cover Sheet**  
**1149 Division Street**  
Assessor's Plat 215 Lot 8  
Warwick, Rhode Island  
Prepared For  
**TPG Dev Con**  
1140 Reservoir Avenue,  
Cranston, Rhode Island 02920  
DE JOB No: 0161-221 Copyright: 2021 by DiPrete Engineering Associates, Inc.

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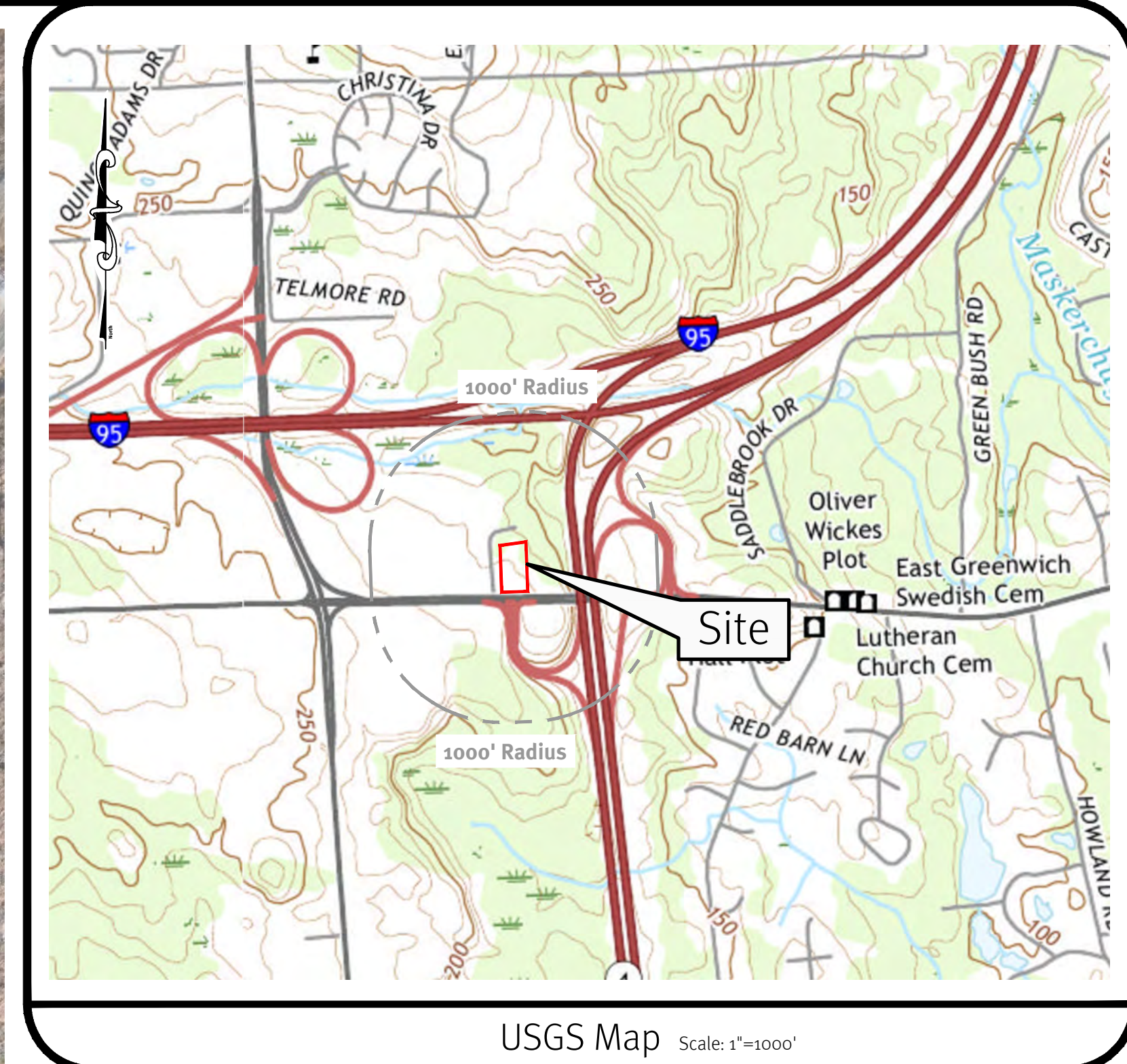
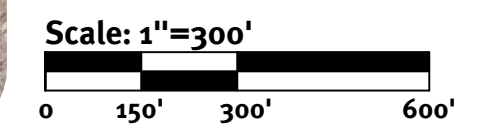


Photo Obtained from Nearmap. Date of Photography 3/21/2020.



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 CIVIL

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 The contractor is responsible for all of the means, methods, safety and site work during construction and shall conform to the implementation of this plan and design.  
 Engineer assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

No.	Date	Description	By	Design By
6	11/19/2021	Preparation Submission	J.A.R.	N.D.K.
5	11/18/2021	Final Submission	J.A.R.	N.D.K.
4	10/28/2021	2020 PERM Submission	J.A.R.	N.D.K.
3	8/19/2021	2020 PERM Submission	J.A.C.	N.D.K.
2	8/19/2021	2020 PERM Submission	J.A.C.	N.D.K.
1	5/12/2021	2020 PERM Submission	J.A.C.	N.D.K.

Drawn By: N.D.K. Design By: N.D.K.

**Aerial Half Mile Radius**  
**1149 Division Street**  
 Assessor's Plot: 114 Lot 5  
 Warwick, Rhode Island  
 Prepared For  
**TPG Dev Con**  
 1140 Reservoir Avenue,  
 Cranston, Rhode Island 02920

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**General Notes:**

- THE SITE IS LOCATED ON THE CITY OF WARWICK ASSESSOR'S PLAT 215 LOT 8.
- THE SITE IS APPROXIMATELY 1.69± ACRES AND IS ZONED GB.
- THE OWNER OF AP 215 LOT 8 IS: JT DEVELOPMENT PARTNERS LLC  
1149 DIVISION ST  
EAST GREENWICH, RI 02818
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X (UNSHADED). REFERENCE FEMA FLOOD INSURANCE RATE MAP 44003C01360, MAP REVISED DECEMBER 3 2010. (FLOOD PLAIN DESCRIPTIONS SHOWN BELOW)
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINE AS SHOWN ON THIS PLAN DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING ASSOCIATES, INC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD PLAN.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-2 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; ELEVATIONS SHOWN, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC GPS OBSERVATIONS.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF WARWICK STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
- THE SITE IS NOT WITHIN A:  
GROUNDWATER PROTECTION AREA (RIDEM)  
NATURAL HERITAGE AREAS (RIDEM)  
NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC)  
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)  
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:  
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:  
◦ EROSION CONTROL MEASURES  
◦ SHORT TERM MAINTENANCE  
◦ ESTABLISHMENT OF VEGETATIVE COVER  
◦ CONSTRUCTION POLLUTION PREVENTION  
◦ SEQUENCE OF CONSTRUCTION  
• STORMWATER OPERATION AND MAINTENANCE PLAN (O&M). THE O&M CONTAINS:  
◦ LONG TERM MAINTENANCE  
◦ LONG TERM POLLUTION PREVENTION

- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE WARWICK SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, A BIOTRETION POND, AND AN UNDERGROUND DRAINAGE BASIN. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- THE SITE IS PROPOSED TO BE BUILT IN (1) PHASE.
- SOIL EVALUATIONS, WERE COMPLETED BY DIPRETE ENGINEERING ON 2/1/2021.
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.

- THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

- ANY IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
- ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- A MINIMUM 5'x5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- FOR EVERY 6' (OR FRACTION OF 6') ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
- NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
- NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

- Americans with Disabilities Act Notes:**
- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
  - MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
  - ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
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  - FOR EVERY 6' (OR FRACTION OF 6') ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
  - NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
  - NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/ CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

**Soil Erosion and Sedimentation Control Notes:**

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EROSION CONTROL INCLUDING (BUT NOT LIMITED TO) TEMPORARY SEDIMENT TRAPS, ETC. TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- DIVERSION BERMS ARE TO BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORKS. TEMPORARY SWALES TO BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS ARE TO BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES ARE TO BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE TO BE PER THE DESIGN PLANS.
- ONCE THE SEDIMENT TRAP IS NO LONGER REQUIRED AND ALL TRIBUTARY AREAS HAVE BEEN STABILIZED, THE TEMPORARY SEDIMENTATION TRAP IS TO BE CLEANED AND BROUGHT TO FINAL DESIGN GRADES.
- INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
- CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM DESIGN ENGINEER AND OWNER.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

**Demolition Notes:**

- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. R&D MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.

**Traffic Notes:**

- ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
- DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
- DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
- ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
- TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

**As-Built Notes:**

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE AS-BUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY AS-BUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

**RIDOT Notes:**

- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
- CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE ROW PRIOR TO CONSTRUCTION. THE PAPA IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAPA DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
- ALL TRAFFIC CONTROL MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.
- NO LANE OR SHOULDER CLOSURES MUST BE PERFORMED WITHIN THE STATE'S RIGHT OF WAY DURING PEAK TRAFFIC HOURS.
- SEWER AND WATER CONNECTIONS WITHIN THE STATE RIGHT OF WAY WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT. CONTRACTOR TO OBTAIN BEFORE CONSTRUCTION.
- THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE DISCHARGE, AND STORMWATER RUNOFF VOLUME TO THE STATE RIGHT OF WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.
- WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROWAG. WORK ON SITE WILL CONFORM TO ADAAG UNLESS THE WORK IS IN STATE OWNED LAND.

**Grading and Utility Notes:**

- CONSTRUCTION TO COMMENCE FALL 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERFACE WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES ARE TO BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS TO BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE. ALL STOCKPILED LOAM MUST BE REUSED ON SITE.
- ALL EXCESS SOIL, TREES, ROCKS, BOULDERS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION. STUMPS MUST BE GROUND ON SITE OR REMOVED.
- THE SITE WILL HAVE 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE CURBING REVEAL. CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
- NO STUMP DUMPS ARE PROPOSED ON SITE.

**DRAINAGE**

ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY TO BE REINFORCED CONCRETE PIPE (RCP) PIPE.

DRAINAGE STRUCTURES TO BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):  
 ADA CATCH BASINS ALONG CURBING TO BE RIDOT STD. 4.4.0, TYPE F FRAME, 4' DIAMETER WITH APRON STONE.  
 • CATCH BASINS NOT ALONG CURBING TO BE RIDOT STD. 4.4.0, 4' DIAMETER  
 • CATCH BASINS TO HAVE 3" SUMPS WITHOUT WEEPHOLES.  
 • SINGLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2  
 • MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED  
 • DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1  
 • APRON STONE, WHERE REQUIRED, TO BE RIDOT STD 7.1.7 OR 7.1.8.

ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT AND VAPOR TIGHT.

**SANITARY SEWER**

ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE WEST WARWICK SEWER RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

**WATER**

ALL WATER MAINS TO BE CONCRETE LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH KENT COUNTY WATER AUTHORITY REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ASBUILT PER KENT COUNTY WATER AUTHORITY REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY KENT COUNTY WATER AUTHORITY. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH KENT COUNTY WATER AUTHORITY TO ENSURE INSPECTOR IS ON SITE.

**ELECTRIC/TELECOM/GAS**

PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

**SITE LIGHTING**

SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLE TO BE COORDINATED WITH OTHER UTILITIES AND TO BE LOCATED WITHIN THE STREET RIGHTS OF WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.

**Soil Information:**

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL_NAME	DESCRIPTION
BmB**	BRIDGEHAMPTON SILT LOAM, TILL SUBSTRATUM, 3 TO 8 PERCENT SLOPES
BnB	BRIDGEHAMPTON-CHARLTON COMPLEX, VERY STONY, 0 TO 8 PERCENT SLOPES
ChB	CANTON AND CHARLTON VERY STONY FINE SANDY LOAMS, 3 TO 8 PERCENT SLOPES
UD	UDORHTHENS-URBAN LAND COMPLEX

NOTE: \*\*FARMLAND OF STATEWIDE IMPORTANCE

**UIC Notes:**

PROPOSED UNDERGROUND DRAINAGE SYSTEM MEETS ALL THE FOLLOWING UIC MINIMUM SETBACK REQUIREMENTS:

- 400 FEET FROM ALL PUBLIC WATER WELLS (SAND & GRAVEL)
- 200 FEET FROM ALL PUBLIC WATER WELLS (BEDROCK)
- 100 FEET FROM ALL SURFACE DRINKING WATER SUPPLY IMPOUNDMENTS
- 100 FEET FROM ALL PRIVATE DRINKING WATER WELLS
- 100 FEET FROM ALL OTHER SURFACE WATERS
- 25 FEET FROM ALL OWTS & OTHER GROUNDWATER DISCHARGE SYSTEMS
- 25 FEET FROM ALL BUILDING(S) FOUNDATIONS IF SYSTEM IS ABOVE SLAB ELEVATION, 10 FEET FROM ALL BUILDING(S) IF SYSTEM IS BELOW SLAB ELEVATION
- 10 FEET FROM ALL PROPERTY LINES
- 10 FEET FROM ALL BUILDING FOOTINGS

**Layout and Materials:**

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
- CURBING TO BE SLOPED GRANITE OR AS LABELED ON THE PLANS.
- SIDEWALKS TO BE EXPOSED AGGREGATE CONCRETE OR AS LABELED ON THE PLANS.
- SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
- PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
- CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
- ALL GUARDRAIL ON SITE MUST BE STEEL BACKED TIMBER GUARDRAIL WITH STEEL POSTS, IN CONFORMANCE WITH SECTION 5.4.1.7 OF THE AASHTO ROADSIDE DESIGN GUIDE. ALTERNATIVE GUARDRAILS WILL BE CONSIDERED BY THE DESIGN ENGINEER IF THEY ARE DOT APPROVED EQUAL AND ACCEPTABLE TO THE OWNER. ALTERNATIVES MUST BE APPROVED IN WRITING BY THE OWNER AND DESIGN ENGINEER PRIOR TO CONSTRUCTION.
- ALL PAINTED STRIPING SHALL BE APPLIED IN TWO COATS - THE FIRST COAT TO BE APPLIED AFTER FINISHING HAS BEEN COMPLETED. THE SECOND COAT SHALL BE APPLIED 7 DAYS LATER.

**Abbreviations Legend**

ADA	AMERICANS WITH DISABILITY ACT	OHW	OVERHEAD WIRE
AHJ	AUTHORITY HAVING JURISDICTION	PE	POLYETHYLENE
AP	ASSESSOR'S PLAT	ℓ	PROPERTY LINE
BC	BOTTOM OF CURB	PR	PROPOSED
BT	BOTTOM OF TESTHOLE	PVC	POLYVINYL CHLORIDE
BIT	BITUMINOUS (BERM)	R	RADIUS
BIO	BIOTRETION	R&D	REMOVE AND DISPOSE
BS	BASEMENT SLAB ELEVATION	RCP	REINFORCED CONCRETE PIPE
BW	FINISHED GRADE AT BOTTOM OF WALL	RIBH	RHODE ISLAND
CB	CATCH BASIN	RWB	HIGHWAY BOUND
(C)	CALCULATED	RL	ROOF LEADER
ℓ	CENTERLINE	ROW	RIGHT-OF-WAY
(CA)	CHORD ANGLE	S	SLOPE
CLDIP	CONCRETE LINED DUCTILE IRON PIPE	SD	SUBDRAIN
CO	CLEAN OUT	SED	SEDIMENT FOREBAY
CONC	CONCRETE	SF	SQUARE FOOT
(D)	DEED	SFL	STATE FREEWAY LINE
DCB	DOUBLE CATCH BASIN	SFM	SEWER FORCE MAIN
DI	DROP INLET	SG	SLAB ON GRADE ELEVATION
DMH	DRAINAGE MANHOLE	SHL	STATE HIGHWAY LINE
DP	DETENTION POND	SMH	SEWER MANHOLE
ELEV	ELEVATION	SNDF	SAND FILTER
EOP	EDGE OF PAVEMENT	SS	SIDE SLOPE
ESC	EROSION AND SEDIMENT CONTROL	STA	STATION
EX	EXISTING	TC	TOP OF CURB
FES	FLARED END SECTION	TD	TRENCH DRAIN
FFE	FINISH FLOOR ELEVATION	TF	TOP OF FOUNDATION
GS	GARAGE SLAB ELEVATION	TRANS	TRANSITION
GTW	GROUND WATER TABLE	TW	TOP OF WALL (FINISHED)
HW	HEADWALL		GRADE AT TOP OF WALL)
HC	HIGH CAPACITY CATCH BASIN GRATE	TYP	TYPICAL
HOPE	HIGH DENSITY POLYETHYLENE	UDS	UNDERGROUND
ID	INLINE DRAIN	UIS	DETENTION SYSTEM
INV	INVERT	UIS	UNDERGROUND INFILTRATION SYSTEM
IP	INFILTRATION POND	UP	UTILITY POLE
LF	LINEAR FEET	WQ	WALKOUT ELEVATION
LOD	LIMIT OF DISTURBANCE	WQ	WATER QUALITY
LP	LIGHT POLE		
(M)	MEASURED		
N/F	NOW OR FORMERLY		

**Site Callouts Legend**

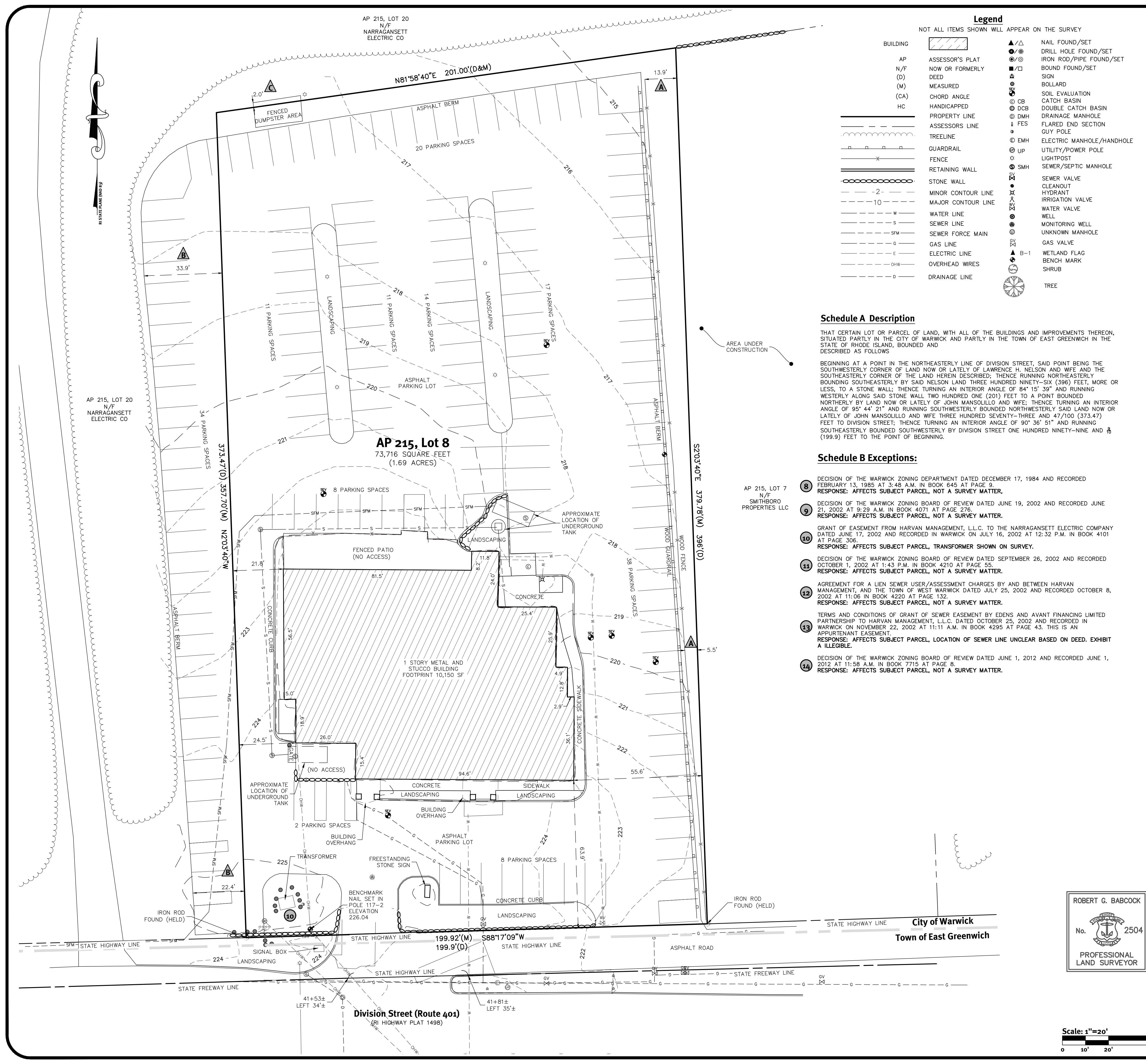
- 7.3.0 RIDOT STD GRANITE CURB
- 7.3.1 RIDOT STD 3' GRANITE TRANSITION CURB
- 7.5.1 RIDOT STD BITUMINOUS ASPHALT BERM
- 7.3.8 RIDOT STD GRANITE APRON STONE
- 20.1.0 PAVEMENT MARKINGS ARROWS AND ONLY
- 4DY 4" EPOXY RESIN PAVEMENT MARKINGS- DOUBLE YELLOW
- 4W 4" PAINTED WHITE MARKINGS
- 4W4S 4" WHITE STRIPING 2' ON CENTER AT 45'
- 6WS 6" WHITE EPOXY RESIN PAVEMENT MARKINGS-SKIP PATTERN
- 6W 6" WHITE EPOXY RESIN PAVEMENT MARKINGS
- 12W STOP LINE (REFERENCE MUTCD SECTION 3B.16)
- ADAS ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS.
- ADAR ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS.
- ADAV VAN ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS.
- CWK CROSSWALK PAVEMENT MARKINGS. SOLID 2" WHITE LINES SPACED 4" OC (REFERENCE MUTCD SECTION 3B.18)
- YL YIELD LINE (REFERENCE MUTCD SECTION 3B.16)

**Existing Legend**

(AS SHOWN ON PROPOSED PLANS)  
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE		NAIL FOUND/SET
	ASSESSORS LINE		DRILL HOLE FOUND/SET
	BUILDING		BOUND FOUND/SET
	BRUSHLINE		SIGN
	GUARDRAIL		BOLLARD
	FENCE		CATCH BASIN
	RETAINING WALL		DOUBLE CATCH BASIN
	STONE WALL		DRAINAGE MANHOLE
	MINOR CONTOUR LINE		FLARED END SECTION
	MAJOR CONTOUR LINE		GOLE POLE
	WATER LINE		ELECTRIC MANHOLE
	SEWER LINE		UTILITY/POWER POLE
	SEWER FORCE MAIN		LIGHTPOST
	GAS LINE		SEWER/SEPTIC MANHOLE
	ELECTRIC LINE		SEWER VALVE
	OVERHEAD WIRES		CLEANOUT
	DRAINAGE LINE		HYDRANT
	SOILS LINES		IRRIGATION VALVE
	50' PERIMETER WETLAND		WATER VALVE
	100' RIVERBANK WETLAND		WELL
	200' RIVERBANK WETLAND		MONITORING WELL
	FEMA BOUNDARY		UNKNOWN MANHOLE
	STREAM		GAS VALVE
	WETLAND LINE & FLAG		

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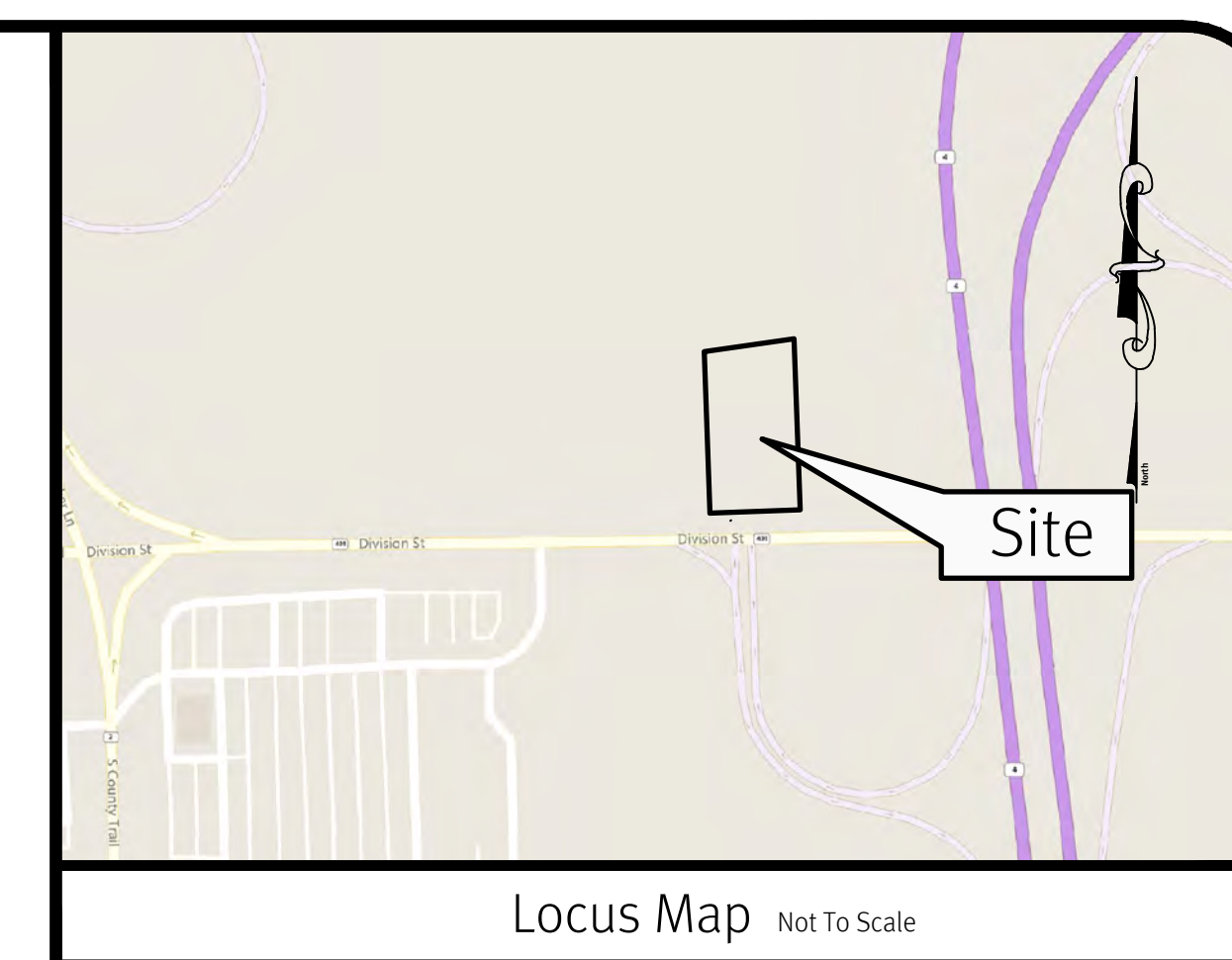


**Legend**  
NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	Legend Symbol	Legend Symbol	Legend Symbol
AP	ASSESSOR'S PLAT	▲/△	NAIL FOUND/SET
N/F	NOW OR FORMERLY	●/◎	DRILL HOLE FOUND/SET
(D)	DEED	■/□	IRON ROD/PIPE FOUND/SET
(M)	MEASURED	○/⊙	BOUND FOUND/SET
(CA)	CHORD ANGLE	⊙	SIGN
HC	HANDICAPPED	⊙	BOLLARD
	PROPERTY LINE	⊙	SOIL EVALUATION
	ASSESSOR'S LINE	⊙	CB
	TREELINE	⊙	DOUBLE CATCH BASIN
	GUARDRAIL	⊙	DMH
	FENCE	⊙	FES
	RETAINING WALL	⊙	FLARED END SECTION
	STONE WALL	⊙	GUY POLE
	MINOR CONTOUR LINE	⊙	EMH
	MAJOR CONTOUR LINE	⊙	ELECTRIC MANHOLE/HANDHOLE
W	WATER LINE	⊙	UP
S	SEWER LINE	⊙	UTILITY/POWER POLE
SFM	SEWER FORCE MAIN	⊙	LIGHTPOST
G	GAS LINE	⊙	SEWER/SEPTIC MANHOLE
E	ELECTRIC LINE	⊙	SEWER VALVE
OHW	OVERHEAD WIRES	⊙	CLEANOUT
D	DRAINAGE LINE	⊙	HYDRANT
		⊙	IRRIGATION VALVE
		⊙	WATER VALVE
		⊙	WELL
		⊙	MONITORING WELL
		⊙	UNKNOWN MANHOLE
		⊙	GAS VALVE
		⊙	WETLAND FLAG
		⊙	BENCH MARK
		⊙	SHRUB
		⊙	TREE

**Schedule A Description**  
THAT CERTAIN LOT OR PARCEL OF LAND, WITH ALL OF THE BUILDINGS AND IMPROVEMENTS THEREON, SITUATED PARTLY IN THE CITY OF WARWICK AND PARTLY IN THE TOWN OF EAST GREENWICH IN THE STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS:  
BEGINNING AT A POINT IN THE NORTHEASTELY LINE OF DIVISION STREET, SAID POINT BEING THE SOUTHWESTERLY CORNER OF LAND NOW OR LATELY OF LAWRENCE H. NELSON AND WIFE AND THE SOUTHEASTERLY CORNER OF THE LAND HEREIN DESCRIBED; THENCE RUNNING NORTHEASTERLY BOUNDING SOUTHEASTERLY BY SAID NELSON LAND THREE HUNDRED NINETY-SIX (396) FEET, MORE OR LESS, TO A STONE WALL; THENCE TURNING AN INTERIOR ANGLE OF 84° 15' 39" AND RUNNING WESTERLY ALONG SAID STONE WALL TWO HUNDRED ONE (201) FEET TO A POINT BOUNDED NORTHERLY BY LAND NOW OR LATELY OF JOHN MANSOLLO AND WIFE; THENCE TURNING AN INTERIOR ANGLE OF 95° 44' 21" AND RUNNING SOUTHWESTERLY BOUNDING NORTHWESTERLY SAID LAND NOW OR LATELY OF JOHN MANSOLLO AND WIFE THREE HUNDRED SEVENTY-THREE AND 47/100 (373.47) FEET TO DIVISION STREET; THENCE TURNING AN INTERIOR ANGLE OF 90° 36' 51" AND RUNNING SOUTHEASTERLY BOUNDING SOUTHWESTERLY BY DIVISION STREET ONE HUNDRED NINETY-NINE AND 1/100 (199.9) FEET TO THE POINT OF BEGINNING.

