

# SITE PLAN SET FOR



## PLAT MAP 319, LOTS 2, 4 & 502 ZONING DISTRICT GENERAL BUSINESS (GB)

### 35 WEST SHORE ROAD WARWICK, RHODE ISLAND

#### OWNER

319-02  
RJB REALTY, LLC  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI 02818

319- 04& 502  
E&J WEST SHORE REALTY, LLC  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI 02818

#### APPLICANT

E&J WEST SHORE REALTY, LLC  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI 02818

#### ENGINEERS



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

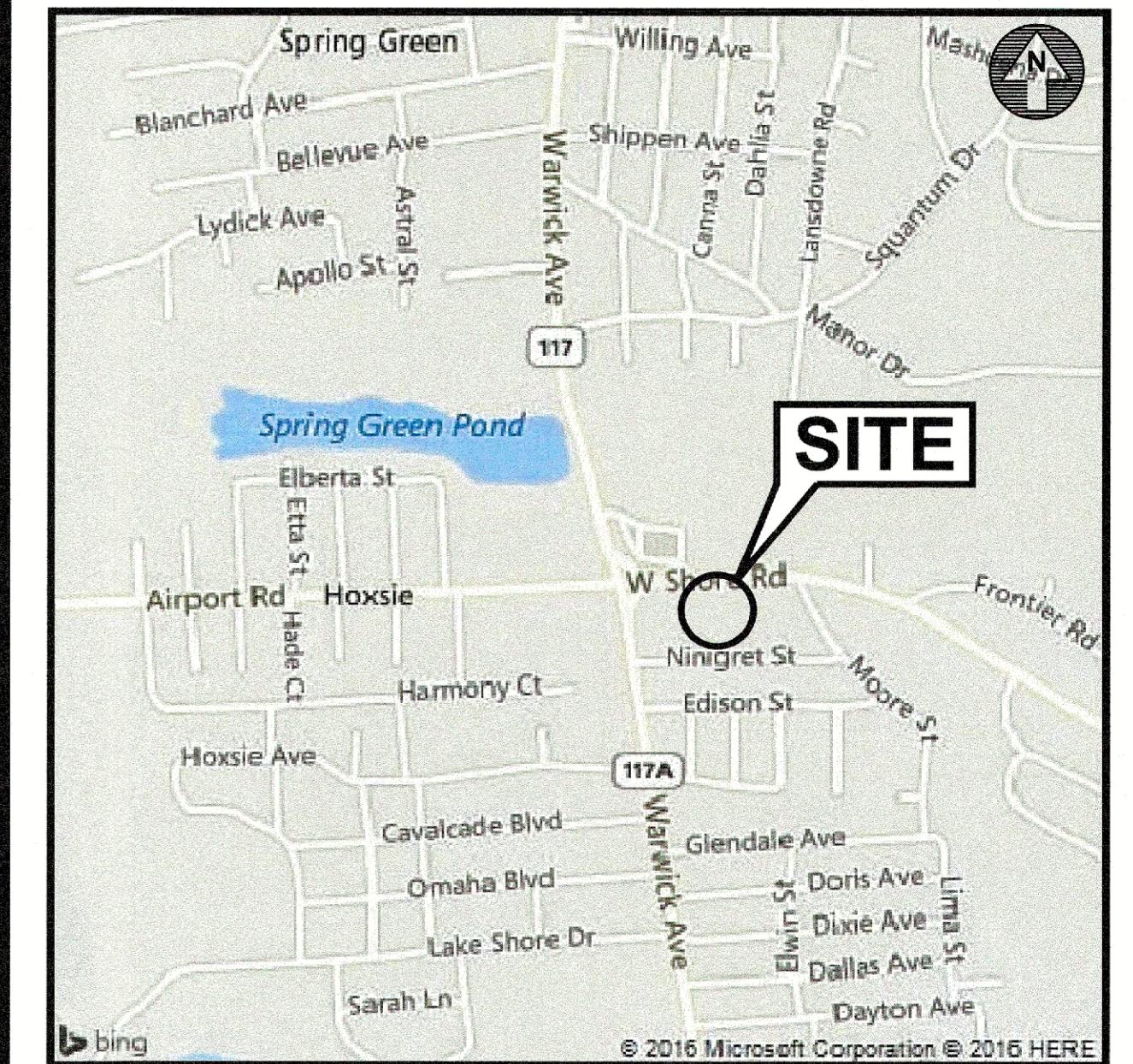
#### CROSSMAN ENGINEERING

Rhode Island      Massachusetts  
151 Centerville Road      103 Commonwealth Avenue  
Warwick, RI 02886      North Attleboro, MA 02763  
Phone: (401) 738-5660      Phone: (508) 695-1700

Email: [cei@crossmaneng.com](mailto:cei@crossmaneng.com)

#### ARCHITECT

AHARONIAN & ASSOCIATES INC. - ARCHITECTS  
310 George Washington Highway - Suite 100  
Smithfield, Rhode Island 02917  
T 401-232-5010  
F 401-232-5080



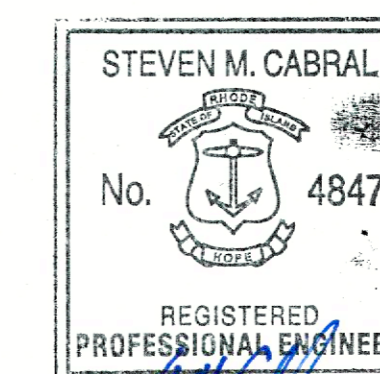
LOCATION MAP  
SCALE: 1"=2000'

#### INDEX OF DRAWINGS

| DRAWING No.  | PLAN                                   |
|--|--|
| C1   | GENERAL NOTES and LEGEND               |
| C2   | EXISTING AERIAL MAP                    |
| C3   | 200' RADIUS MAP                        |
| C4   | VICINITY MAP                           |
| C5   | PROPOSED AERIAL MAP                    |
| C6   | SITE LAYOUT PLAN                       |
| C7   | GRADING PLAN                           |
| C8   | UTILITY PLAN                           |
| C9   | SOIL EROSION and SEDIMENT CONTROL PLAN |
| C10.1  | MISCELLANEOUS DETAILS PLAN No. 1       |
| C10.2  | MISCELLANEOUS DETAILS PLAN No. 2       |
| C10.3  | MISCELLANEOUS DETAILS PLAN No. 3       |
| C10.4  | MISCELLANEOUS DETAILS PLAN No. 4       |
| C10.5  | MISCELLANEOUS DETAILS PLAN No. 5       |
| C10.6  | MISCELLANEOUS DETAILS PLAN No. 6       |
| C10.7  | MISCELLANEOUS DETAILS PLAN No. 7       |
| L1   | LANDSCAPE PLAN                         |
| <b>REFERENCE PLAN</b>  |  |
| RJB REALTY PLAT, ADMINISTRATIVE SUBDIVISION PLAN<br>PREPARED BY ALPHA ASSOCIATES, LTD., MAY 2020 |  |

#### REVISIONS:

| No.: | DATE:    | DESCRIPTION:     |
|------|----------|------------------|
| 1    | 10/1/21  | PRELIMINARY PLAN |
| 2    | 12/1/21  | RIDEM COMMENTS   |
| 3    | 12/28/21 | RIDOT COMMENTS   |
| 4    | 2/14/22  | RIDOT COMMENTS   |
|      |          |                  |
|      |          |                  |
|      |          |                  |
|      |          |                  |
|      |          |                  |



*SAH*  
2-17-22

**GENERAL NOTES**

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE R.I. LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY MUNICIPALITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
- SPECIFICATIONS TO GOVERN THIS PROJECT ARE R.I.D.O.T. STANDARD SPECIFICATIONS AND DETAILS. FOR ALL EXCAVATION, PLACEMENT OF FILL, PIPE BITUMINOUS PAVEMENT, CUTTING INTO CATCHBASIN/MANHOLES, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, MARCH 2018 EDITION, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" ARE NOT APPLICABLE. THESE SPECIFICATIONS CAN BE OBTAINED ON-LINE AT:  
  
http://www.dot.ri.gov/business/bluebook.php
- UNLESS SPECIFICALLY REFERENCED ON THE PLANS, ALL WORK ON SITE AND WITHIN THE STATE'S RIGHT OF WAY SHALL USE THE RHODE ISLAND STANDARD DETAILS, JUNE 21, 2019, WITH ALL REVISIONS AS PREPARED BY THE DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS OR SPECIFICATIONS DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE, AND THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK. THE CONTRACTOR SHALL PERFORM TEST PITS TO LOCATE EXISTING UTILITY STUBS AT CONNECTION POINTS.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN.
- "APPROVED EQUAL" PRODUCTS MAY BE USED BY THE CONTRACTOR ONLY UPON APPROVAL BY THE DESIGN ENGINEER. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE SUBMITTALS TO THE DESIGN ENGINEER FOR REVIEW.
- THIS PROPOSED USE DOES NOT MEET THE RIDEM DEFINITION OF A LAND USE WITH HIGHER POTENTIAL POLLUTANT LOAD.
- THE DETECTABLE WARNING DEVICE FOR ADA RAMPS SHALL NOT BE USED WITHIN THE STATE R.O.W. AREAS.

**LAYOUT NOTE**

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

**MAINTENANCE AND PROTECTION OF TRAFFIC NOTES**

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY CONSTRUCTION SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS WILL NOT BE PARKED IN THE ROADWAY RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION, LATEST REVISIONS.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

**CONSTRUCTION NOTES**

- THE CONTRACTOR IS REQUIRED TO OBTAIN AND REVIEW ALL ENGINEERING AND PERMIT DOCUMENTS COMPLETED FOR FINAL DESIGN.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO INSTALLATION OF UTILITIES ON SITE. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS AS REQUIRED.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN DETAILED AS-BUILT INFORMATION FOR ALL UTILITY INSTALLATION. AS-BUILT INFORMATION INCLUDES MATERIAL LIST, PIPE DEPTH NOTATIONS AND SWING TIE LOCATIONS (2 MINIMUM) FROM NEW PIPE TO PERMANENT STRUCTURES. ALL PIPE BEND/ELBOW LOCATIONS SHALL BE DIMENSIONED.

**FLOOD ZONE NOTE**

THE SITE IS WITHIN FLOOD ZONE X, AREAS OF MINIMAL FLOODING, ACCORDING TO THE FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE, CITY OF WARWICK 445409., MAP NUMBER 44003C0132H, EFFECTIVE DATE 9/18/2013.

**PERMITTING NOTES**

- THERE ARE NO WETLANDS WITHIN 200' OF THE SITE. A RIDEM WETLAND PERMIT IS NOT REQUIRED.
- WEST SHORE ROAD IS A RIDOT MAINTAINED ROADWAY. A RIDOT PAP IS REQUIRED.
- THE PROPOSED IMPROVEMENTS WILL RESULT IN MORE THAN 1 ACRE OF SOIL DISTURBANCE. A RIDEM RIPDES PERMIT IS REQUIRED.
- A RIDEM PERMIT FOR THE PROPOSED UNDERGROUND STORMWATER INFILTRATION SYSTEM IS REQUIRED (GROUNDWATER DISCHARGE SYSTEM APPROVAL).
- THE SITE IS NOT WITHIN A RIDEM NATURAL HERITAGE AREA.
- A SEPERATE UTILITY PERMIT APPLICATION WILL BE REQUIRED FROM RIDOT FOR EACH UTILITY. THE CONTRACTOR SHALL SUBMIT FOR THESE UTILITY PERMIT APPLICATIONS PRIOR TO CONSTRUCTION.

**PROPOSED PAVEMENT STRUCTURE**

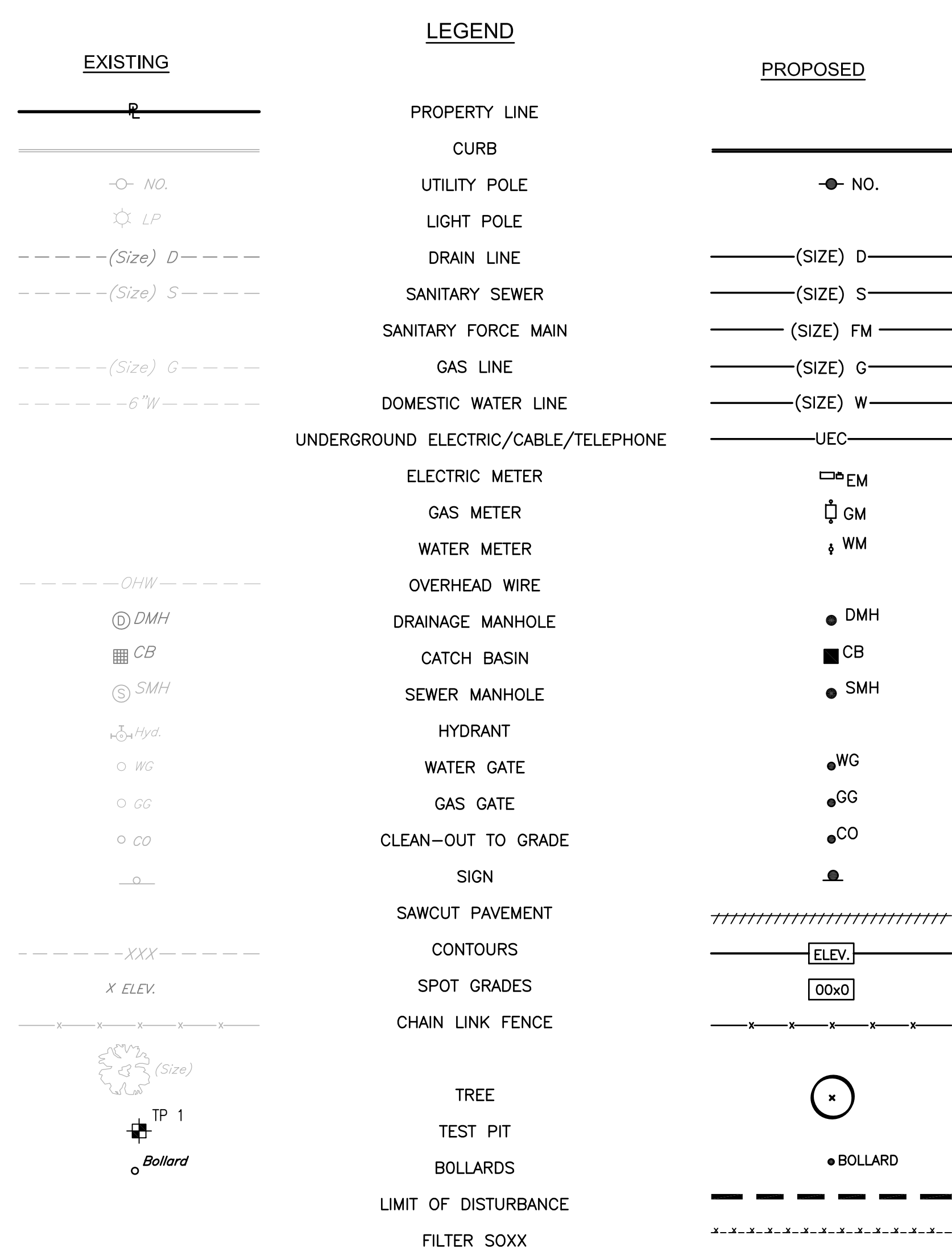
- 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE, CLASS 12.5 HMA
- 2 1/2" BITUMINOUS CONCRETE BASE COURSE, CLASS 19.5 HMA
- 12" GRAVEL BORROW SUBBASE

NOTE: THE PAVEMENT THICKNESS WITHIN THE WEST SHORE ROAD RIGHT OF WAY SHALL MATCH THE CURRENT PAVEMENT THICKNESS OF WEST SHORE ROAD

**STORMWATER MANAGEMENT SYSTEM - MAINTENANCE OPERATION**

UPON PROJECT COMPLETION, THE SITE OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE RECOMMENDATIONS.

- CATCHBASINS, MANHOLES, AND CLEAN-OUTS:  
  
INSPECTION SHALL OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:  
  
- DAMAGE TO GRATE/COVER  
- EVIDENCE OF STANDING WATER  
- DEBRIS REMOVAL  
- STRUCTURAL ALIGNMENT/INTEGRITY
- WATER QUALITY CHAMBER:  
  
ANNUAL INSPECTIONS AND MAINTENANCE OF THE STORMCEPTOR DEVICE IS REQUIRED TO MINIMIZE STORMWATER POLLUTION AND FLOODING. THE CONTRACTOR SHALL ENSURE THE STRUCTURE IS CLEAN UPON CONSTRUCTION COMPLETION. FOLLOWING CONSTRUCTION, ANNUAL INSPECTIONS SHALL BE CONDUCTED AND RECORD OF FINDINGS OF THE INSPECTIONS SHALL BE MAINTAINED BY THE OWNER. THE STORMCEPTOR DEVICE IS REQUIRED TO BE CLEANED WHENEVER SEDIMENT DEPTHS REACH 15% OF THE UNIT'S TOTAL STORAGE CAPACITY
- SEDIMENT REMOVAL:  
  
FOLLOWING CONSTRUCTION, SEDIMENT REMOVAL SHALL BE CONDUCTED AS DEEMED NECESSARY BY THE SYSTEM INSPECTIONS. ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.
- UNDERGROUND INFILTRATION SYSTEM:  
  
THE UNDERGROUND INFILTRATION SYSTEM SHALL BE INSPECTED ANNUALLY AFTER CONSTRUCTION. INSPECT THE INLET PIPES AND OUTLET PIPES FOR CLOGGING. REMOVE ACCUMULATED SEDIMENT, TRASH AND DEBRIS. INSPECT SYSTEM AND OUTLET STRUCTURE FOR STRUCTURAL INTEGRITY AND STANDING WATER. INSPECT PAVEMENT AREA OVER SYSTEM FOR SETTLEMENT.
- ANNUAL SWEEPING:  
  
ANNUAL PARKING LOT AND DRIVEWAY SWEEPING SHALL BE CONDUCTED DURING THE SPRING OF EVERY YEAR.




**Crossman Engineering**  
 Rhode Island: 151 Canterville Road, Warwick, RI 02886, Phone (401) 738-5660  
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700  
 Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

**KEY PLAN**

**PROJECT TITLE:**

**PROPOSED DUNKIN'**  
**PLAT MAP 319, LOTS 2, 4 & 502**  
**ZONING DISTRICT GENERAL BUSINESS**  
**35 WEST SHORE ROAD WARWICK, RHODE ISLAND**

**PREPARED FOR:**

**E&J WEST SHORE REALTY, LLC**  
  
**75 TIPPING ROCK DRIVE EAST GREENWICH, RI 02818**

**DRAWING TITLE:**

**GENERAL NOTES and LEGEND**

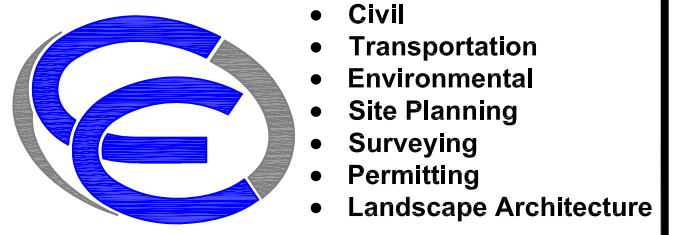
|                                       |                           |
|---------------------------------------|---------------------------|
| <b>DATE:</b><br>APRIL 2021            | <b>SCALE:</b><br>NO SCALE |
| <b>DWG. NAME:</b><br>2416-02-NOTE.dwg |                           |

**REVISIONS**

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |
|        |                  |          |
|        |                  |          |
|        |                  |          |
|        |                  |          |
|        |                  |          |

**DRAWING NUMBER**

**C1**  
 SHEET: 2 OF 18



**Crossman Engineering**

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-5660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

KEY PLAN

PROJECT TITLE:

**PROPOSED  
DUNKIN'**  
PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT  
GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

PREPARED FOR:

**E&J WEST SHORE  
REALTY, LLC**  
  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI  
02818

DRAWING TITLE:

**EXISTING AERIAL MAP**

DATE: APRIL 2021 SCALE: 1"=30'

DWG. NAME: 2416-03-EX-AERIAL.dwg

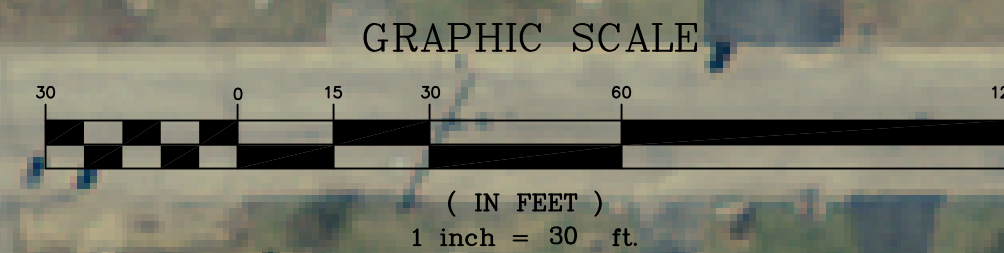
REVISIONS

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |

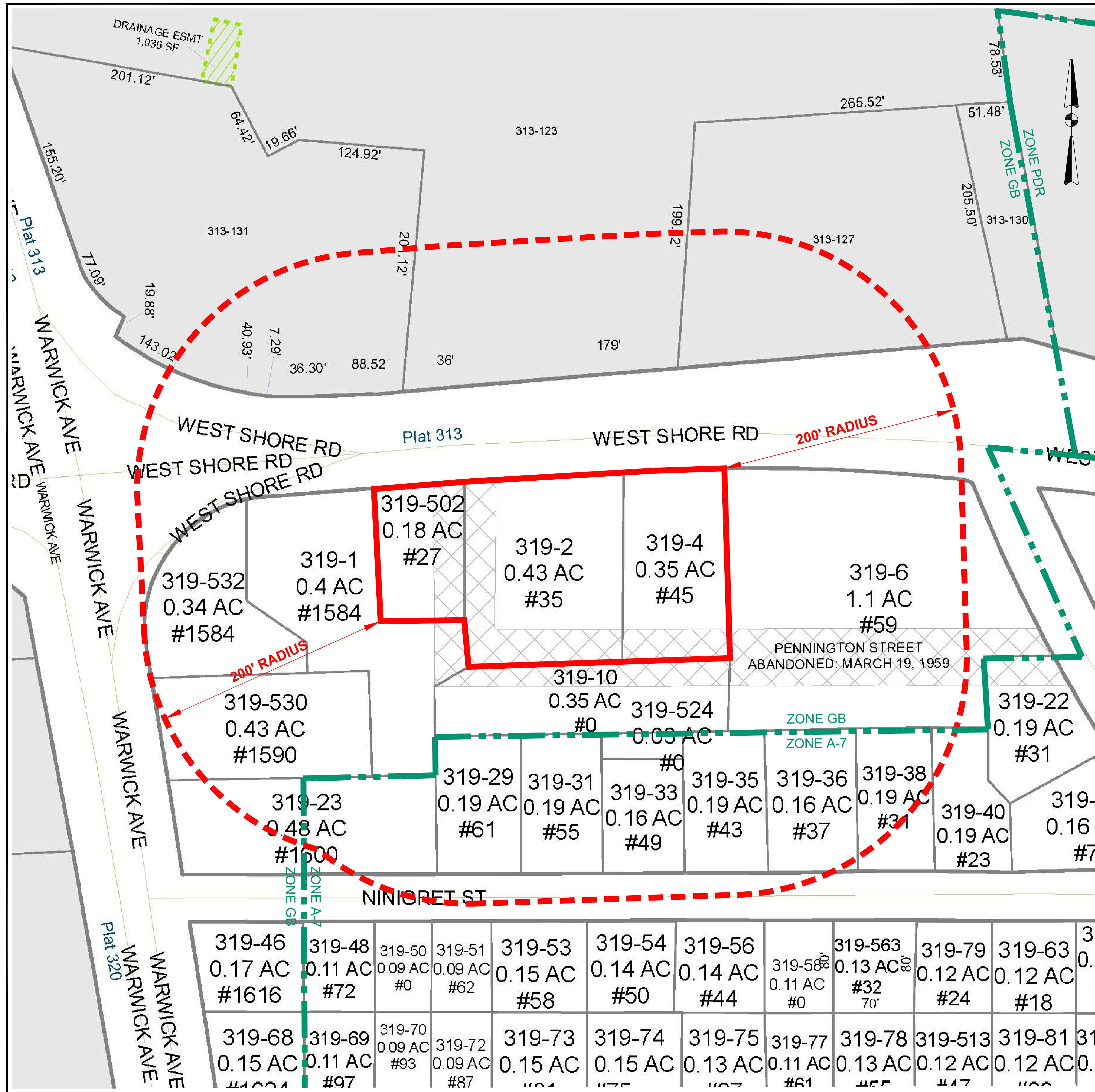
DRAWING NUMBER

**C2**

SHEET: 3 OF 19



| SYMBOL | SOIL NAME                                       |
|--------|---|
| HkC    | HINCKLEY LOAMY SAND, 8-15% SLOPES, HSG A        |
| MU     | MERRIMAC-URBAN LAND COMPLEX, 0-8% SLOPES, HSG A |
| Ur     | URBAN LAND                                      |



