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PROJECT TITLE:
PROPOSED PET LODGE and FUTURE VETERINARY HOSPITAL
 ASSESSOR'S PLAT 268, LOT 305
 ZONING DISTRICT GI
 GENERAL INDUSTRIAL DISTRICT
 JEFFERSON BOULEVARD and WILLIAMSBURG DRIVE
 WARWICK, RHODE ISLAND

PREPARED FOR:
CARLOS GUTIERREZ
 24 MALLARD WAY
 EAST GREENWICH, RI
 02818

DRAWING TITLE:
PROPOSED AERIAL MAP

DATE: JULY 2022 SCALE: 1"=60'
 DWG. NAME: 2679-05-PR-AERIAL.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	CITY COMMENTS	9-6-22
2	DRIVEWAY	12-12-22

DRAWING NUMBER
C4
 SHEET: 5 OF 8

WARWICK ZONING REQUIREMENTS

ZONING DISTRICT: GI - GENERAL INDUSTRIAL		
PERMITTED USE - VETERINARY ESTABLISHMENT AND KENNEL		
MINIMUM LOT REQUIREMENTS	REQUIRED	PROVIDED
MINIMUM LOT AREA	6,000 S.F.	417,972 S.F.
MINIMUM LOT FRONTAGE	60'	905.99'
MINIMUM LOT WIDTH	60'	930.56'
SETBACK REQUIREMENTS		
FRONT	25'	45'
CORNER YARD	25'	N/A
SIDE YARD SETBACK	15'	60'
REAR YARD SETBACK	20'	110'
MAXIMUM STRUCTURE HEIGHT	45'	25'
PARKING REQUIREMENTS		
PARKING STALL SIZE	9' X 18'	9' X 18'
PET LODGE FACILITY, INCLUDING ADMINISTRATION & SERVICES BUILDING AND KENNEL/DOG DAYCARE (SEE PARKING COUNT SUMMARY TABLE - PET RESORT)	26	31
VETERINARY HOSPITAL MEDICAL OFFICE=1/200 S.F. G.F.A.) 6,000 S.F./200=30	30	30
TOTAL	56	61

NOTES:

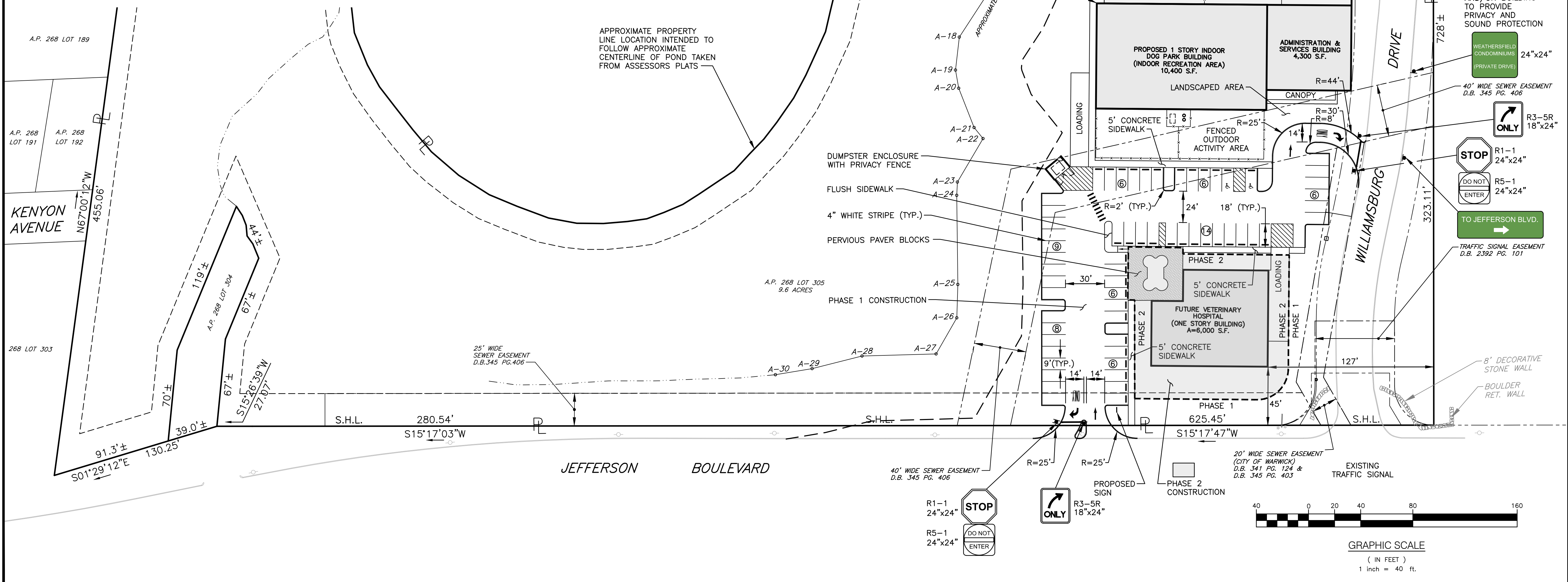
- THE PROPOSED PET LODGE FACILITY INCLUDES:
 - ADMINISTRATION & SERVICES BUILDING: 4,300 S.F.
 - ENCLOSED KENNEL BUILDINGS (8): 900 S.F./BUILDING (MULTIPLE SUITES/BUILDING) EACH SUITE WITH FENCED OUTDOOR SPACE
 - INDOOR DOG PARK BUILDING IS FOR INDOOR RECREATION FOR DOGS BEING BOARDED AND DAY CARE.
 - OUTDOOR RECREATION AREAS.
- THIS PROPOSED FACILITY ANTICIPATES 12 EMPLOYEES AND 150 DOG SUITES.
- THE PARKING REQUIREMENTS FOR THE KENNEL ENCLOSURES AND INDOOR RECREATION BUILDING IS NOT SPECIFICALLY LISTED IN THE WARWICK ZONING ORDINANCE, OR THE INSTITUTE OF TRANSPORTATION (ITE) LAND USE CODES FOR PARKING. THEREFORE PARKING STUDIES OF SIMILAR FACILITIES OWNED BY THE APPLICANT ARE USED FOR THE REQUIRED PARKING. THE SIMILAR FACILITY INCLUDES ADMINISTRATION AND SERVICES, AND KENNEL/DOG DAYCARE SERVICES.
- THE APPLICANT HAS CONSTRUCTED SIMILAR PET LODGE FACILITIES AND THE PARKING SPACES PROVIDED FOR THIS FACILITY ARE MORE SPACES THAN REQUIRED BY CUSTOMERS.
- THE PRIMARY STRUCTURE AND ANCILLARY STRUCTURES NOTED ON THE PLAN FOLLOW THE RIDEM WETLAND REGULATION DEFINITIONS. THE MINIMUM DISTANCES TO THE WETLANDS INCLUDE THE BUFFER AREA AND SETBACK DISTANCE FOR THIS SITE.

PARKING COUNT SUMMARY TABLE - PET RESORT

A PARKING COUNT WAS CONDUCTED AT A SIMILAR FACILITY IN MIAMI FLORIDA (SOMI PET RESORT AND DOG DAY CARE) DURING LABOR DAY WEEKEND 2022.

DATE	EMPLOYEES	CLIENTS	CLIENT STAY TIMES	MAX. NUMBER OF SPACES USED AT ONE TIME (8:30 AM PEAK)	UNUSED SPACES AVAILABLE IN LOT
FRIDAY 9-2-22	12	14	5 - 10 MINUTES	26	7
SATURDAY 9-3-22	12	8	5 - 10 MINUTES	20 (9:00 AM PEAK)	13
SUNDAY 9-4-22	12	5	5 - 10 MINUTES	17 (10:00 AM PEAK)	16

TOTAL NUMBER OF SPACES USED AT ANY GIVEN TIME DURING THE LABOR DAY WEEKEND = 26 SPACES



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CARLOS GUTIERREZ
 24 MALLARD WAY
 EAST GREENWICH, RI 02818

DRAWING TITLE:
SITE LAYOUT PLAN

DATE: JULY 2022 SCALE: 1"=40'
 DWG. NAME: 2679-06-SITE.dwg

REVISIONS	NUMBER	REMARKS	DATE
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2	DRIVEWAY	12-12-22	

DRAWING NUMBER
C5
 SHEET: 6 OF 8