- Schedule B Exceptions:**
- 8 DECISION OF THE WARWICK ZONING DEPARTMENT DATED DECEMBER 17, 1984 AND RECORDED FEBRUARY 13, 1985 AT 3:48 A.M. IN BOOK 645 AT PAGE 9.  
RESPONSE: AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER.
  - 9 DECISION OF THE WARWICK ZONING BOARD OF REVIEW DATED JUNE 19, 2002 AND RECORDED JUNE 21, 2002 AT 9:29 A.M. IN BOOK 4071 AT PAGE 276.  
RESPONSE: AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER.
  - 10 GRANT OF EASEMENT FROM HARVAN MANAGEMENT, L.L.C. TO THE NARRAGANSETT ELECTRIC COMPANY DATED JUNE 17, 2002 AND RECORDED IN WARWICK ON JULY 16, 2002 AT 12:32 P.M. IN BOOK 4101 AT PAGE 308.  
RESPONSE: AFFECTS SUBJECT PARCEL, TRANSFORMER SHOWN ON SURVEY.
  - 11 DECISION OF THE WARWICK ZONING BOARD OF REVIEW DATED SEPTEMBER 26, 2002 AND RECORDED OCTOBER 1, 2002 AT 1:43 P.M. IN BOOK 4210 AT PAGE 55.  
RESPONSE: AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER.
  - 12 AGREEMENT FOR A LIEN SEWER USER/ASSESSMENT CHARGES BY AND BETWEEN HARVAN MANAGEMENT, AND THE TOWN OF WEST WARWICK DATED JULY 25, 2002 AND RECORDED OCTOBER 8, 2002 AT 11:06 IN BOOK 4220 AT PAGE 132.  
RESPONSE: AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER.
  - 13 TERMS AND CONDITIONS OF GRANT OF SEWER EASEMENT BY EDENS AND AVANT FINANCING LIMITED PARTNERSHIP TO HARVAN MANAGEMENT, L.L.C. DATED OCTOBER 25, 2002 AND RECORDED IN WARWICK ON NOVEMBER 22, 2002 AT 11:11 A.M. IN BOOK 4295 AT PAGE 43. THIS IS AN APPURTENANT EASEMENT.  
RESPONSE: AFFECTS SUBJECT PARCEL, LOCATION OF SEWER LINE UNCLEAR BASED ON DEED, EXHIBIT A ILLEGIBLE.
  - 14 DECISION OF THE WARWICK ZONING BOARD OF REVIEW DATED JUNE 1, 2012 AND RECORDED JUNE 1, 2012 AT 11:58 A.M. IN BOOK 7715 AT PAGE 8.  
RESPONSE: AFFECTS SUBJECT PARCEL, NOT A SURVEY MATTER.



**General Notes**

- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 215, LOT 8 IN THE CITY OF WARWICK, KENT COUNTY, RHODE ISLAND.
- THE OWNER PER DEED BOOK 6529, PAGE 130 IS JT DEVELOPMENT PARTNERS, LLC.
- BASED ON GRAPHICAL PLOTTING ONLY, THE PARCEL IS LOCATED IN ZONE X PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44003C01366, DATED DECEMBER 3, 2010. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED GB BASED ON THE CITY OF WARWICK'S GIS MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON OCTOBER 23, 2020. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
- SUBJECT TO ELECTRICAL EASEMENT FOUND IN DEED BOOK 4101, PAGE 308

**Plan References:**

- RHODE ISLAND HIGHWAY PLAT 1498
- "PLAN OF SURVEY - LOT 8 ON AP 215, DIVISION STREET, WARWICK RI FOR THE FOOD SERVICE, THOMAS WRIGHT" BY: DAVID D. GARDNER & ASSOCIATES, INC. DATED MARCH 19, 2007. SCALE 1"=20'.

**Datum Note:**

- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

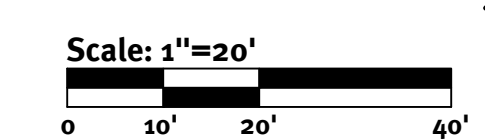
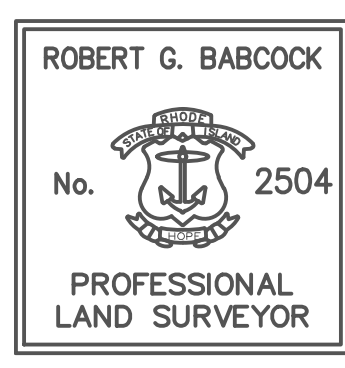
**List of Possible Encroachments:**

- ▲ CLEARING AND CONSTRUCTION OVER PROPERTY LINE
- ▲ PARKING LOT OVER PROPERTY LINE
- ▲ FENCE OVER PROPERTY LINE

**Utility Notes**

- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C AS DEFINED IN C/ASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

**Surveyor's Certificate**  
TO: THE PROCACCIANTI GROUP, LLC, A RHODE ISLAND LIMITED LIABILITY COMPANY, & FIDELITY NATIONAL TITLE INSURANCE COMPANY  
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 5, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 10, 11, 13, 16, & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED BETWEEN OCTOBER 23, 2020 DATE OF PLAT OR MAP: NOVEMBER 19, 2020  
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:  
TYPE OF SURVEY: COMPREHENSIVE BOUNDARY SURVEY TOPOGRAPHIC SURVEY  
MEASUREMENT SPECIFICATION: CLASS I CLASS T-2  
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ALTA SURVEY.



Scale: 1"=20'  
12/16/20  
ROBERT G. BABCOCK, RPLS #2504, COA #S.000A160

**Diprete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-644-6006 www.diprete-eng.com

**Boston • Providence • Newport**

**ALTA/NPS Land Title Survey**  
1149 Division Street  
Warwick, Rhode Island

**CLIENT**  
TPG Dev Con  
1140 Reservoir Avenue,  
Cranston Rhode Island 02920

DE JOB No: 0161-221. Copyright: 2020 by Diprete Engineering Associates, Inc.

Rev.	Date	Description	By	App.
1	12/16/20	Boundary/Topographic Survey		
2	12/16/20	Boundary/Topographic Survey		

Drawn By: MTL

**Surveyor's Certificate**

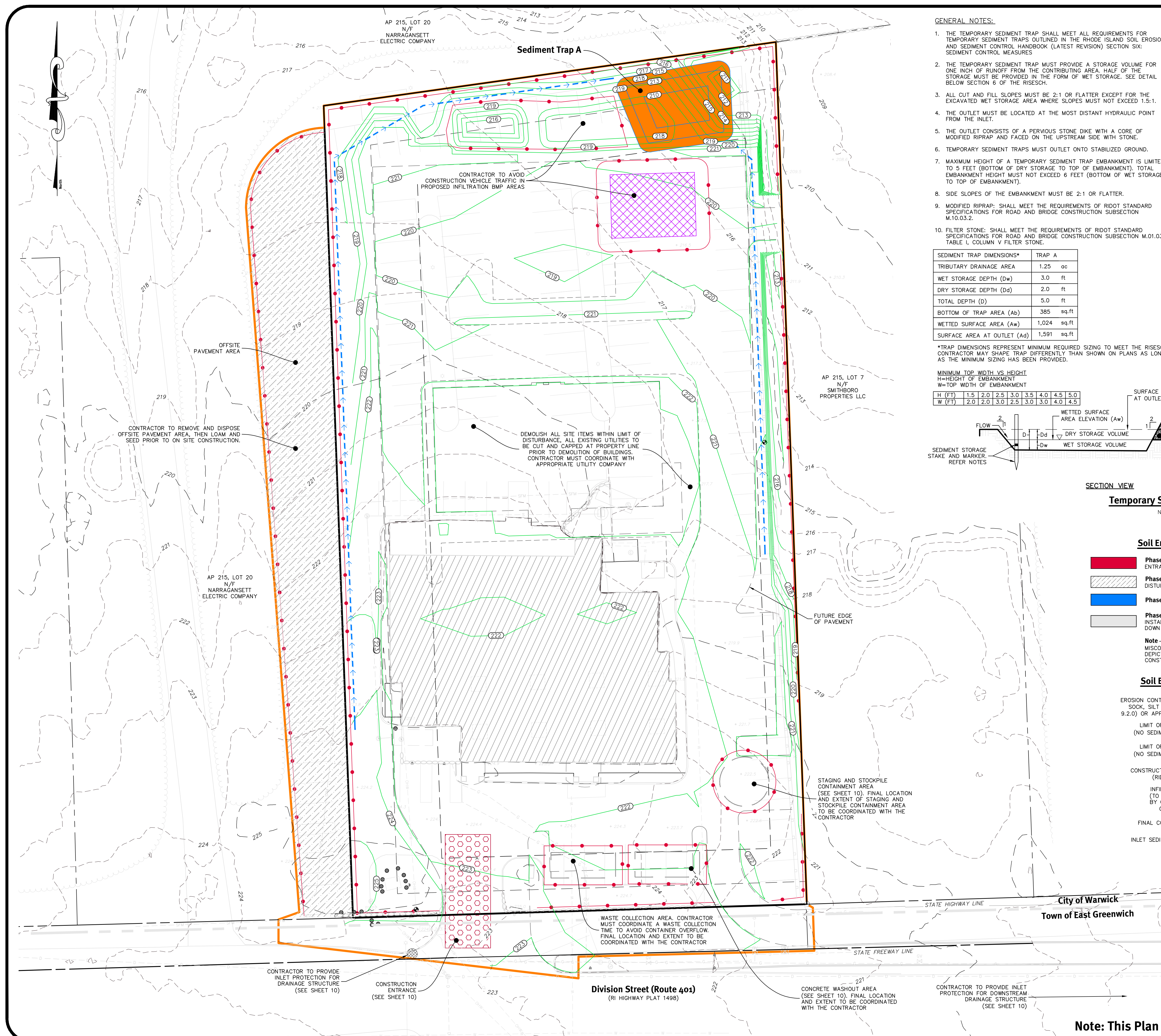
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THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:  
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MEASUREMENT SPECIFICATION: CLASS I CLASS T-2  
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ALTA SURVEY.

Scale: 1"=20'  
12/16/20  
ROBERT G. BABCOCK, RPLS #2504, COA #S.000A160

SHEET 4 OF 15

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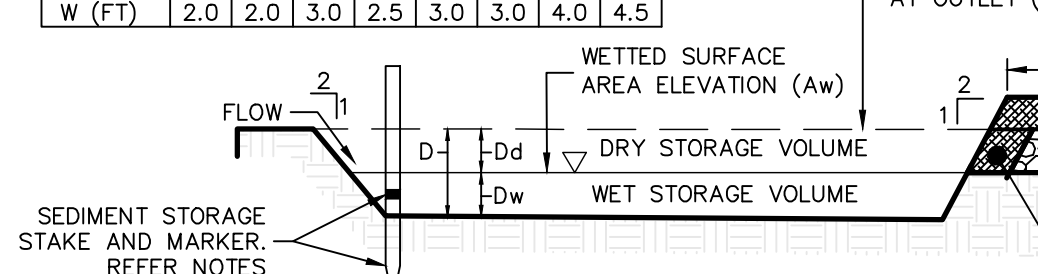
**GENERAL NOTES:**

1. THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (LATEST REVISION) SECTION SIX: SEDIMENT CONTROL MEASURES
2. THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RUNOFF FROM THE CONTRIBUTING AREA. HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF WET STORAGE. SEE DETAIL BELOW SECTION 6 OF THE RISESCH.
3. ALL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR THE EXCAVATED WET STORAGE AREA WHERE SLOPES MUST NOT EXCEED 1.5:1.
4. THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE INLET.
5. THE OUTLET CONSISTS OF A PERVIOUS STONE DIKE WITH A CORE OF MODIFIED RIPRAP AND FACED ON THE UPSTREAM SIDE WITH STONE.
6. TEMPORARY SEDIMENT TRAPS MUST OUTLET ONTO STABILIZED GROUND.
7. MAXIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET (BOTTOM OF DRY STORAGE TO TOP OF EMBANKMENT). TOTAL EMBANKMENT HEIGHT MUST NOT EXCEED 6 FEET (BOTTOM OF WET STORAGE TO TOP OF EMBANKMENT).
8. SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
9. MODIFIED RIPRAP: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.10.03.2.
10. FILTER STONE: SHALL MEET THE REQUIREMENTS OF RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION M.01.03 TABLE I, COLUMN V FILTER STONE.

SEDIMENT TRAP DIMENSIONS*	TRAP A
TRIBUTARY DRAINAGE AREA	1.25 ac
WET STORAGE DEPTH (Dw)	3.0 ft
DRY STORAGE DEPTH (Dd)	2.0 ft
TOTAL DEPTH (D)	5.0 ft
BOTTOM OF TRAP AREA (Ab)	385 sq.ft
WETTED SURFACE AREA (Aw)	1,024 sq.ft
SURFACE AREA AT OUTLET (Ad)	1,591 sq.ft

\*TRAP DIMENSIONS REPRESENT MINIMUM REQUIRED SIZING TO MEET THE RISESCH. CONTRACTOR MAY SHAPE TRAP DIFFERENTLY THAN SHOWN ON PLANS AS LONG AS THE MINIMUM SIZING HAS BEEN PROVIDED.

MINIMUM TOP WIDTH VS HEIGHT	
H (FT)	W (FT)
1.5	2.0
2.0	2.5
2.5	3.0
3.0	3.5
3.5	4.0
4.0	4.5
4.5	5.0
5.0	5.0



SECTION VIEW

**Temporary Sediment Trap Detail**

NOT TO SCALE

**Soil Erosion Control Implementation Phasing**

- Phase IA** - INSTALL EROSION CONTROL SILT FENCE & STONE CONSTRUCTION ENTRANCE.
- Phase IB** - CLEAR AND GRUB OFFSITE PAVEMENT AREA. LOAM AND SEED DISTURBED AREA.
- Phase IC** - CONSTRUCT PROPOSED DIVERSIONS
- Phase IIA** - CLEAR AND GRUB IMPERVIOUS AREAS. CONSTRUCT PROPOSED BUILDING & INSTALL UTILITIES WITH ROADWAYS. INSTALL DRAINAGE NETWORK WORKING FROM THE DOWN GRADIENT BASINS UP TO THE START OF NETWORK. INSTALL ASPHALT PAVING.

**Note** - SOIL EROSION CONTROL IMPLEMENTATION PHASING SHOULD NOT BE MISCONSTRUED WITH CONSTRUCTION PHASING/ SEQUENCING. ALL MEASURES DEPICTED ON THIS PLAN ARE TO BE INSTALLED WITH THE FIRST PHASE OF CONSTRUCTION.

**Soil Erosion Control Legend:**

- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0) OR APPROVED EQUAL)
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL

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 No. 01010  
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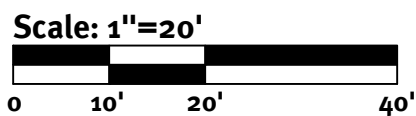
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 The contractor is responsible for all of the means, methods, safety and quality of the work shown on this plan and is to be held responsible for any damage to existing utilities. See Utility Note on sheet 3.

No.	Date	Description	By	Design By
6	11/19/2021	Preliminary Submission	J.P.C.	N.D.K.
5	11/15/2021	Final Submission	J.P.C.	N.D.K.
4	10/28/2021	Final Submission	J.P.C.	N.D.K.
3	10/28/2021	Final Submission	J.P.C.	N.D.K.
2	8/19/2021	Final Submission	J.P.C.	N.D.K.
1	5/12/2021	Final Submission	J.P.C.	N.D.K.

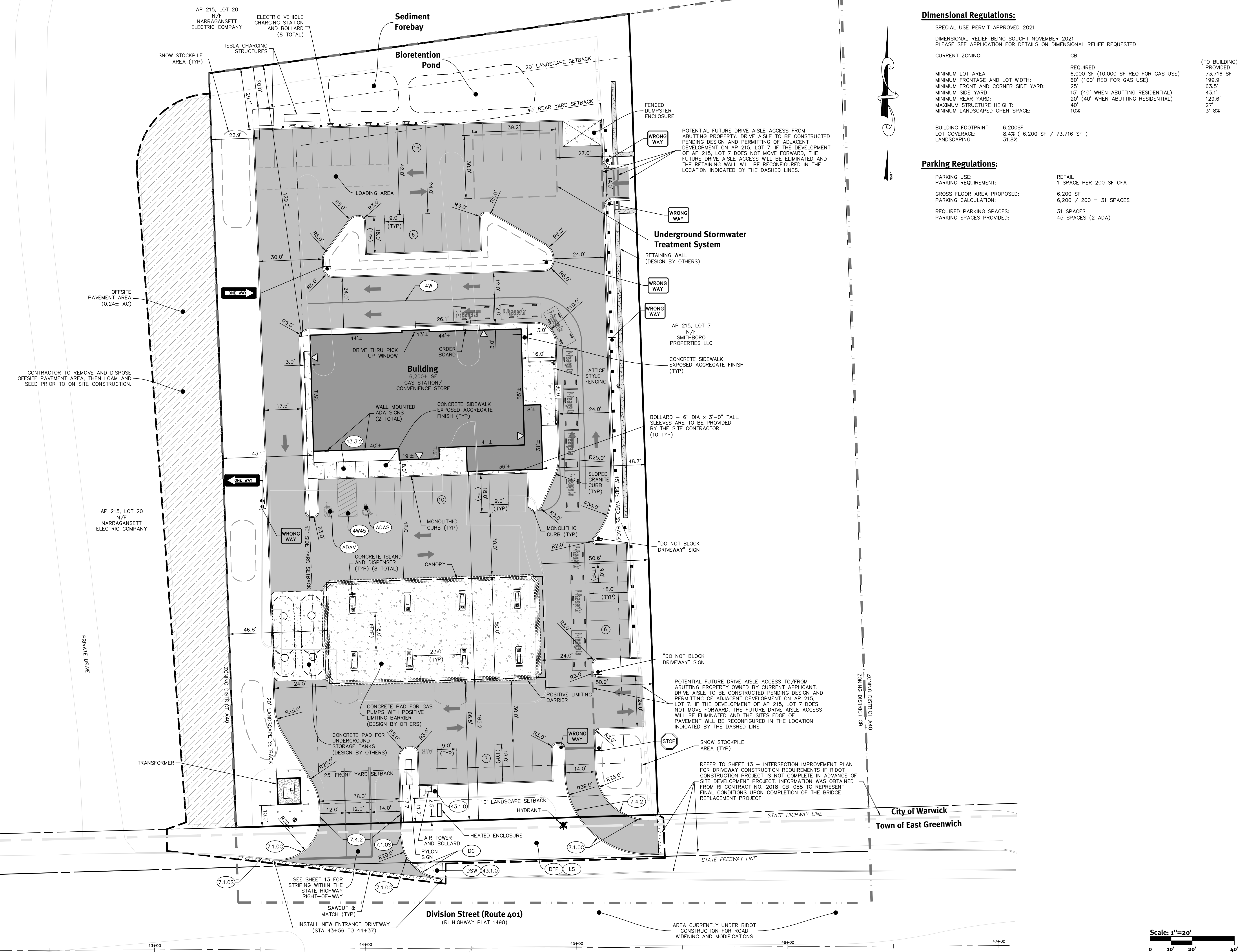
**Soil Erosion & Sediment Control Plan**  
**1149 Division Street**  
 Access to Plot 214, Lot 8  
 Warwick, Rhode Island  
 Prepared For  
**TPG Dev Con**  
 1140 Reservoir Avenue,  
 Cranston, Rhode Island 02920

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Note: This Plan Must Be Reproduced In Color



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**Dimensional Regulations:**

SPECIAL USE PERMIT APPROVED 2021  
 DIMENSIONAL RELIEF BEING SOUGHT NOVEMBER 2021  
 PLEASE SEE APPLICATION FOR DETAILS ON DIMENSIONAL RELIEF REQUESTED

CURRENT ZONING:	GB	(TO BUILDING) PROVIDED
MINIMUM LOT AREA:	6,000 SF (10,000 SF REQ FOR GAS USE)	73,716 SF
MINIMUM FRONTAGE AND LOT WIDTH:	60' (100' REQ FOR GAS USE)	199.9'
MINIMUM FRONT AND CORNER SIDE YARD:	25'	63.5'
MINIMUM SIDE YARD:	15' (40' WHEN ABUTTING RESIDENTIAL)	43.1'
MINIMUM REAR YARD:	20' (40' WHEN ABUTTING RESIDENTIAL)	129.6'
MAXIMUM STRUCTURE HEIGHT:	40'	27'
MINIMUM LANDSCAPED OPEN SPACE:	10%	31.8%

**Parking Regulations:**

PARKING USE:	RETAIL	1 SPACE PER 200 SF GFA
PARKING REQUIREMENT:		6,200 / 200 = 31 SPACES
GROSS FLOOR AREA PROPOSED:	6,200 SF	
PARKING CALCULATION:		31 SPACES (2 ADA)
REQUIRED PARKING SPACES:		
PARKING SPACES PROVIDED:		

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 No. 0410  
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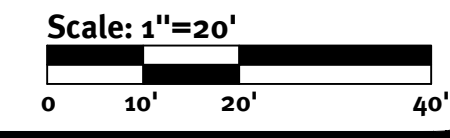
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5	11/18/2021	Final/As-Built	J.P.C.	J.P.C.
4	10/28/2021	Final/As-Built	J.P.C.	J.P.C.
3	10/28/2021	Final/As-Built	J.P.C.	J.P.C.
2	8/12/2021	Final/As-Built	J.P.C.	J.P.C.
1	5/12/2021	Final/As-Built	J.P.C.	J.P.C.

Drawn By: NDK Design By: NDK

**Site Layout Plan**  
**1149 Division Street**  
 Accessed from 214 Lot 5  
 Warwick, Rhode Island  
 Prepared for  
**TPG Dev Con**  
 1140 Reservoir Avenue,  
 Cranston, Rhode Island 02920

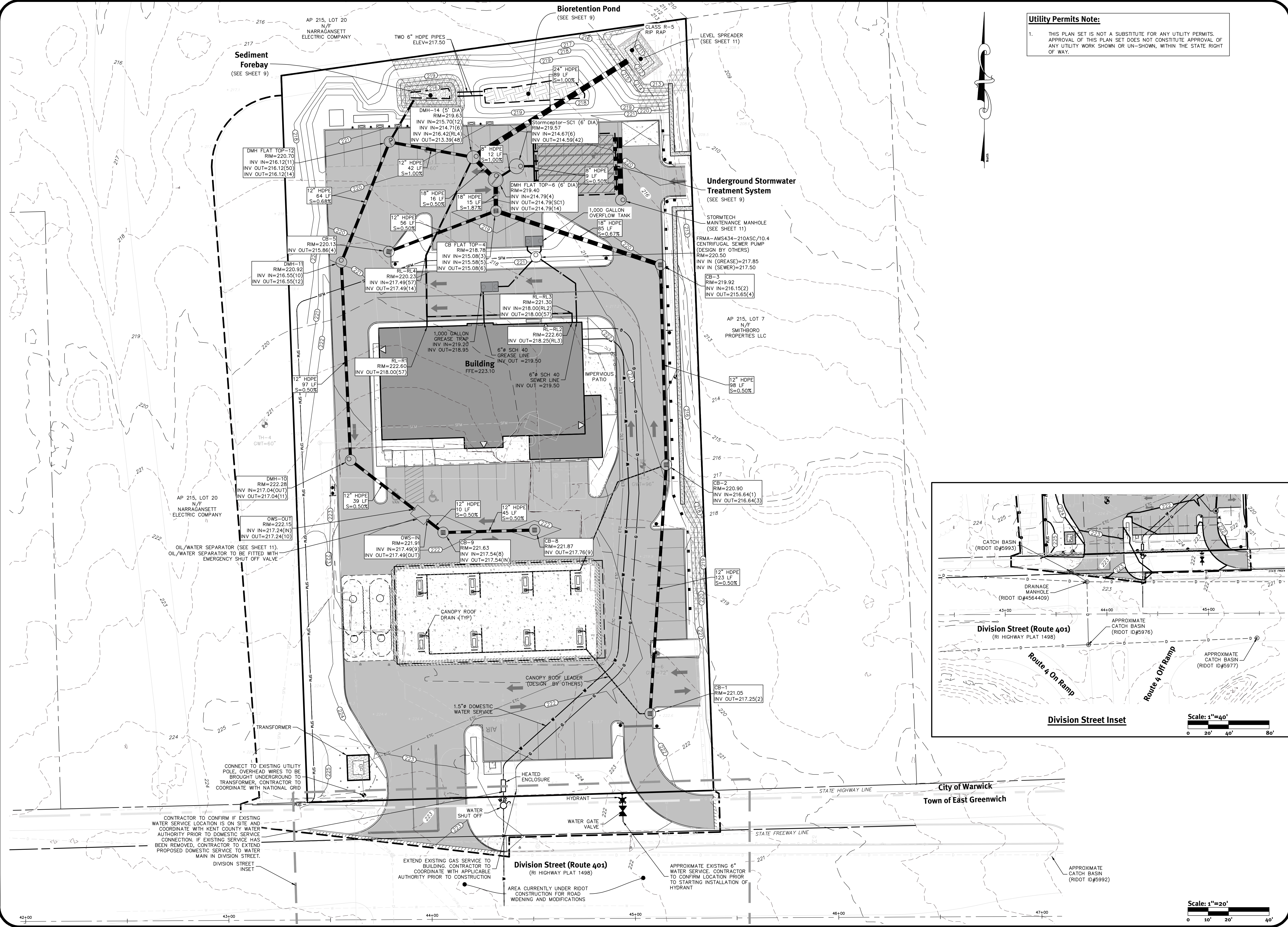
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SHEET **6** OF 15



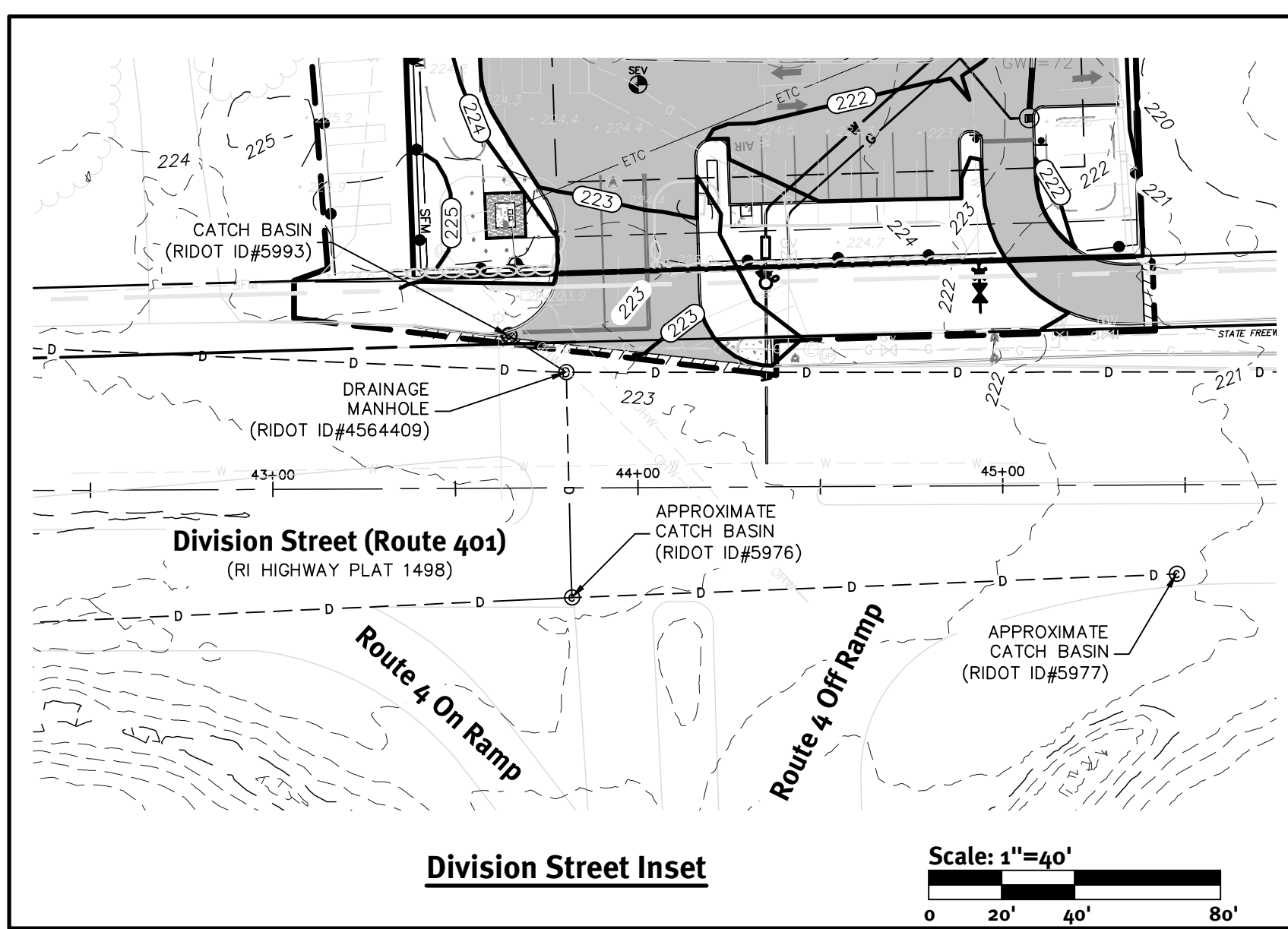


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**Utility Permits Note:**

1. THIS PLAN SET IS NOT A SUBSTITUTE FOR ANY UTILITY PERMITS. APPROVAL OF THIS PLAN SET DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK SHOWN OR UN-SHOWN, WITHIN THE STATE RIGHT OF WAY.