**ABUTTERS WITHIN 200' OF SITE**  
(CURRENT AS OF APRIL 13, 2021)

**SUBJECT PROPERTIES**

PLAT 319 LOT 2  
RJB REALTY LLC  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI 02818

PLAT 319 LOT 4  
E&J WEST SHORE REALTY LLC  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI 02818

PLAT 319 LOT 502  
E&J WEST SHORE REALTY LLC  
640 GEORGE WASHINGTON HWY.  
BUILDING C., SUITE 201  
LINCOLN, RI 02865

**ABUTTERS**

PLAT 313 LOT 123  
SPRING GREEN CORPORATION  
459 NAMQUID DRIVE  
WARWICK, RI 02888

PLAT 313 LOT 127  
SPRING GREEN CORPORATION  
459 NAMQUID DRIVE  
WARWICK, RI 02888

PLAT 313 LOT 127-1  
FLEET NATIONAL BANK  
BOA CORP. RE ASMT NC1-001-03-81  
101 N. TRYON STREET  
CHARLOTTE, NC. 28255

PLAT 313 LOT 131  
SPRING GREEN CORPORATION  
C/O WALGREENS TAX DEPT. MS1435  
DEERFIELD, IL 60015

PLAT 319 LOTS 1, 10, 530 & 532  
CDG PROPERTIES LLC  
C/O ELLEN RICCI  
195 EAST HILL DRIVE  
CRANSTON, RI 02920

PLAT 319 LOT 6  
WEST SHORE PROPERTIES LLC  
359 BROAD STREET  
PROVIDENCE, RI 02907

PLAT 319 LOT 23  
LRW LIMITED PARTNERSHIP  
1600 WARWICK AVENUE  
WARWICK, RI 02889

PLAT 319 LOT 29  
CAROLINE E. FONTAINE  
31 WAMPUM DRIVE  
WARWICK, RI 02886

PLAT 319 LOT 31  
EDWARD J. REYNOLDS  
55 NINIGRET STREET  
WARWICK, RI 02889

PLAT 319 LOT 33  
KATHLEEN C. MENDES & DAVID JAMES CORRIGAN  
49 NINIGRET STREET  
WARWICK, RI 02889

PLAT 319 LOT 35  
MARGARET M. ANNIS & SHARON L. MCCUSKER  
43 NINIGRET STREET  
WARWICK, RI 02889

PLAT 319 LOT 36  
BRIAN G. FISCHER & MICHELLE C. GRAY T/E  
37 NINIGRET STREET  
WARWICK, RI 02889

PLAT 319 LOT 38  
BENJAMIN G. & FLORENCE A. HARRISON  
LIFE ESTATE  
5 FACTORY POND CIRCLE  
GREENVILLE, RI 02828

PLAT 319 LOT 40  
EDWARD AIELLO  
23 NINIGRET STREET  
WARWICK, RI 02889

PLAT 319 LOT 524  
KATHLEEN CORRIGAN  
49 NINIGRET STREET  
WARWICK, RI 02889

**Crossman Engineering**  
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700  
Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

**KEY PLAN**

**PROJECT TITLE:**

**PROPOSED DUNKIN'**  
PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT  
GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

**PREPARED FOR:**

**E&J WEST SHORE REALTY, LLC**  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI 02818

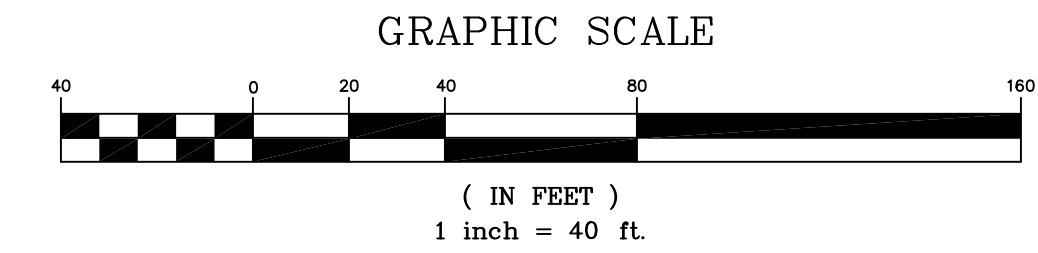
**DRAWING TITLE:**

**200' RADIUS MAP**

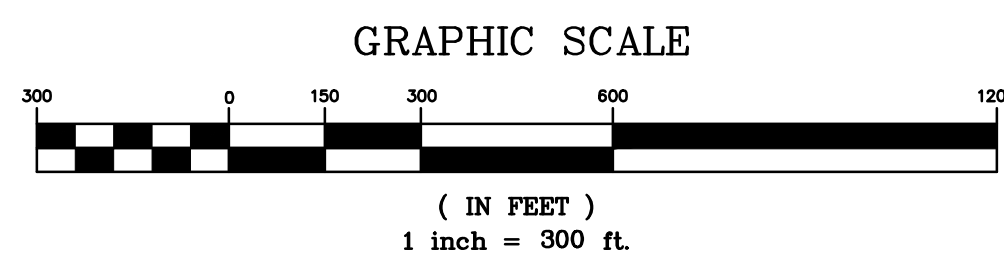
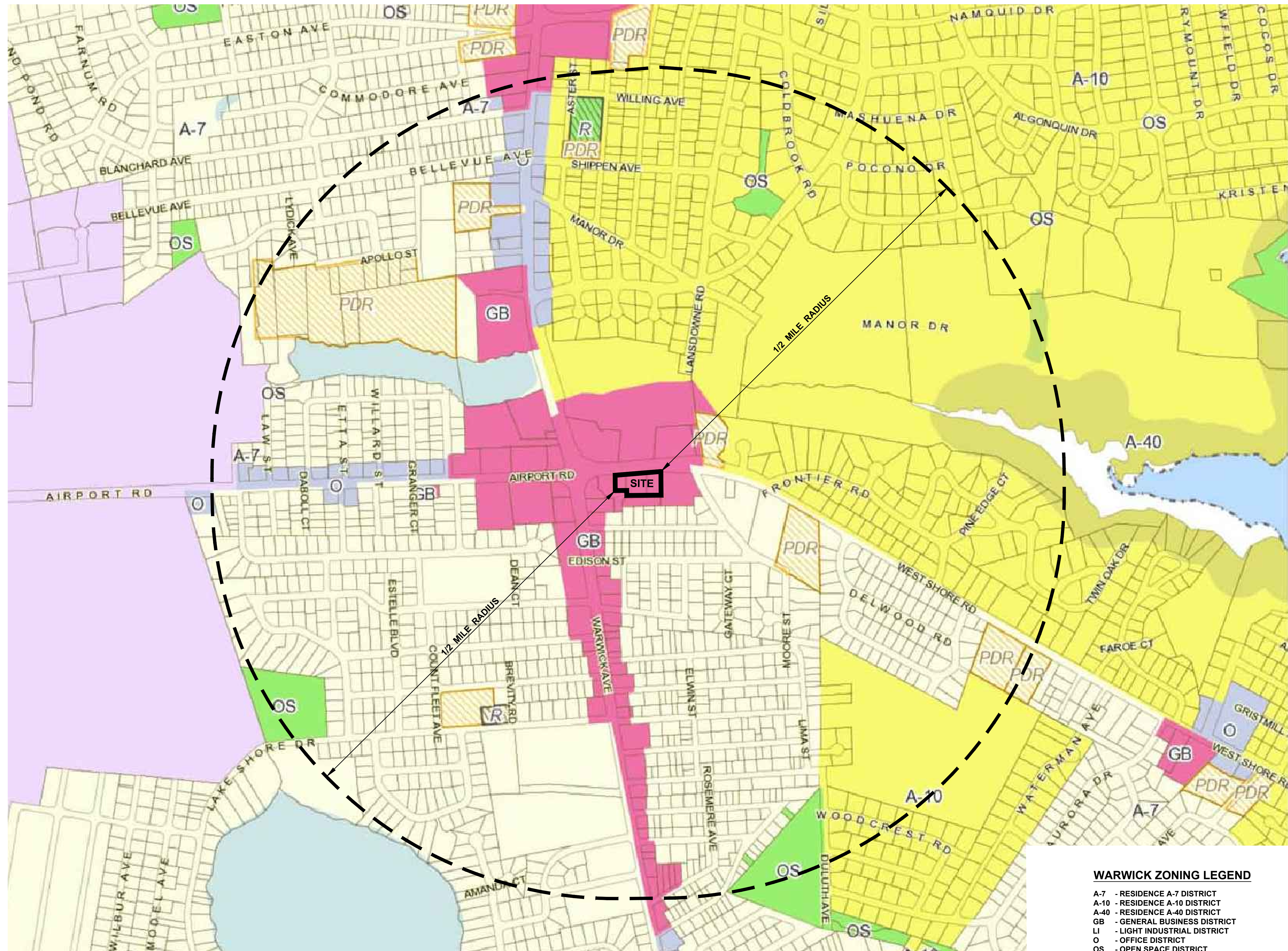
DATE: APRIL 2021 SCALE: 1"=40'  
DWC. NAME: 2416-04-RADIUS.dwg

**REVISIONS**

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |



**DRAWING NUMBER**  
**C3**  
SHEET: 4 OF 19



**WARWICK ZONING LEGEND**

- A-7 - RESIDENCE A-7 DISTRICT
- A-10 - RESIDENCE A-10 DISTRICT
- A-40 - RESIDENCE A-40 DISTRICT
- GB - GENERAL BUSINESS DISTRICT
- LI - LIGHT INDUSTRIAL DISTRICT
- O - OFFICE DISTRICT
- OS - OPEN SPACE DISTRICT
- PDR - PLANNED DISTRICT RESIDENTIAL
- R - RESTRICTIONS

**Crossman Engineering**  
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700  
 Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

KEY PLAN

PROJECT TITLE:

**PROPOSED DUNKIN'**  
 PLAT MAP 319, LOTS 2, 4 & 502  
 ZONING DISTRICT  
 GENERAL BUSINESS  
 35 WEST SHORE ROAD  
 WARWICK, RHODE ISLAND

PREPARED FOR:

**E&J WEST SHORE REALTY, LLC**  
 75 TIPPING ROCK DRIVE  
 EAST GREENWICH, RI  
 02818

DRAWING TITLE:

**VICINITY MAP**

DATE: APRIL 2021 SCALE: 1"=300'  
 DWG. NAME: 2416-05-VICINITY.dwg

| REVISIONS | NUMBER | REMARKS          | DATE     |
|-----------|--------|------------------|----------|
| △         | 1      | PRELIMINARY PLAN | 10/1/21  |
|           | 2      | RIDEM COMMENTS   | 12/1/21  |
|           | 3      | RIDOT COMMENTS   | 12/28/21 |
|           | 4      | RIDOT COMMENTS   | 2/14/22  |

DRAWING NUMBER

**C4**

SHEET: 5 OF 18



**Crossman Engineering**

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-5660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

PROJECT TITLE:

**PROPOSED  
DUNKIN'**  
PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT  
GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

PREPARED FOR:

**E&J WEST SHORE  
REALTY, LLC**  
  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI  
02818

DRAWING TITLE:

**PROPOSED AERIAL MAP**

DATE: APRIL 2021

SCALE: 1"=30'

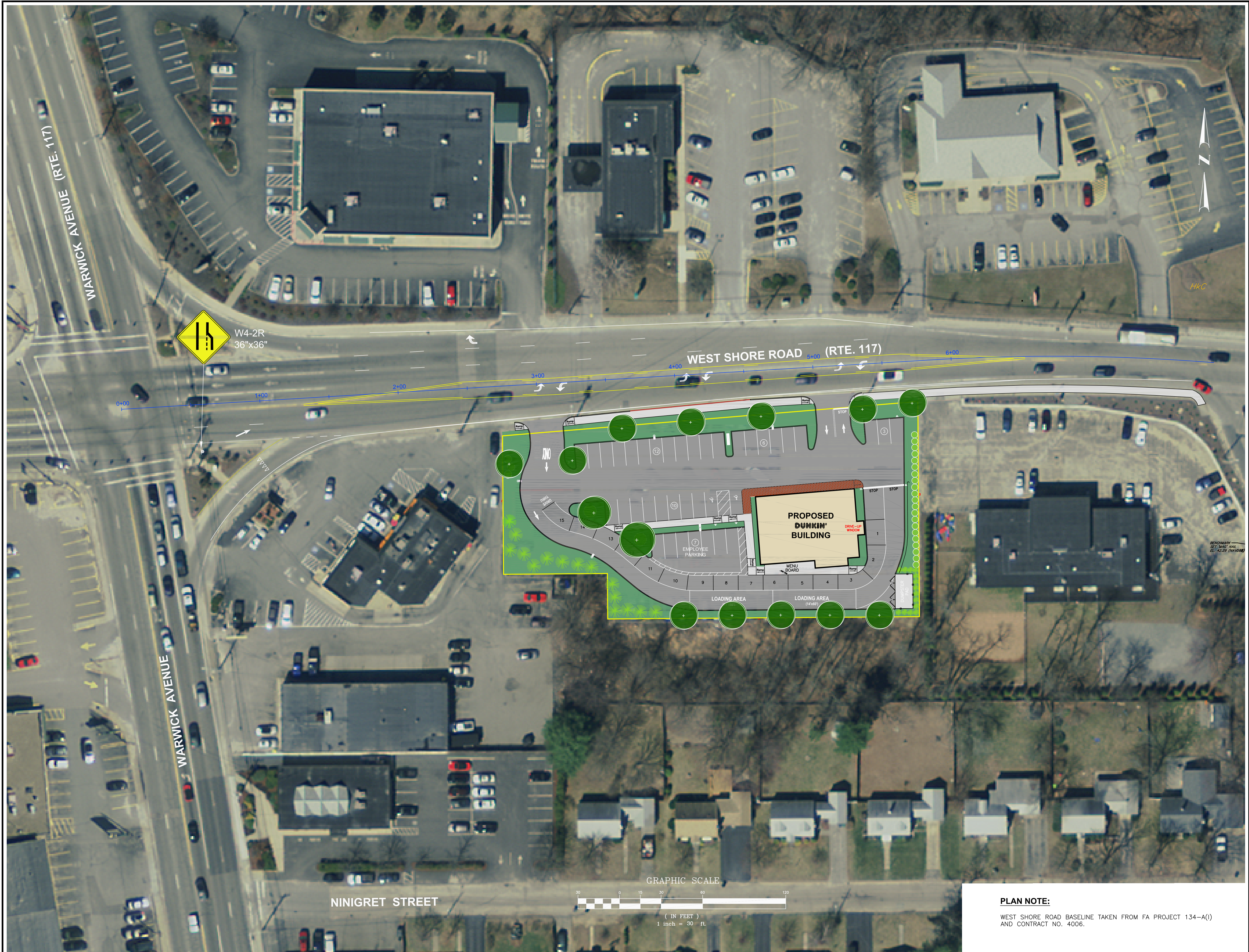
DWG. NAME: 2416-06-PR-AERIAL.dwg

| REVISIONS |                  |          |
|-----------|------------------|----------|
| NUMBER    | REMARKS          | DATE     |
| 1         | PRELIMINARY PLAN | 10/1/21  |
| 2         | RIDEM COMMENTS   | 12/1/21  |
| 3         | RIDOT COMMENTS   | 12/28/21 |
| 4         | RIDOT COMMENTS   | 2/14/22  |
|           |                  |          |
|           |                  |          |
|           |                  |          |
|           |                  |          |

DRAWING NUMBER

**C5**

SHEET: 6 OF 18



**PLAN NOTE:**  
WEST SHORE ROAD BASELINE TAKEN FROM FA PROJECT 134-A(I)  
AND CONTRACT NO. 4006.



**Crossman Engineering**

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-5660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

PROJECT TITLE:

**PROPOSED DUNKIN'**  
PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT  
GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

PREPARED FOR:

**E&J WEST SHORE REALTY, LLC**

75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI  
02818

DRAWING TITLE:

**SITE LAYOUT PLAN**

DATE: APRIL 2021 SCALE: 1"=20'

DWC. NAME: 2416-07-SITE.dwg

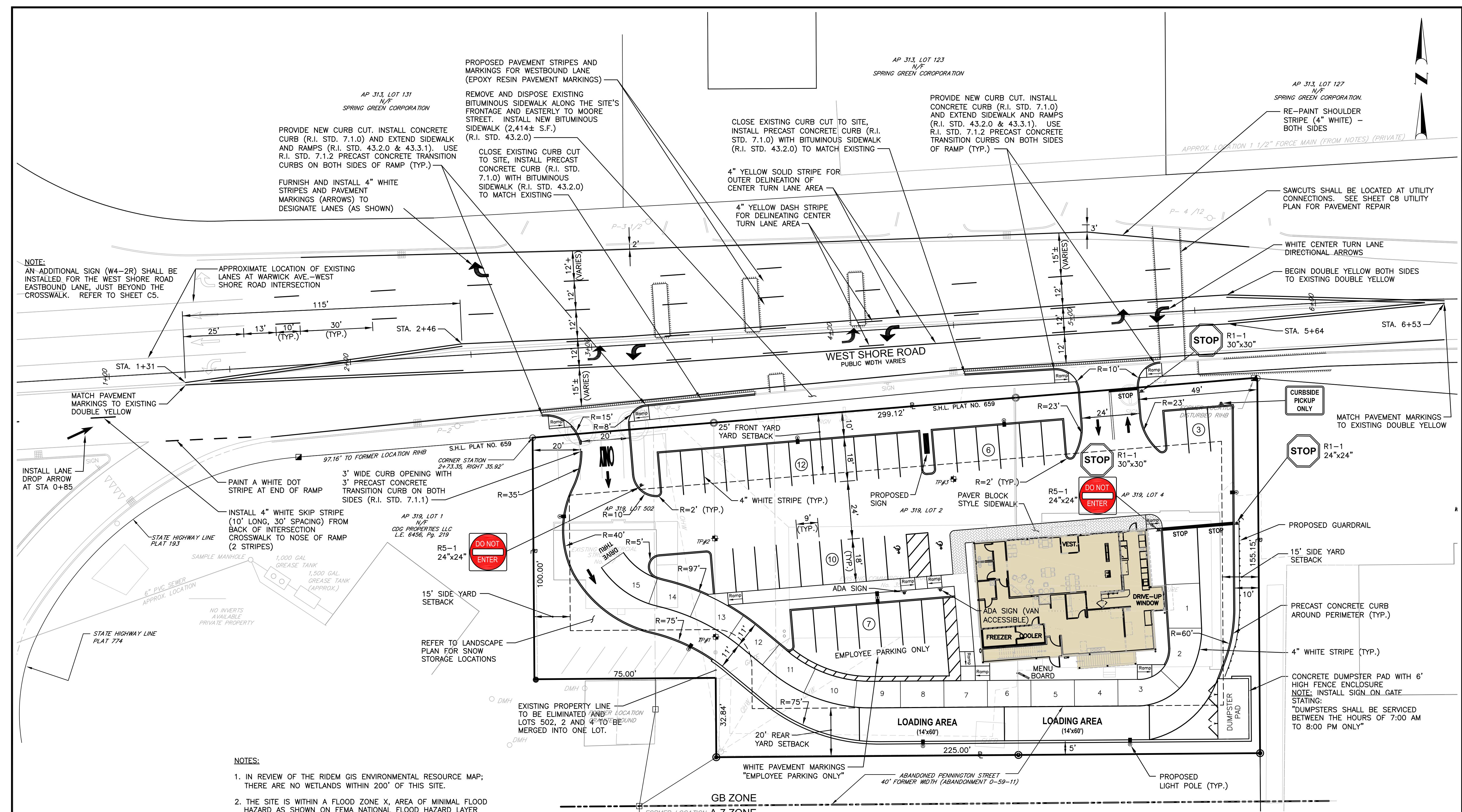
REVISIONS

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |

DRAWING NUMBER

**C6**

SHEET: 7 OF 18

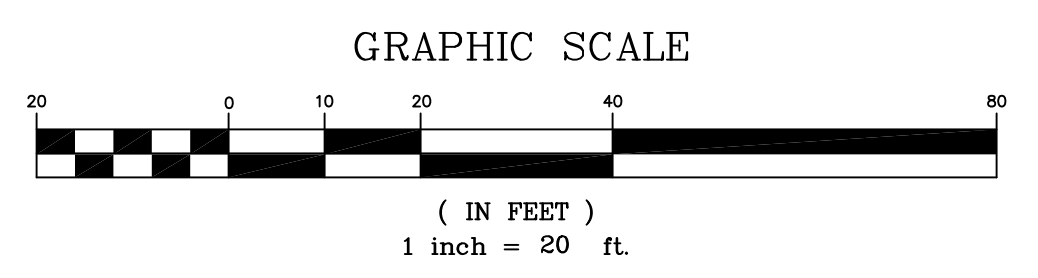


- NOTES:
1. IN REVIEW OF THE RIDEM GIS ENVIRONMENTAL RESOURCE MAP; THERE ARE NO WETLANDS WITHIN 200' OF THIS SITE.
  2. THE SITE IS WITHIN A FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE, 44003C0132H, EFFECTIVE 9/18/2013.
  3. THIS PROPOSED PLAN WILL COMBINE LOTS 502, 2, AND 4.
  4. DUMPSTER ENCLOSURE SHALL BE CHAIN LINK FENCE WITH VINYL PRIVACY SLATS OR SOLID STOCKADE FENCE. CONFIRM FENCE WITH OWNER.
  5. GUARDRAIL TYPE AND MATERIAL SHALL BE CONFIRMED BY OWNER.

ZONING NOTES:

THE BELOW ITEMS HAVE RECEIVED APPROVAL FROM THE ZONING BOARD:

- SECTION 701.7 OFF-STREET PARKING SPACE REQUIREMENTS.
  - PROVIDED = 38 SPACES (VEHICLES)
  - REQUIRED = 119 SPACES (INCLUDING BASEMENT GFA)
  - REQUIRED = 74 SPACES (NOT INCLUDING BASEMENT GFA)
- SECTION 800 SIGNS
  - THE PROPOSED SIGN INCLUDES AN ELECTRONIC MESSAGE CENTER PANEL (EMS). THIS TYPE OF SIGN IS PROHIBITED IN THE CITY BUT HAS BEEN PREVIOUSLY APPROVED FOR THE APPLICANT FOR THE DUNKIN RESTAURANT ON A.P. 319, LOT 1. THE PROPOSAL IS TO RELOCATE THE DUNKIN RESTAURANT FROM LOT 1 TO THIS SITE AND TO UPGRADE AND RELOCATE THE EXISTING EMS SIGN. THE EXISTING SIGN ON LOT 1 WILL BE REMOVED.