Scale: 1"=40'

Scale: 1"=20'

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1	11/19/2021	Preliminary Submission	J.P.C.
2	11/19/2021	Final Submission	J.P.C.
3	11/19/2021	Final Submission	J.P.C.
4	11/19/2021	Final Submission	J.P.C.
5	11/19/2021	Final Submission	J.P.C.
6	11/19/2021	Final Submission	J.P.C.

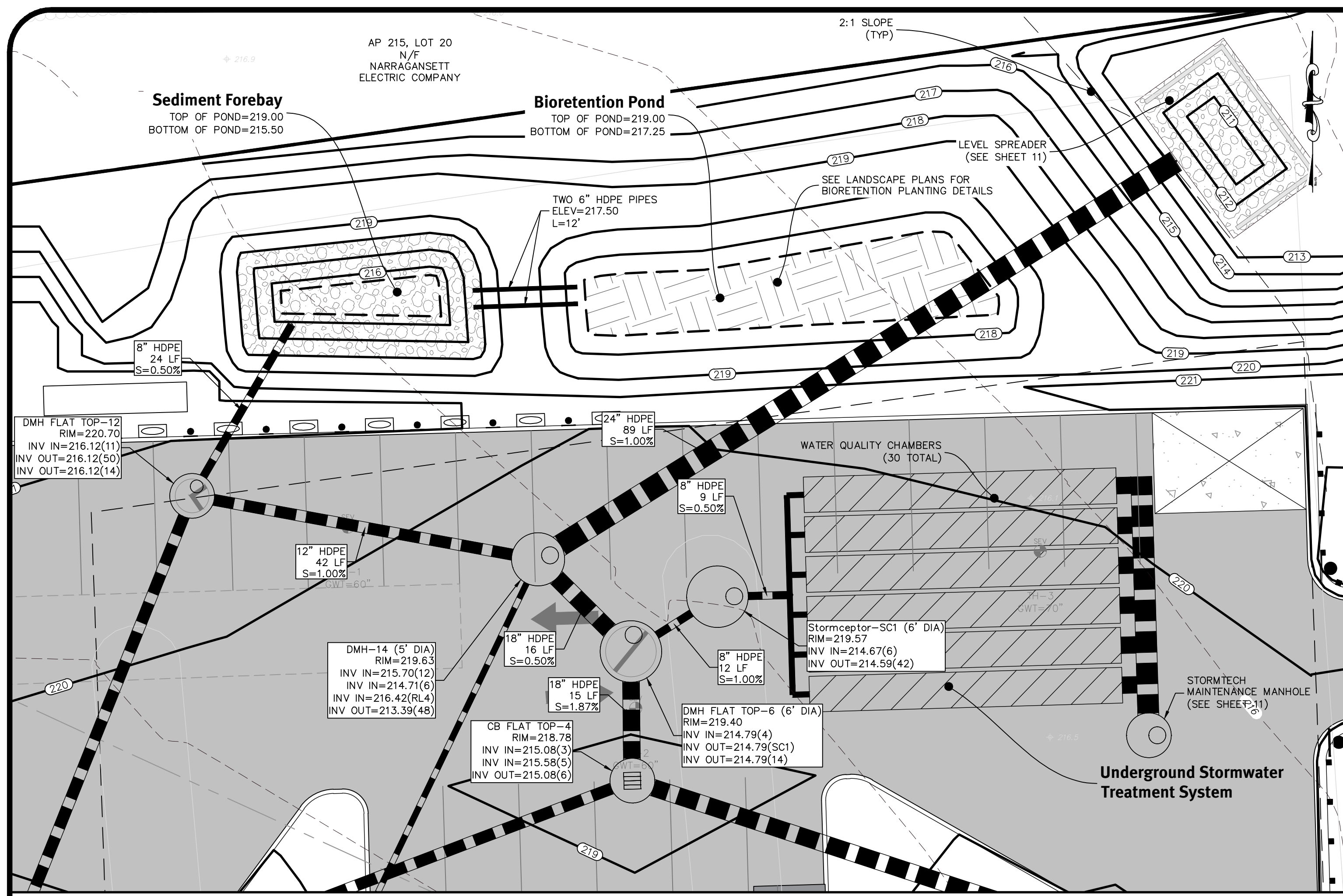
**Drainage & Utilities Plan**  
**1149 Division Street**  
 Assessor's Plat 1498  
 Warwick, Rhode Island

Prepared for:  
**TPG Dev Con**  
 1140 Reservoir Avenue,  
 Cranston, Rhode Island 02920

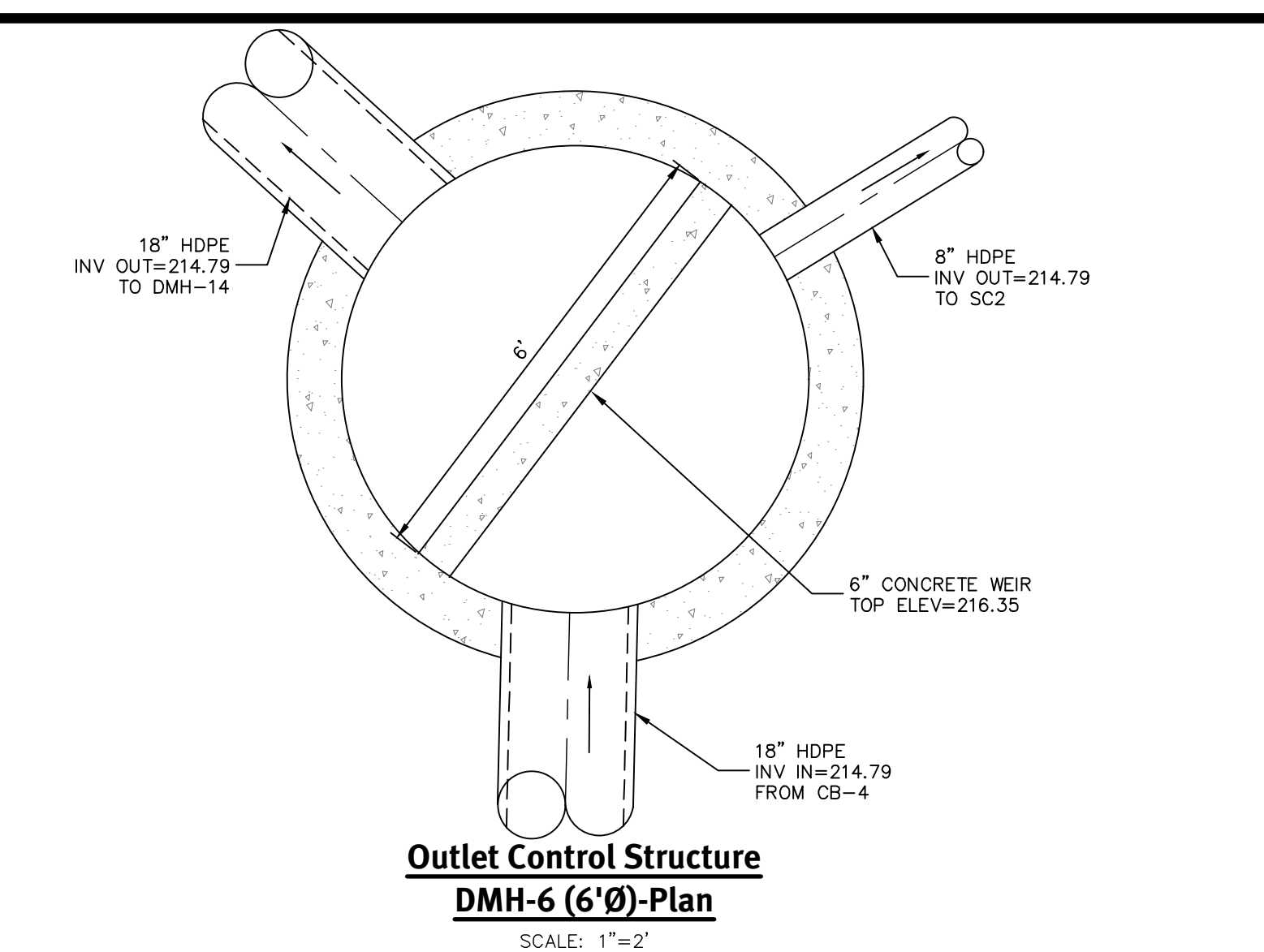
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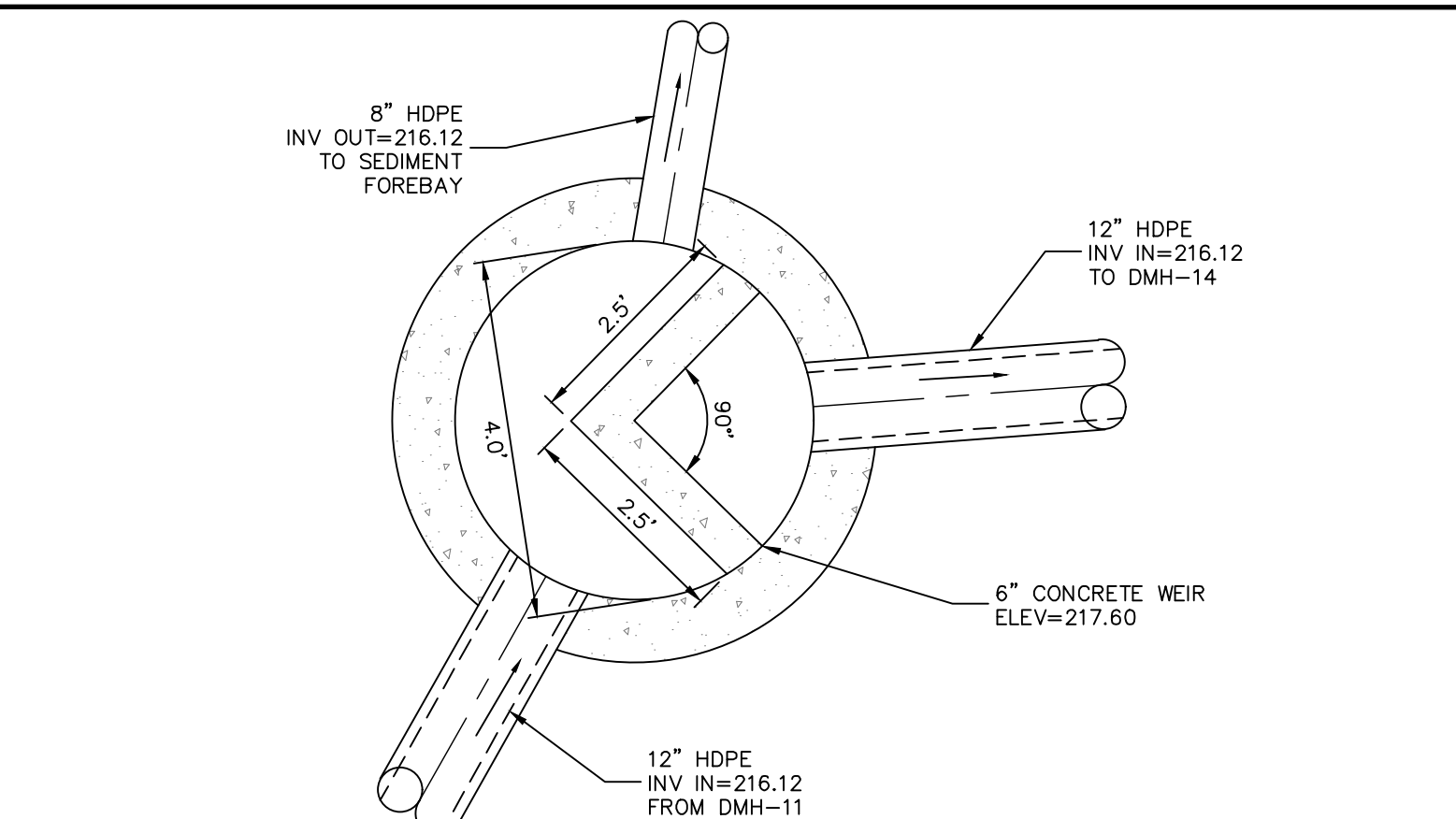




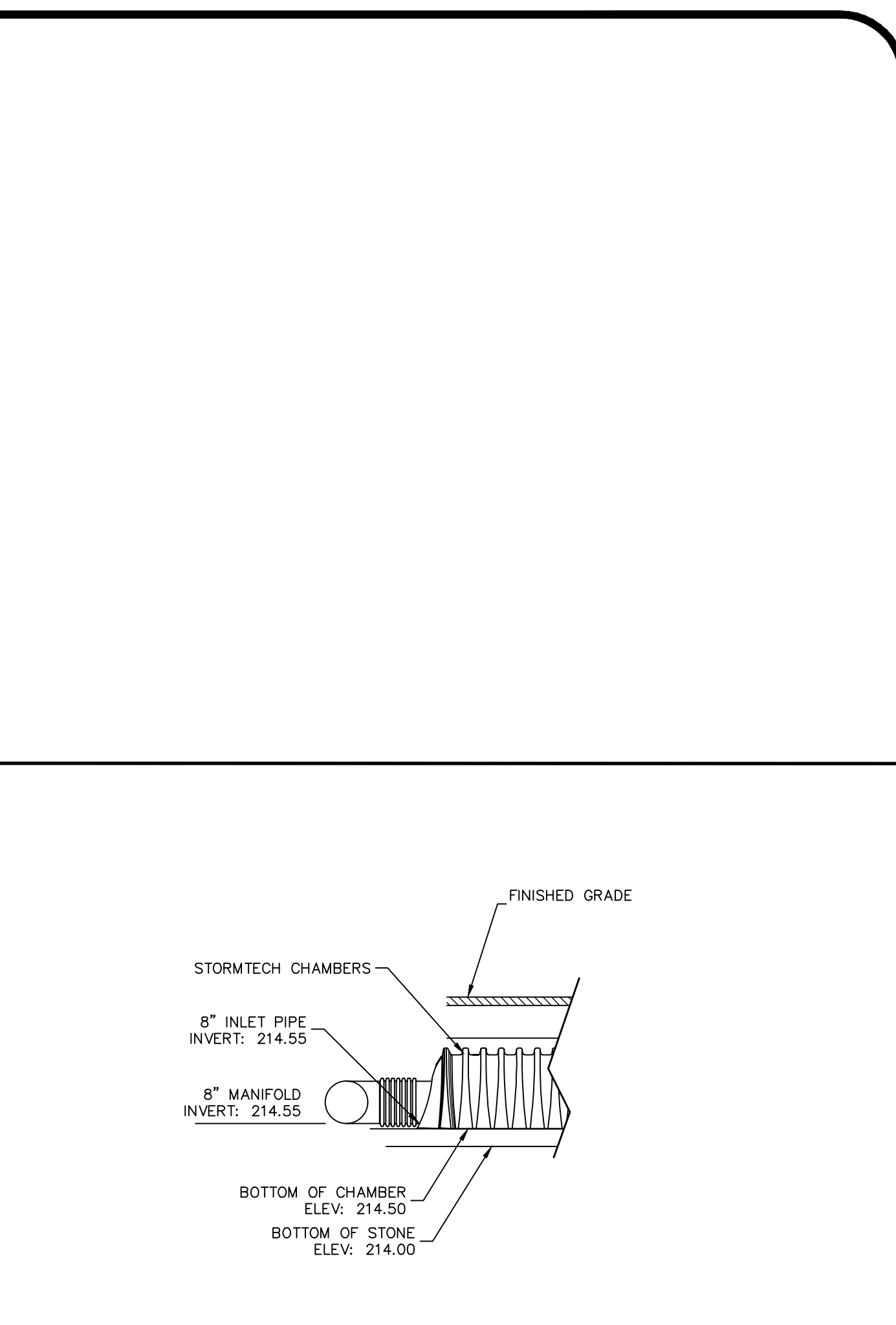
Stormwater Treatment System Plan  
Scale: 1"=10'



Outlet Control Structure  
DMH-6 (6'Ø)-Plan  
Scale: 1"=2'



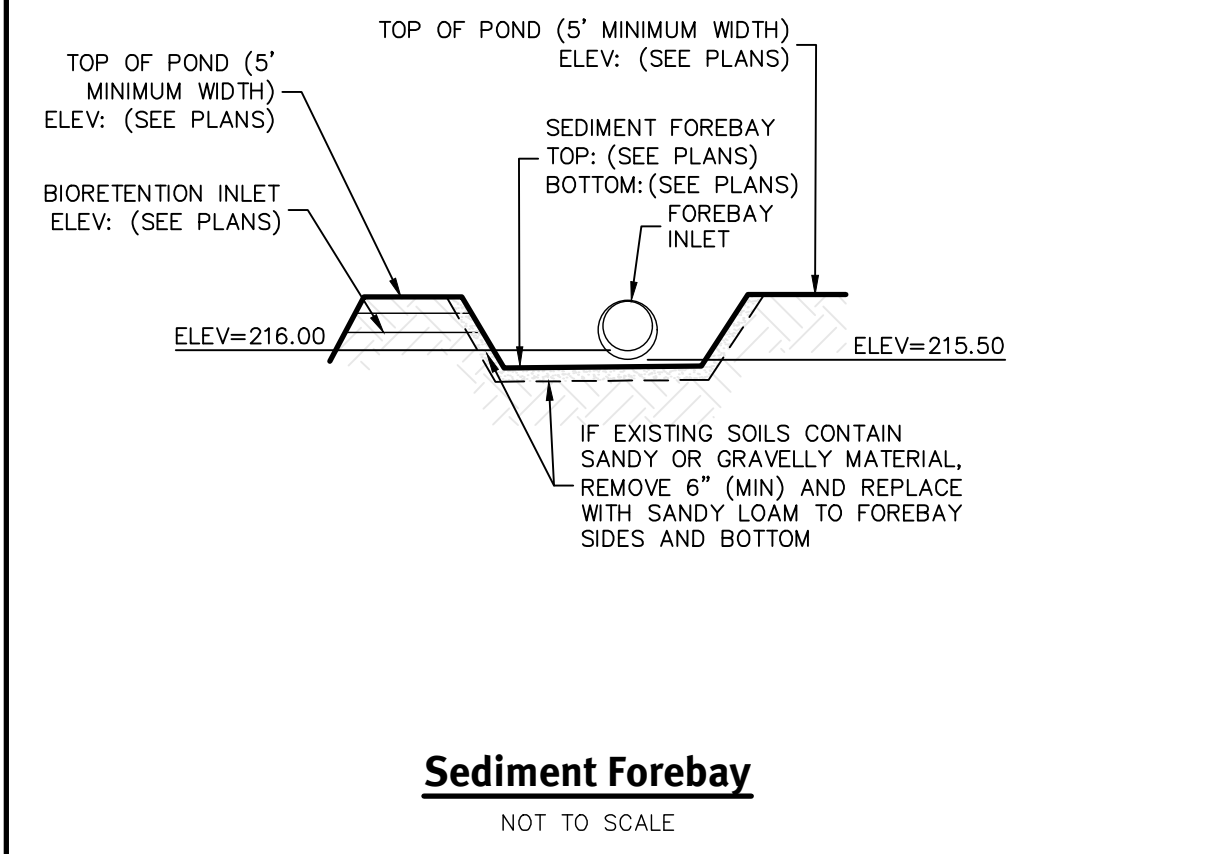
Drainage Bypass Structure  
DMH-12 (4'Ø)-Plan  
Scale: 1"=2'



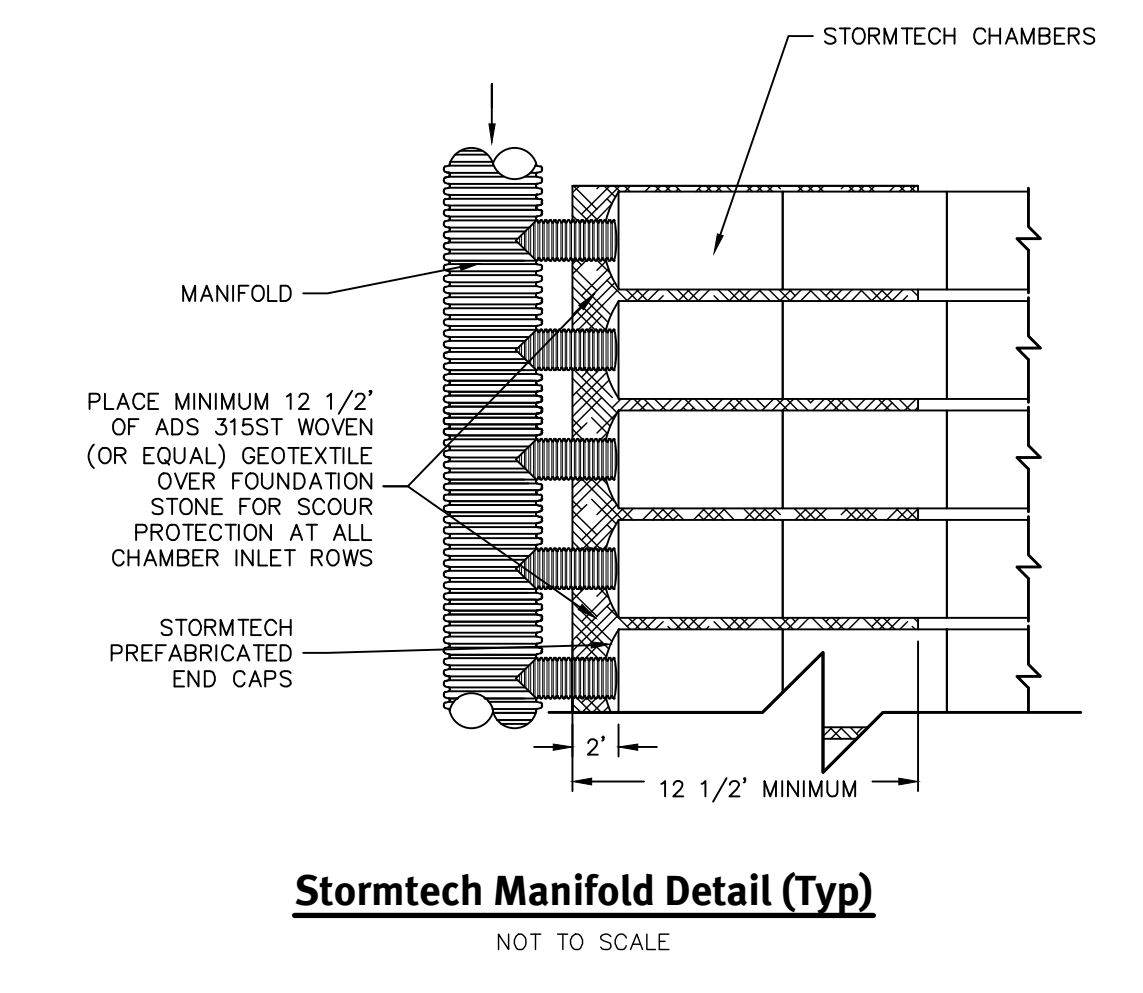
Stormtech Elevation (Treatment System)  
NOT TO SCALE

- NOTES:**
- BIORETENTION AREAS SHALL BE HAND COMPACTED ONLY. NO MACHINES SHALL BE DRIVEN THROUGH OR OPERATED WITHIN THE BIORETENTION FOOTPRINT.
  - BIORETENTION AREAS SHALL BE PROTECTED WITH SILT FENCE (RIDOT STD 9.2.0) OR APPROVED EQUAL ONCE BIORETENTION SOIL HAS BEEN INSTALLED. AREA IS TO REMAIN PROTECTED UNTIL ALL TRIBUTARY AREAS HAVE BEEN STABILIZED AND APPROVAL FROM THE DESIGN ENGINEER. NO CONSTRUCTION TRAFFIC IS ALLOWED ON BIORETENTION MEDIA.
  - BIORETENTION AREAS DESIGNED AS AN INFILTRATION SYSTEM SHALL BE PROTECTED WITH SILT FENCE (RIDOT STD 9.2.0) OR APPROVED EQUAL AT THE START OF CONSTRUCTION. NO CONSTRUCTION TRAFFIC IS ALLOWED WITHIN BIORETENTION LIMITS THROUGHOUT CONSTRUCTION.
  - THE MULCH LAYER SHALL BE SHREDDED HARDWOOD MULCH THAT IS WELL (AGED STOCKPILED/STORED FOR AT LEAST 6 MONTHS), UNIFORM IN COLOR, AND FREE OF OTHER MATERIALS (WEED SEEDS, SOIL, ROOTS ETC.).

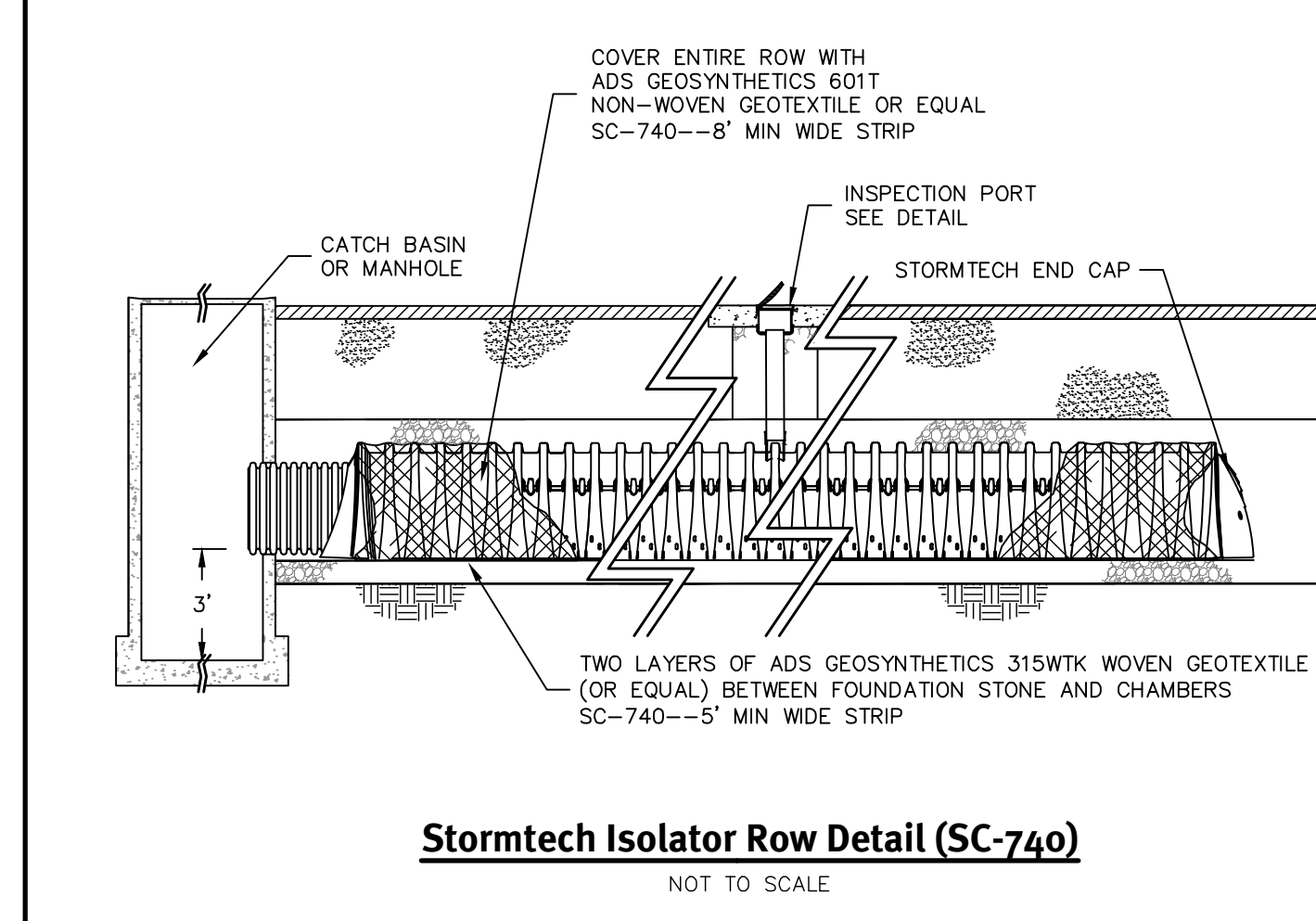
DESCRIPTION	ELEVATION
TOP OF POND ELEVATION	219.00
100 YEAR STORM ELEVATION	218.27
25 YEAR STORM ELEVATION	217.91
10 YEAR STORM ELEVATION	217.66
1 YEAR STORM ELEVATION	217.43
OUTLET ELEVATION	N/A
TOP OF MULCH	217.25
BIO-MEDIA LAYER DEPTH	2.0'
SEASONAL HIGH GWL ELEVATION	211.50
SOIL EVALUATION	TH-1



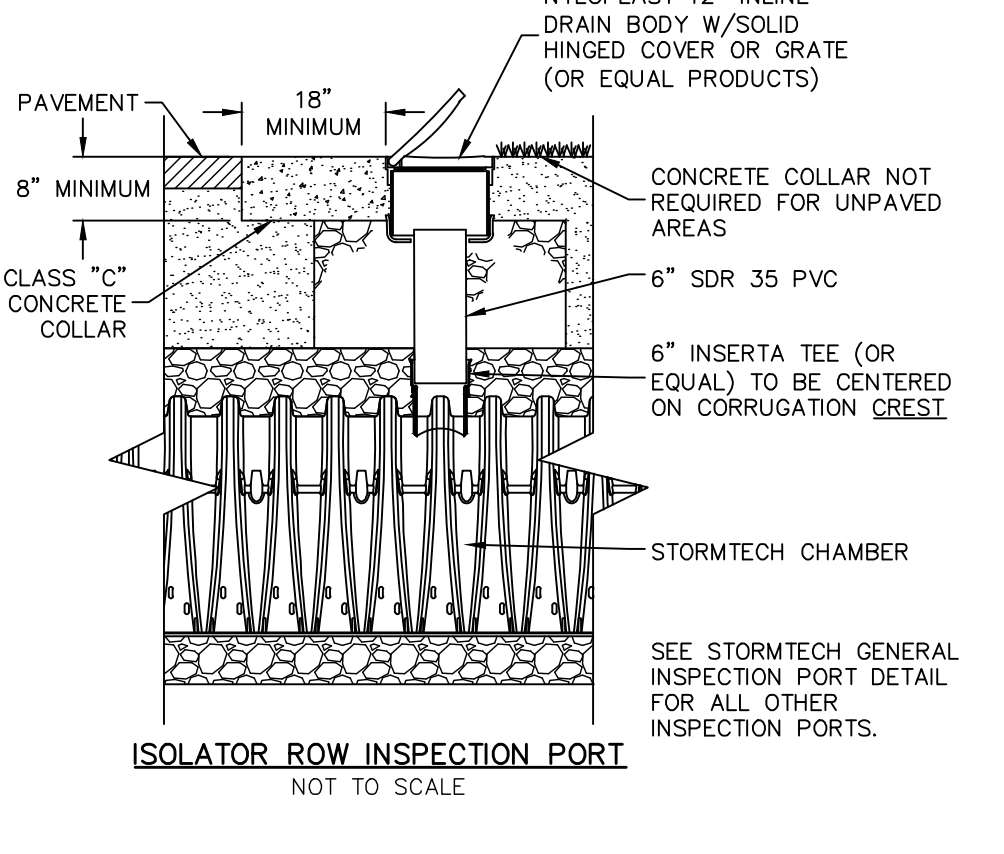
Sediment Forebay  
NOT TO SCALE



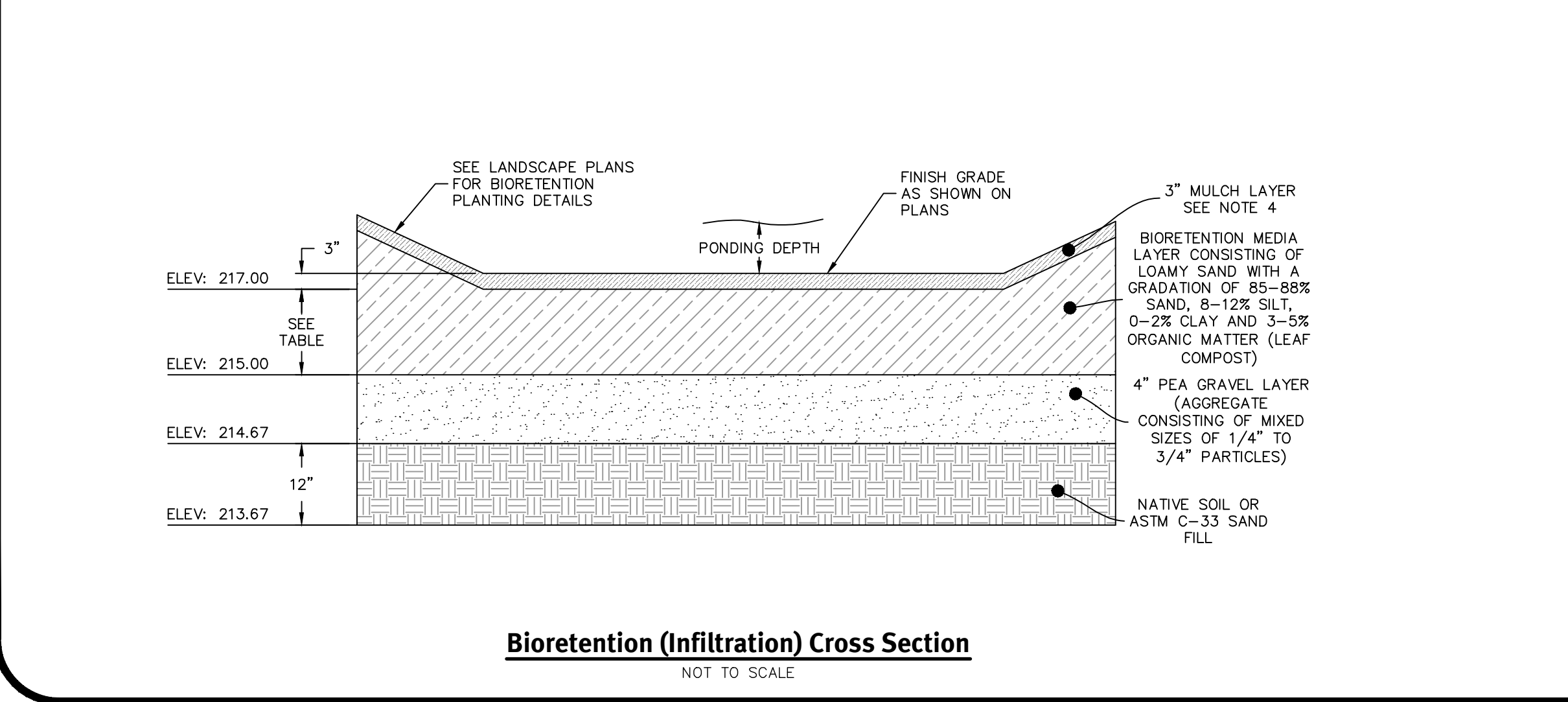
Stormtech Manifold Detail (Typ)  
NOT TO SCALE



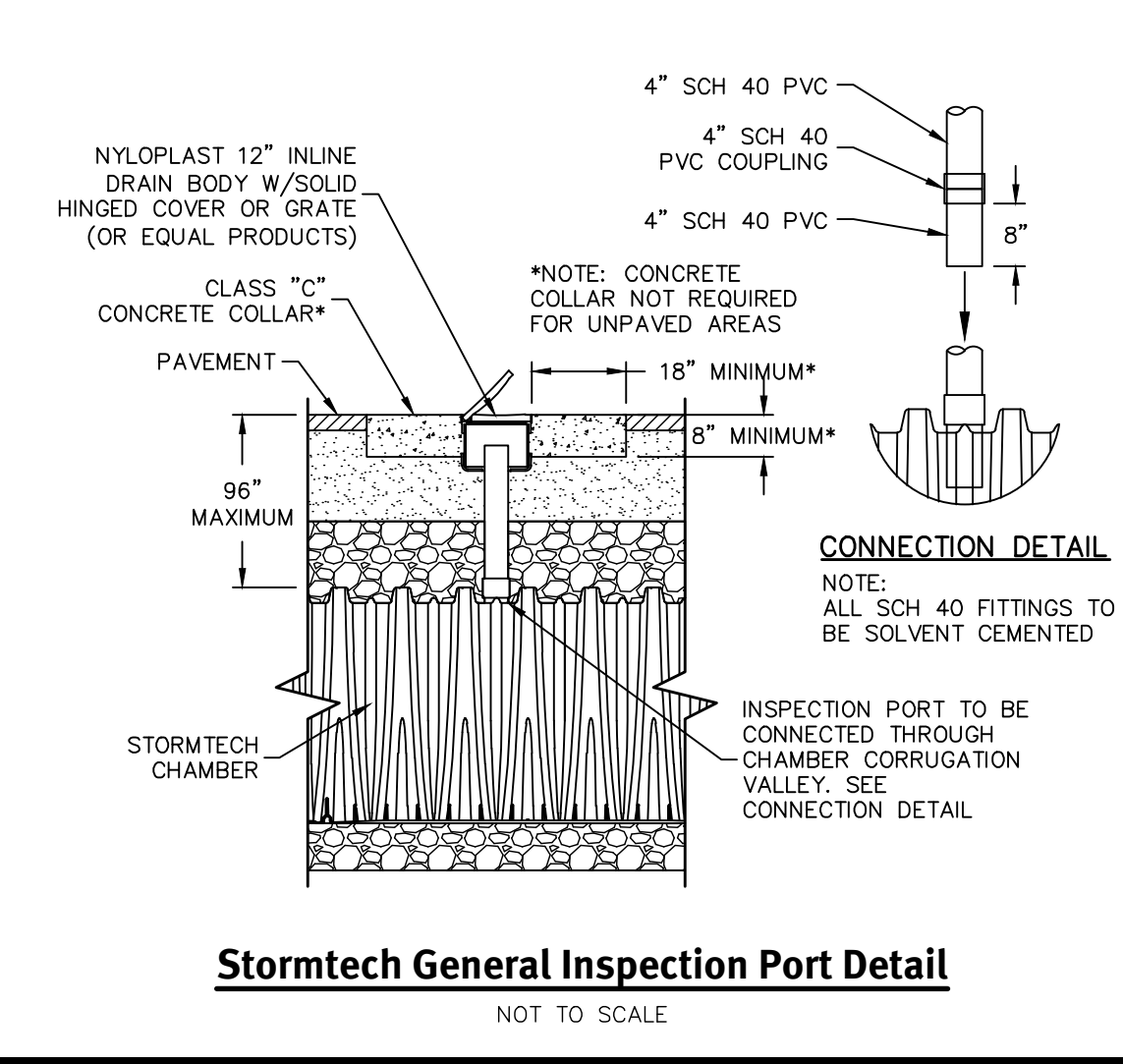
Stormtech Isolator Row Detail (SC-740)  
NOT TO SCALE



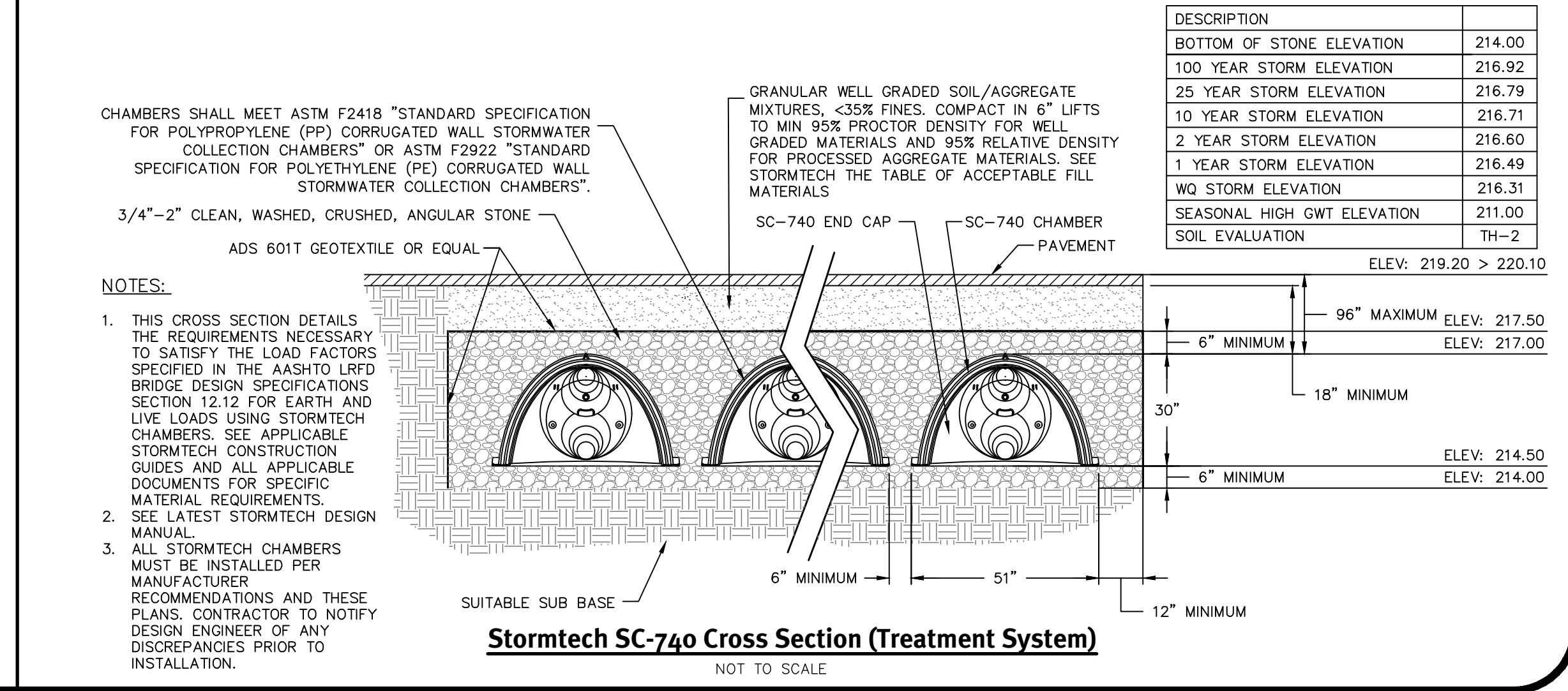
ISOLATOR ROW INSPECTION PORT  
NOT TO SCALE



Bioretention (Infiltration) Cross Section  
NOT TO SCALE



Stormtech General Inspection Port Detail  
NOT TO SCALE



Stormtech SC-740 Cross Section (Treatment System)  
NOT TO SCALE

DESCRIPTION	ELEVATION
BOTTOM OF STONE ELEVATION	214.00
100 YEAR STORM ELEVATION	216.92
25 YEAR STORM ELEVATION	216.79
10 YEAR STORM ELEVATION	216.71
2 YEAR STORM ELEVATION	216.60
1 YEAR STORM ELEVATION	216.49
WQ STORM ELEVATION	216.31
SEASONAL HIGH GWL ELEVATION	211.00
SOIL EVALUATION	TH-2

- NOTES:**
- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE MANUFACTURER DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
  - SEE LATEST STORMTECH DESIGN MANUAL.
  - ALL STORMTECH CHAMBERS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.

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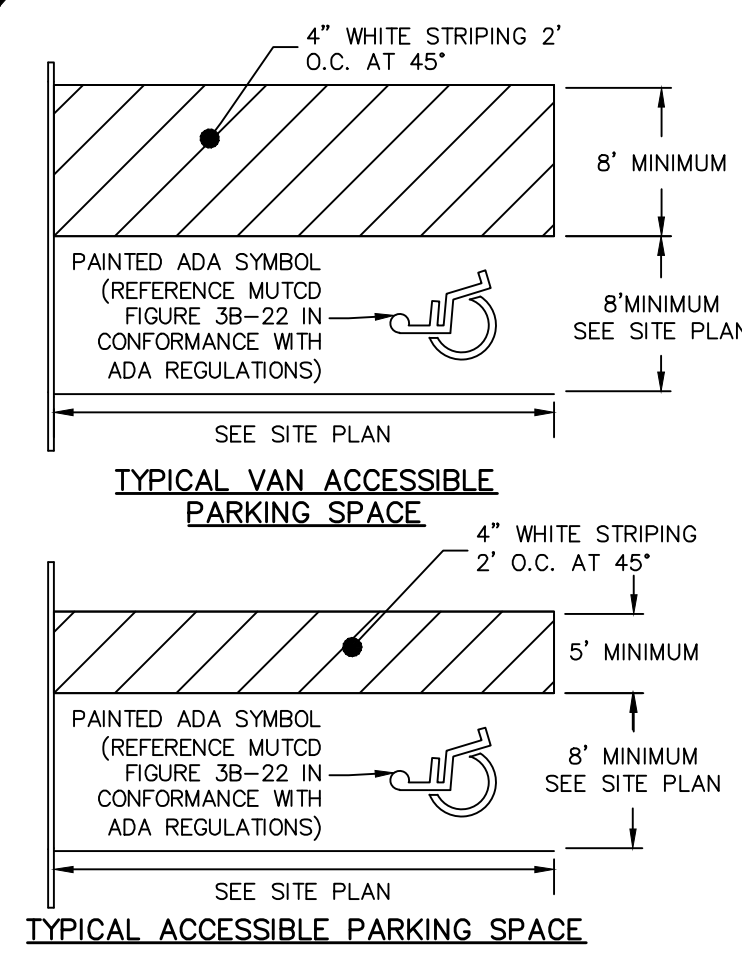
**JASON P. CLOUGH**  
No. 0100000000  
REGISTERED PROFESSIONAL ENGINEER CIVIL

No.	Date	Description	By	Design By
1	11/19/2021	Final/As-Built Submission	J.P.C.	N.D.K.
2	11/19/2021	Final/As-Built Submission	J.P.C.	N.D.K.
3	10/28/2021	Final/As-Built Submission	J.P.C.	N.D.K.
4	10/28/2021	Final/As-Built Submission	J.P.C.	N.D.K.
5	10/28/2021	Final/As-Built Submission	J.P.C.	N.D.K.
6	11/19/2021	Final/As-Built Submission	J.P.C.	N.D.K.

**Stormtech & Pond Detail Sheet**  
1149 Division Street  
Assessors Office, 214, Lot 8  
Woonick, Rhode Island  
Prepared For  
**TPG Dev Con**  
1140 Reservoir Avenue,  
Cranston, Rhode Island 02920

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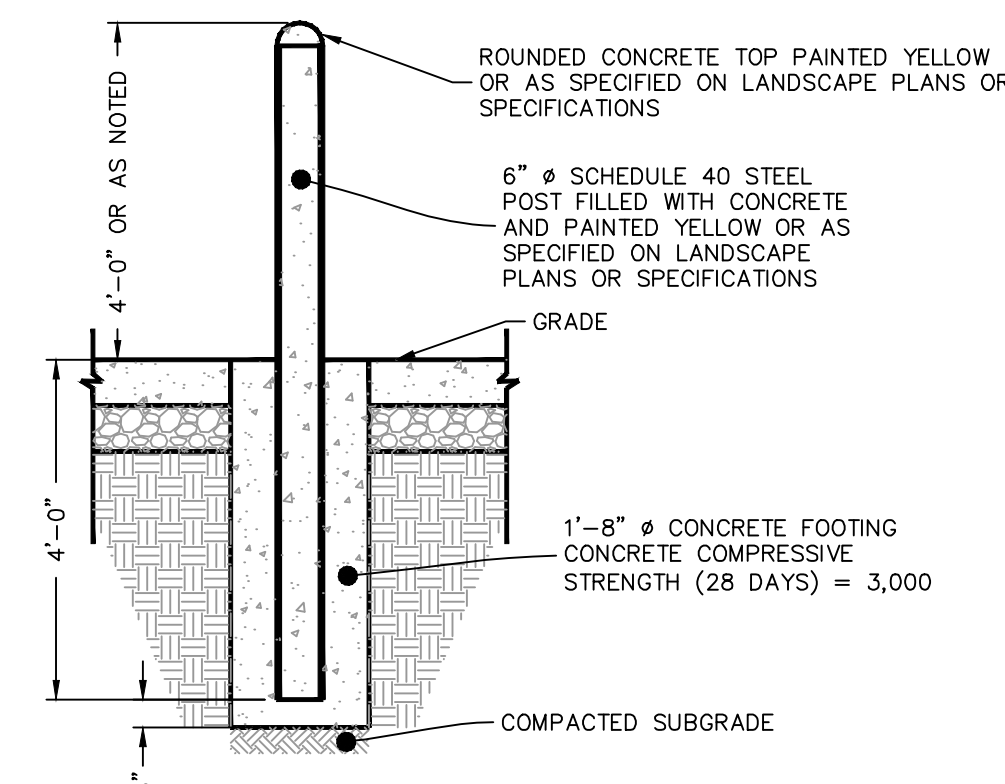
SHEET **9** OF 15



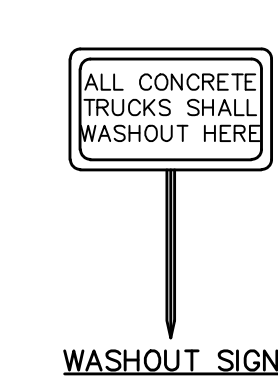
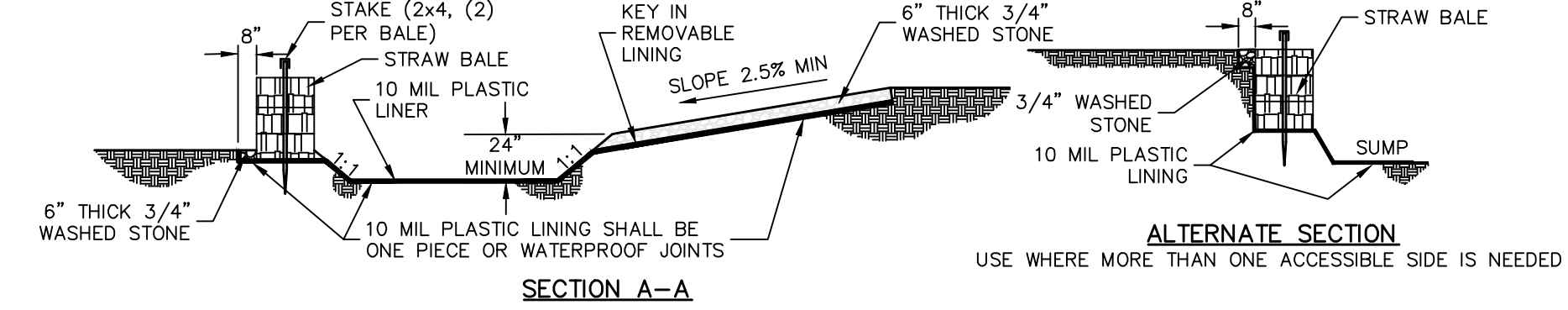
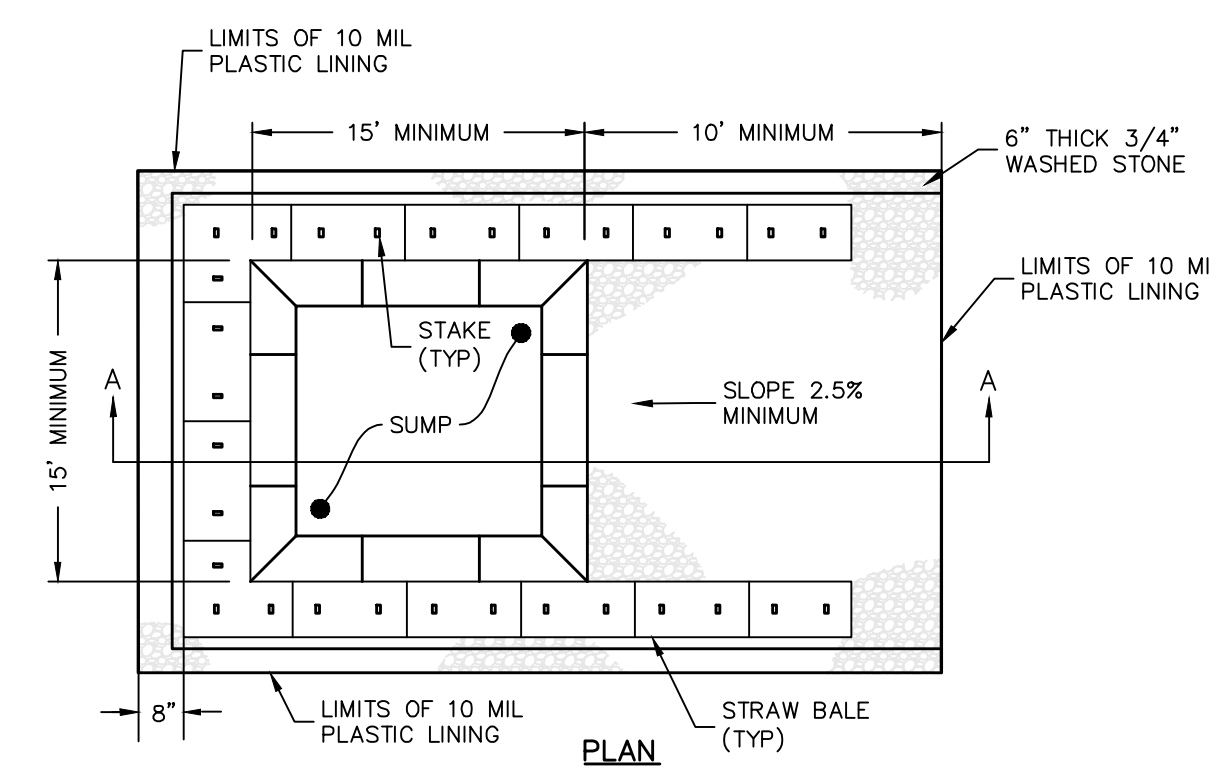
**NOTES:**

- ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
- APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
- FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/STENCILING OF PAINTED ADA SYMBOL MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.

**Typical Accessible Parking Spaces**  
NOT TO SCALE



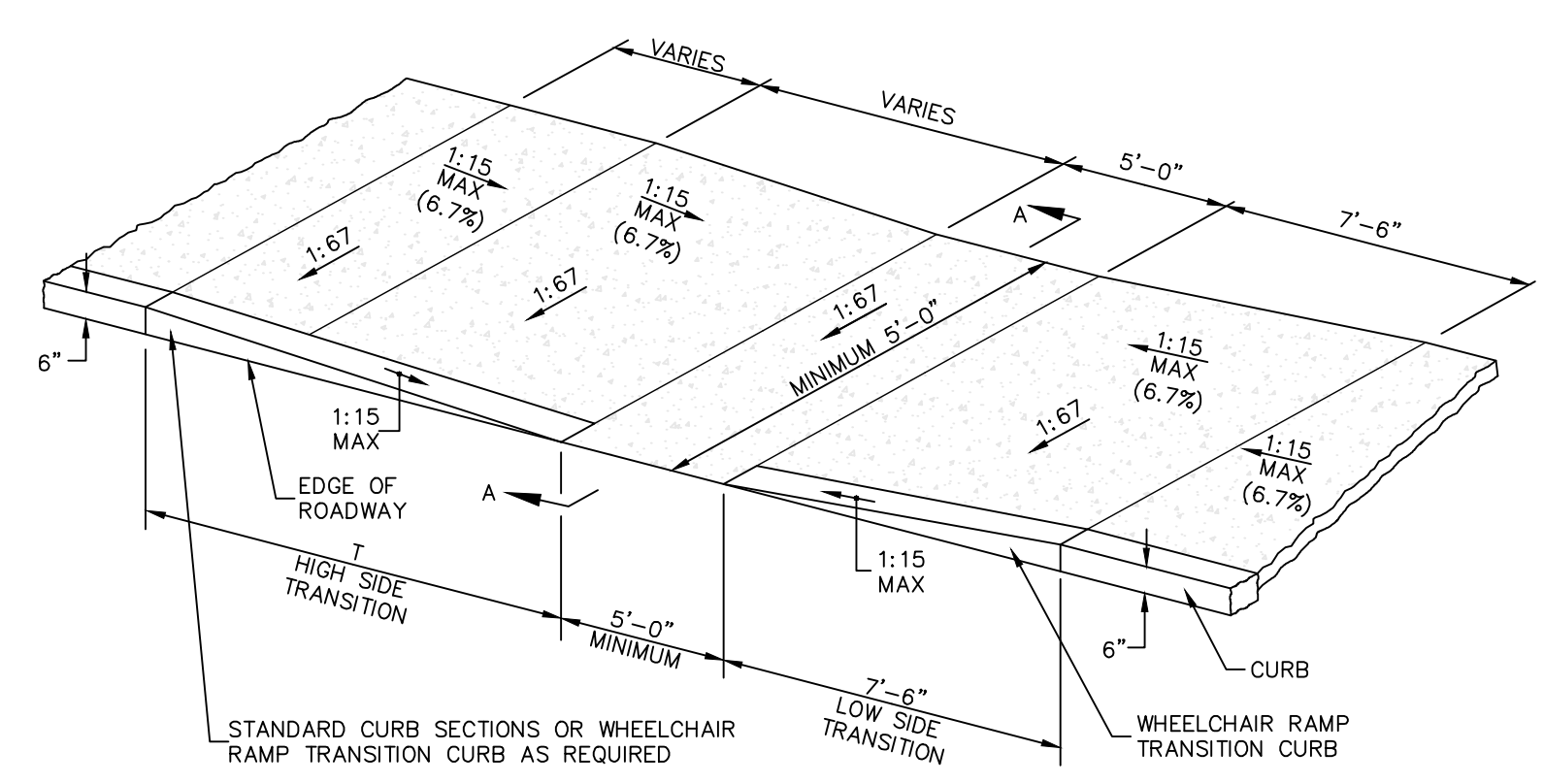
**Bollard Detail**  
NOT TO SCALE



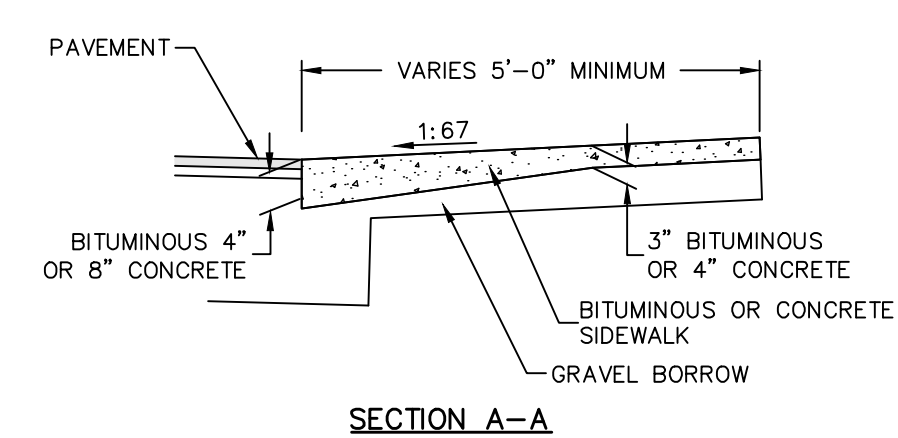
**Concrete Washout Area**  
NOT TO SCALE

**NOTES:**

- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
- WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
- FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12".
- FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
- SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
- CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
- MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.