**DIMENSIONAL REGULATIONS**  
ZONING DISTRICT: GB-GENERAL BUSINESS DISTRICT

|                                | REQUIRED   | PROVIDED    |
|--------------------------------|------------|-------------|
| MINIMUM LOT AREA:              | 6,000 S.F. | 40,776 S.F. |
| MINIMUM FRONTAGE:              | 60'        | 299'        |
| MINIMUM LOT WIDTH:             | 60'        | 225'        |
| MINIMUM FRONT YARD SETBACK:    | 25'        | 58'         |
| MINIMUM SIDE YARD SETBACK:     | 15'        | 39'         |
| MINIMUM REAR YARD SETBACK:     | 20'        | 37'         |
| MAXIMUM STRUCTURE HEIGHT:      | 40'        | <40'        |
| MINIMUM LANDSCAPED OPEN SPACE: | 10%        | 25%         |
| MINIMUM INTERIOR LANDSCAPING:  | 5%         | 5%          |

**PARKING REQUIREMENTS**  
FAST FOOD RESTAURANT: (1 SPACE / 50 S.F.)  
(3,657 S.F. + 2,250 S.F.) / 50 SF/SPACE = 119 SPACES

|                                      | REQUIRED   | PROVIDED  |
|--------------------------------------|------------|-----------|
| MINIMUM PARKING SPACE:               | 119 SPACES | 38 SPACES |
| MINIMUM PARKING SPACE WIDTH:         | 9'         | 9'        |
| MINIMUM PARKING SPACE LENGTH:        | 18'        | 18'       |
| MINIMUM AISLE WIDTH (2-WAY TRAFFIC): | 24'        | 24'       |
| MINIMUM SETBACK FROM PROPERTY LINE:  | 10'        | 10'       |
| MINIMUM ADA PARKING SPACES:          | 2          | 2         |



**Crossman Engineering**

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-6660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

KEY PLAN

PROJECT TITLE:

**PROPOSED DUNKIN'**  
PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT  
GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

PREPARED FOR:

**E&J WEST SHORE REALTY, LLC**

75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI  
02818

DRAWING TITLE:

**GRADING AND DRAINAGE PLAN**

DATE: APRIL 2021 SCALE: 1"=20'

DWG. NAME: 2416-08-GRADE.dwg

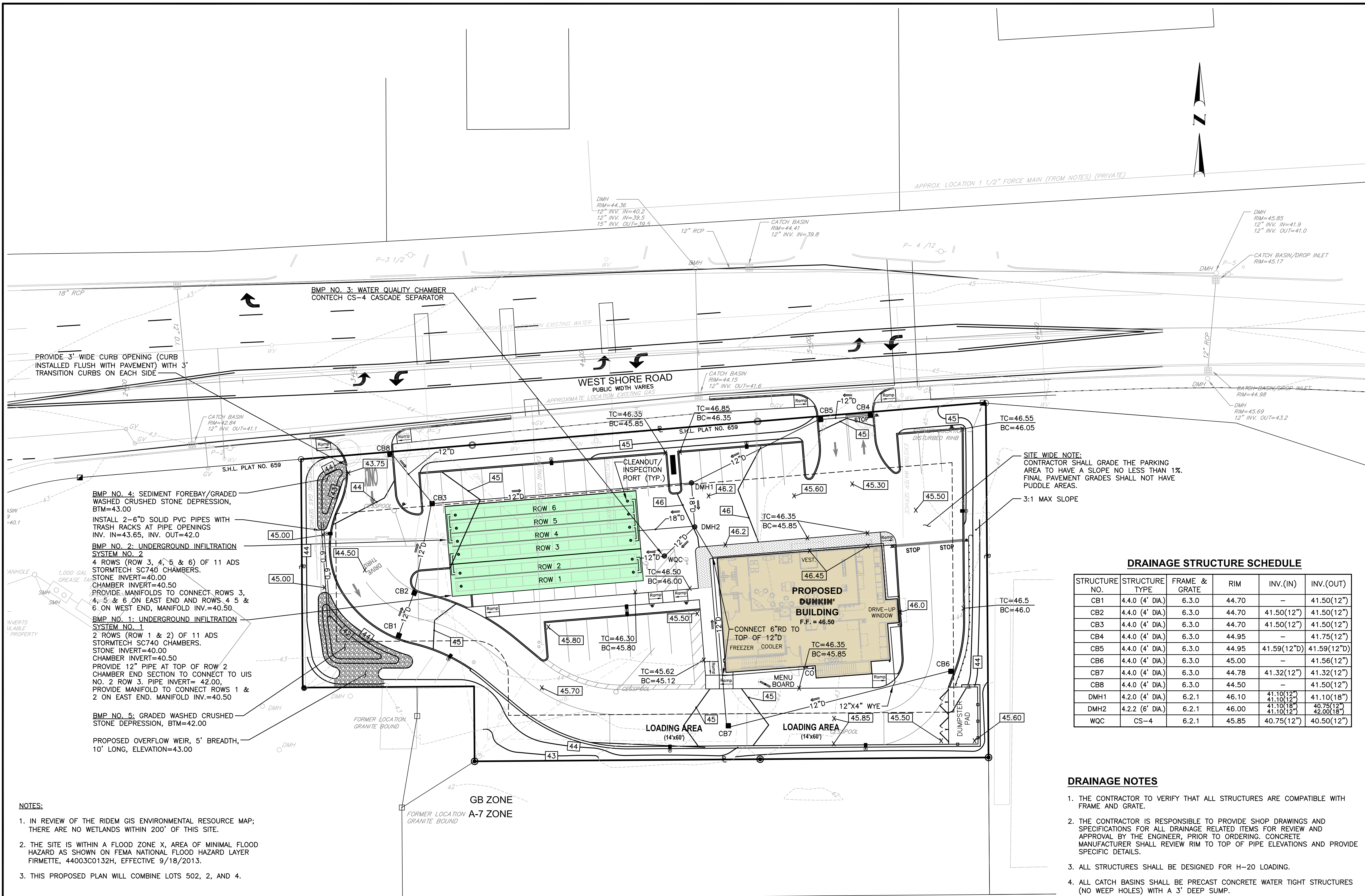
REVISIONS

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |

DRAWING NUMBER

**C7**

SHEET: 8 OF 18



**SITE WIDE NOTE:**  
CONTRACTOR SHALL GRADE THE PARKING AREA TO HAVE A SLOPE NO LESS THAN 1%. FINAL PAVEMENT GRADES SHALL NOT HAVE PUDDLE AREAS.

3:1 MAX SLOPE

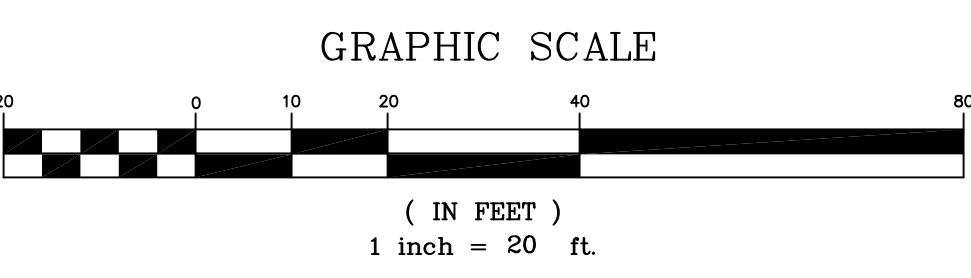
**DRAINAGE STRUCTURE SCHEDULE**

| STRUCTURE NO. | STRUCTURE TYPE  | FRAME & GRATE | RIM   | INV.(IN)    | INV.(OUT)                |
|---------------|-----------------|---------------|-------|-------------|--------------------------|
| CB1           | 4.4.0 (4' DIA.) | 6.3.0         | 44.70 | -           | 41.50(12")               |
| CB2           | 4.4.0 (4' DIA.) | 6.3.0         | 44.70 | 41.50(12")  | 41.50(12")               |
| CB3           | 4.4.0 (4' DIA.) | 6.3.0         | 44.70 | 41.50(12")  | 41.50(12")               |
| CB4           | 4.4.0 (4' DIA.) | 6.3.0         | 44.95 | -           | 41.75(12")               |
| CB5           | 4.4.0 (4' DIA.) | 6.3.0         | 44.95 | 41.59(12"D) | 41.59(12"D)              |
| CB6           | 4.4.0 (4' DIA.) | 6.3.0         | 45.00 | -           | 41.56(12")               |
| CB7           | 4.4.0 (4' DIA.) | 6.3.0         | 44.78 | 41.32(12")  | 41.32(12")               |
| CB8           | 4.4.0 (4' DIA.) | 6.3.0         | 44.50 | -           | 41.50(12")               |
| DMH1          | 4.2.0 (4' DIA.) | 6.2.1         | 46.10 | 41.10(12")  | 41.10(18")               |
| DMH2          | 4.2.2 (6' DIA.) | 6.2.1         | 46.00 | 41.10(18")  | 40.75(12")<br>42.00(18") |
| WQC           | CS-4            | 6.2.1         | 45.85 | 40.75(12")  | 40.50(12")               |

**DRAINAGE NOTES**

1. THE CONTRACTOR TO VERIFY THAT ALL STRUCTURES ARE COMPATIBLE WITH FRAME AND GRATE.
2. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE SHOP DRAWINGS AND SPECIFICATIONS FOR ALL DRAINAGE RELATED ITEMS FOR REVIEW AND APPROVAL BY THE ENGINEER, PRIOR TO ORDERING. CONCRETE MANUFACTURER SHALL REVIEW RIM TO TOP OF PIPE ELEVATIONS AND PROVIDE SPECIFIC DETAILS.
3. ALL STRUCTURES SHALL BE DESIGNED FOR H-20 LOADING.
4. ALL CATCH BASINS SHALL BE PRECAST CONCRETE WATER TIGHT STRUCTURES (NO WEEP HOLES) WITH A 3' DEEP SUMP.
5. UNLESS OTHERWISE NOTED, ALL SOLID DRAINAGE PIPE SHALL BE ADS N-12 HDPE OR APPROVED EQUAL. PIPE BEDDING SHALL BE IN CRUSHED STONE OR GRAVEL BORROW COMPACTED TO 95% DRY DENSITY (MODIFIED PROCTOR METHOD). ADS PIPE SHALL BE INSTALLED ACCORDING TO MANUFACTURERS' REQUIREMENTS.
6. THE PROPOSED BUILDING ROOF DRAINS SHALL FLOW INTO THE UNDERGROUND INFILTRATION SYSTEM, VIA THE SITE'S CLOSED DRAINAGE SYSTEM. ROOF DRAINS SHALL BE INSTALLED WITH A 1.0% MINIMUM SLOPE. PROVIDE CLEAN OUTS AT BUILDING CORNERS (4 MIN.)
7. THE CONTRACTOR SHALL PROVIDE AS-BUILT PLANS THAT INCLUDE DRAINAGE SYSTEM (PIPE INVERTS, CATCH BASINS AND MANHOLES, AND THE INFILTRATION SYSTEM LOCATION AND GRADES).

- NOTES:**
1. IN REVIEW OF THE RIDEM GIS ENVIRONMENTAL RESOURCE MAP; THERE ARE NO WETLANDS WITHIN 200' OF THIS SITE.
  2. THE SITE IS WITHIN A FLOOD ZONE X, AREA OF MINIMAL FLOOD HAZARD AS SHOWN ON FEMA NATIONAL FLOOD HAZARD LAYER FIRMETTE, 44003C0132H, EFFECTIVE 9/18/2013.
  3. THIS PROPOSED PLAN WILL COMBINE LOTS 502, 2, AND 4.







# Crossman Engineering

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-5660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

### KEY PLAN

### PROJECT TITLE:

**PROPOSED DUNKIN'**  
**PLAT MAP 319, LOTS 2, 4 & 502**  
**ZONING DISTRICT**  
**GENERAL BUSINESS**  
**35 WEST SHORE ROAD**  
**WARWICK, RHODE ISLAND**

### PREPARED FOR:

**RJB REALTY, LLC**

**75 TIPPING ROCK DRIVE**  
**EAST GREENWICH, RI**  
**02818**

### DRAWING TITLE:

## UTILITY PLAN

DATE: SEPTEMBER 2021 SCALE: 1"=20'

DWG. NAME: 2416-09-UTILITY.dwg

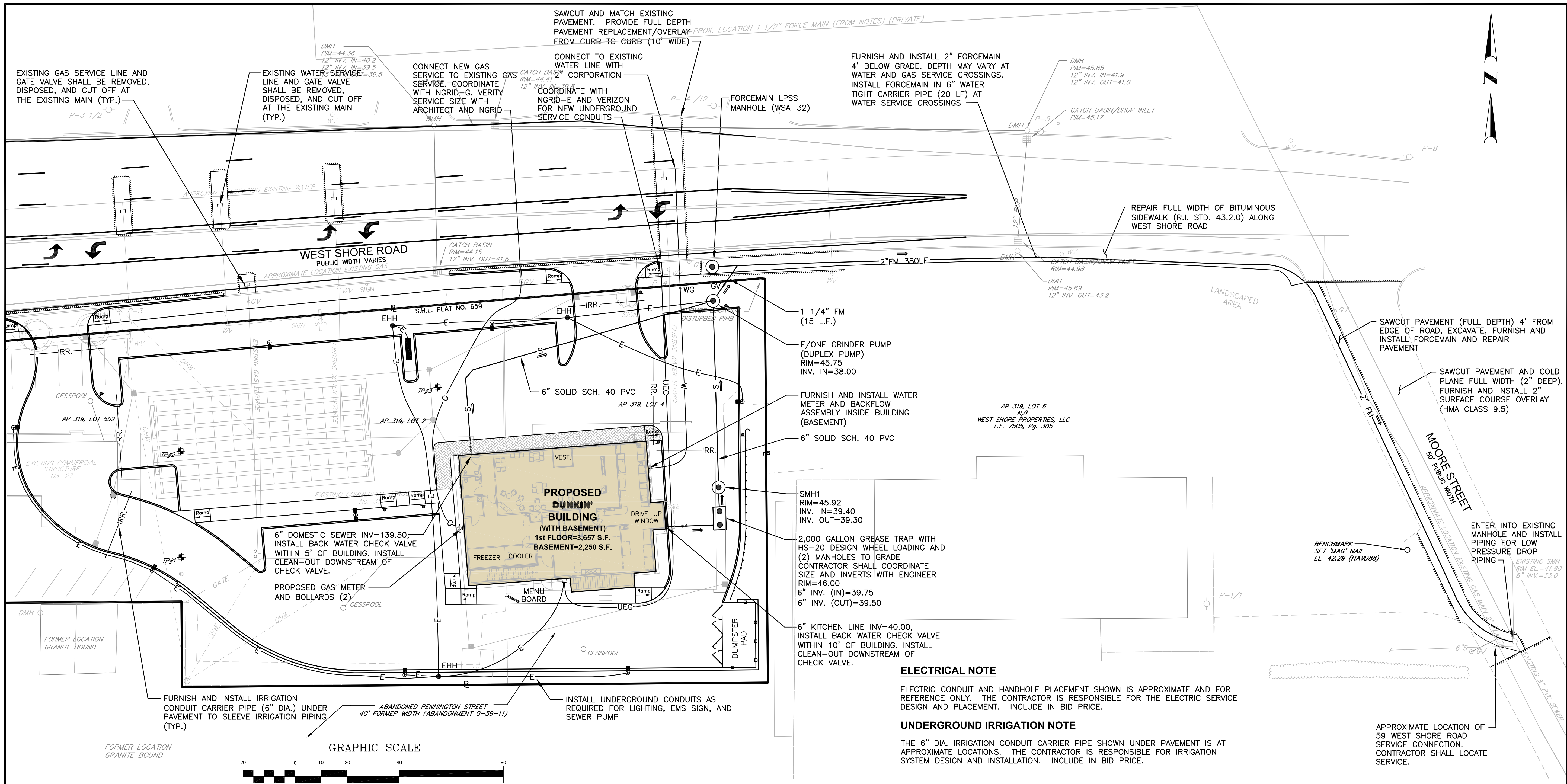
### REVISIONS

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |

### DRAWING NUMBER

# C8

SHEET: 9 OF 18



### ELECTRICAL NOTE

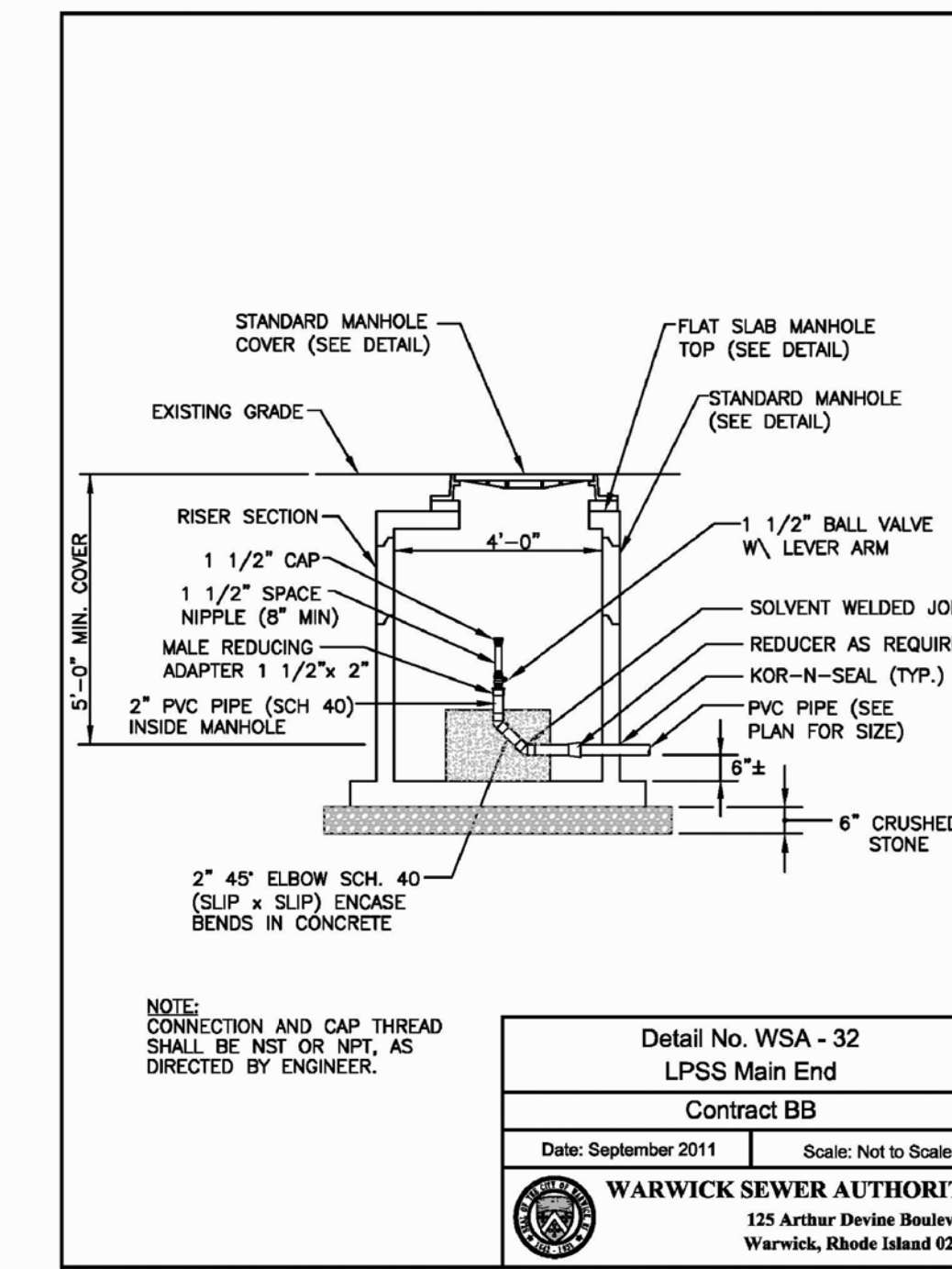
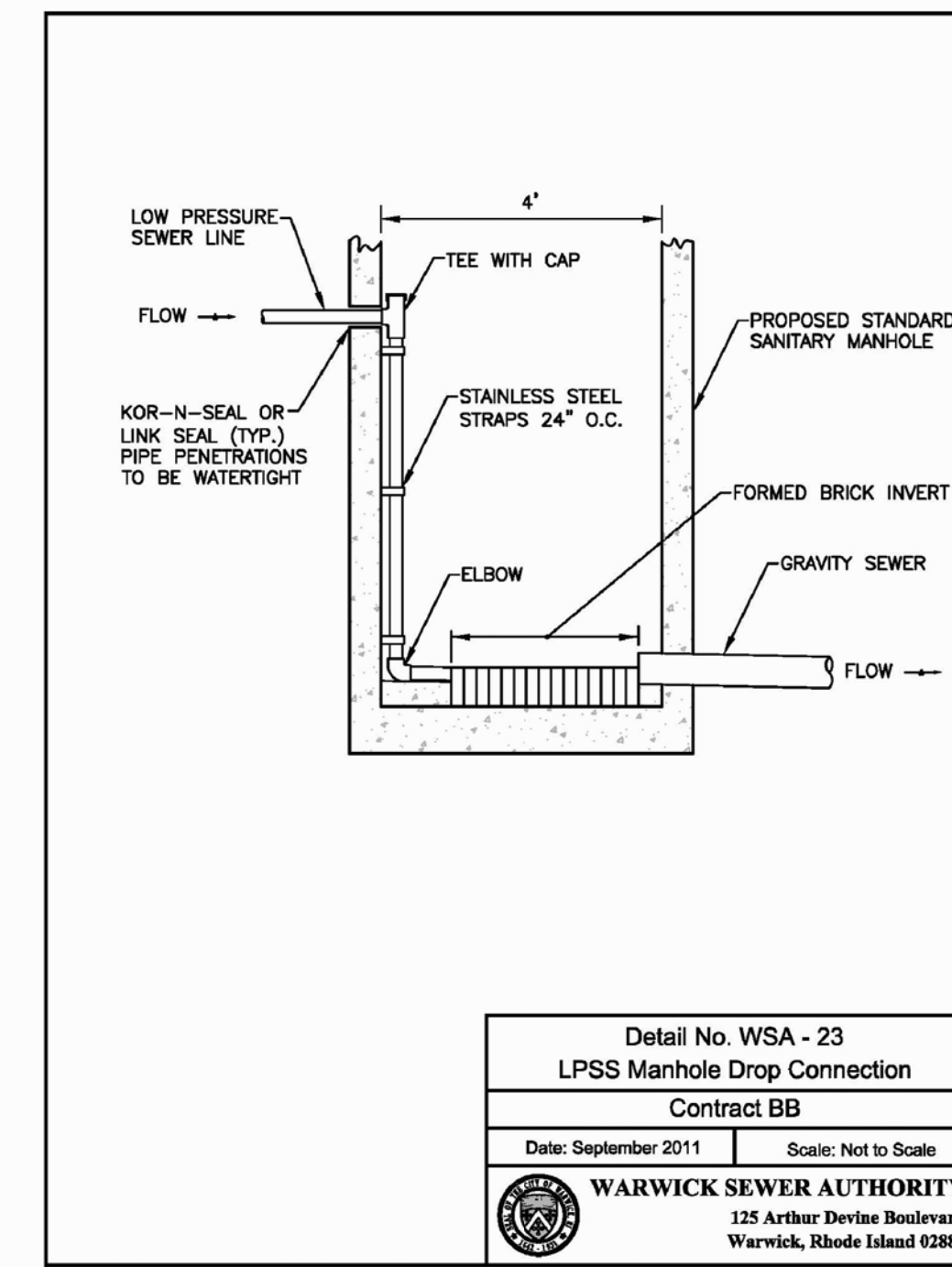
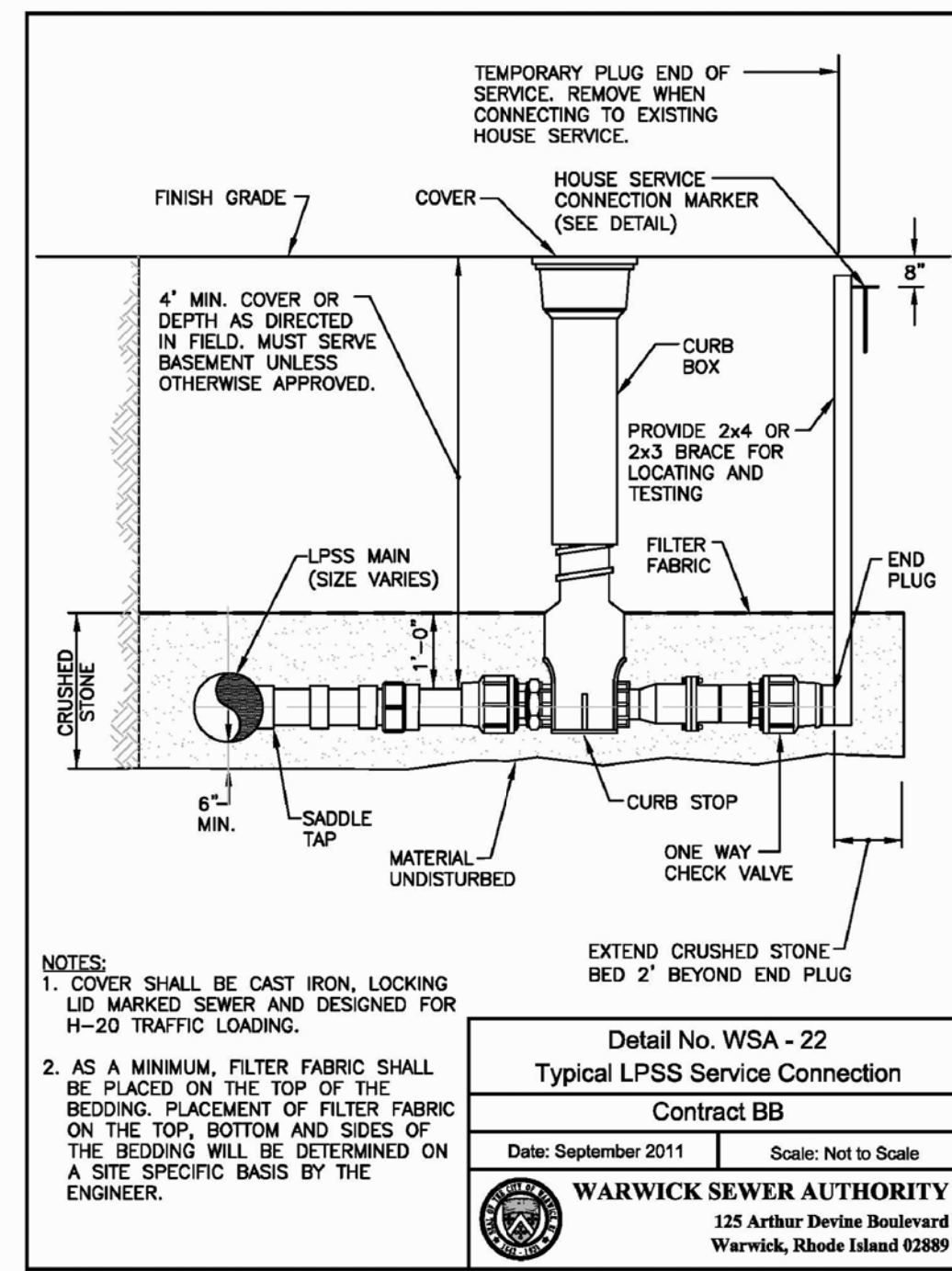
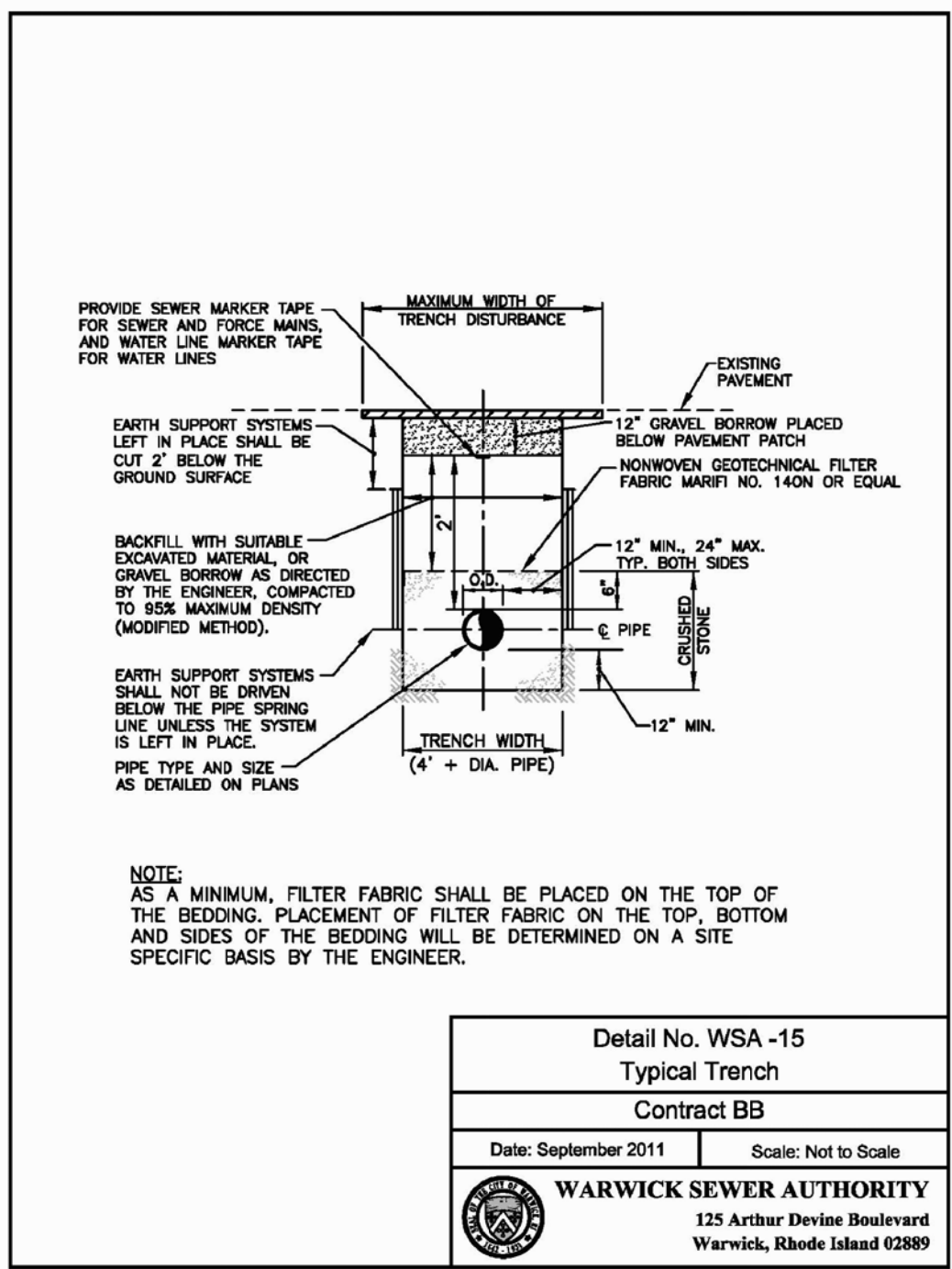
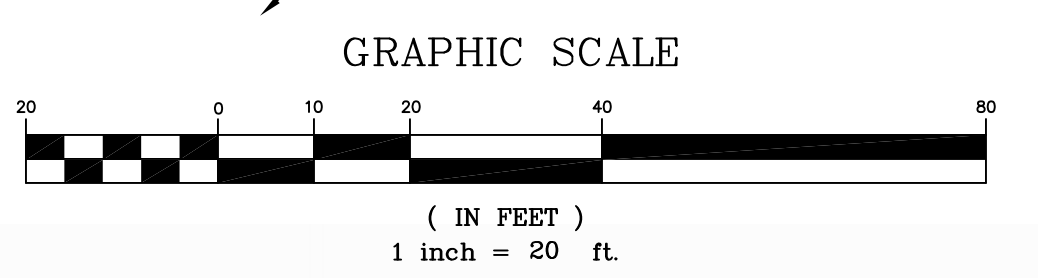
ELECTRIC CONDUIT AND HANDHOLE PLACEMENT SHOWN IS APPROXIMATE AND FOR REFERENCE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE ELECTRIC SERVICE DESIGN AND PLACEMENT. INCLUDE IN BID PRICE.