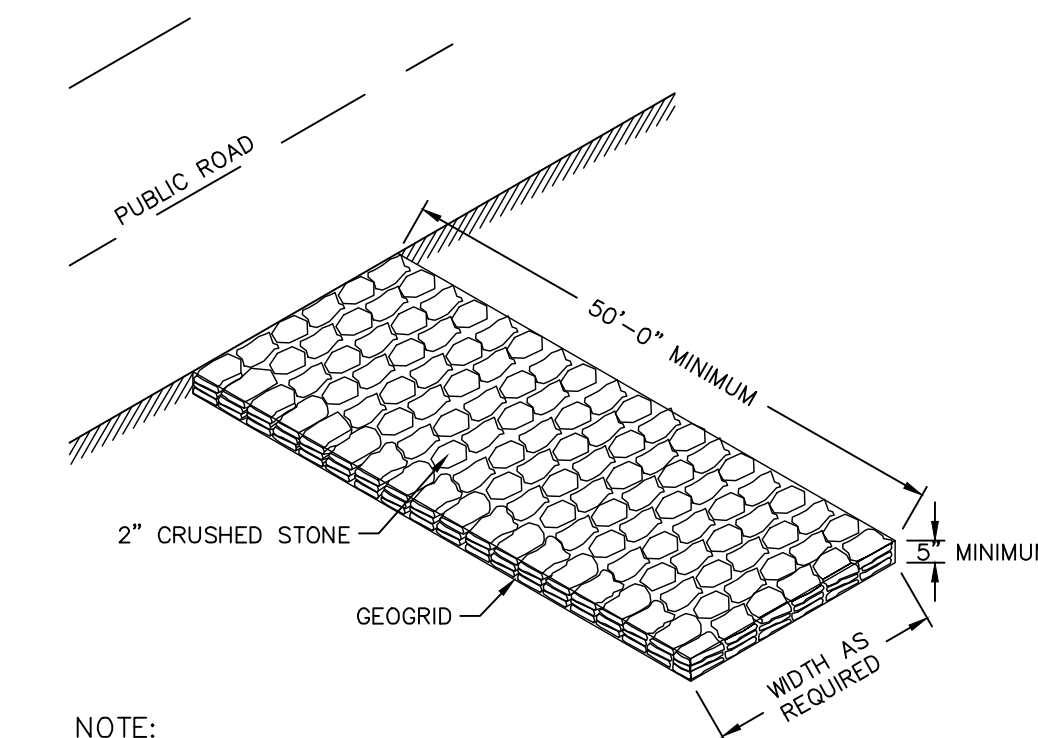
ROADWAY PROFILE GRADE	T (FT.)
0.00	7.5
0.01	9.0
0.02	11.0
0.03	13.5
0.04	19.0
0.05	30.0



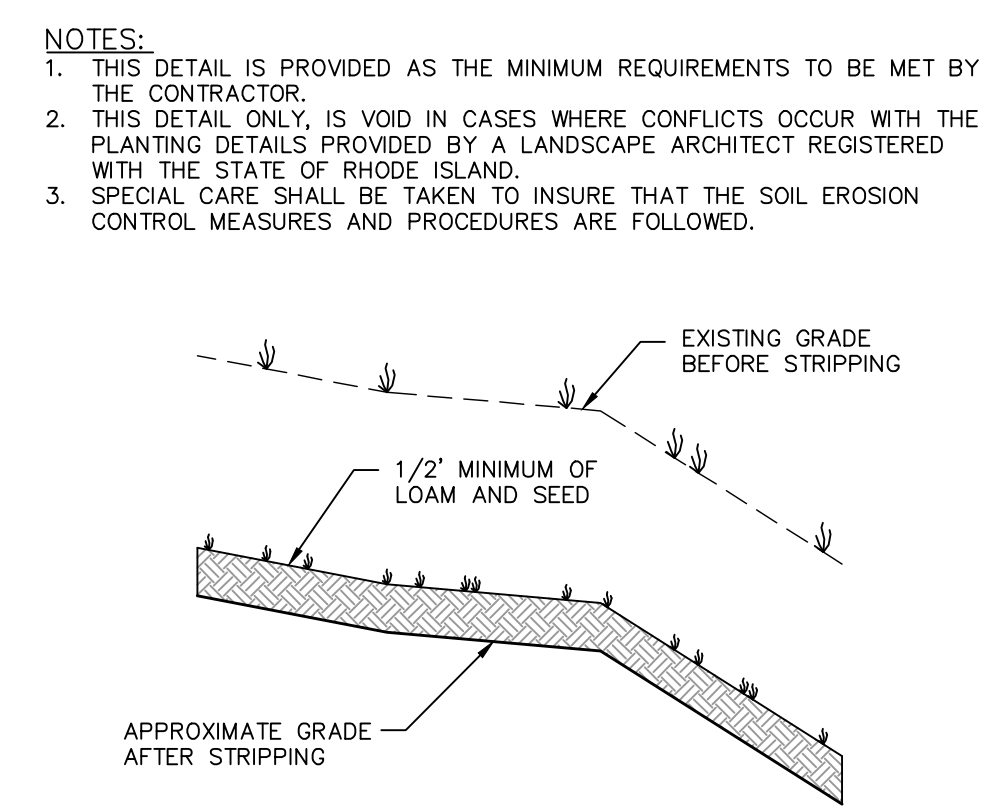
**NOTES:**

- SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
- WHEN AN OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP WILL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
- AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
- DRAINAGE FACILITIES ARE TO BE LOCATED UP-GRADE OF ALL WHEELCHAIR RAMPS.
- IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
- AN UNOBSTRUCTED PATH OF TRAVEL WITH A MINIMUM WIDTH OF 3'-0" SHALL BE MAINTAINED.
- THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS), MUST NOT EXCEED 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
- IN NO CASE, WHERE A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
- THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE ROADWAY.
- THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY, OPPOSITE THE RADIUS POINT WHEN POSSIBLE.
- MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
- ALL REQUIRED CUTTING OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
- MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.3.0.

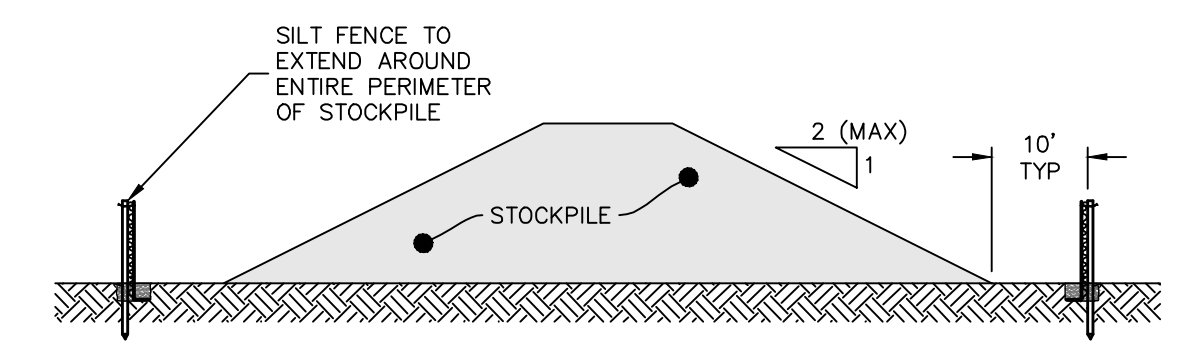
**Wheelchair Ramp (ADA) No Flares**  
NOT TO SCALE



**Construction Access**  
NOT TO SCALE



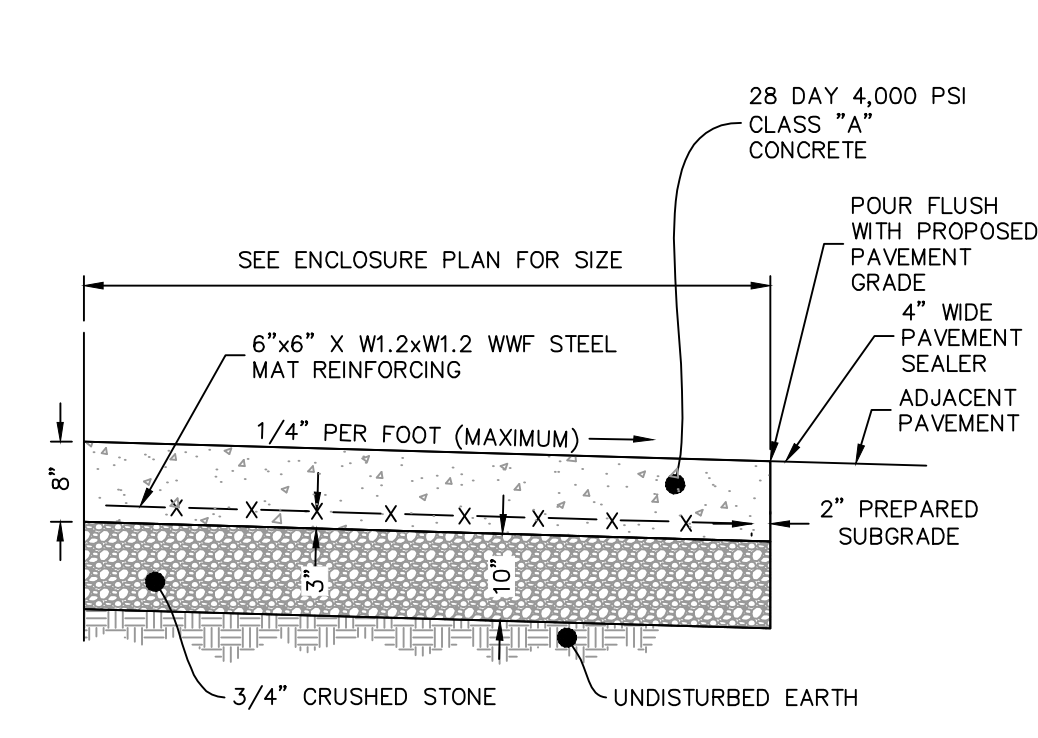
**Re-Establishment of Vegetative Cover (Area Of Topsoil Stripping)**  
NOT TO SCALE



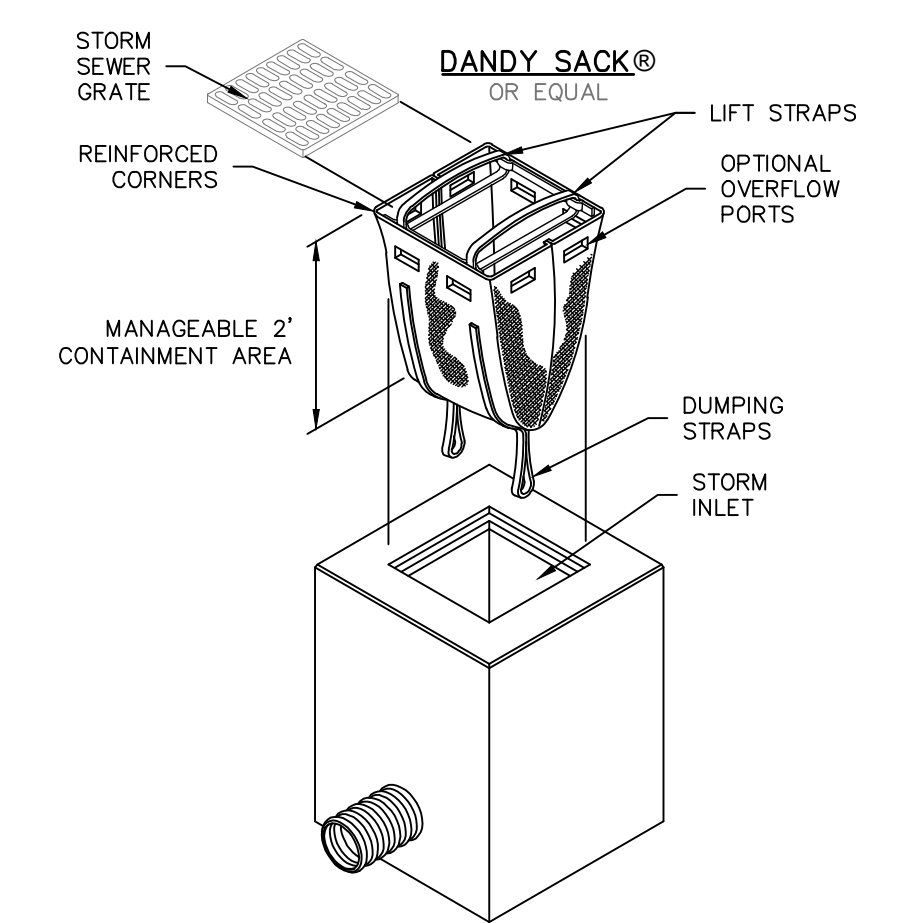
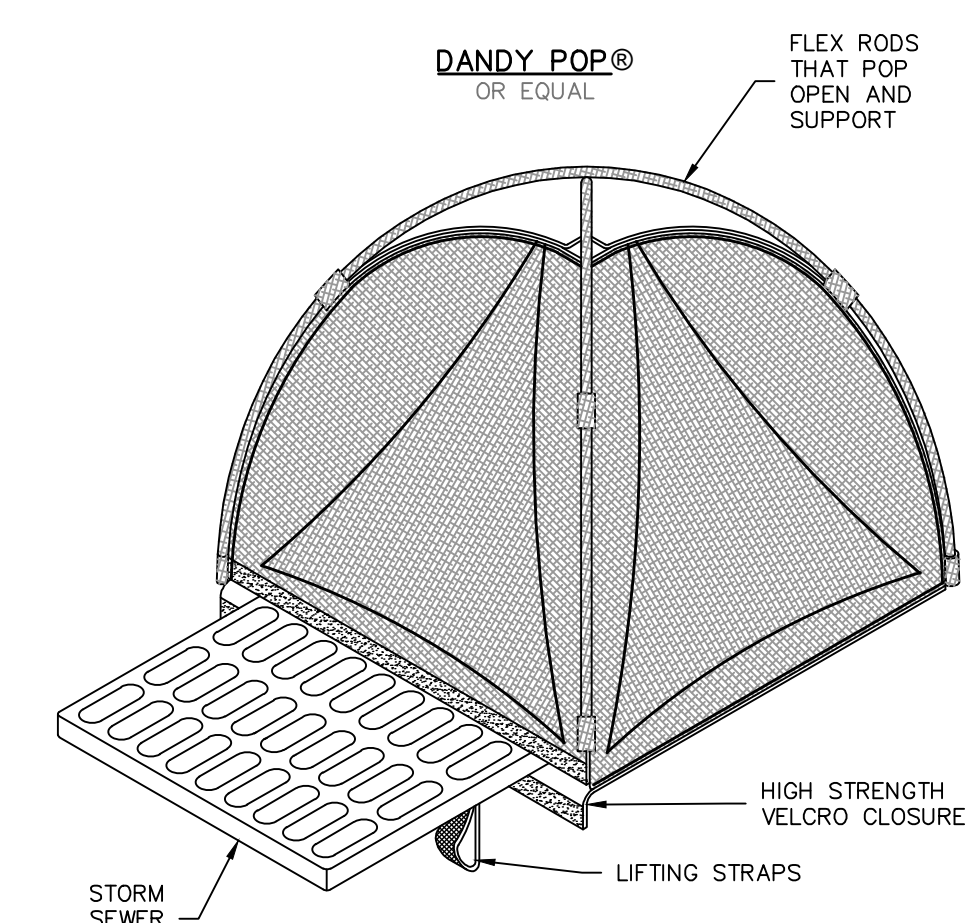
**NOTES:**

- ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 OF THE RISESCH OF THE RHODE ISLAND GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL (LATEST REVISION).
- DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
- SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
- STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2" OF RAINFALL. REPAIR/ REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
- SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

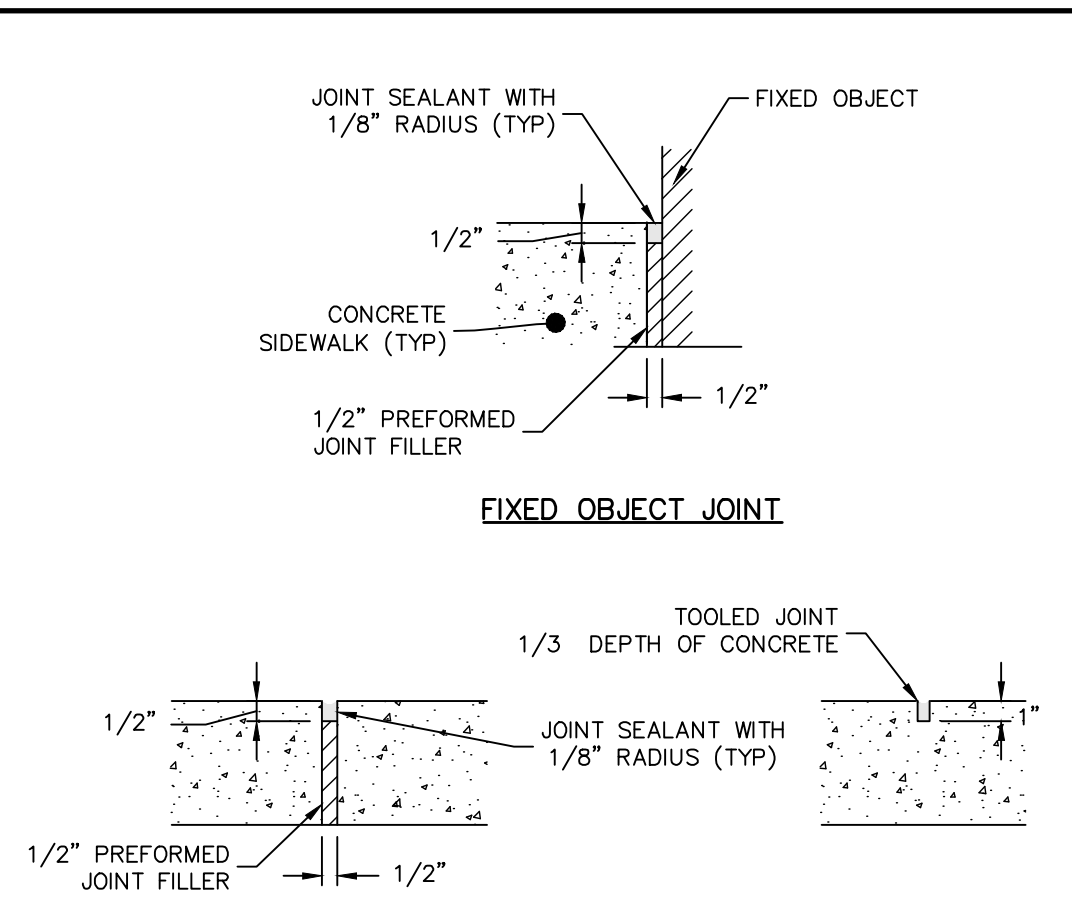
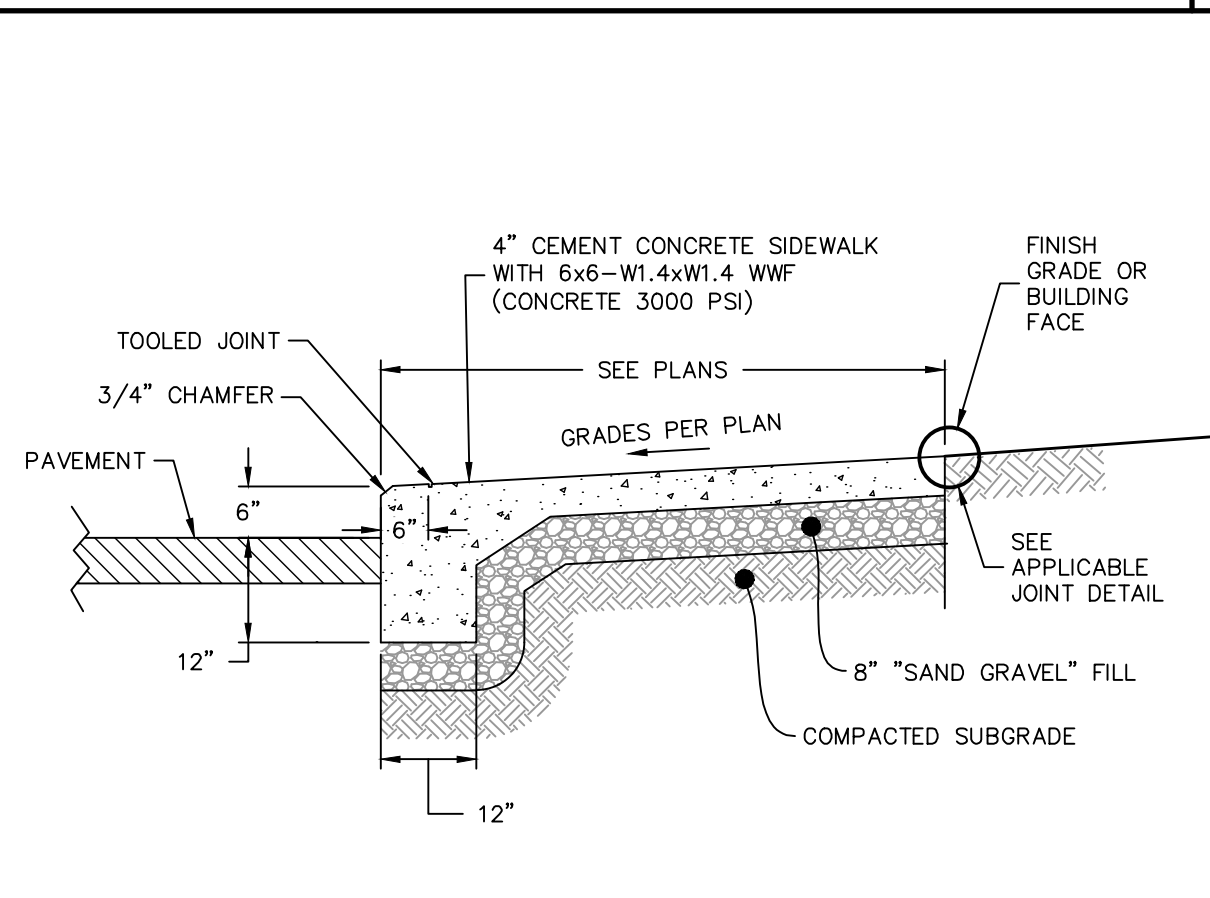
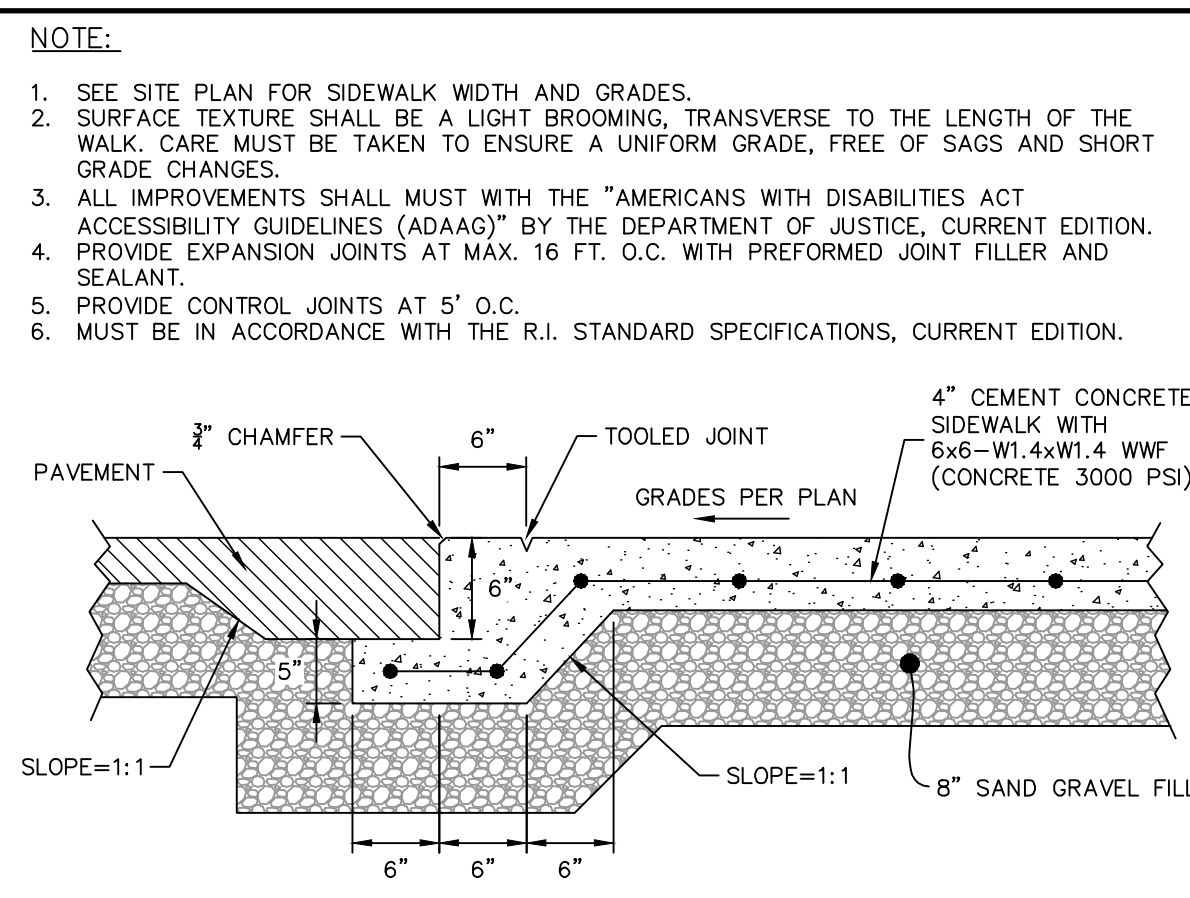
**Stockpile Protection**  
NOT TO SCALE



**Concrete Dumpster Pad**  
NOT TO SCALE



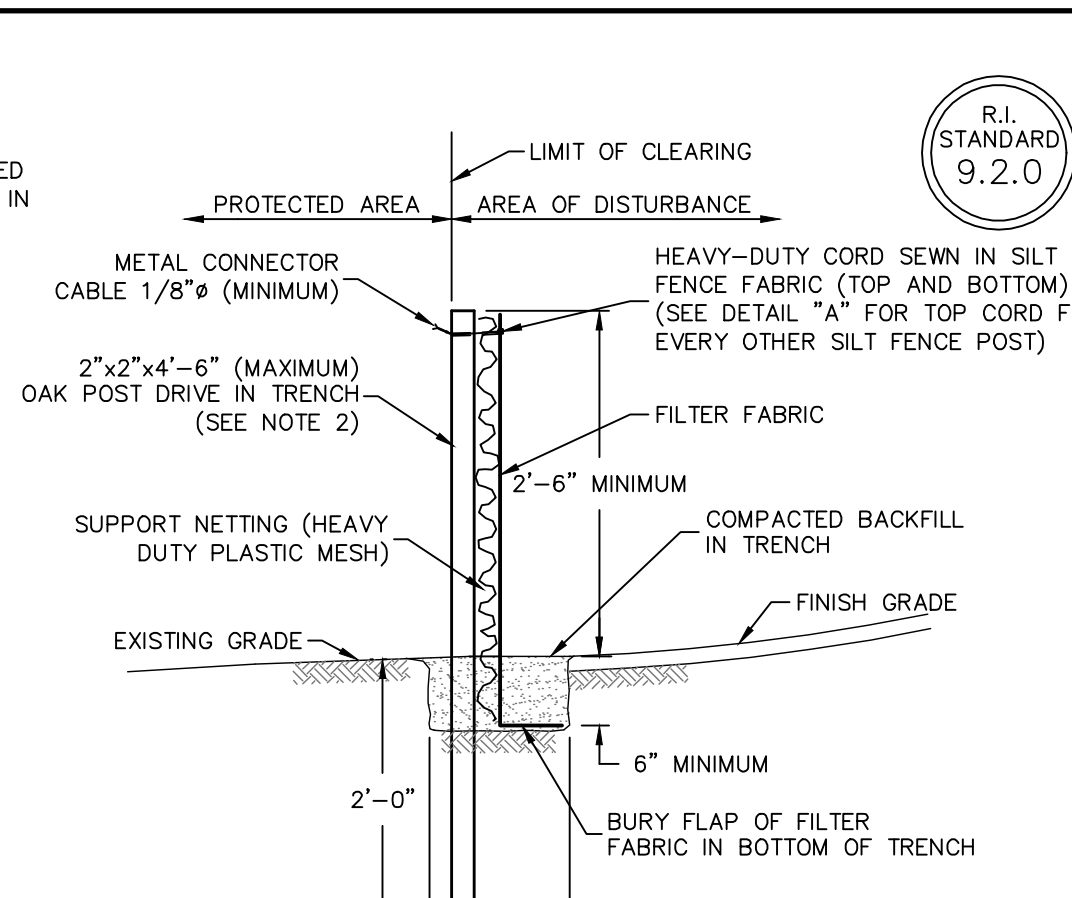
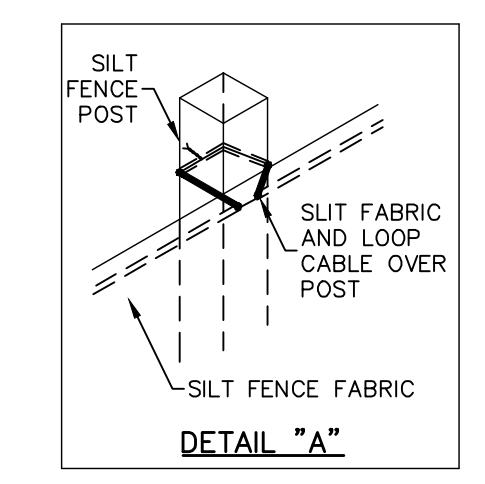
**Inlet Sediment Control Devices**  
NOT TO SCALE



**Expansion Joint**  
**Control Joint**

**NOTES:**

- SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE R.I. STANDARD SPECIFICATIONS.
- 2"x2"x4'-6" (MAXIMUM) OAK POSTS FOR SILT FENCE SHALL BE LOCATED 8'-0" (MAXIMUM) O.C. IN WETLAND AREAS AND 4'-0" (MAXIMUM) O.C. IN WETLAND RAVINE, GULLY OR DROP-OFF AREAS AS SHOWN ON PLANS.
- 1"x4'-4'-6" (MINIMUM) POSTS PERMITTED FOR PRE-FABRICATED SILT FENCE.
- SILT FENCE SHALL BE INSTALLED BEFORE ANY GRUBBING OR EARTH EXCAVATION TAKES PLACE.



**Silt Fence Detail**  
NOT TO SCALE

**JASON P. CLOUGH**  
No. 01010  
REGISTERED PROFESSIONAL ENGINEER CIVIL

This plan set must not be used for construction purposes unless stamped issued for construction and stamped by a registered professional engineer of Rhode Island.

The contractor is responsible for all of the means, methods, safety and quality of the work. The engineer's responsibility is limited to the implementation of this plan and design.

Engineer assumes no responsibility for damages incurred due to locations of existing utilities. See Utility Note on sheet 3.

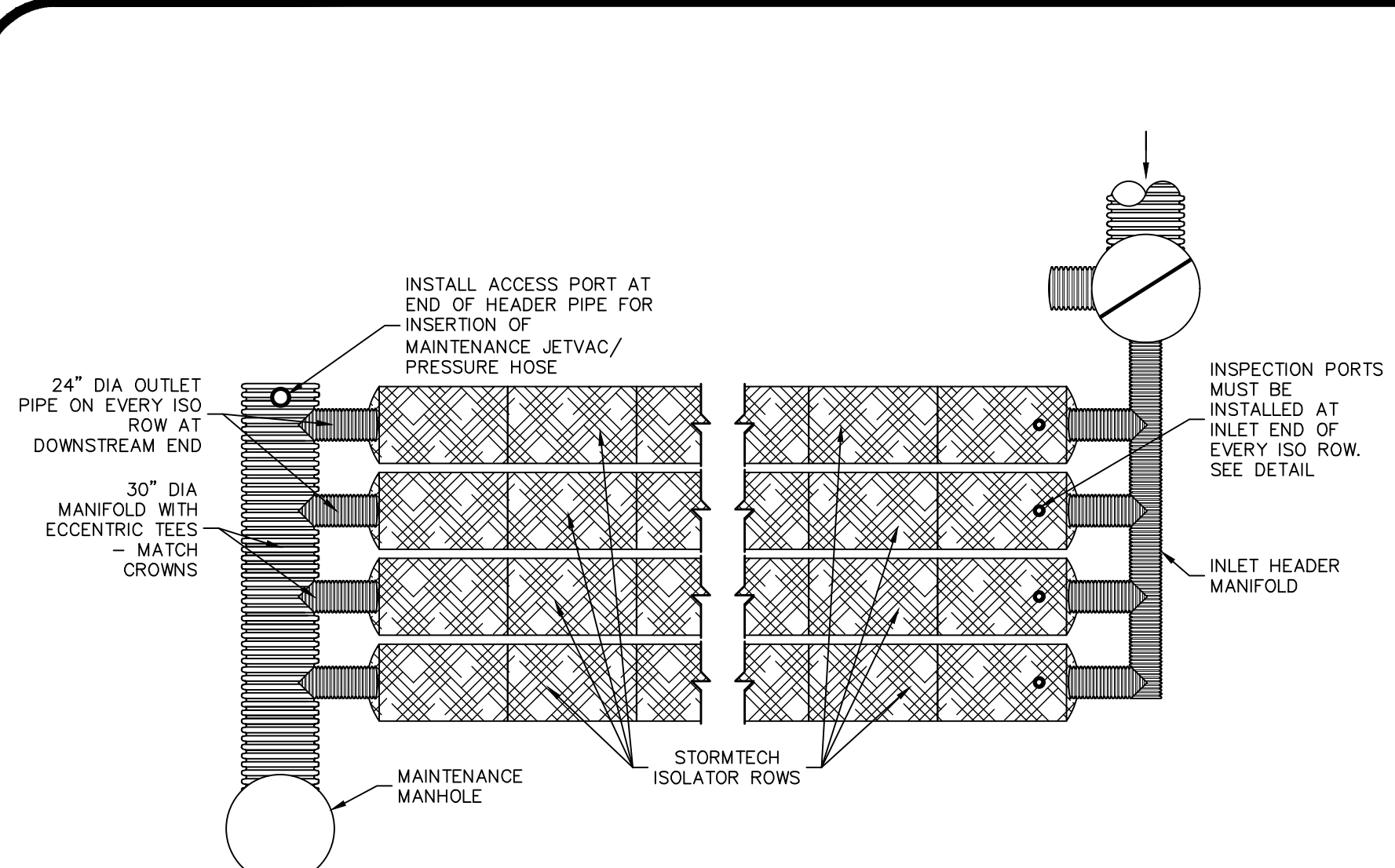
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2	11-15-2021	FINAL SUBMISSION	JAC	N.D.K.
3	11-15-2021	FINAL SUBMISSION	JAC	N.D.K.
4	11-15-2021	FINAL SUBMISSION	JAC	N.D.K.
5	11-15-2021	FINAL SUBMISSION	JAC	N.D.K.
6	11-15-2021	FINAL SUBMISSION	JAC	N.D.K.

**Detail Sheet - 1**

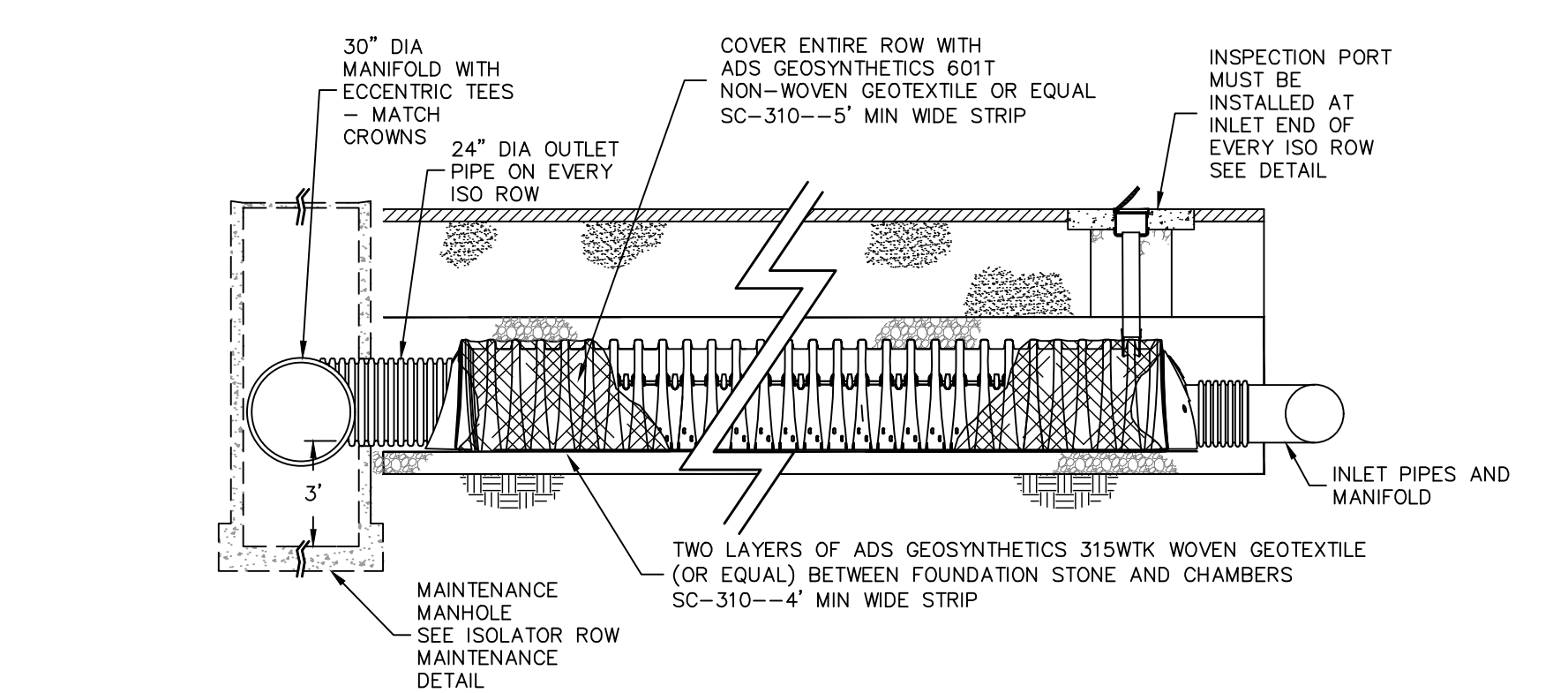
**1149 Division Street**  
Assessors Office, Lot 8  
Woonick, Rhode Island

Prepared for  
**TPG Dev Con**  
1140 Reservoir Avenue,  
Cranston, Rhode Island 02920

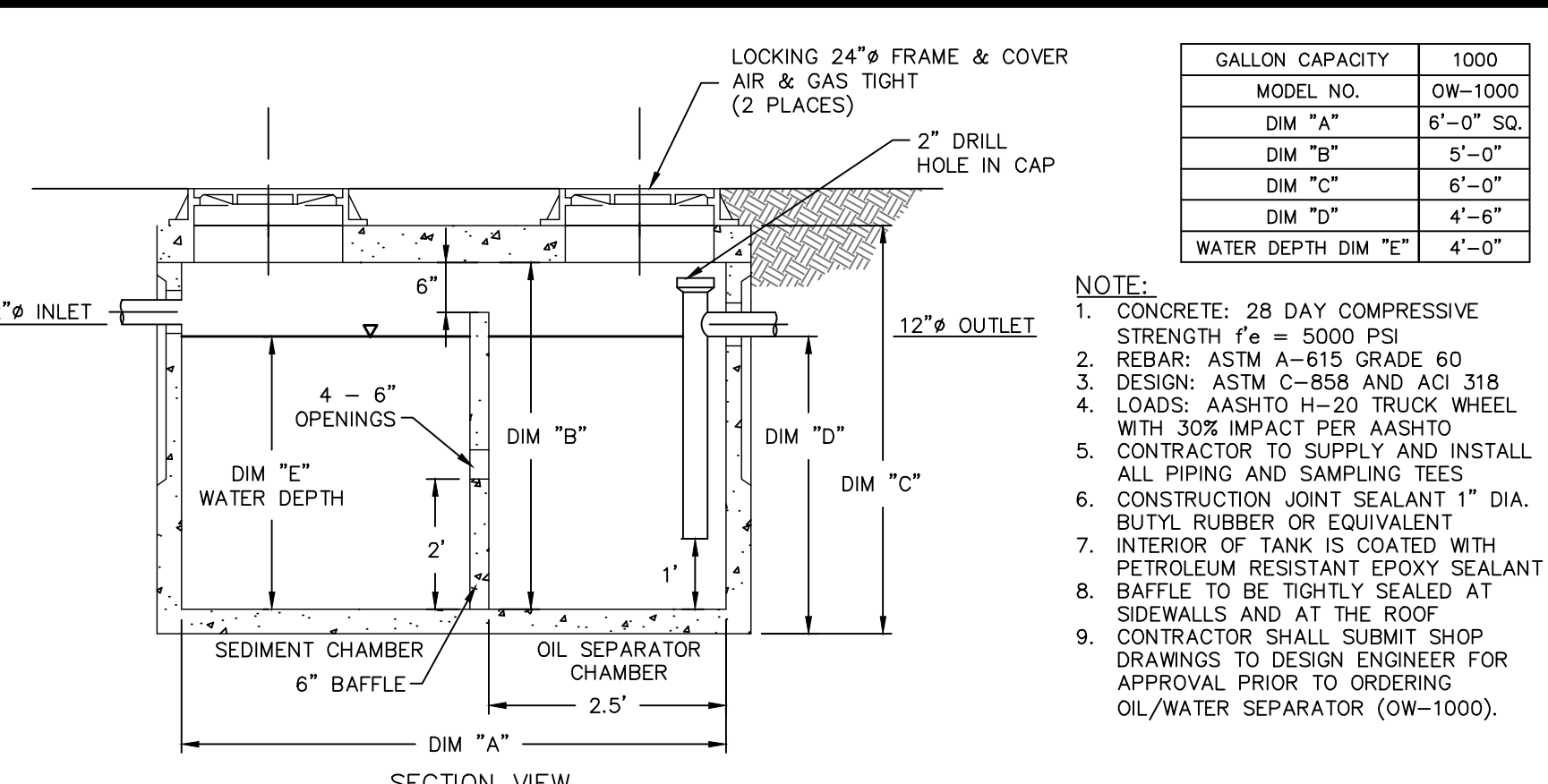
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**STORMTECH ISOLATOR ROW MAINTENANCE DETAIL**  
NOT TO SCALE



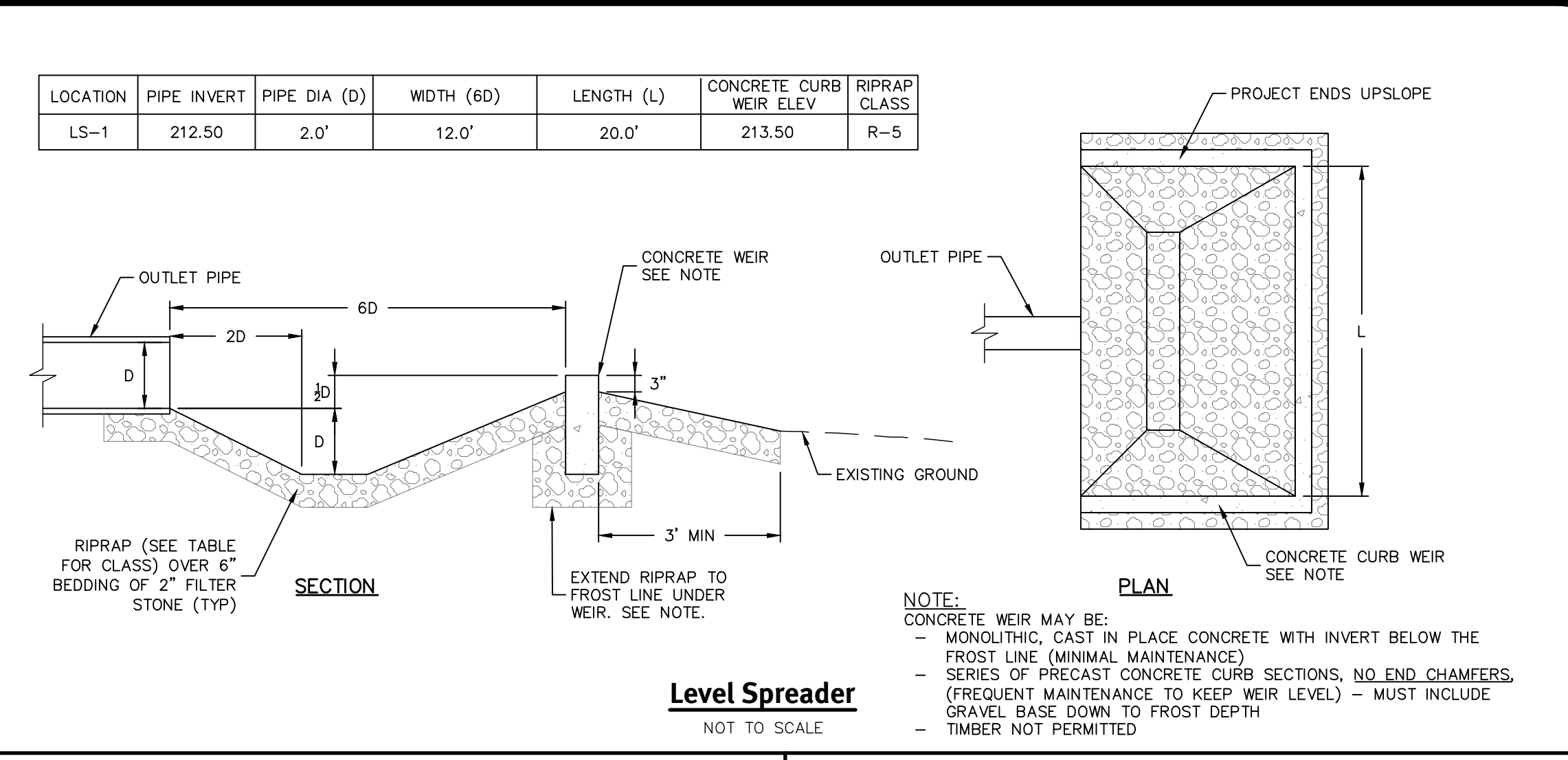
**STORMTECH ISOLATOR ROW DETAIL**  
NOT TO SCALE



**1,000 Gallon Oil/Water Separator  
(Old Castle Precast or Approved Equal)**

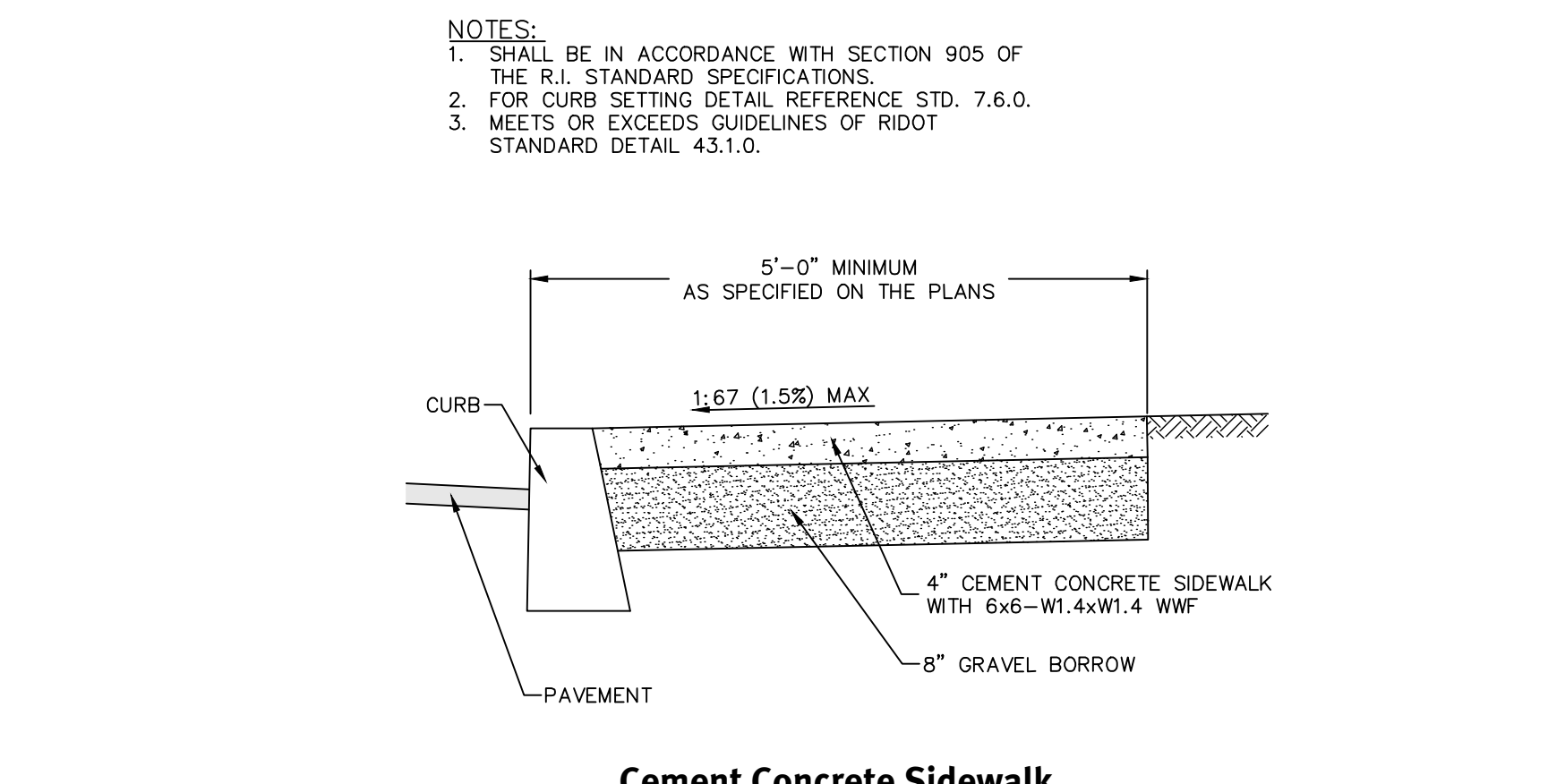
GALLON CAPACITY	1000
MODEL NO.	OW-1000
DIM "A"	6'-0" SQ.
DIM "B"	5'-0"
DIM "C"	6'-0"
DIM "D"	4'-6"
WATER DEPTH DIM "E"	4'-0"

- NOTE:
1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH  $f_c = 5000$  PSI
  2. REBAR: ASTM A-615 GRADE 60
  3. DESIGN: ASTM C-958 AND ACI 318
  4. LOADS: AASHTO H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
  5. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
  6. CONSTRUCTION JOINT SEALANT 1" DIA. BUTYL RUBBER OR EQUIVALENT
  7. INTERIOR OF TANK IS COATED WITH PETROLEUM RESISTANT EPOXY SEALANT
  8. BAFFLE TO BE TIGHTLY SEALED AT SIDEWALLS AND AT THE ROOF
  9. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO DESIGN ENGINEER FOR APPROVAL PRIOR TO ORDERING OIL/WATER SEPARATOR (OW-1000).



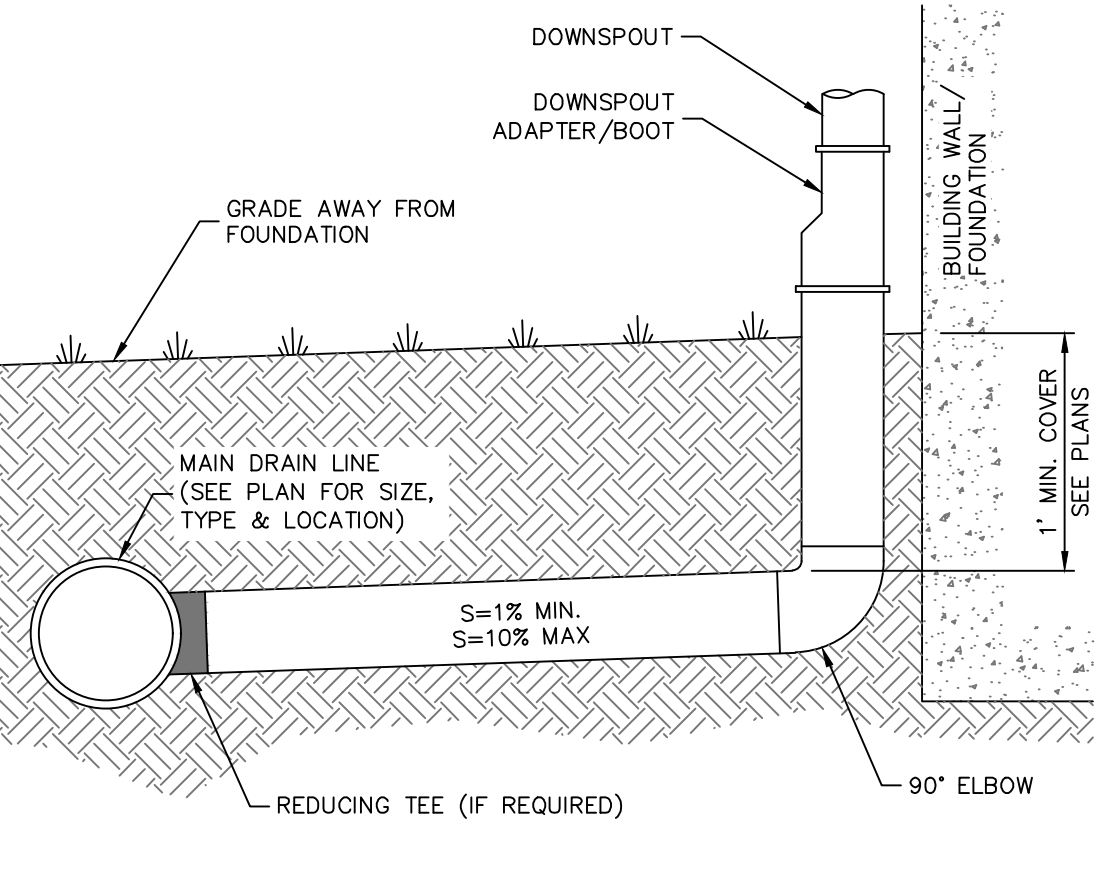
**Level Spreader**  
NOT TO SCALE

- NOTE:
- CONCRETE WEIR MAY BE:
    - MONOLITHIC, CAST IN PLACE CONCRETE WITH INVERT BELOW THE FROST LINE (MINIMAL MAINTENANCE)
    - SERIES OF PRECAST CONCRETE CURB SECTIONS, NO END CHAMBERS, (FREQUENT MAINTENANCE TO KEEP WEIR LEVEL) - MUST INCLUDE GRAVEL BASE DOWN TO FROST DEPTH
    - TIMBER NOT PERMITTED

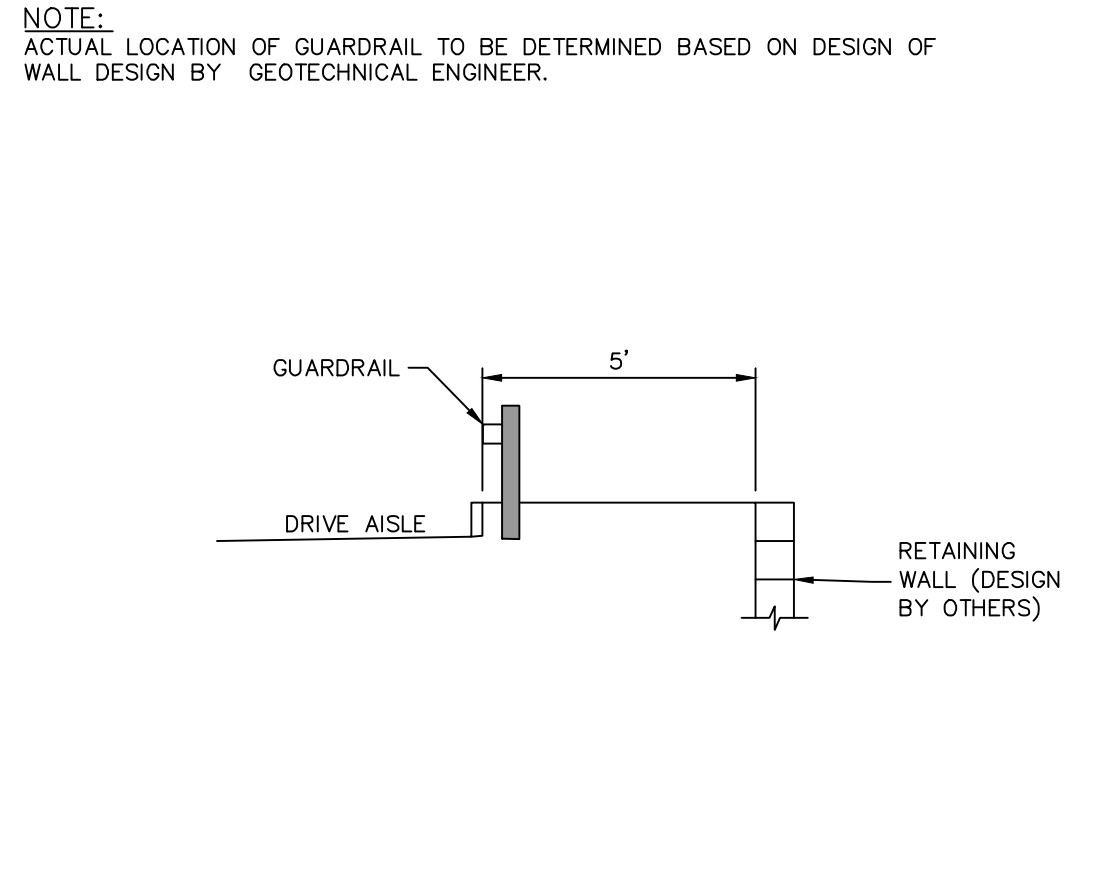


**Cement Concrete Sidewalk**  
NOT TO SCALE

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
  2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.
  3. MEETS OR EXCEEDS GUIDELINES OF RIDOT STANDARD DETAIL 43.1.0.