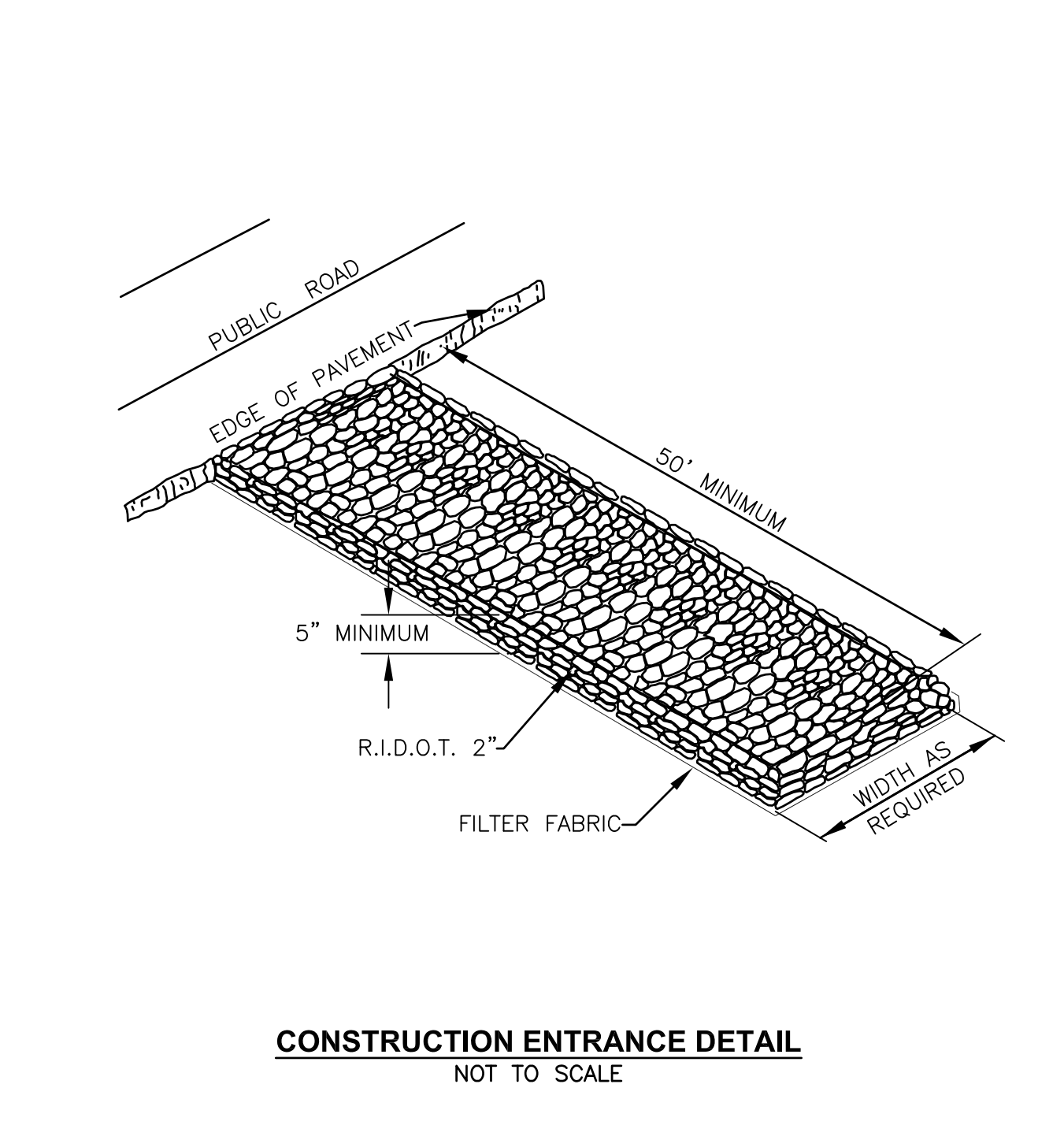
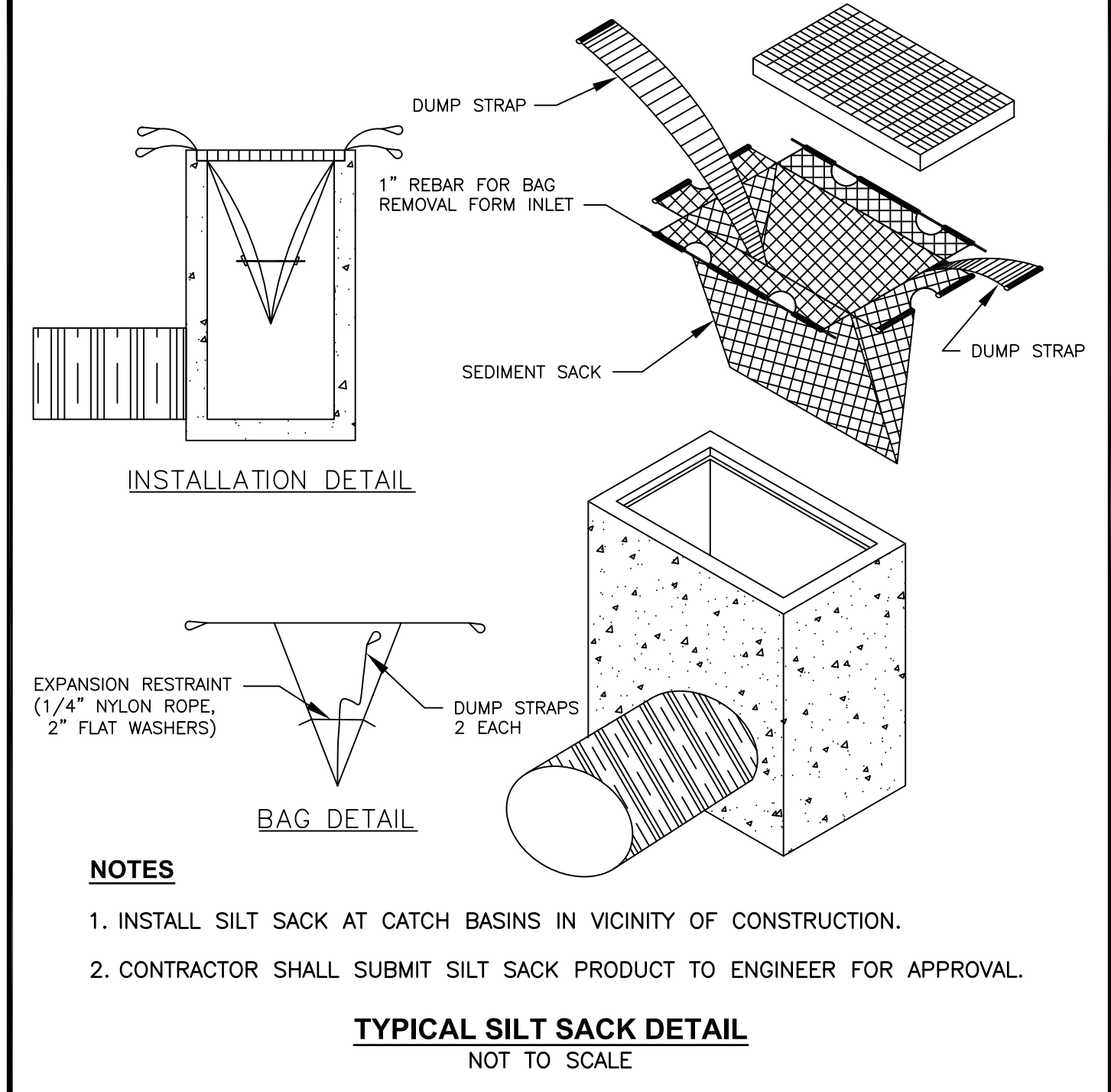
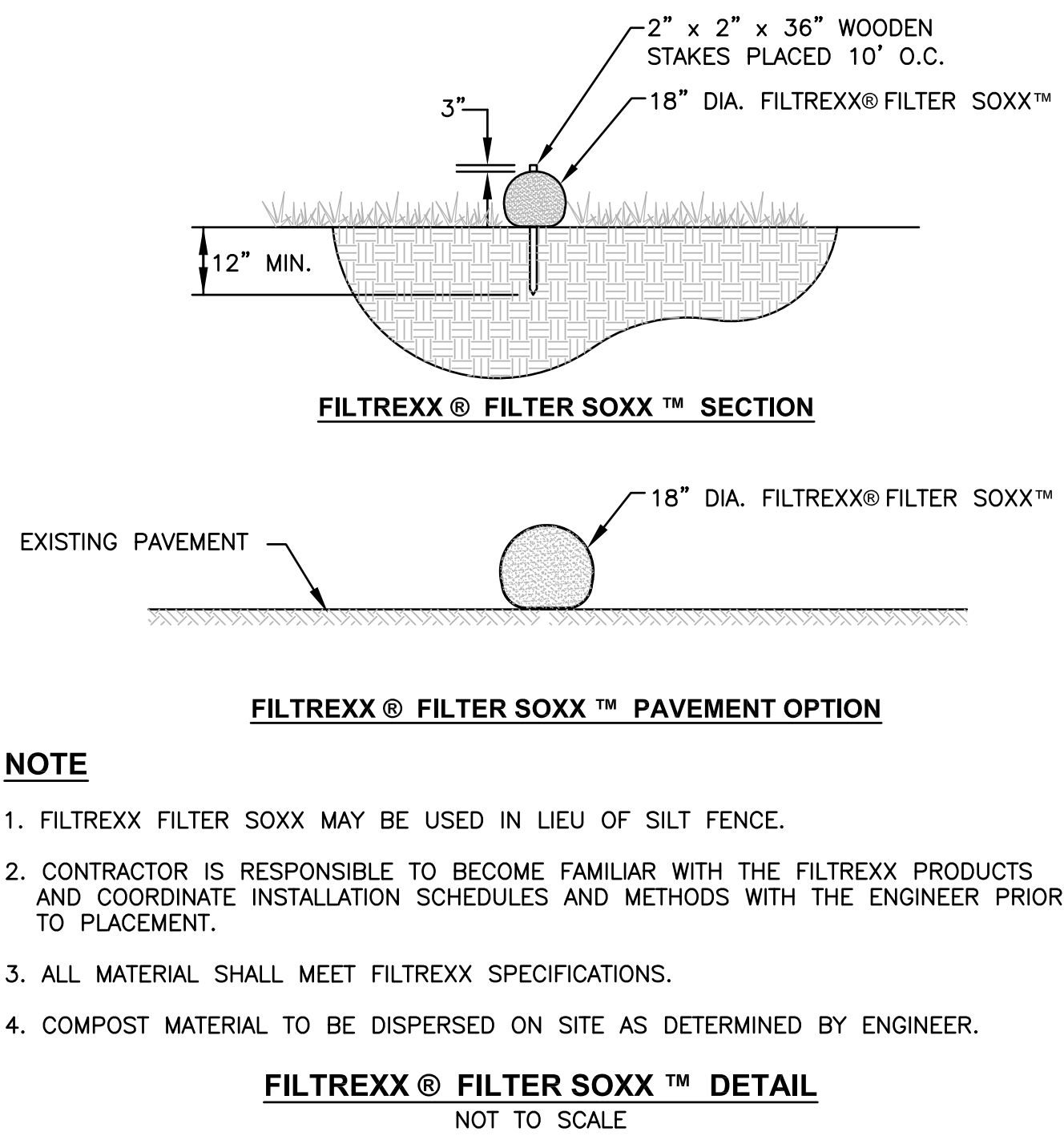
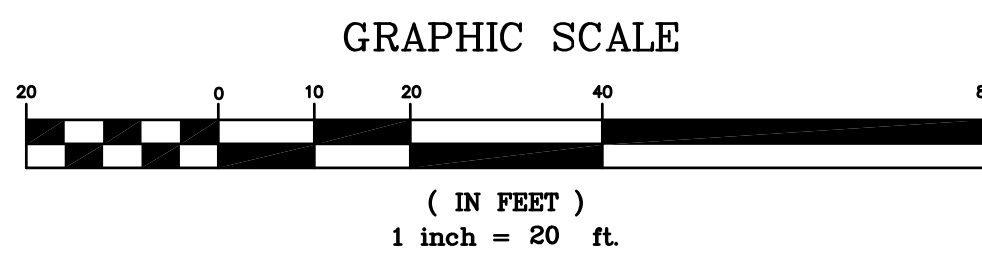
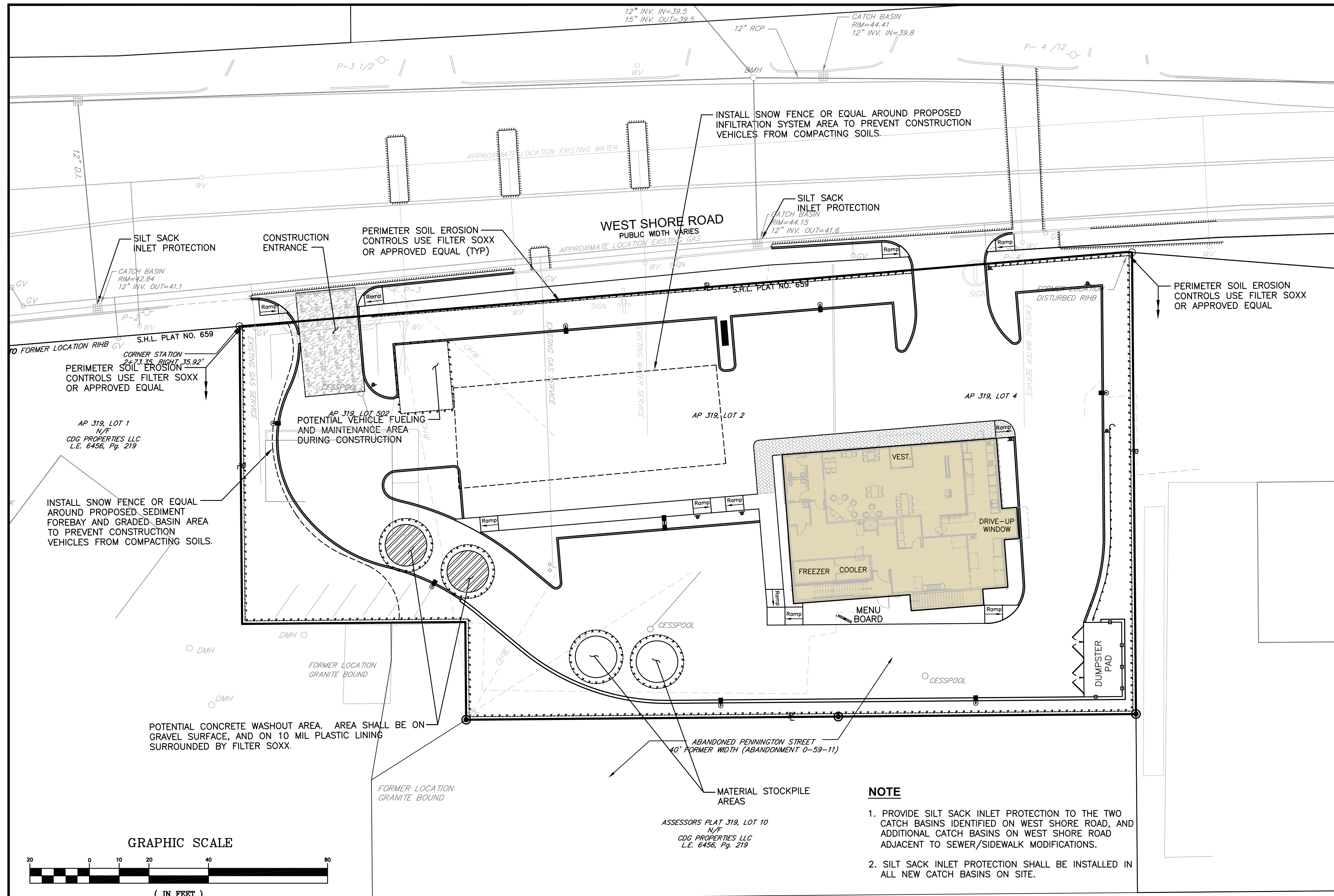
### UNDERGROUND IRRIGATION NOTE

THE 6" DIA. IRRIGATION CONDUIT CARRIER PIPE SHOWN UNDER PAVEMENT IS AT APPROXIMATE LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR IRRIGATION SYSTEM DESIGN AND INSTALLATION. INCLUDE IN BID PRICE.

### UTILITY NOTES

- CONTRACTOR SHALL COORDINATE NEW ELECTRIC AND COMMUNICATION SERVICE WITH UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF NEW CONDUITS, WIRES AND TRANSFORMERS AS REQUIRED TO SERVICE THIS SITE.
- CONTRACTOR IS REQUIRED TO DIG TEST PITS AT ALL PROPOSED-EXISTING UTILITY TIE-IN AREAS. THIS WORK SHALL BE CONDUCTED PRIOR TO INSTALLATION. COORDINATION WITH OWNER AND ENGINEER IS REQUIRED.
- THE CONTRACTOR SHALL INSTALL NEW LIGHT POLES, HANDHOLE, AND ELECTRICAL CONDUITS FOR THIS SITE. REFER TO LIGHTING PLAN FOR LOCATIONS AND DETAILS. THIS CONTRACTOR IS RESPONSIBLE FOR THIS INSTALLATION.
- ALL UTILITIES PENETRATING THE FOUNDATION WALL SHALL BE SLEEVED WITH WATER TIGHT FITTINGS.
- THE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF UNDERGROUND CONDUIT, GAS, ELECTRIC AND COMMUNICATION SERVICE. BID PRICE SHALL INCLUDE PAVEMENT SAWCUT, REMOVAL AND DISPOSAL, EXCAVATION, PIPE/CONDUIT INSTALLATION AND BACKFILL.
- THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE ARCHITECT AND PLUMBING ENGINEER TO CONFIRM THE PROPOSED WATER SERVICE SIZE. ANY MODIFICATIONS TO THE WATER SYSTEM REQUIRES ACCEPTANCE BY KENT COUNTY WATER AUTHORITY. COORDINATION BY THE CONTRACTOR IS REQUIRED PRIOR TO CONSTRUCTION.
- PROPOSED GAS LINE SIZE SHALL BE VERIFIED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
- UTILITY SERVICE LOCATIONS AT THE BUILDING AS SHOWN ON THIS PLAN MAY VARY DEPENDING ON FINAL ARCHITECTURAL DESIGN.
- CONTRACTOR SHALL VERIFY WATER, SEWER AND GAS LINE LOCATIONS AND ELEVATIONS WITHIN PROVIDENCE STREET PRIOR TO CONSTRUCTION.
- A WATER METER AND BACKFLOW PREVENTION SYSTEM SHALL BE PROVIDED WITHIN THE BUILDING.
- GRAVITY SEWER PIPE SHALL BE SDR 35, AND FORCE MAIN SHALL BE 200 PSI PVC.





**DUST CONTROL NOTES**

ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE CITY, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:

- A. THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
- B. CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKE FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.

THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

**INSPECTION/MAINTENANCE NOTES**

1. PRIOR TO COMMENCING GRUBBING OPERATIONS AND EARTHWORK, FILTERSOXX SHALL BE PLACED INSIDE SAWCUT EDGE AND ALONG THE DOWNGRADIANT LIMIT OF DISTURBANCE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM, AND ABUTTING PROPERTIES AND THE CONTRACTOR SHALL INSTALL DRILIPLINE TREE PROTECTION DEVICES ALONG THE PROPOSED TREELINE/EXISTING TREES TO REMAIN.
2. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
3. ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
5. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
6. ADDITIONAL FILTERSOXX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
8. THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

**GENERAL PROJECT WIDE NOTES**

1. CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENT CONTROL PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK ON SITE; SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
2. CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS; FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
3. IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO SWEEP DAILY AND TO INSTALL SILT SACK OR APPROVED EQUAL UNDER ADJACENT EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
4. FILTER SOXX (OR SILT FENCE OR STAKED HAYBALES) SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
5. IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE CITY OR ENGINEER DURING CONSTRUCTION.
6. IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
7. THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

**FILTREXX SOXX NOTE**

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.

**EROSION CONTROL AND SOIL STABILIZATION PROGRAM**

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY, AND ROADWAYS.
2. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
3. HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
4. STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY FILTER SOXX, STAKED HAY BALES OR SILT FENCING.
5. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
6. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
7. ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL D.O.T.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
9. ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS.
10. ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
11. THE FILTREXX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREXX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
12. SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF FILTREXX FILTER SOXX.
13. AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREXX FILTER SOCK UPON APPROVAL OF THE ENGINEER.

**Crossman Engineering**

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-6660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: [cel@crossmaneng.com](mailto:cel@crossmaneng.com)

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

**KEY PLAN**

**PROPOSED DUNKIN'**

**PLAT MAP 319, LOTS 2, 4 & 502**

**ZONING DISTRICT**

**GENERAL BUSINESS**

**35 WEST SHORE ROAD**

**WARWICK, RHODE ISLAND**

**PREPARED FOR:**

**E&J WEST SHORE REALTY, LLC**

**75 TIPPING ROCK DRIVE**

**EAST GREENWICH, RI 02818**

**DRAWING TITLE:**

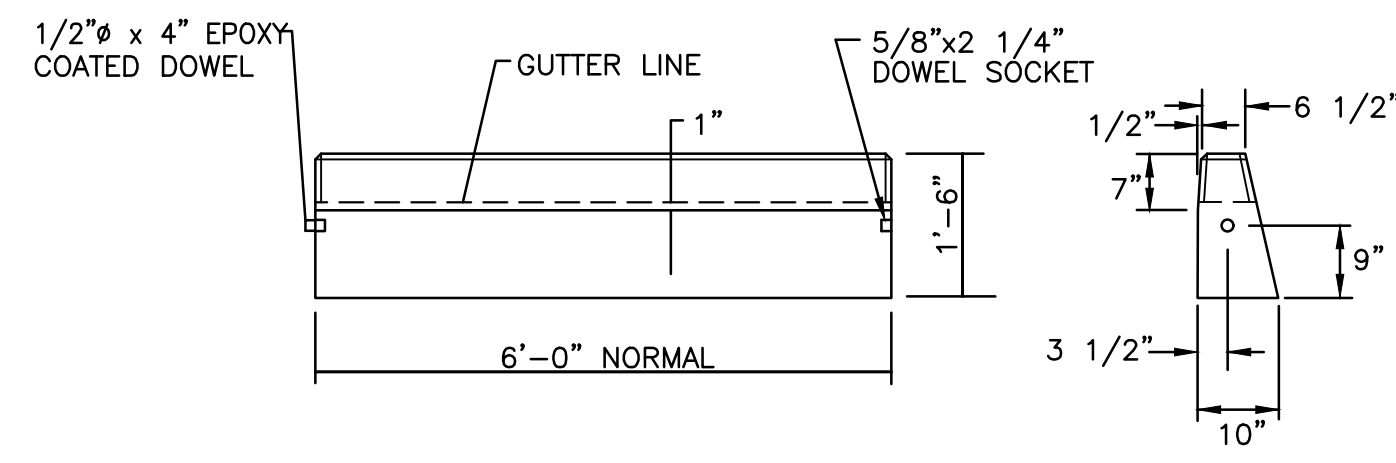
**SOIL EROSION and SEDIMENT CONTROL PLAN**

**DATE:** APRIL 2021 **SCALE:** 1"=20'

**DWG. NAME:** 2416-10-SOIL.dwg

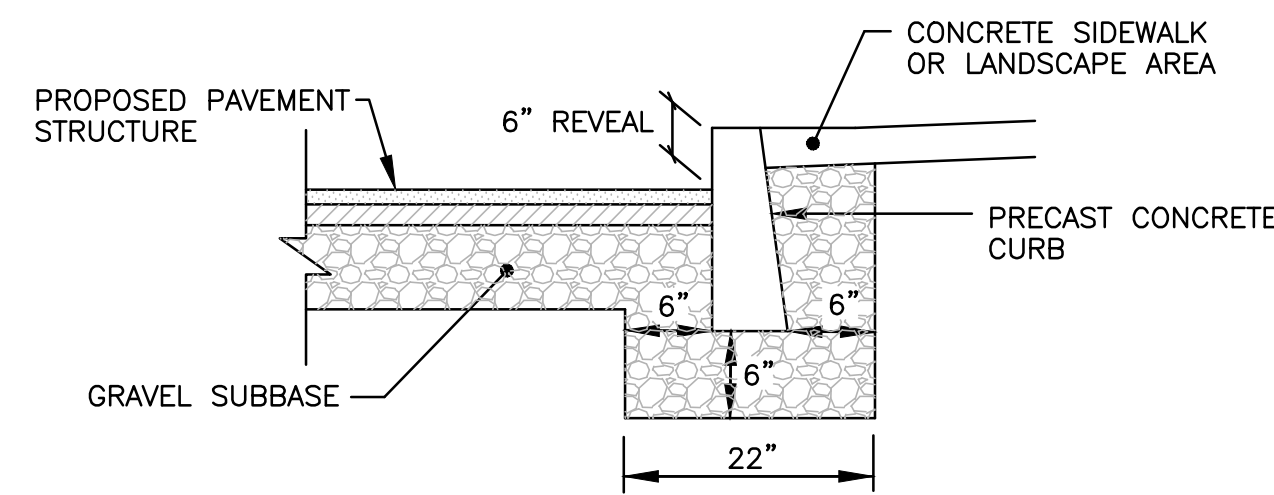
**REVISIONS**

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |

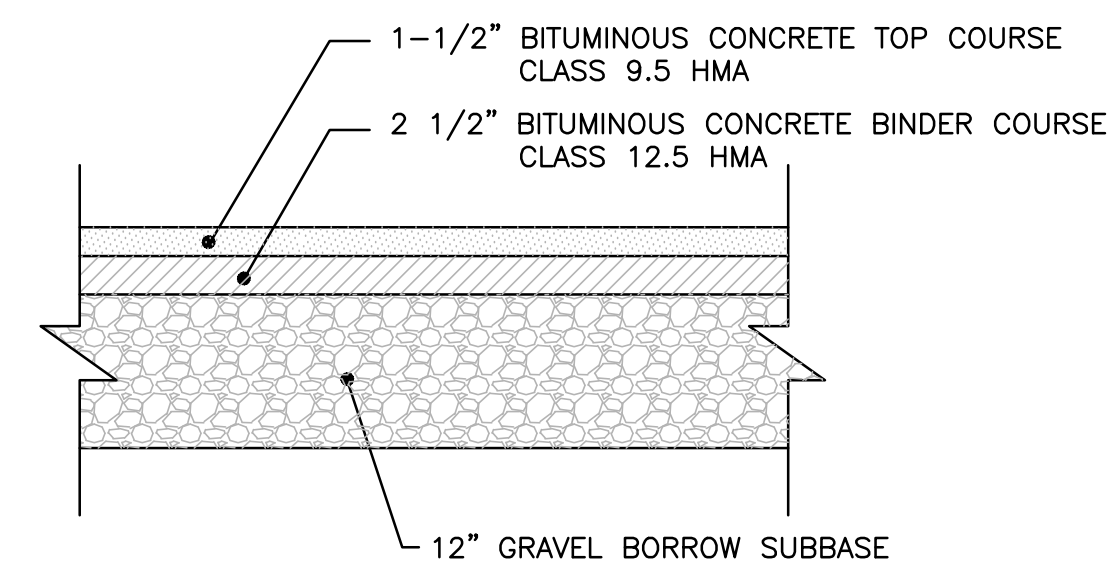


**CIRCULAR CURB**

**PRECAST CONCRETE CURB DETAIL**  
NOT TO SCALE

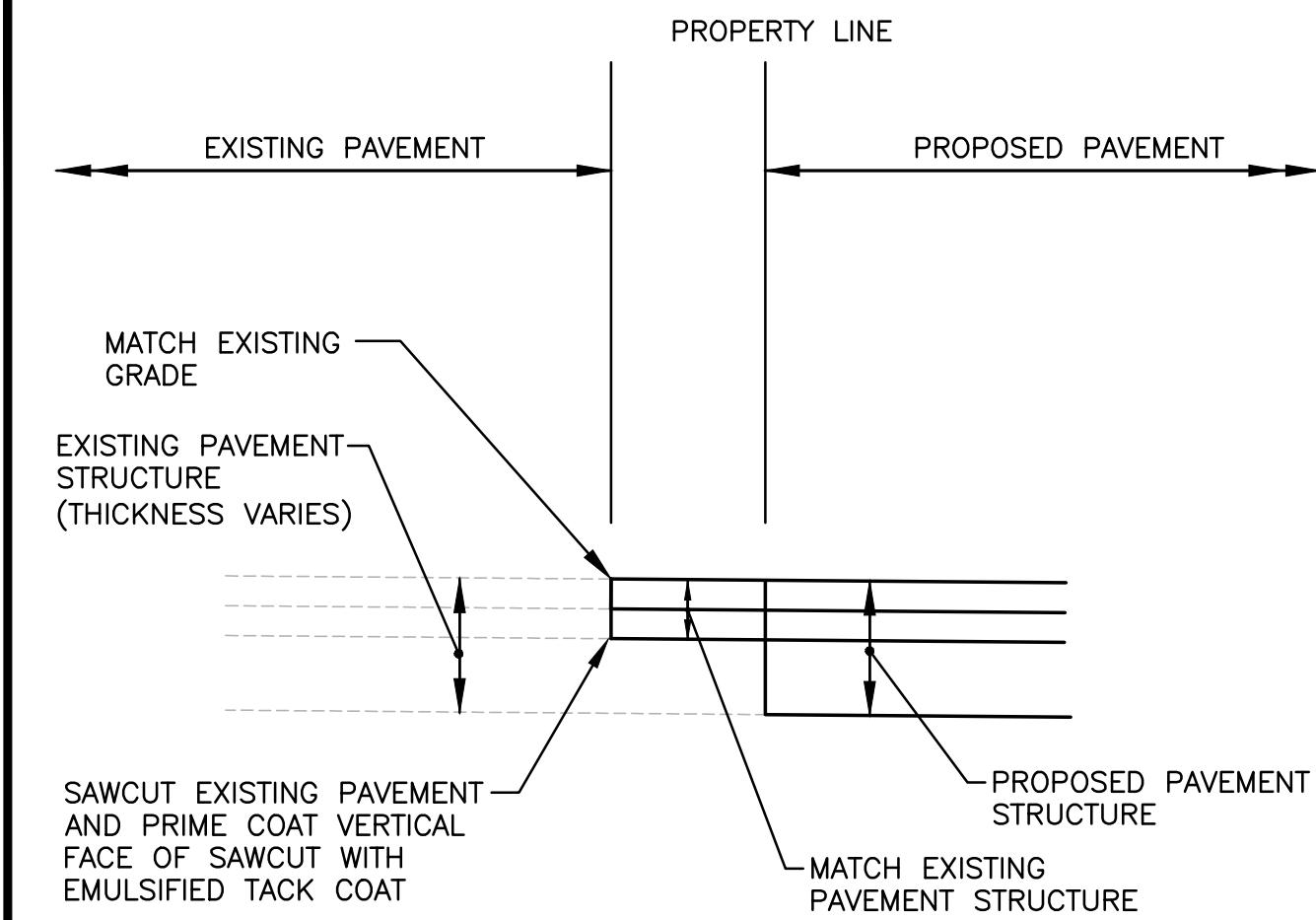


**TYPICAL PRECAST CONCRETE CURB INSTALLATION WITHIN PARKING AREAS**  
NOT TO SCALE

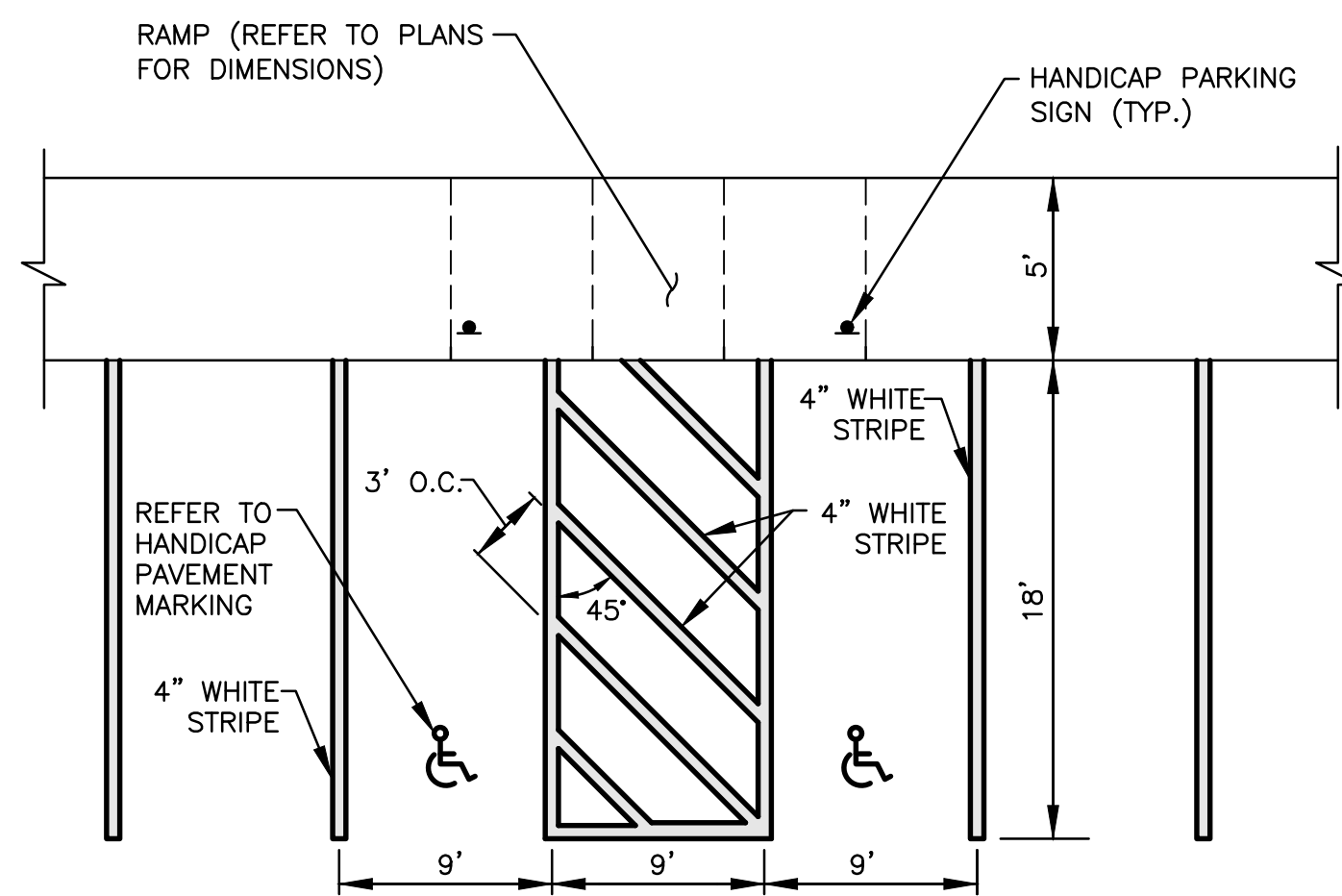


**NOTE:**  
THE ABOVE PAVEMENT THICKNESS REPRESENTS THE MINIMUM THICKNESS FOR PASSENGER VEHICLE AREAS. PAVEMENT DEPTH TO BE BASED UPON SITE SPECIFIC SOIL CONDITIONS.

**TYPICAL PAVEMENT STRUCTURE DETAIL**  
NOT TO SCALE

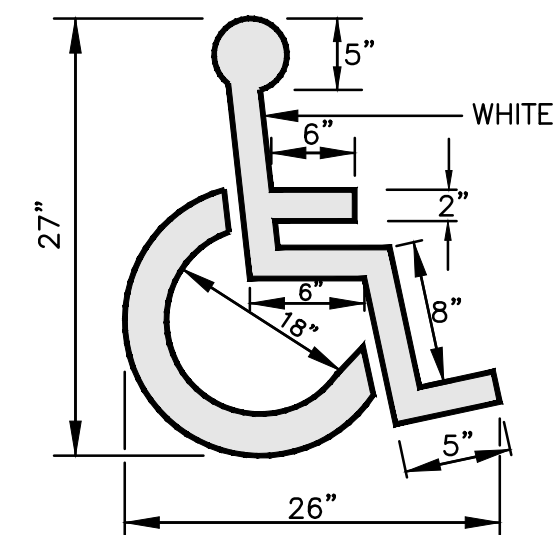


**PROPOSED PAVEMENT MATCH AT EXISTING PAVEMENT**  
NOT TO SCALE



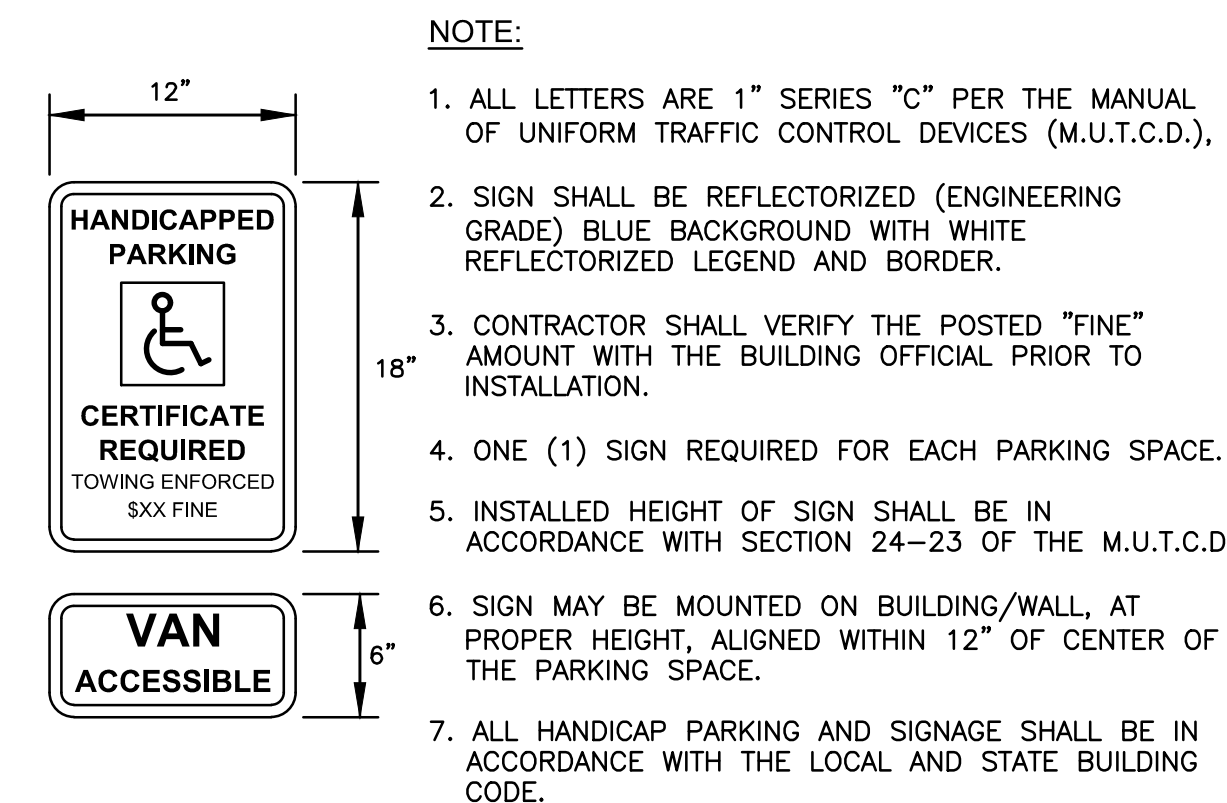
**NOTE:**  
1. ALL HANDICAP PARKING SPACES SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE AND ADA REQUIREMENTS.

**HANDICAP PARKING STALLS**  
NOT TO SCALE



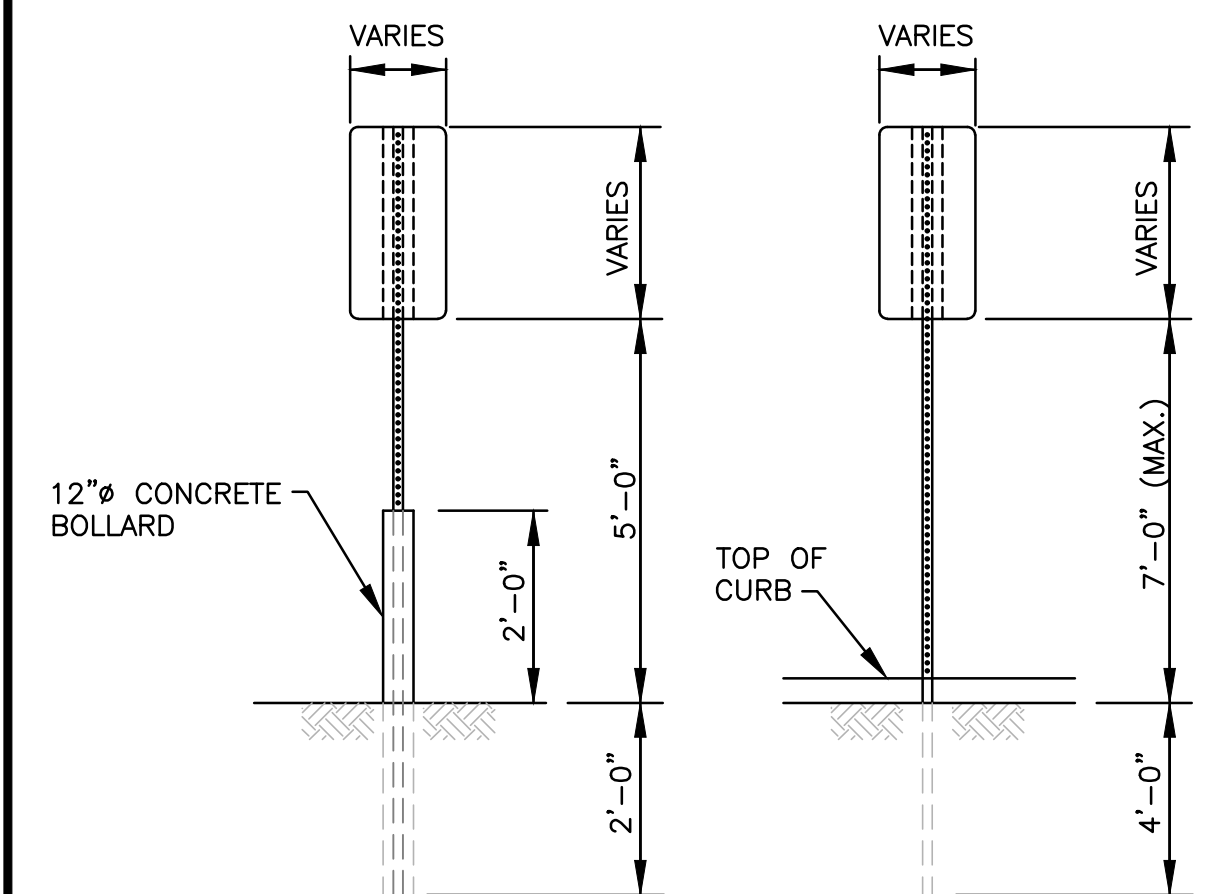
**NOTE:**  
1. ALL HANDICAP PARKING SPACES SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE AND ADA REQUIREMENTS.