**Downspout Connection Detail**  
NOT TO SCALE



**Guardrail Offset Scenarios**  
NOT TO SCALE

- NOTE:
- ACTUAL LOCATION OF GUARDRAIL TO BE DETERMINED BASED ON DESIGN OF WALL DESIGN BY GEOTECHNICAL ENGINEER.

**STORMCEPTOR DESIGN NOTES**

THE STANDARD STC900 CONFIGURATION IS SHOWN.

**PLAN VIEW**  
TOP SLAB NOT SHOWN

**FRAME AND COVER**  
(MAY VARY)  
NOT TO SCALE

**SITE SPECIFIC DATA REQUIREMENTS**

STRUCTURE ID	
WATER QUALITY FLOW RATE (cfs [L/s])	
PEAK FLOW RATE (cfs [L/s])	
RETURN PERIOD OF PEAK FLOW (yrs)	
RIM ELEVATION	
PIPE DATA:	
INLET PIPE 1	INVERT MATERIAL DIAMETER
INLET PIPE 2	
OUTLET PIPE	
NOTES/SPECIAL REQUIREMENTS:	

**SECTION A-A**

**SECTION A-A**

**Stormceptor**

www.stormceptor.com

800-338-1122 513-645-7000 513-645-7993 FAX

STC900  
**STORMCEPTOR**  
STANDARD DETAIL

**INSTALLATION NOTES:**

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST ADDITION.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6" ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE Ø	MIN. TRENCH WIDTH
4"	21"
6"	23"
8"	26"
10"	28"
12"	30"
15"	34"
18"	39"

PIPE Ø	MIN. TRENCH WIDTH
24"	48"
30"	56"
36"	64"
42"	72"
48"	80"
60"	96"

**HDPE Trench Detail**  
NOT TO SCALE

**Pavement Tie-In Detail (City Roads)**  
NOT TO SCALE

**Typical Pavement Section**  
NOT TO SCALE

NOTE:  
THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.

**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
Tel: 401-913-1000 Fax: 401-641-6006 www.diprete-eng.com

Boston • Providence • Newport

No. 410

REGISTERED PROFESSIONAL ENGINEER CIVIL

JASON P. CLOUGH

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No.	Date	Description	By	Design By
1	11-19-2021	Preliminary Submission	J.P.C.	N.D.K.
2	11-19-2021	Final Submission	J.P.C.	N.D.K.
3	11-19-2021	Final Submission	J.P.C.	N.D.K.
4	11-19-2021	Final Submission	J.P.C.	N.D.K.
5	11-19-2021	Final Submission	J.P.C.	N.D.K.
6	11-19-2021	Final Submission	J.P.C.	N.D.K.

The contractor is responsible for all of the means, methods, materials, and workmanship in the construction of this project. The contractor shall be responsible for the design and construction of the project in accordance with the specifications and standards of the State of Rhode Island. The contractor shall be responsible for the design and construction of the project in accordance with the specifications and standards of the State of Rhode Island. The contractor shall be responsible for the design and construction of the project in accordance with the specifications and standards of the State of Rhode Island.

**Detail Sheet - 2**

**1149 Division Street**

Assessors Office, 1149 Division Street  
Woonick, Rhode Island

Prepared for  
**TPG Dev Con**

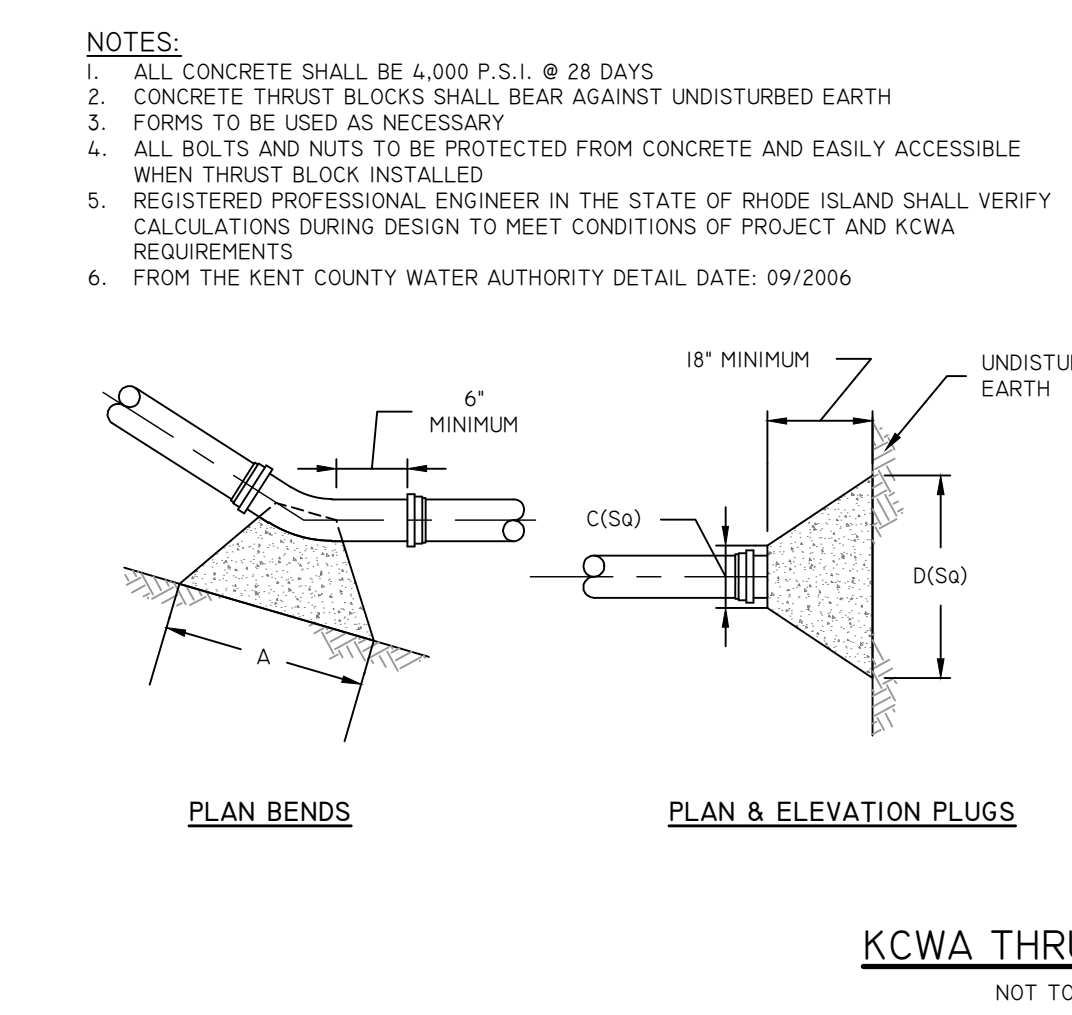
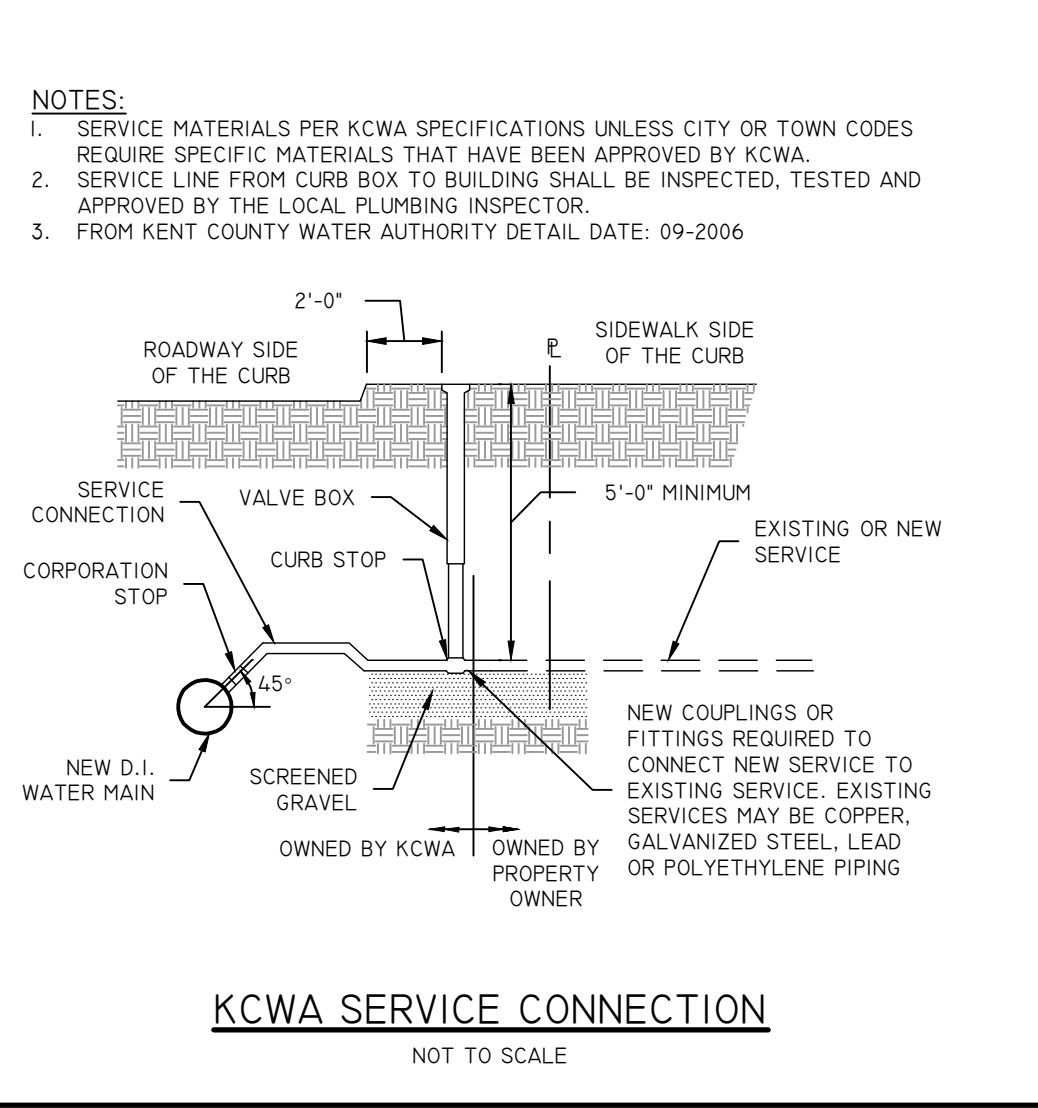
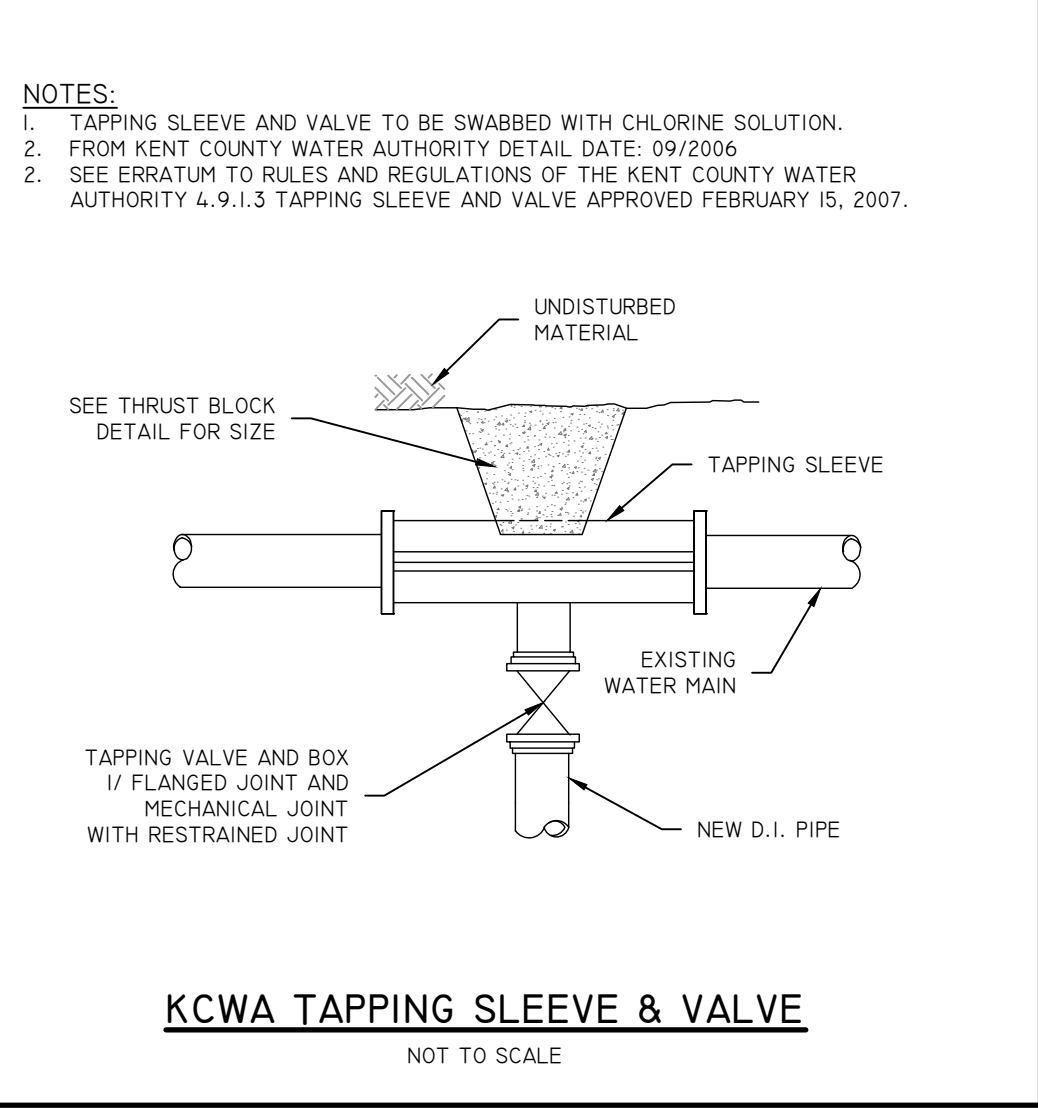
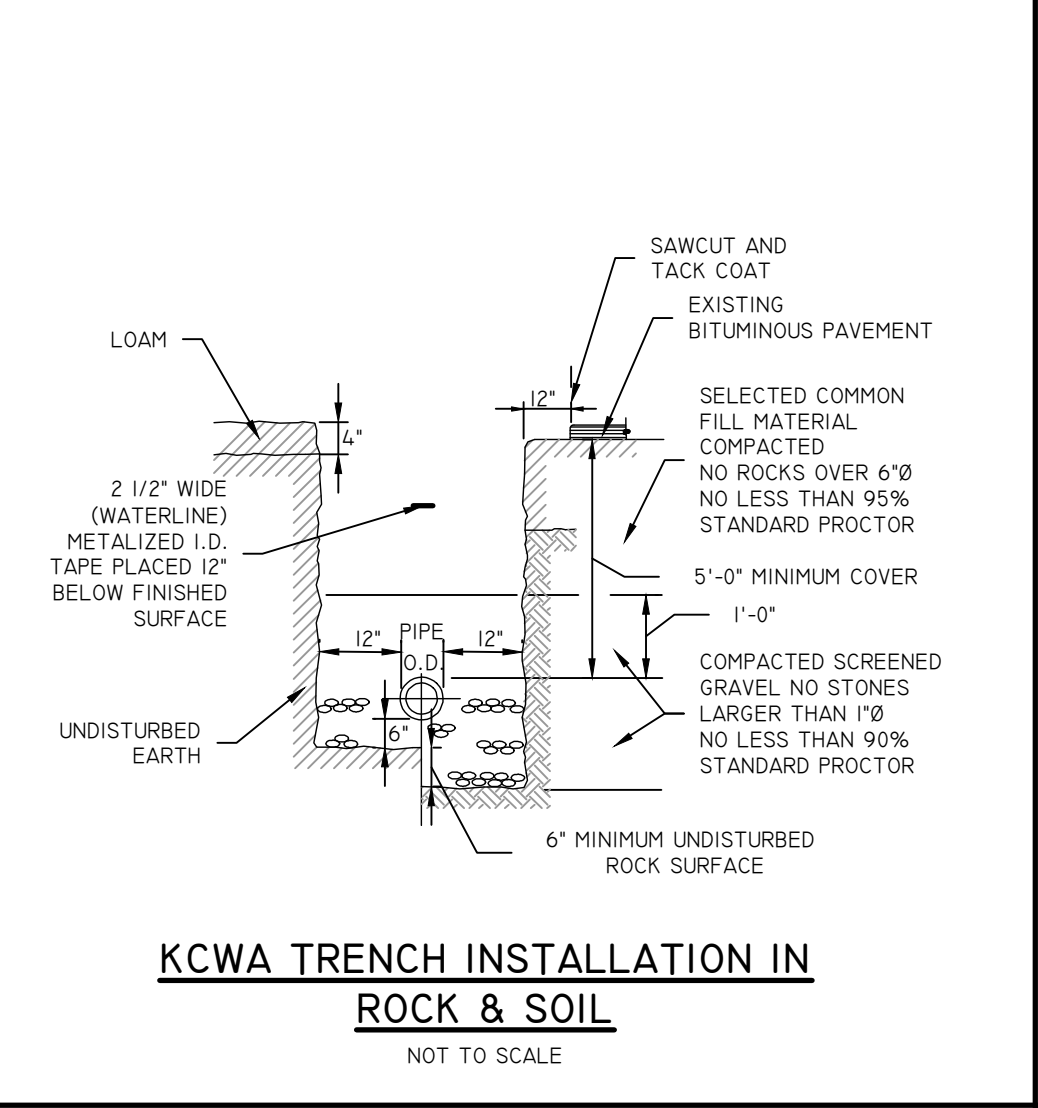
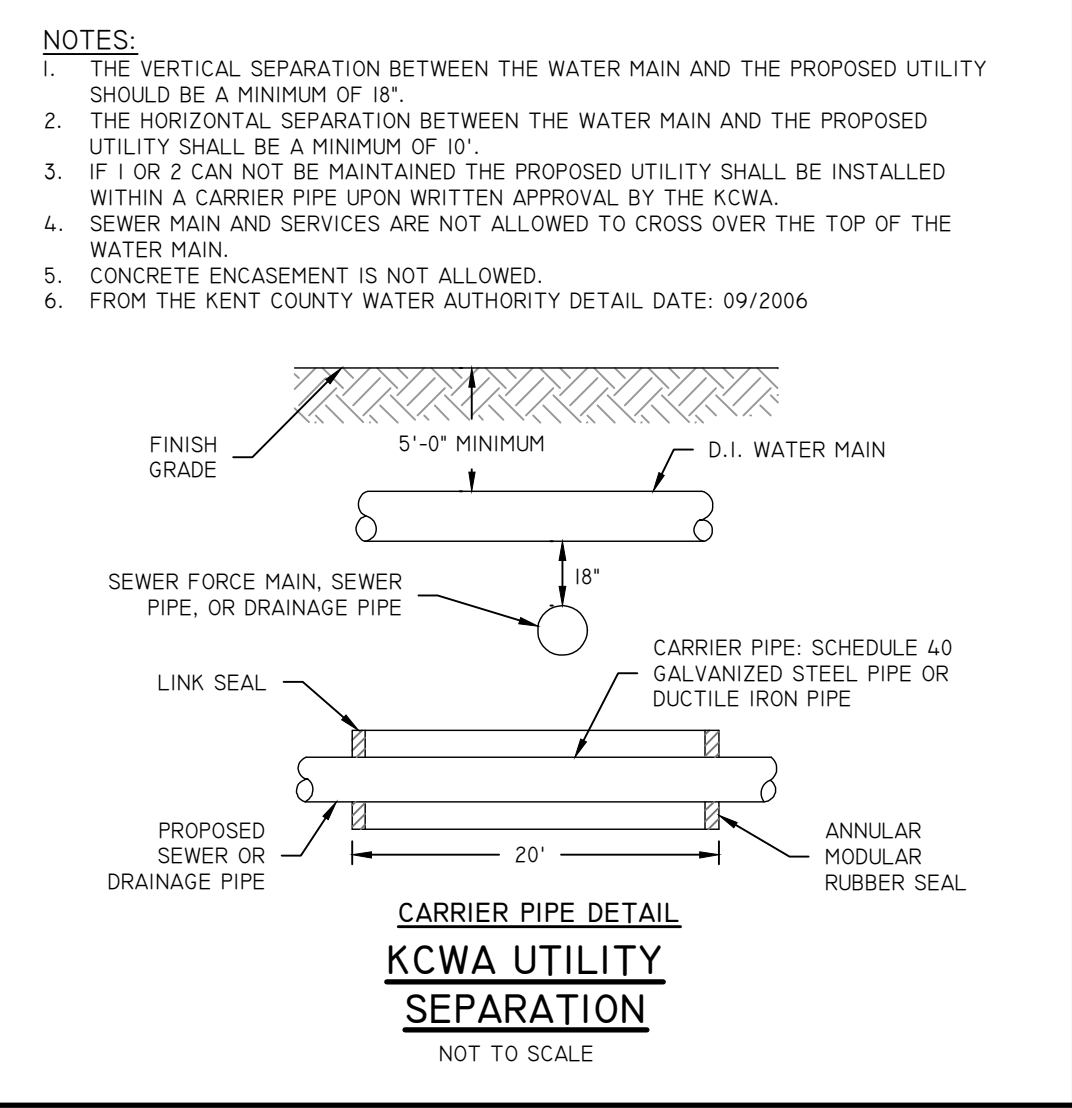
1140 Reservoir Avenue,  
Cranston, Rhode Island 02920

Design By: N.D.K.  
Drawn By: N.D.K.

SHEET **11** OF 15

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z:\deman\projects\0161-221-division-street\1149\autocad-drawings\0161-221-corr.dwg Plotted: 11/19/2021



SIZE	TEES				90° BEND		45° BEND		22.5° BEND		11.25° BEND	
	A	B	C	D	A	B	A	B	A	B	A	B
6"	20"	10"	10"	21"	24"	12"	18"	9"	13"	7"	9"	5"
8"	26"	13"	12"	26"	32"	16"	24"	12"	17"	9"	12"	6"
10"	34"	17"	14"	34"	40"	20"	30"	15"	22"	11"	15"	8"
12"	41"	20"	16"	41"	48"	24"	35"	18"	25"	13"	18"	9"
16"	54"	27"	20"	54"	64"	32"	47"	23"	34"	17"	24"	12"

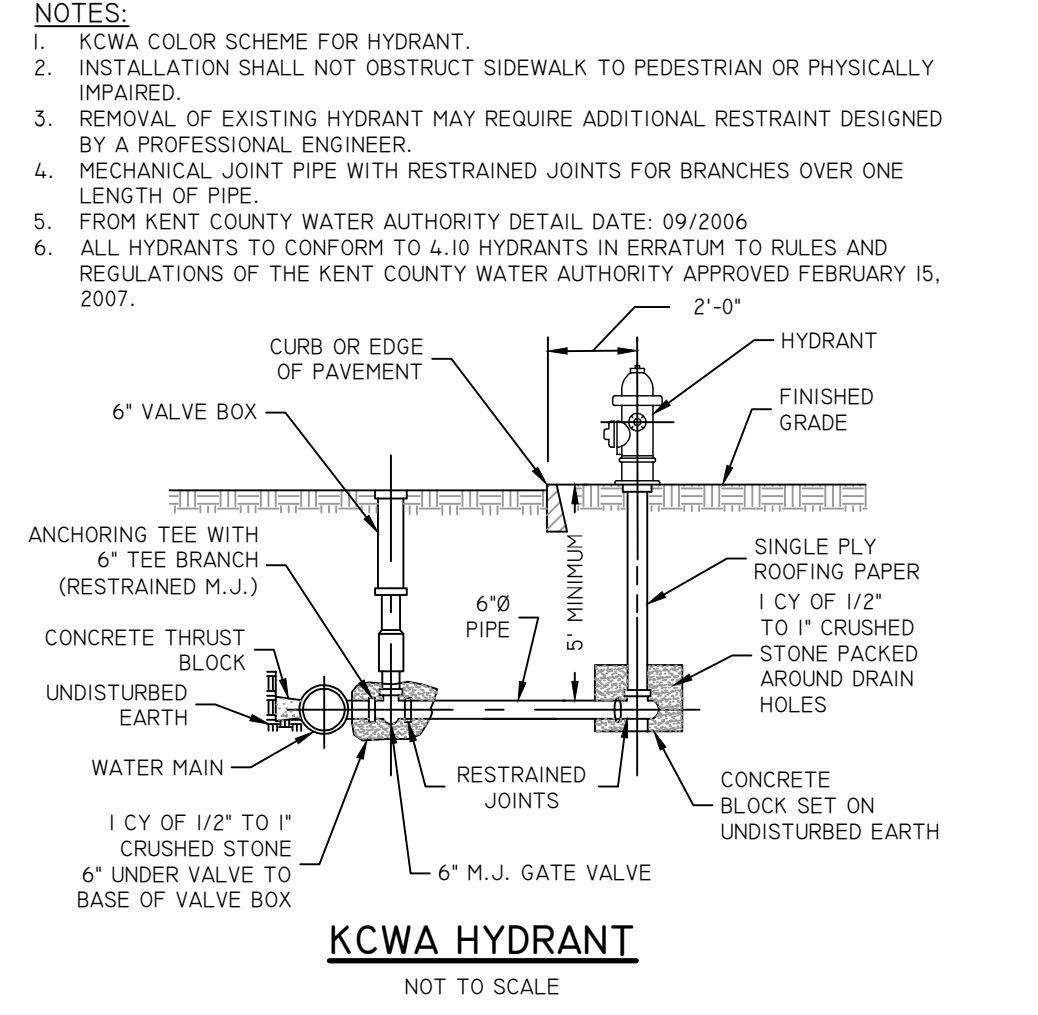
**KCWA WATER INSTALLATION NOTES**  
NOT TO SCALE

**KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS 3.14.6**  
A MINIMUM OF TEN-FOOT HORIZONTAL AND EIGHTEEN-INCH VERTICAL SEPARATION SHALL BE MAINTAINED IN THE PLACEMENT OF WATER MAINS, SERVICES OR APPURTENANCES WITHIN THE VICINITY OF SEWER FACILITIES OR VICE VERSA. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10-FOOT HORIZONTAL SEPARATION OR IN THE CASE OF CROSSING THE EIGHTEEN-INCH VERTICAL SEPARATION, A DEVIATION FROM THIS RESTRICTION MAY BE ALLOWED ON A CASE BY CASE BASIS WITH PRIOR APPROVAL FROM THE GENERAL MANAGER/CHIEF ENGINEER AS TO THE PROPOSED MATERIALS AND INTERVENTIONS TO BE TAKEN TO PROTECT THE WATER SYSTEM FROM THE POSSIBILITY OF CONTAMINATION.

**KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS 3.21.18**  
WATER MAINS SHALL BE LAID WITH A MINIMUM OF TEN-FOOT HORIZONTAL CLEARANCE FROM ANY EXISTING SEWER FACILITIES. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WATER MAINS CROSSING UNDER SEWERS SHALL BE FORBIDDEN. WATER MAINS CROSSING OVER SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF EIGHTEEN-INCHES BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. REALIGNMENT OF AN EXISTING WATER MAIN OR RELOCATION OF THE SEWER MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. THE GENERAL MANAGER/CHIEF ENGINEER MUST APPROVE ANY DEVIATION FROM THESE REQUIREMENTS. CONCRETE ENCASEMENT SHALL NOT BE ALLOWED IN THE DESIGN FOR SEWER AND WATER CROSSINGS.