**HANDICAP PAVEMENT MARKING**  
NOT TO SCALE

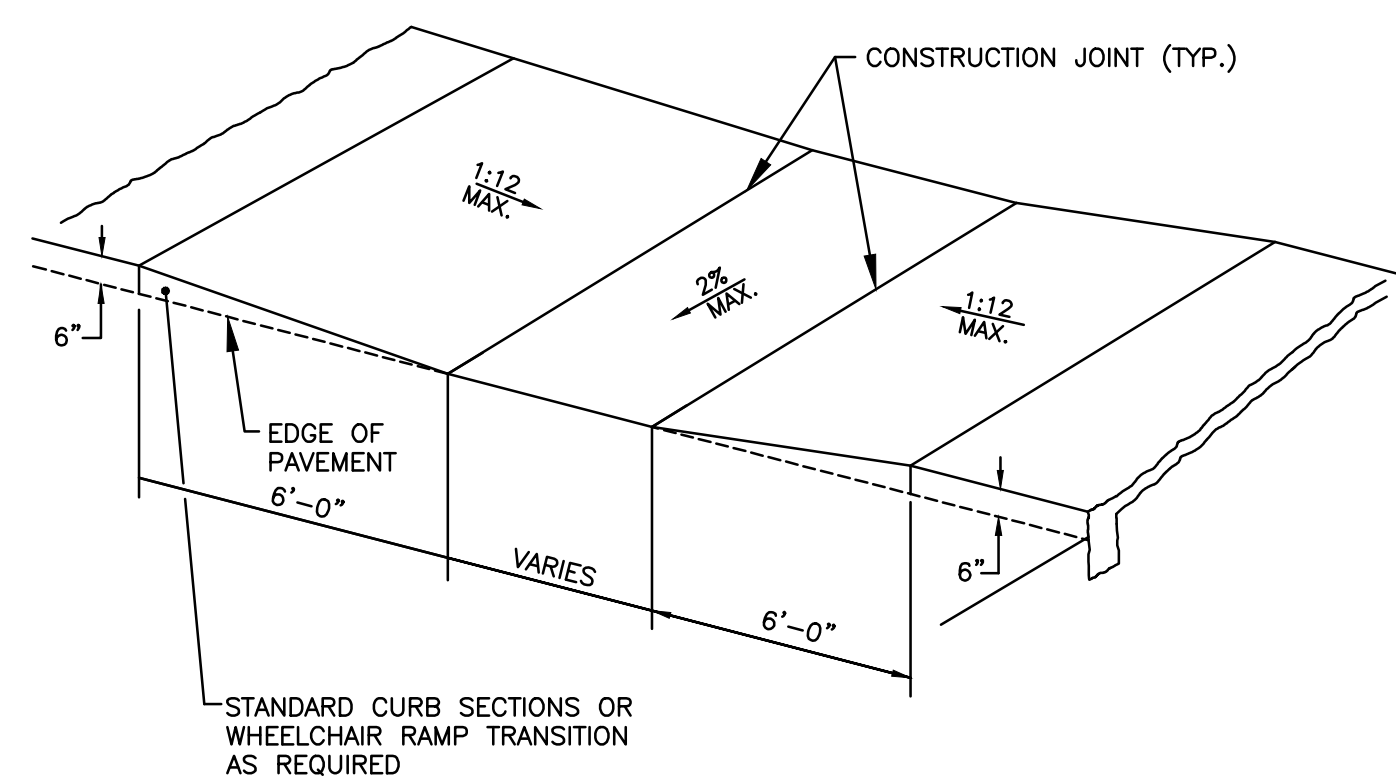


**SIGN NOTES:**  
1. SIGN POSTS SHALL BE GALVANIZED STEEL U-CHANNEL (3 1/2" WIDE-MIN.) AND INSTALLED IN CONFORMANCE WITH MUTCD AND LOCAL STANDARDS AND SPECIFICATIONS.  
2. POSTS SHALL BE DRIVEN TO A DEPTH OF 4 FEET (MIN.)  
3. THE EDGE OF THE SIGN SHALL BE 18" FROM THE FACE OF THE CURB.  
4. WITHIN SIDEWALK LOCATIONS THE SIGN POST WILL BE INSTALLED WITHIN A 8"x8"x6" SQUARE BOX FORM.

**PROPOSED HANDICAPPED PARKING SIGNS**  
NOT TO SCALE

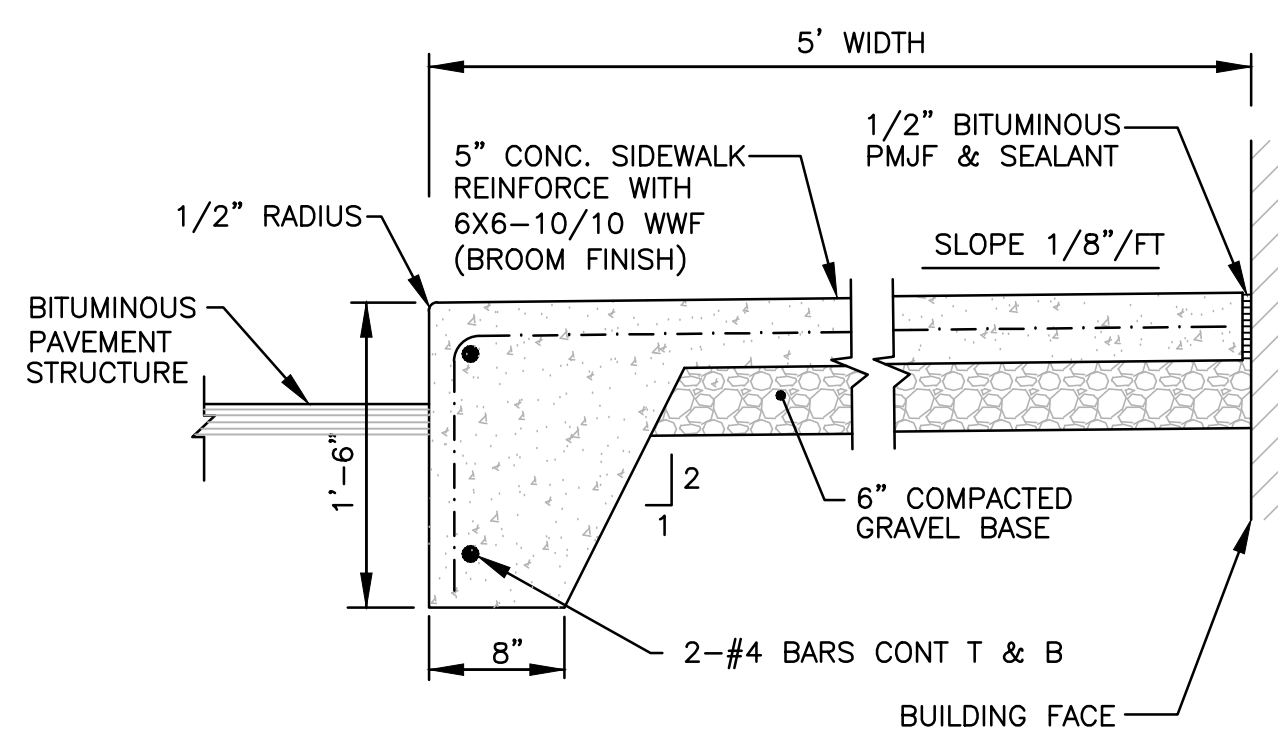


**SIGN MOUNTING DETAIL**  
NOT TO SCALE

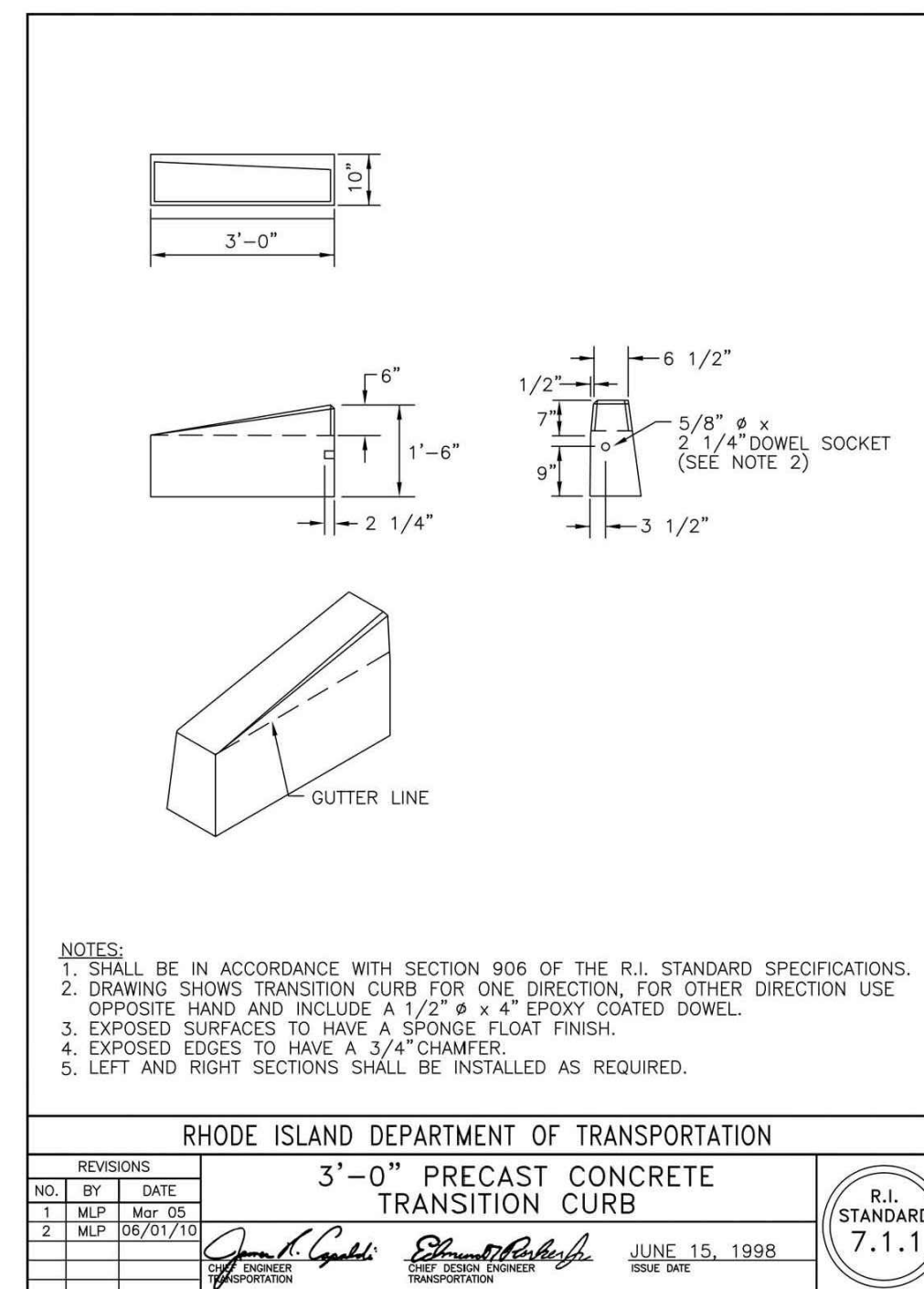


**NOTE:**  
ALL WHEELCHAIR RAMPS SHALL BE IN ACCORDANCE WITH LOCAL STANDARDS, STATE BUILDING CODE AND ADA REQUIREMENTS.

**WHEELCHAIR RAMP DETAIL**  
NOT TO SCALE

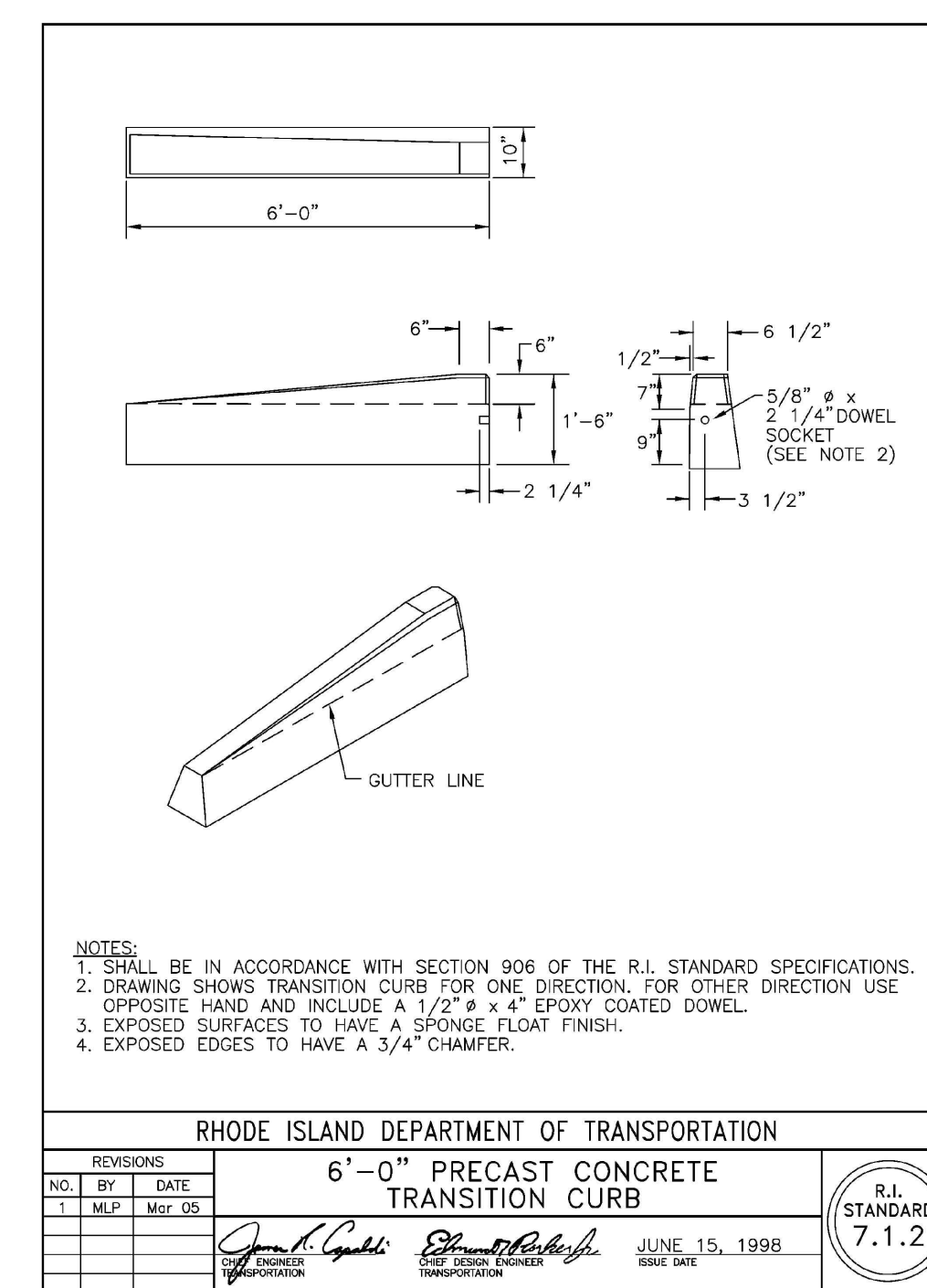


**TYPICAL CONCRETE WALK AT PAVEMENT DETAIL**  
NOT TO SCALE



| RHODE ISLAND DEPARTMENT OF TRANSPORTATION |     |          |           |
|---|-----|----------|-----------|
| 3'-0" PRECAST CONCRETE TRANSITION CURB    |     |          |           |
| NO.                                       | BY  | DATE     | REVISIONS |
| 1   | MLP | Mar 05   |           |
| 2   | MLP | 06/01/10 |           |

JUNE 15, 1998  
R.I. STANDARD 7.1.1



| RHODE ISLAND DEPARTMENT OF TRANSPORTATION |     |          |           |
|---|-----|----------|-----------|
| 6'-0" PRECAST CONCRETE TRANSITION CURB    |     |          |           |
| NO.                                       | BY  | DATE     | REVISIONS |
| 1   | MLP | Mar 05   |           |
| 2   | MLP | 06/01/10 |           |

JUNE 15, 1998  
R.I. STANDARD 7.1.2

**Crossman Engineering**  
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700  
Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

KEY PLAN

**PROPOSED DUNKIN'**  
PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

PREPARED FOR:  
**E&J WEST SHORE REALTY, LLC**  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI 02818

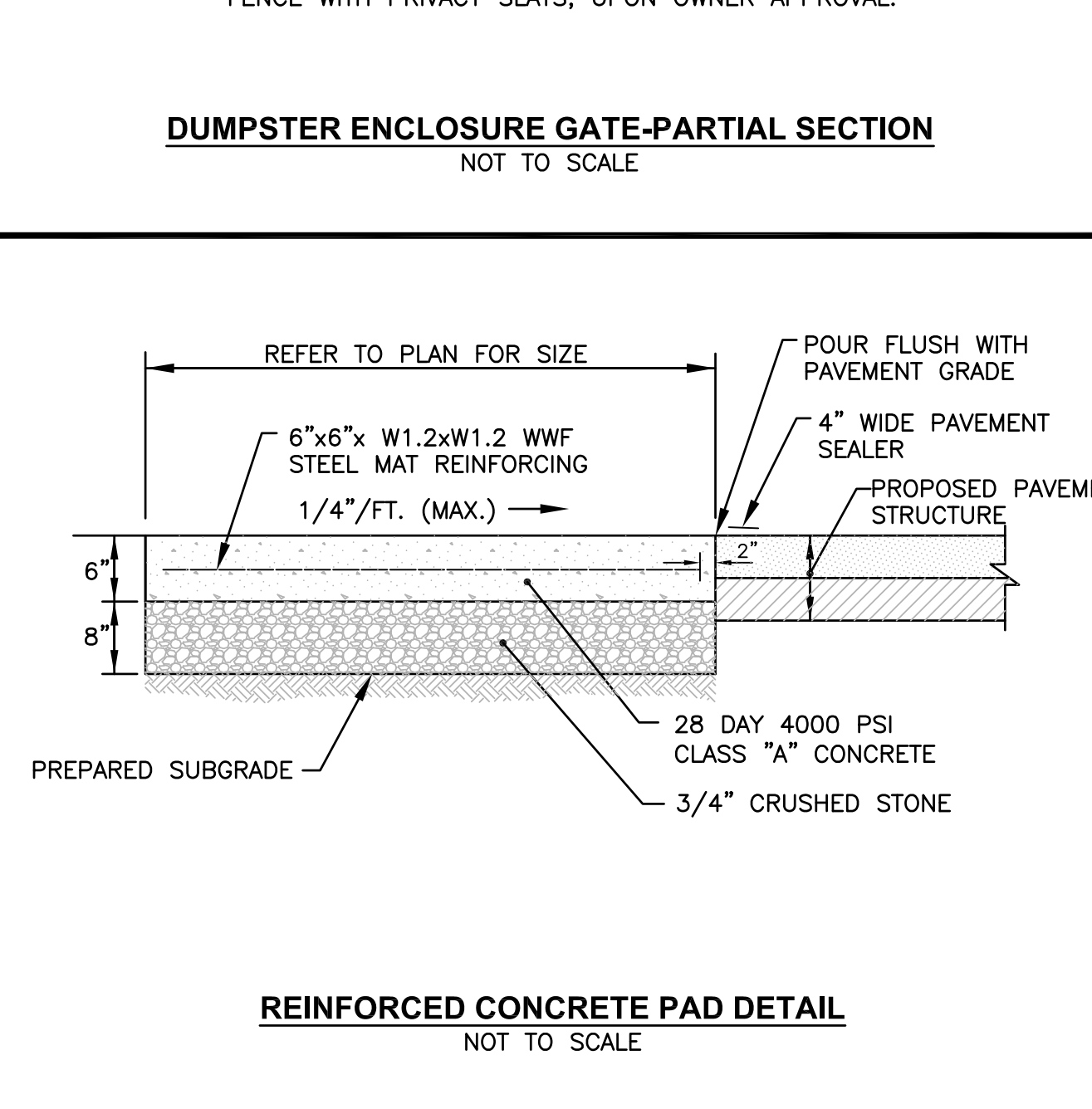
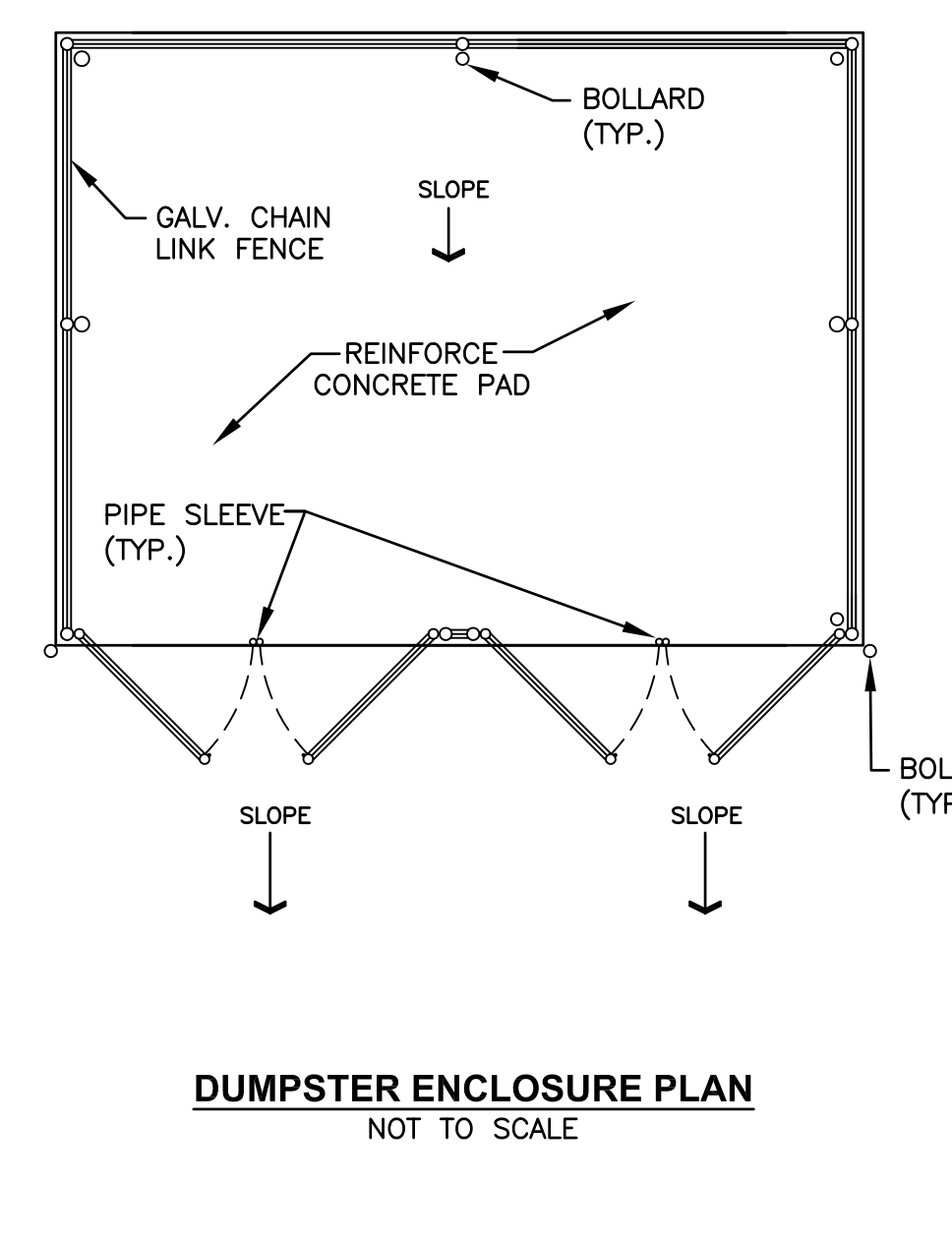
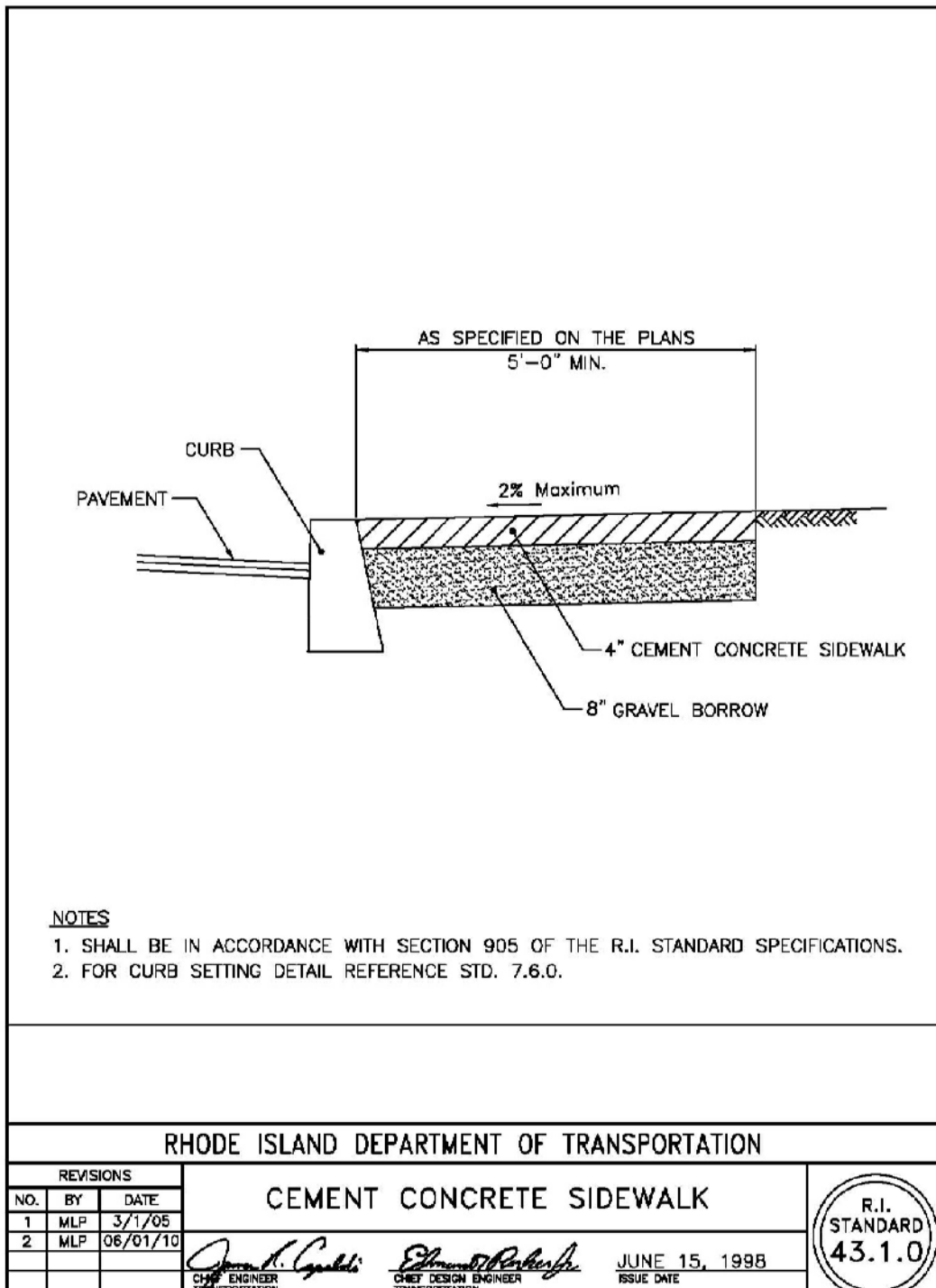
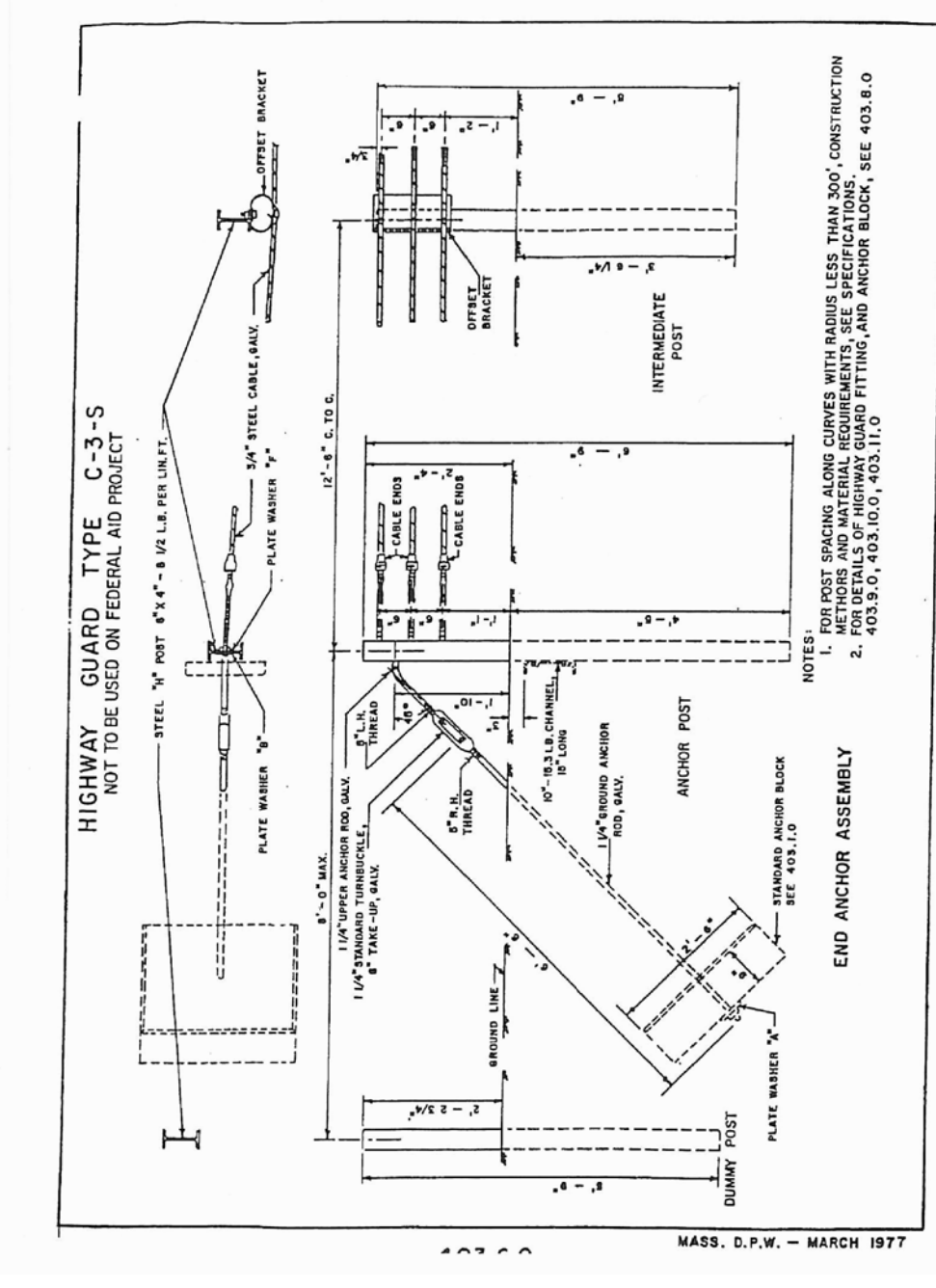
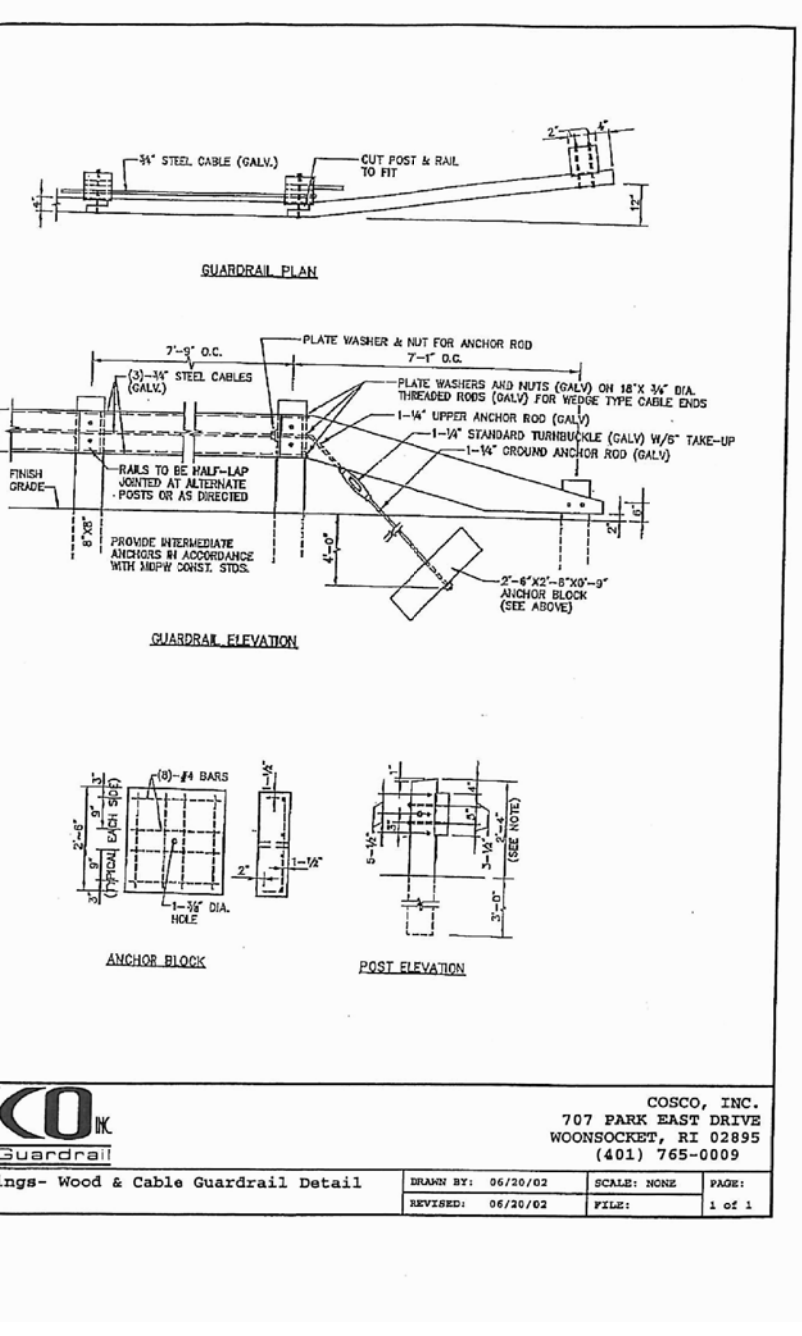
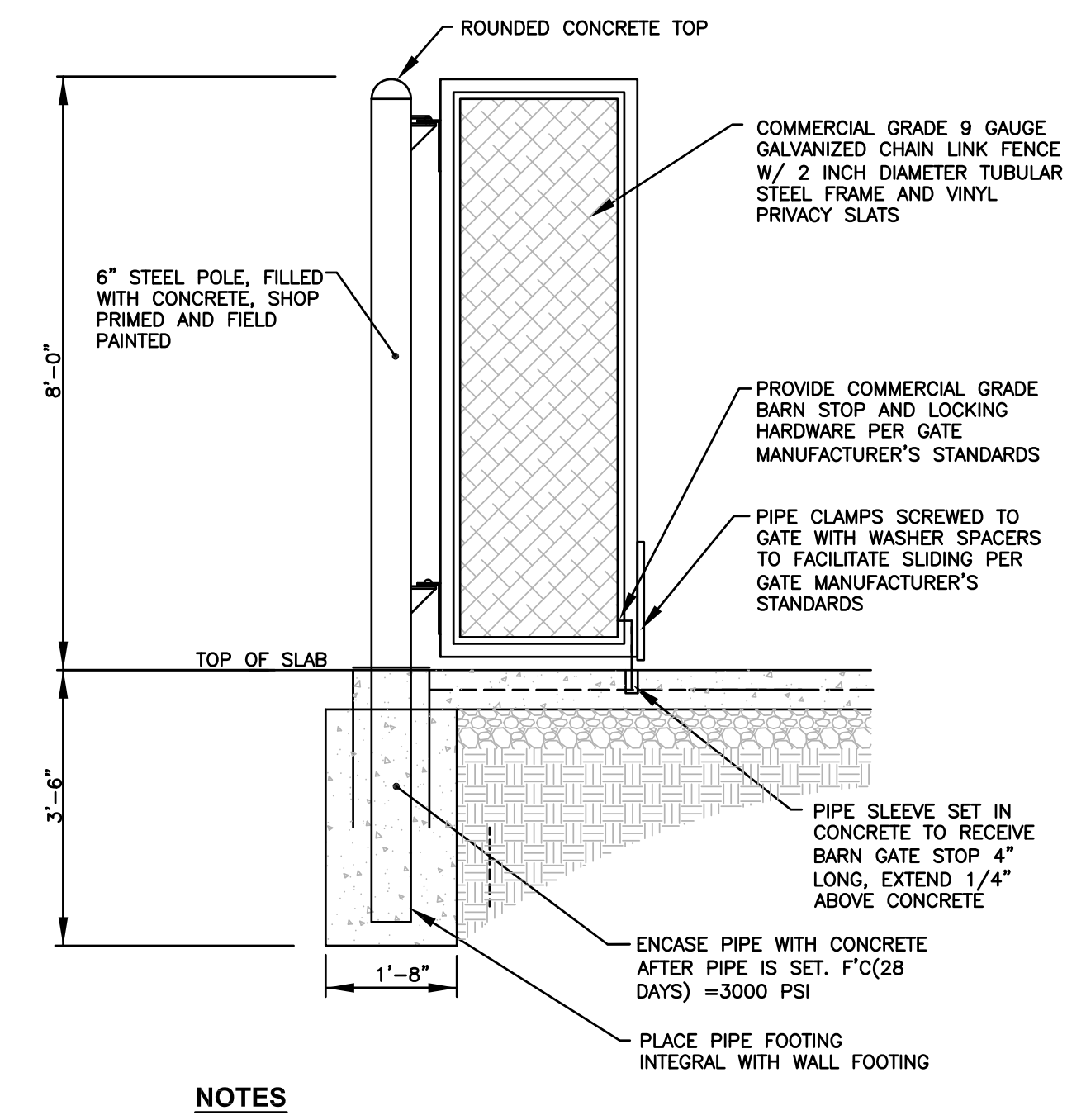
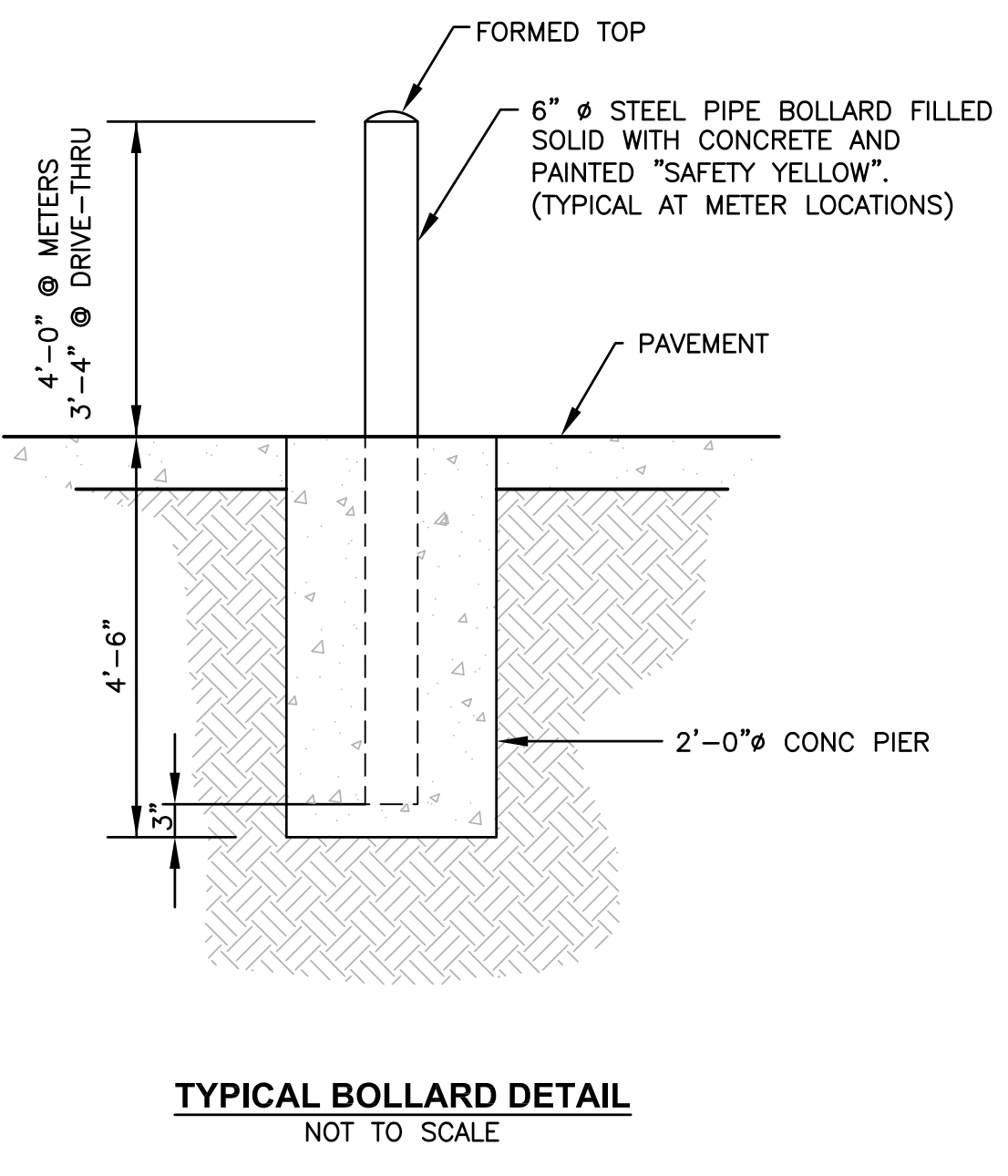
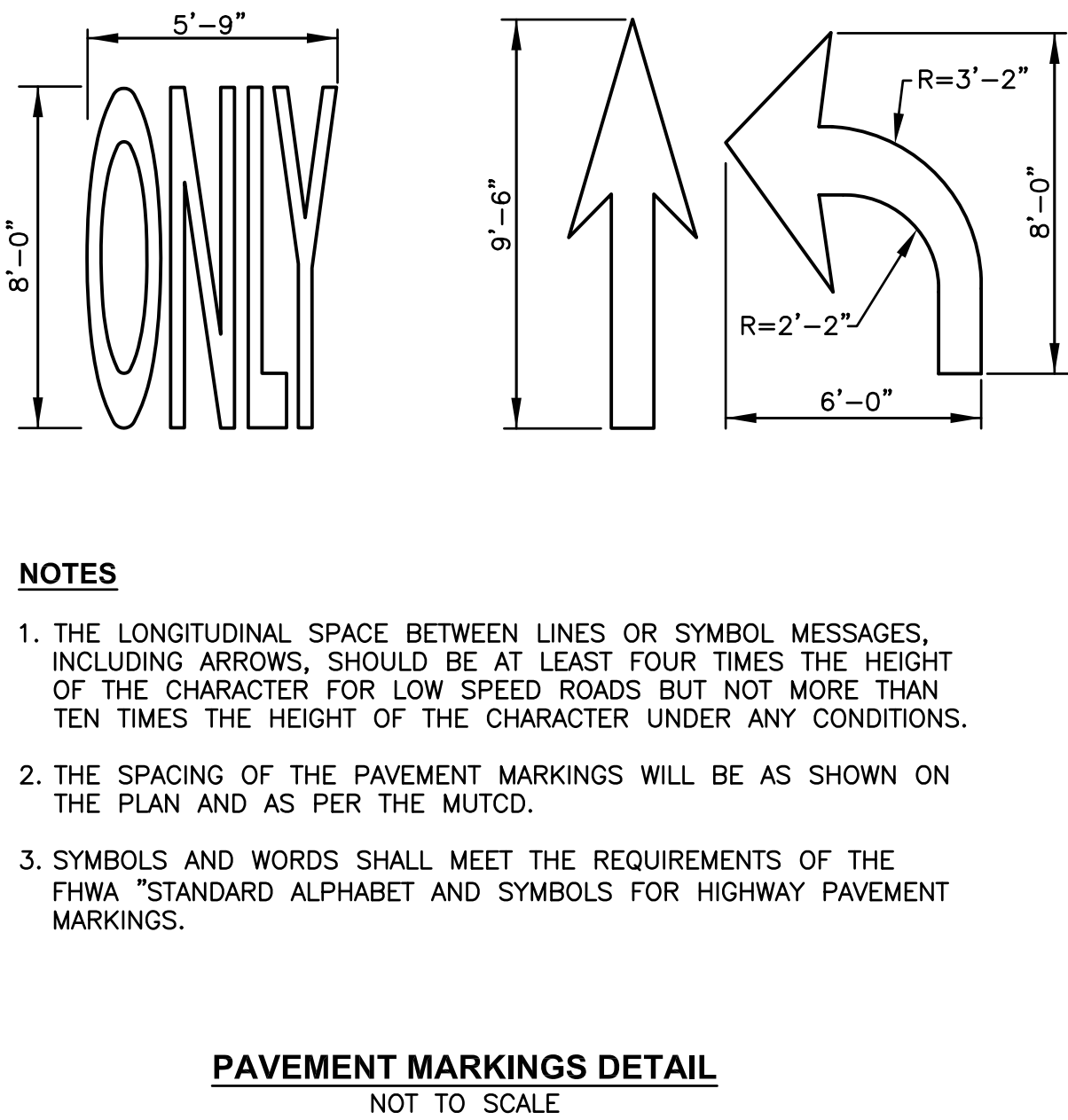
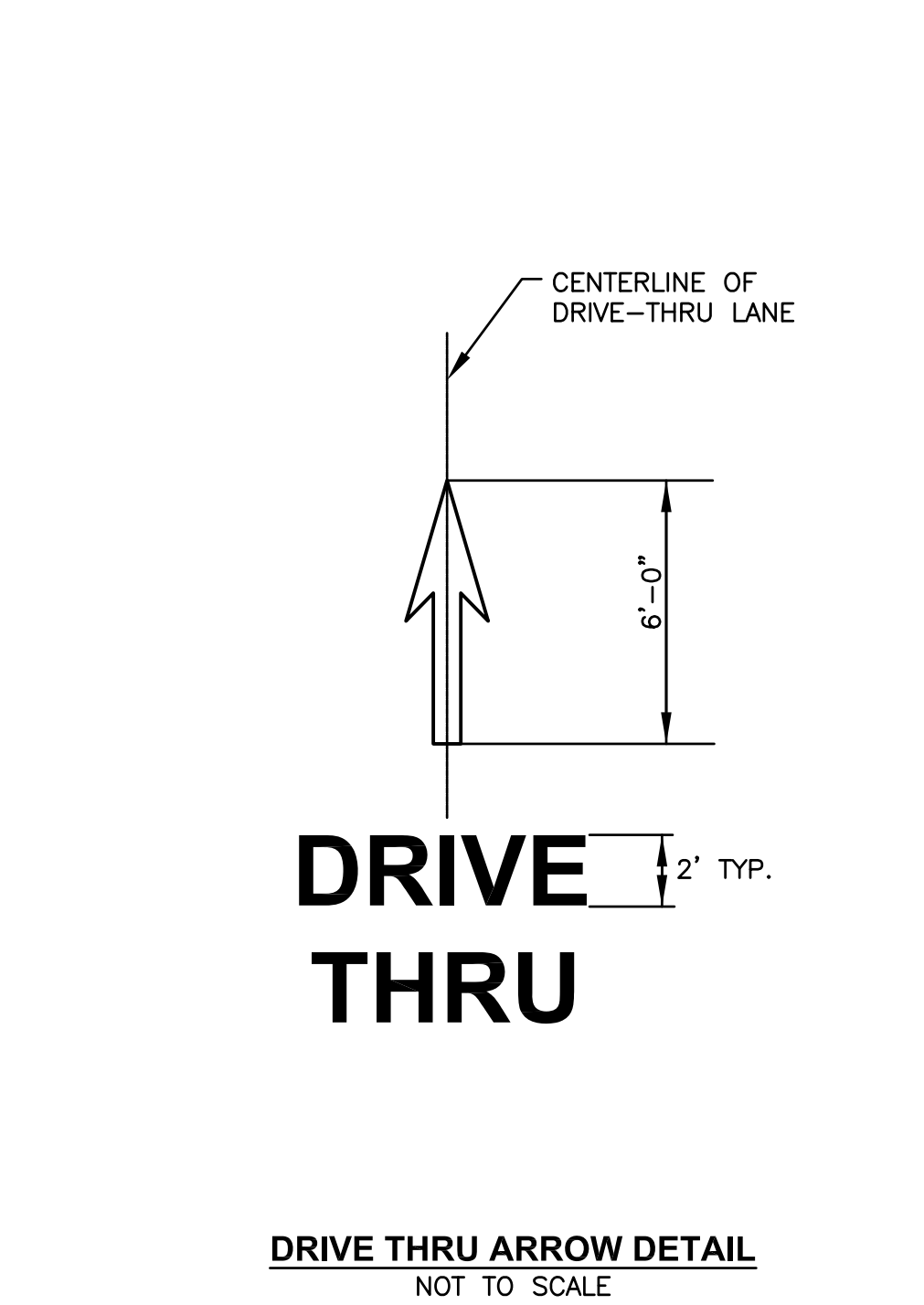
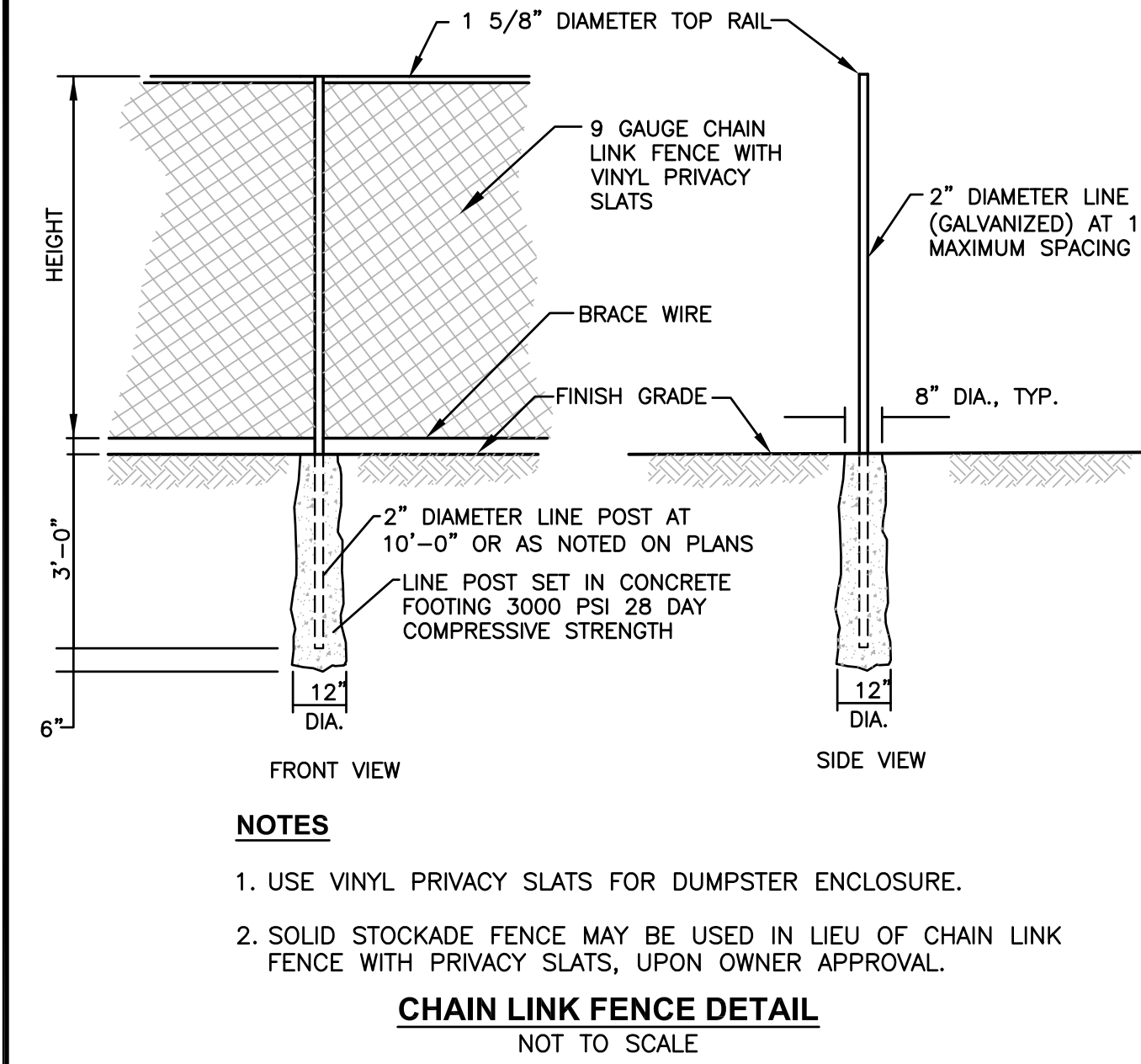
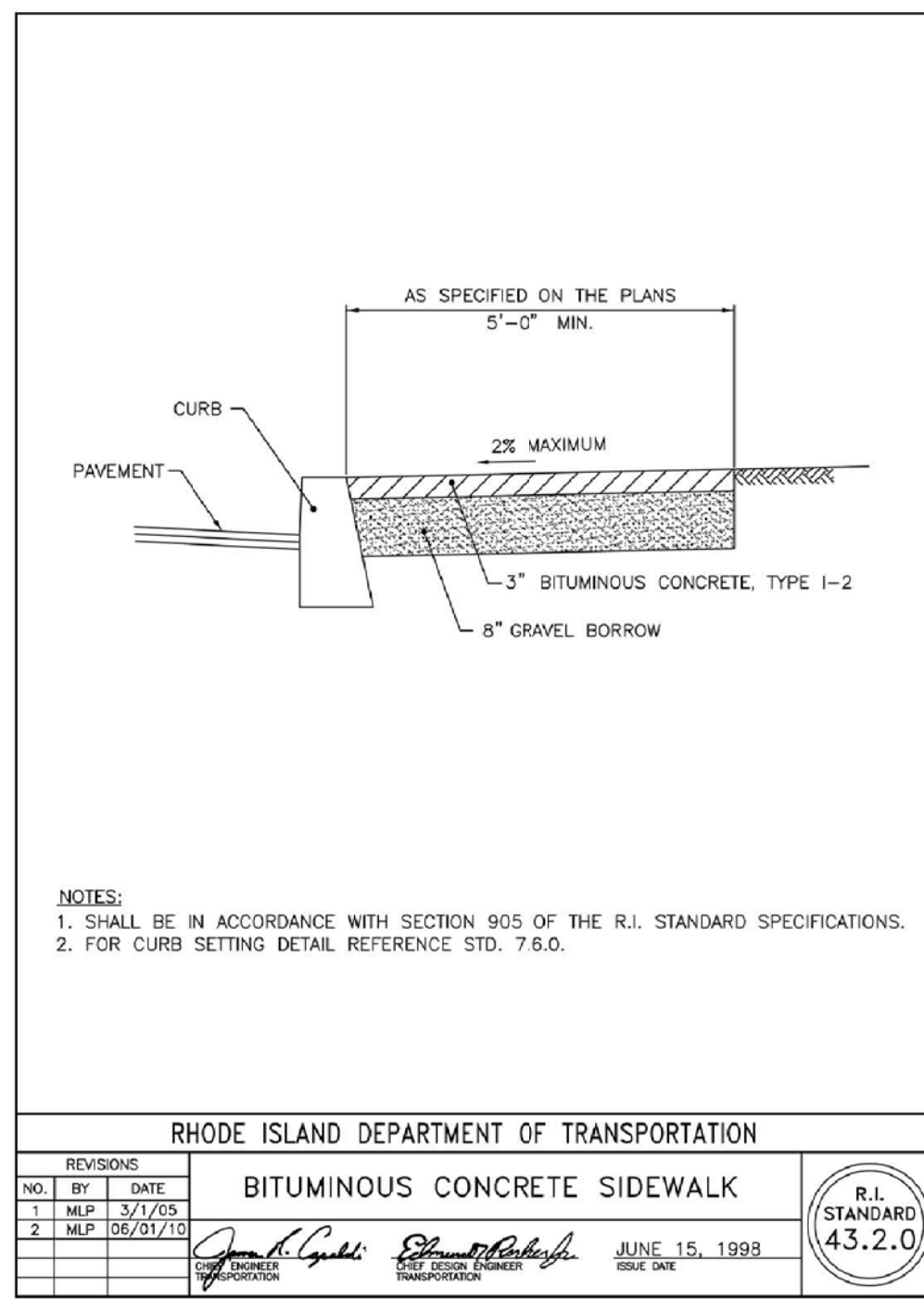
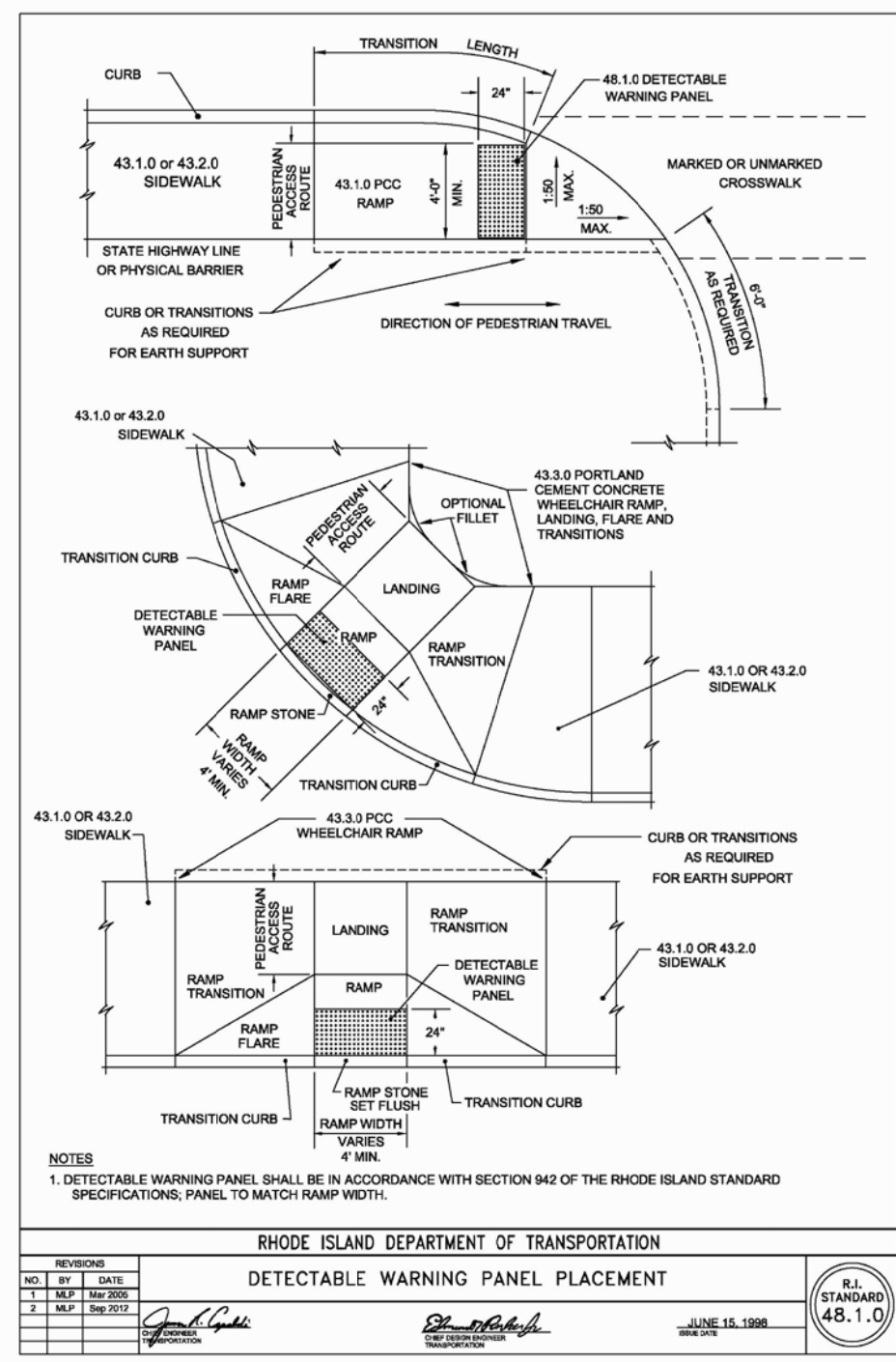
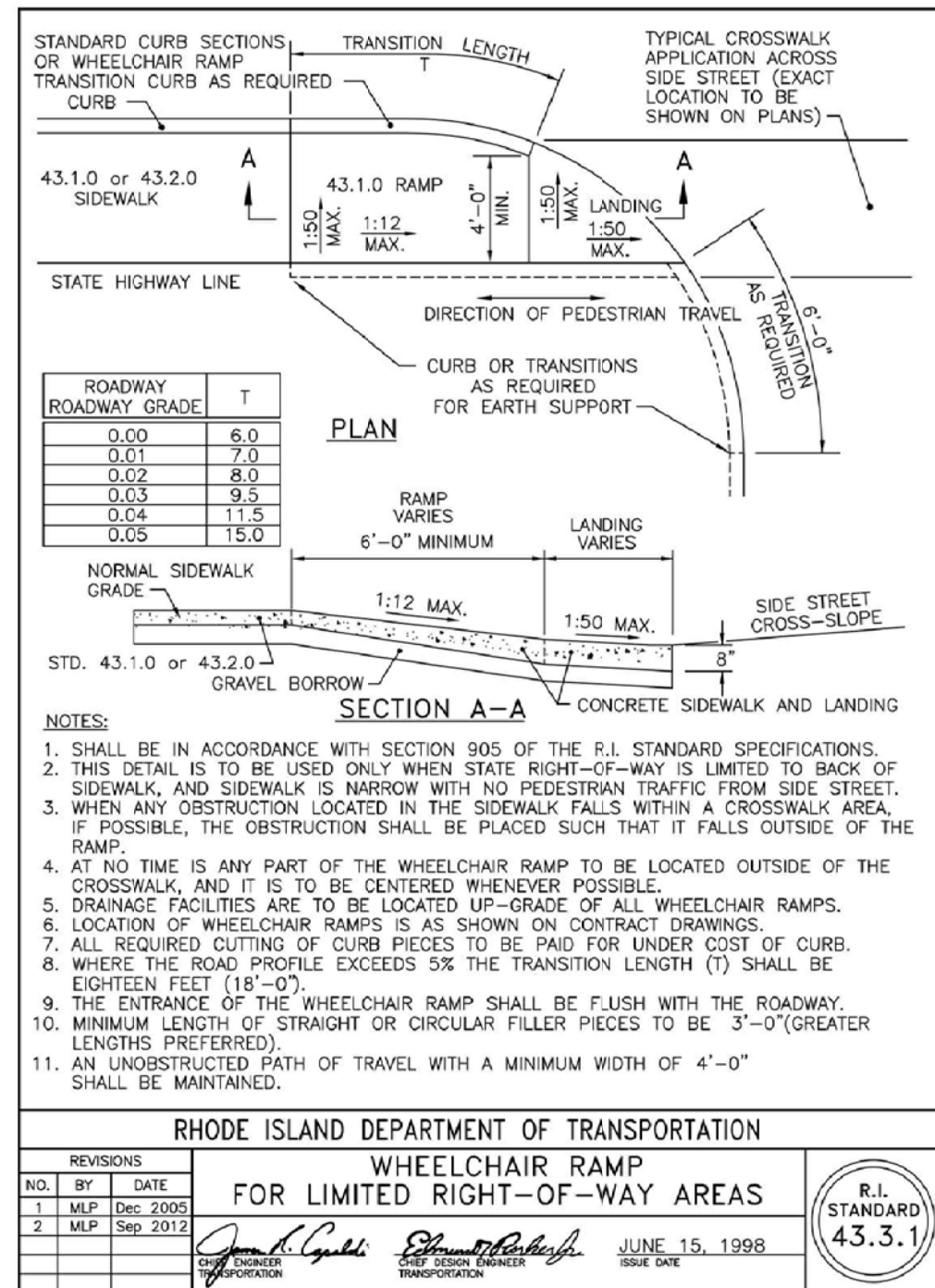
DRAWING TITLE:  
**MISCELLANEOUS DETAIL PLAN No. 1**