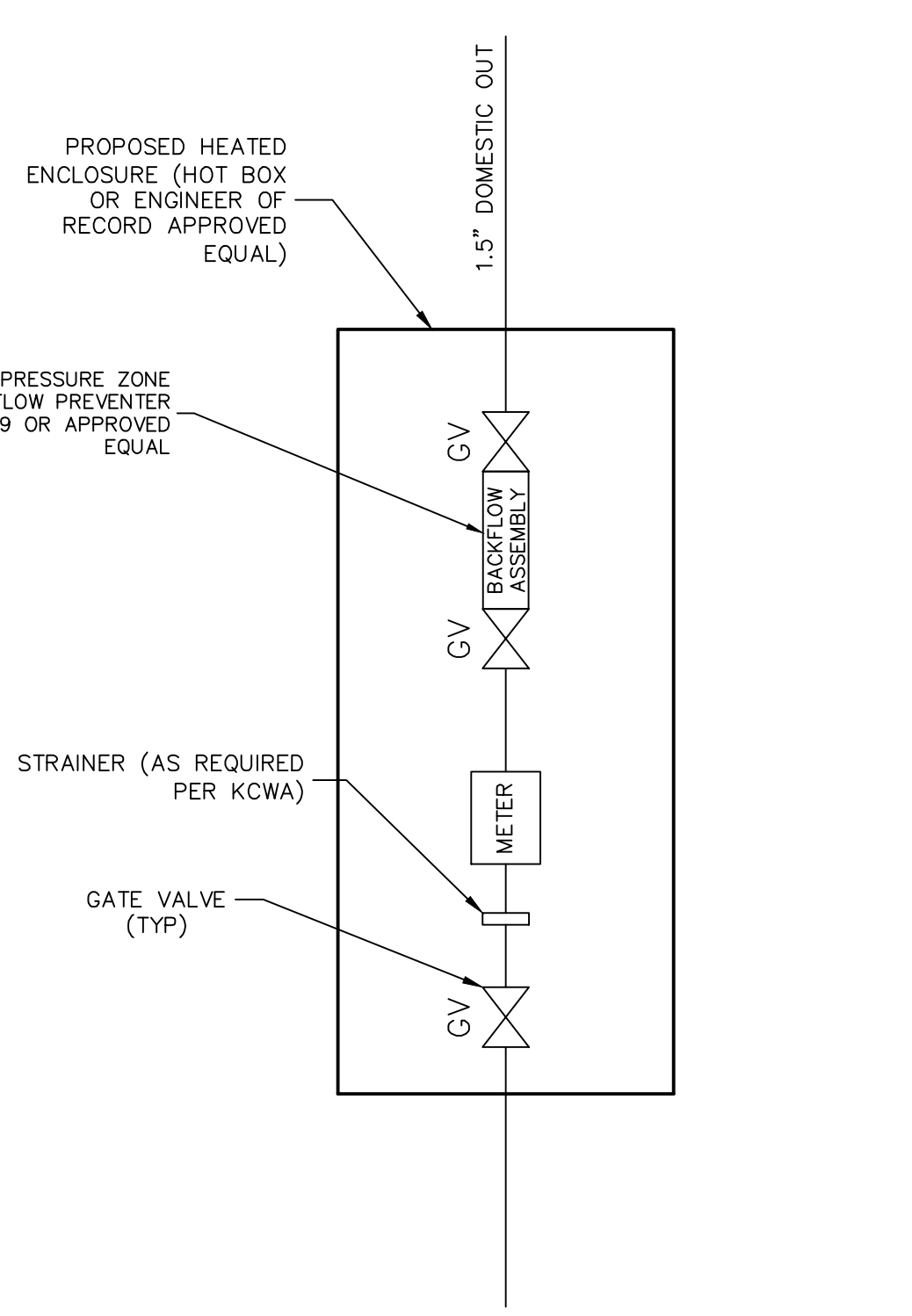
**KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS 3.21.18**  
WATER MAINS SHALL BE LAID WITH A MINIMUM OF TEN-FOOT HORIZONTAL CLEARANCE FROM ANY EXISTING SEWER FACILITIES. THE DISTANCE SHALL BE MEASURED EDGE TO EDGE. WATER MAINS CROSSING UNDER SEWERS SHALL BE FORBIDDEN. WATER MAINS CROSSING OVER SEWERS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF EIGHTEEN-INCHES BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. REALIGNMENT OF AN EXISTING WATER MAIN OR RELOCATION OF THE SEWER MAY BE NECESSARY TO ACHIEVE THIS VERTICAL SEPARATION. THE GENERAL MANAGER/CHIEF ENGINEER MUST APPROVE ANY DEVIATION FROM THESE REQUIREMENTS. CONCRETE ENCASEMENT SHALL NOT BE ALLOWED IN THE DESIGN FOR SEWER AND WATER CROSSINGS.

**SEWER LINE/WATER LINE SEPARATION POLICY**  
NOT TO SCALE



**METERING:**

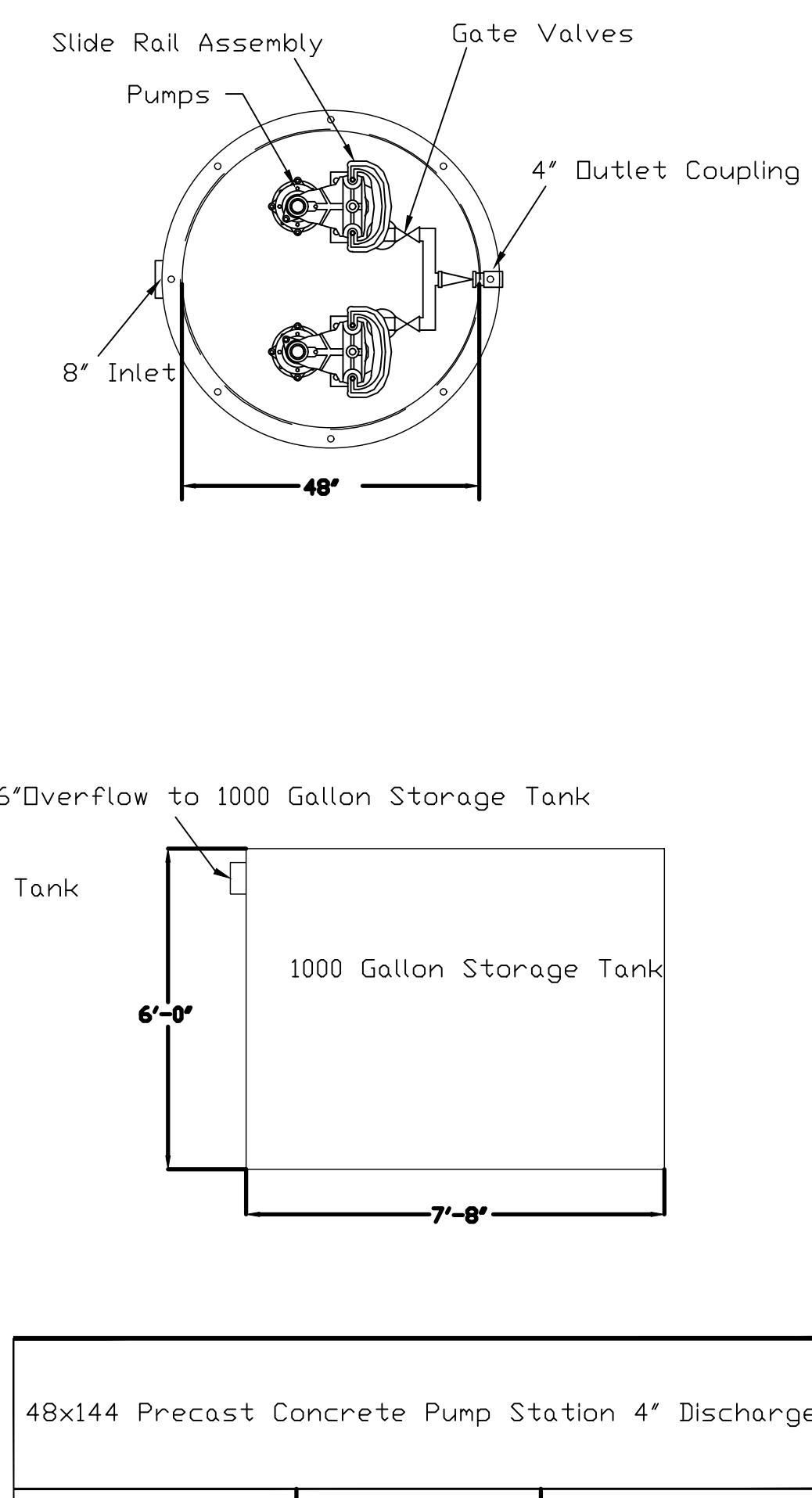
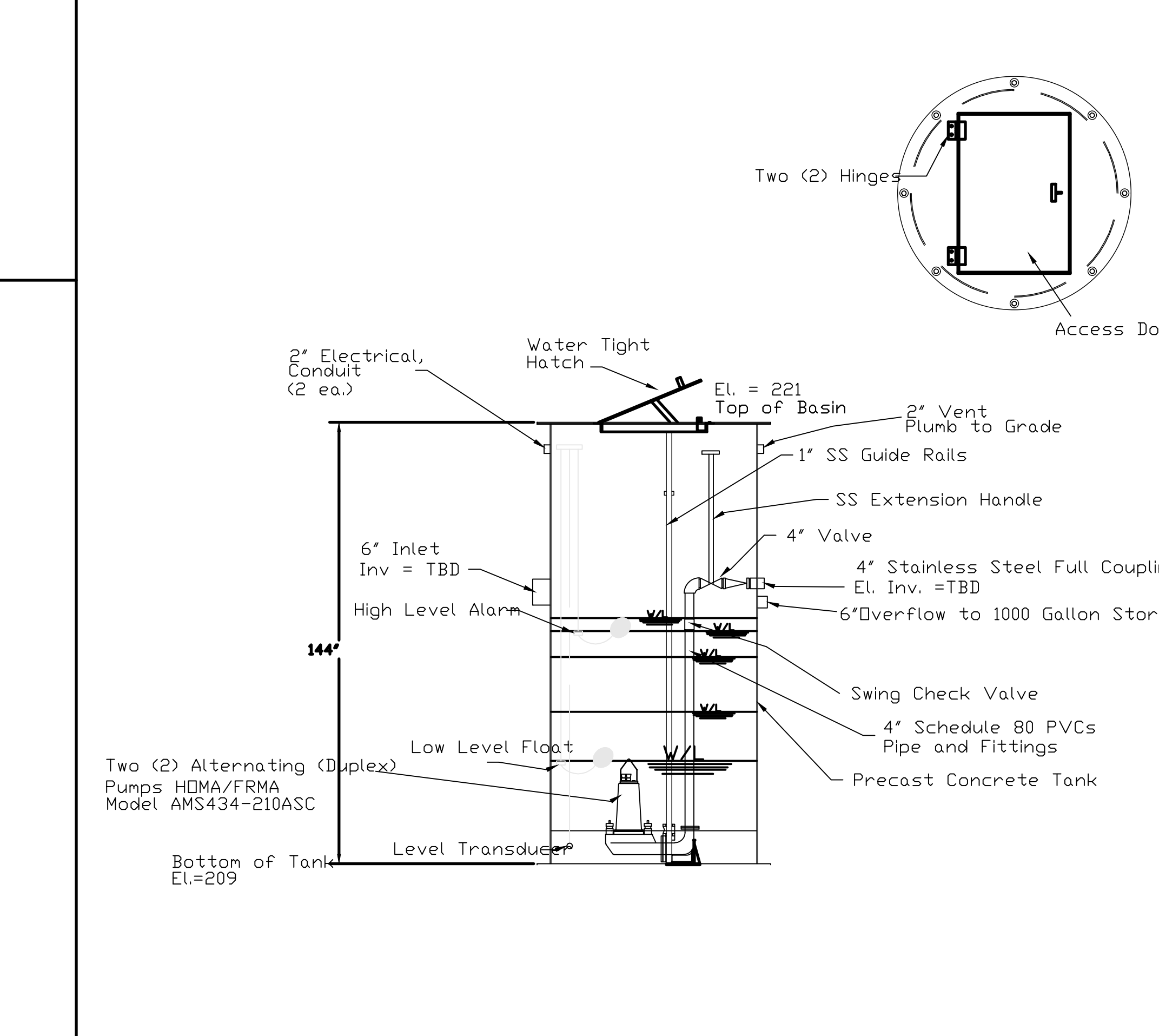
- METER MUST BE COMPATIBLE WITH RADIO READ SYSTEM EMPLOYED BY KENT COUNTY WATER AUTHORITY.
- ALL METERS TO READ IN CUBIC FEET.
- INFLUENT AND EFFLUENT VALVES SHALL BE PROVIDED BEFORE AND AFTER THE METER COUPLINGS. BALL VALVES ON EITHER SIDE OF BALL VALVE. CHECK VALVE COMBINATION WILL BE ACCEPTABLE.
- RADIO READ READING BOX SHALL BE MOUNTED IN AN ACCESSIBLE LOCATION.



ALL COMPONENTS OF THE WATER SYSTEMS AND ANY CROSSING UTILITIES MUST BE AS-BUILT PRIOR TO COVERING. ENGINEER TO BE NOTIFIED PRIOR TO COVERING TO SURVEY AS-BUILT LOCATIONS. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

**KCWA AS-BUILT NOTES**  
NOT TO SCALE

- INSTALLATION OF WATER MAIN AND SERVICE SHALL CONFORM TO THE "RULES AND REGULATIONS OF THE KENT COUNTY WATER AUTHORITY" SEPTEMBER 20, 2006, OR LATEST EDITION, AND IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION INSTALLATION MANUAL AND ANSI/AWWA C600.
- DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED, WITH PUSH ON JOINTS. PIPE SHALL MEET ANSI/AWWA C151 A21.51. JOINTS SHALL MEET ANSI/AWWA C111/A21.11.
- FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C153/A21.53. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C111/A21.11 AMERICAN MANUFACTURER ONLY.
- VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS  
A. MUELLER CORPORATION DOUBLE DISC PARALLEL SEAT.  
B. AMERICAN DARLING VALVE RESILIENT SEAT MODEL CRS-80.
- PRESSURE TEST OF THE WATER SYSTEM SHALL BE 1.5 TIMES THE MAXIMUM WORKING PRESSURE OR 150 PSI. NOTIFY KENT COUNTY WATER AUTHORITY 2 DAYS PRIOR TO TEST AS APPLICABLE.
- NOTIFY THE KENT COUNTY AUTHORITY 5 DAYS PRIOR TO CONSTRUCTION COMMENCEMENT.
- CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO SEC. 3.5 OF REQUIREMENTS FOR SERVICE AND MAIN INSTALLATION.
- NOTIFY ENGINEER PRIOR TO COVERING OF WATER SERVICE TO SURVEY AS-BUILT LOCATION AND TO COMPLETE REQUIRED AS-BUILT PLAN. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE CONTRACTOR.
- WATER SERVICE INSTALLATIONS GREATER THAN 200' MUST HAVE A METER PIT.
- TOTAL LENGTH OF WATER MAIN TO THE SHUT-OFF VALVE IS XX'
- TEMPORARY FLUSHING CONNECTIONS AND BLOW-OFFS SHALL BE SIZED TO PROVIDE 3.0-FOOT PER SECOND FLOW PER AWWA STANDARD 651
- CONTRACTOR RESPONSIBLE TO COORDINATE WITH PLUMBING OFFICIAL FOR DISINFECTION OF SERVICE PIPE EXTENDING FROM CURB BOX TO HOME PER STATE PLUMBING CODE AND KENT COUNTY WATER AUTHORITY REGULATIONS. WATER SERVICE CANNOT BE ACTIVATED WITHOUT COPY OF LAB RESULTS AND PLUMBING INSPECTOR'S VERIFICATION.
- PRESSURE-REDUCING VALVES ARE REQUIRED AT ALL BUILDINGS PER RI BUILDING CODE.



**Schematic Heated Enclosure For Water Meter & Backflow**  
NOT TO SCALE

**KCWA WATER INSTALLATION NOTES**  
NOT TO SCALE

**48x144 Precast Concrete Pump Station 4' Discharge**  
NOT TO SCALE

**DiPrete Engineering**  
Two Stafford Court Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-641-6006 www.diprete-eng.com

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**JASON P. CLOUGH**  
No. 01010  
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The contractor is responsible for all of the details, methods, safety, and quality of the work. DiPrete Engineering, Inc. is not responsible for any damage to existing utilities or other property.  
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No.	Date	Description	By	App'd
1	11-19-2021	Final Submission	J.P.C.	J.P.C.
2	11-19-2021	Final Submission	J.P.C.	J.P.C.
3	11-19-2021	Final Submission	J.P.C.	J.P.C.
4	11-19-2021	Final Submission	J.P.C.	J.P.C.
5	11-19-2021	Final Submission	J.P.C.	J.P.C.
6	11-19-2021	Final Submission	J.P.C.	J.P.C.

Drawn By: N.D.K. Design By: N.D.K.

**Detail Sheet - 3**  
**1149 Division Street**  
Assessors Office, 1149 Division Street  
Woonick, Rhode Island

**TPG Dev Con**  
1140 Reservoir Avenue,  
Cranston, Rhode Island 02920

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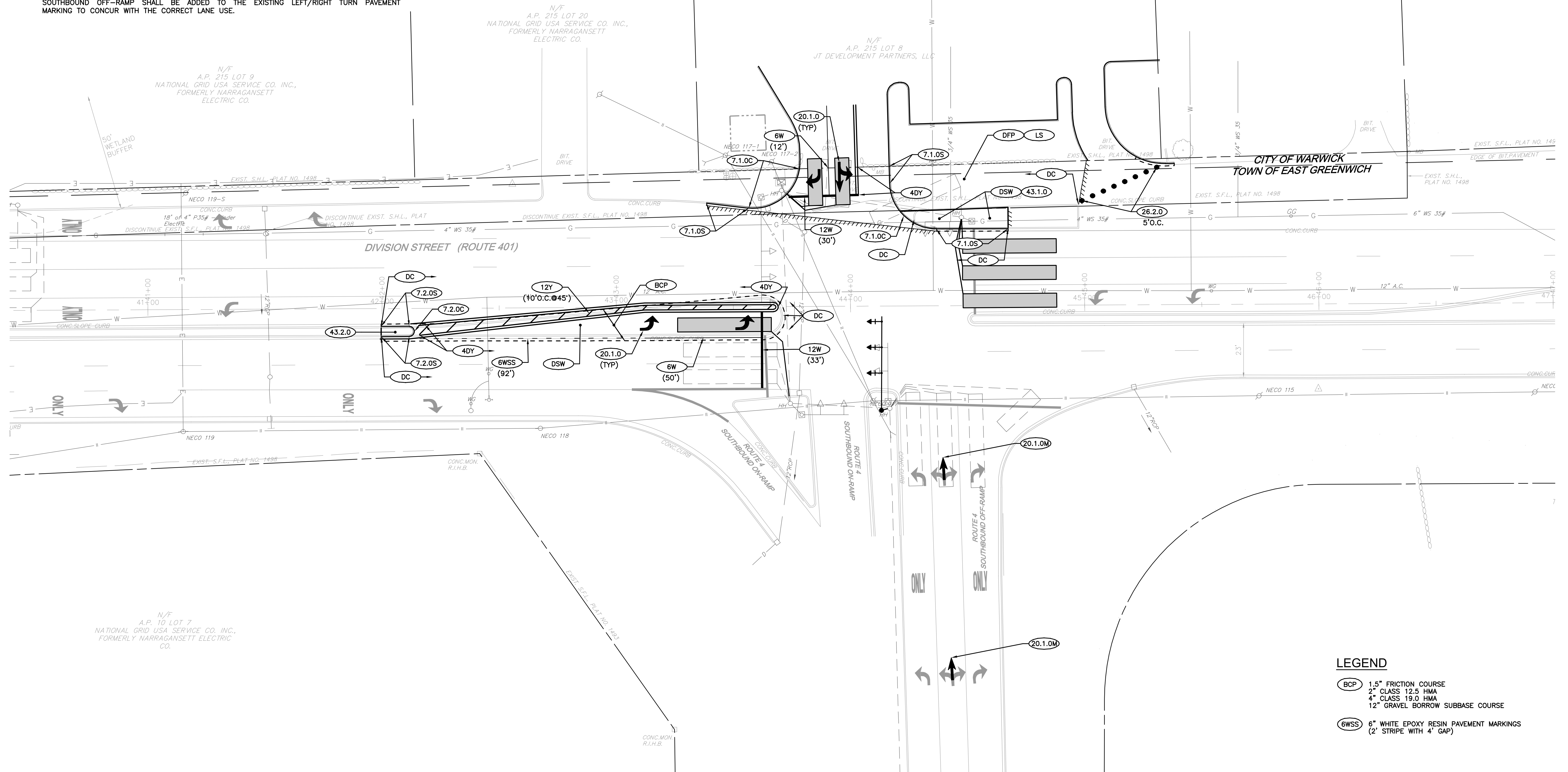
**Scale: NTS** **Drawn By: MTS** **Job No.**  
**Date: 9/21/2021** **App'd By:** **Plan No.**

**MAHONEY**  
Water Supply & Pollution Control Equipment  
273 Weymouth Street, Rockland, Massachusetts 02370

**SHEET 12 OF 15**

**CONSTRUCTION NOTE:**

1. THE INTERSECTION IMPROVEMENT PLAN IS PROVIDED AS PART OF THE PAP PLAN SET TO REPRESENT CONDITIONS THAT SHOULD BE CONSTRUCTED BY THE APPLICANT WHEN COMPLETING THE NEON MARKETPLACE SITE CONSTRUCTION (1149 DIVISION STREET, AP 125 LOT 8) IF THE RIDOT BRIDGE PROJECT (GROUP 58A - DIVISION STREET BRIDGE NO. 760 BRIDGE REPLACEMENT, RI CONTRACT NO. 2018-CB-088), IS NOT COMPLETE AND CONSTRUCTION ACCESS IS REQUIRED TO THE ADJACENT PROPERTY TO THE EAST. AT NO TIME SHALL CONSTRUCTION ACTIVITIES OR WORK WITHIN THE STATE HIGHWAY RIGHT-OF-WAY ASSOCIATED WITH THE NEON MARKETPLACE CONSTRUCTION OBSTRUCT OR INTERFERE WITH THE STATE CONTRACTOR'S ABILITY TO PASS AND REPASS ON THE ADJACENT LOT TO THE EAST OR INFRINGE ON PROPOSED TEMPORARY TRAFFIC CONTROL MEASURES BEING IMPLEMENTED FOR THE BRIDGE CONSTRUCTION PROJECT.  
  
IF THE RIDOT BRIDGE PROJECT IS COMPLETE IN ADVANCE OF THE NEON MARKETPLACE CONSTRUCTION, THE APPLICANT SHALL CONSTRUCT THE OFF-SITE IMPROVEMENTS AS SHOWN IN THIS PAP PLAN SET SHEETS 1-13.
2. THE PROPOSED STRAIGHT ARROW PAVEMENT MARKING ON THE MIDDLE LANE OF THE ROUTE 4 SOUTHBOUND OFF-RAMP SHALL BE ADDED TO THE EXISTING LEFT/RIGHT TURN PAVEMENT MARKING TO CONCUR WITH THE CORRECT LANE USE.



**LEGEND**

	1.5" FRICTION COURSE 2" CLASS 12.5 HMA 4" CLASS 19.0 HMA 12" GRAVEL BORROW SUBBASE COURSE
	6" WHITE EPOXY RESIN PAVEMENT MARKINGS (2' STRIPE WITH 4' GAP)

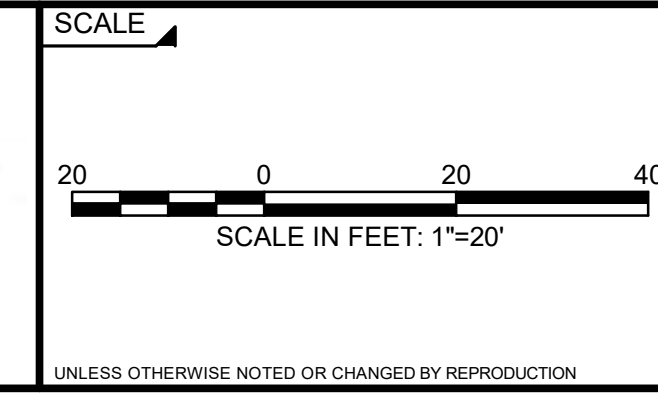
11/2/2021 12:22 PM N:\172005\7365 - NEON MARKETPLACE - DIVISION ROAD\DRAWING FILES\DESIGN PLAN\SI\PLAN SHEETS\INTERSECTION IMPROVEMENT PLAN.DWG (BETA STB BW.STB)

NUMBER	DATE	MADE BY	CHECKED BY	REVISIONS

DRAWN BY:	REGISTERED PROFESSIONAL	PREPARED BY:	IN ASSOCIATION WITH:
DESIGNED BY:			
CHECKED BY:			



**DiPrete Engineering**  
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PROJECT

**1149 Division Street**  
Assessor's Plat 125 Lot 8

WARWICK, RHODE ISLAND

TITLE

ROUTE 4 SOUTHBOUND RAMPS  
INTERSECTION IMPROVEMENT PLAN

SITE DRIVEWAY/ROUTE 4 SB RAMPS AT  
DIVISION ST. (ROUTE 401)

BETA JOB NO. 7365

ISSUE DATE: OCTOBER 13, 2021

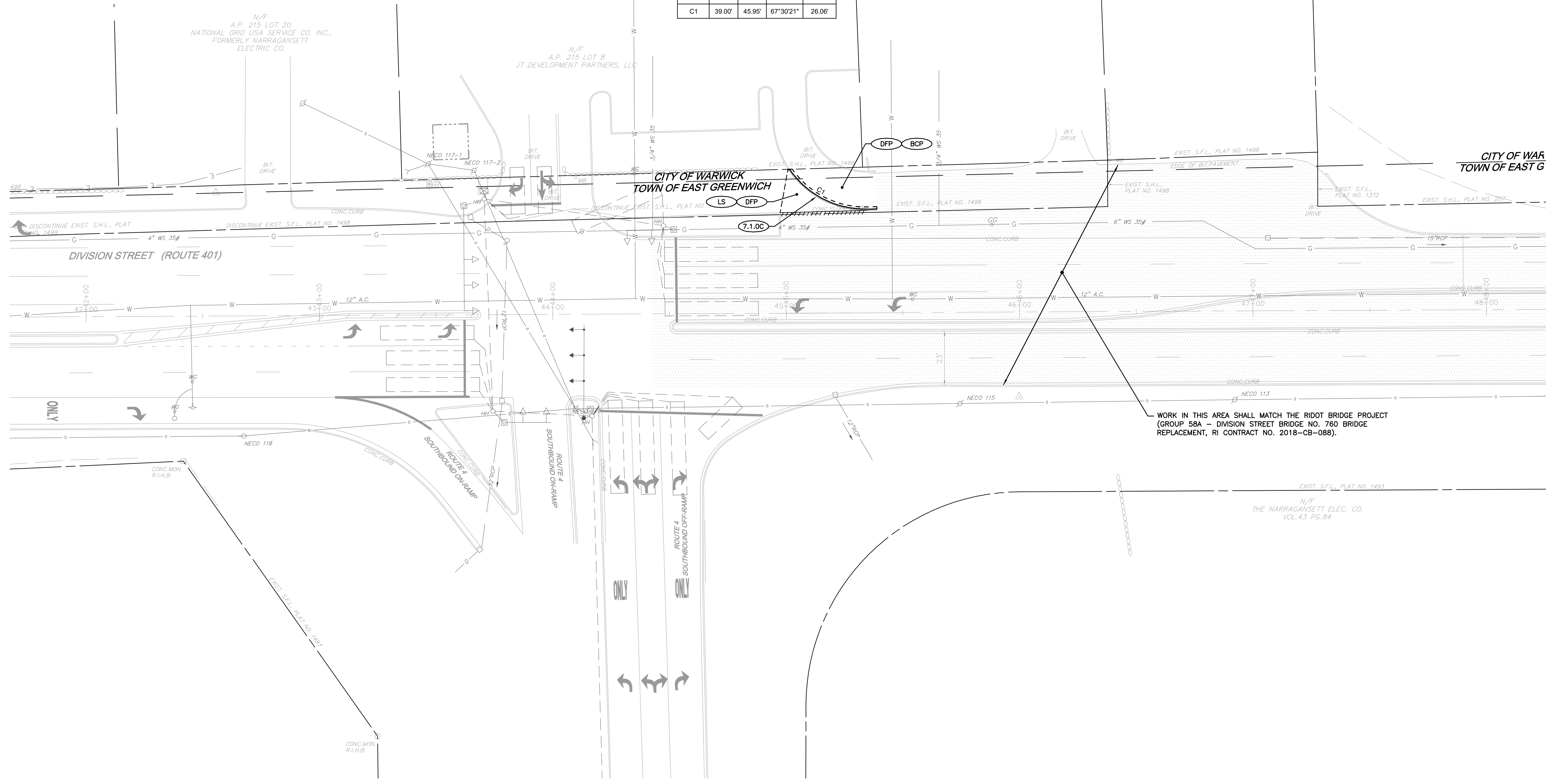
SHEET NO. 13 of 15



**CONSTRUCTION NOTE:**

THE RIDOT CONSTRUCTION PLAN IS PROVIDED TO THE RIDOT AS PART OF THIS PAP PLAN SET TO REPRESENT CONDITIONS THAT SHOULD BE CONSTRUCTED BY THE RIDOT CONTRACTOR IN PLACE OF THE APPLICABLE RECORD PLANS FOR THE RIDOT BRIDGE PROJECT (GROUP 58A - DIVISION STREET BRIDGE NO. 760 BRIDGE REPLACEMENT, RI CONTRACT NO. 2018-CB-088). THIS PLAN DEFINES THE REQUIRED RESTORATION OF THIS AREA IF THE RIDOT BRIDGE PROJECT IS COMPLETED SUBSEQUENT TO THE NEON MARKETPLACE CONSTRUCTION (1149 DIVISION STREET, AP 125 LOT 8) BEING COMPLETE AND BUSINESS OPERATING. THE PLAN SUPERSEDES THE RIDOT CONTRACT DRAWINGS AND DEPICTS FINAL CONDITIONS FOR DIVISION STREET AND THE NEON MARKETPLACE SITE ACCESS. THE STATE'S CONTRACTOR SHALL CONSTRUCT THE CURBING, PAVEMENT, SIGNAGE AND PAVEMENT MARKING ITEMS THAT WERE OMITTED UNDER THE ORIGINAL SITE CONSTRUCTION TO AVOID CONFLICTS WITH THE RIDOT BRIDGE PROJECT.

Curve Table				
Curve #	Radius	Length	Delta	Tangent
C1	39.00'	45.95'	67°30'21"	26.06'



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NUMBER	DATE	MADE BY	CHECKED BY	REVISIONS

DRAWN BY:  
DESIGNED BY:  
CHECKED BY:

REGISTERED PROFESSIONAL PREPARED BY




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SCALE



SCALE IN FEET: 1"=20'

UNLESS OTHERWISE NOTED OR CHANGED BY REPRODUCTION

PROJECT

**1149 Division Street**  
Assessor's Plat 125 Lot 8

**WARWICK, RHODE ISLAND**

TITLE

**ROUTE 4 SOUTHBOUND RAMPS**  
RIDOT CONSTRUCTION PLAN

SITE DRIVEWAY/ROUTE 4 SB RAMPS AT  
DIVISION ST. (ROUTE 401)

BETA JOB NO. 7365

ISSUE DATE OCTOBER 13, 2021

SHEET NO. 15 of 15