DATE: APRIL 2021 SCALE: AS NOTED

DWG. NAME: 2416-11-DETAIL1.dwg

| REVISIONS |                  |          |
|-----------|------------------|----------|
| NUMBER    | REMARKS          | DATE     |
| 1         | PRELIMINARY PLAN | 10/1/21  |
| 2         | RIDEM COMMENTS   | 12/1/21  |
| 3         | RIDOT COMMENTS   | 12/28/21 |
| 4         | RIDOT COMMENTS   | 2/14/22  |

DRAWING NUMBER  
**C10.1**  
SHEET: 11 OF 18



**Crossman Engineering**  
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700  
 Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

**KEY PLAN**

**PROJECT TITLE:**  
**PROPOSED DUNKIN'**  
**PLAT MAP 319, LOTS 2, 4 & 502**  
**ZONING DISTRICT**  
**GENERAL BUSINESS**  
**35 WEST SHORE ROAD**  
**WARWICK, RHODE ISLAND**

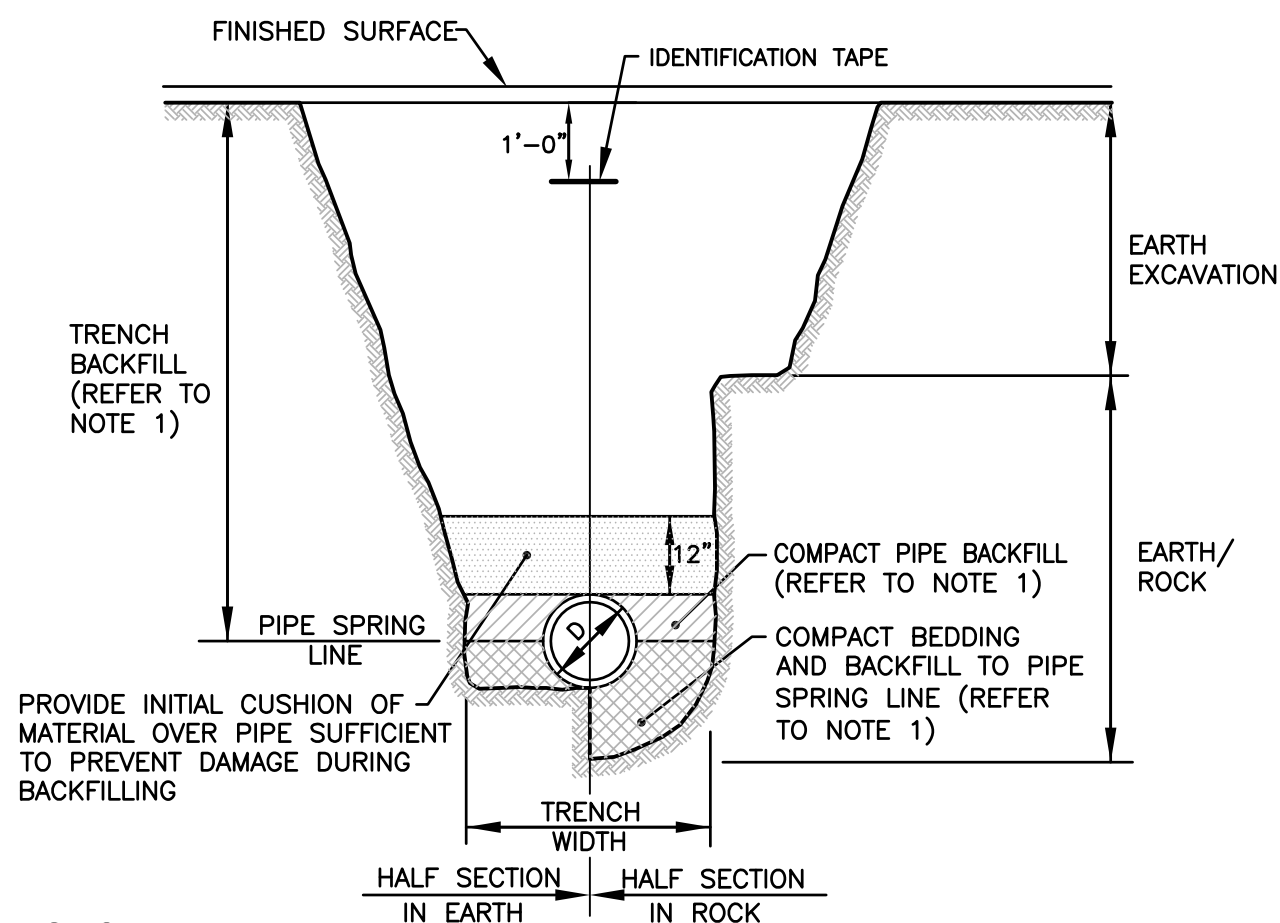
**PREPARED FOR:**  
**E&J WEST SHORE REALTY, LLC**  
**75 TIPPING ROCK DRIVE**  
**EAST GREENWICH, RI**  
**02818**

**DRAWING TITLE:**  
**MISCELLANEOUS DETAIL PLAN No. 2**

**DATE:** APRIL 2021  
**SCALE:** AS NOTED  
**DWC NAME:** 2416-12-DETAIL2.dwg

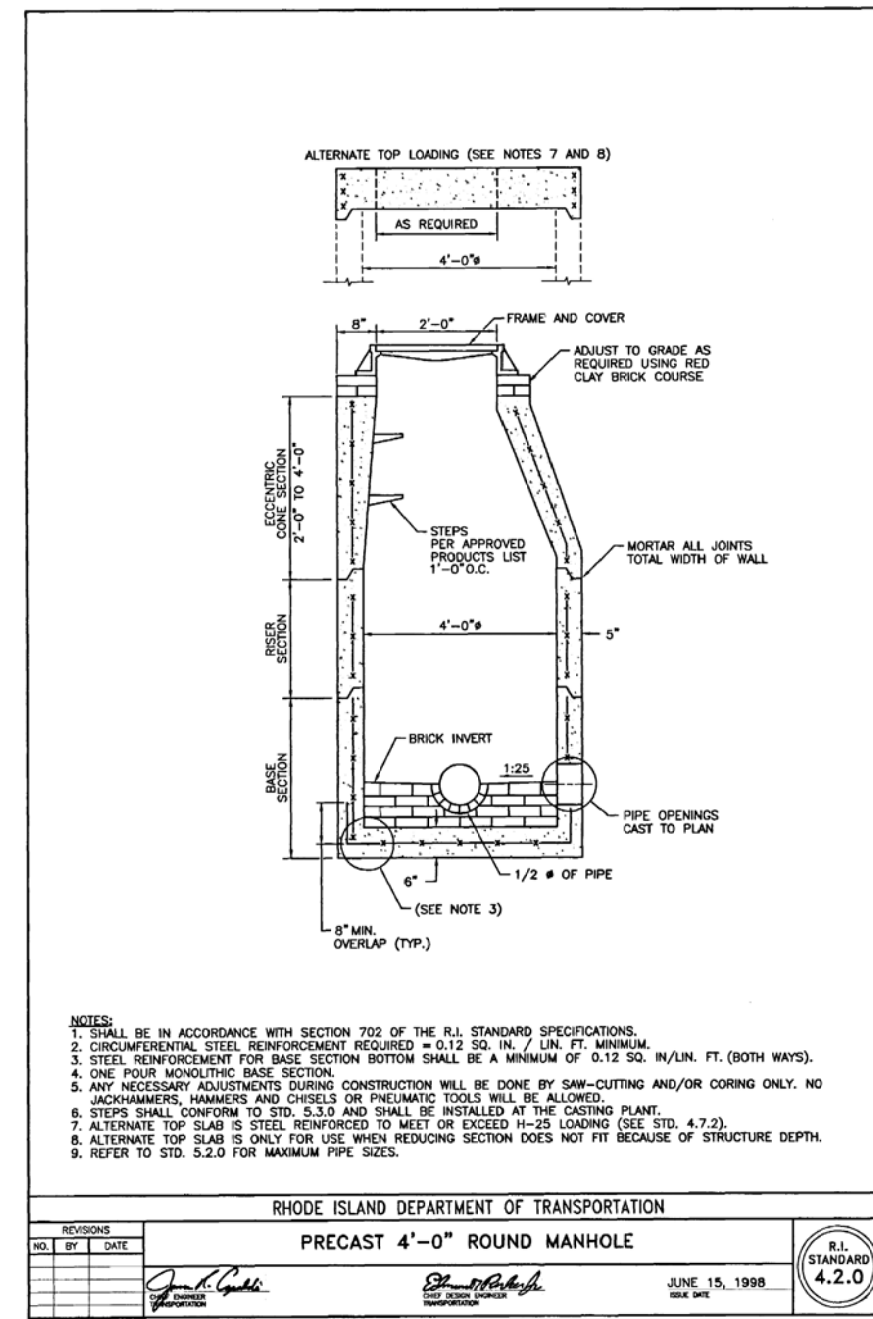
| NUMBER | REVISIONS        | REMARKS | DATE     |
|--------|------------------|---------|----------|
| 1      | PRELIMINARY PLAN |         | 10/1/21  |
| 2      | RIDEM COMMENTS   |         | 12/1/21  |
| 3      | RIDOT COMMENTS   |         | 12/28/21 |
| 4      | RIDOT COMMENTS   |         | 2/14/22  |

**DRAWING NUMBER**  
**C10.2**  
 SHEET: 12 OF 18

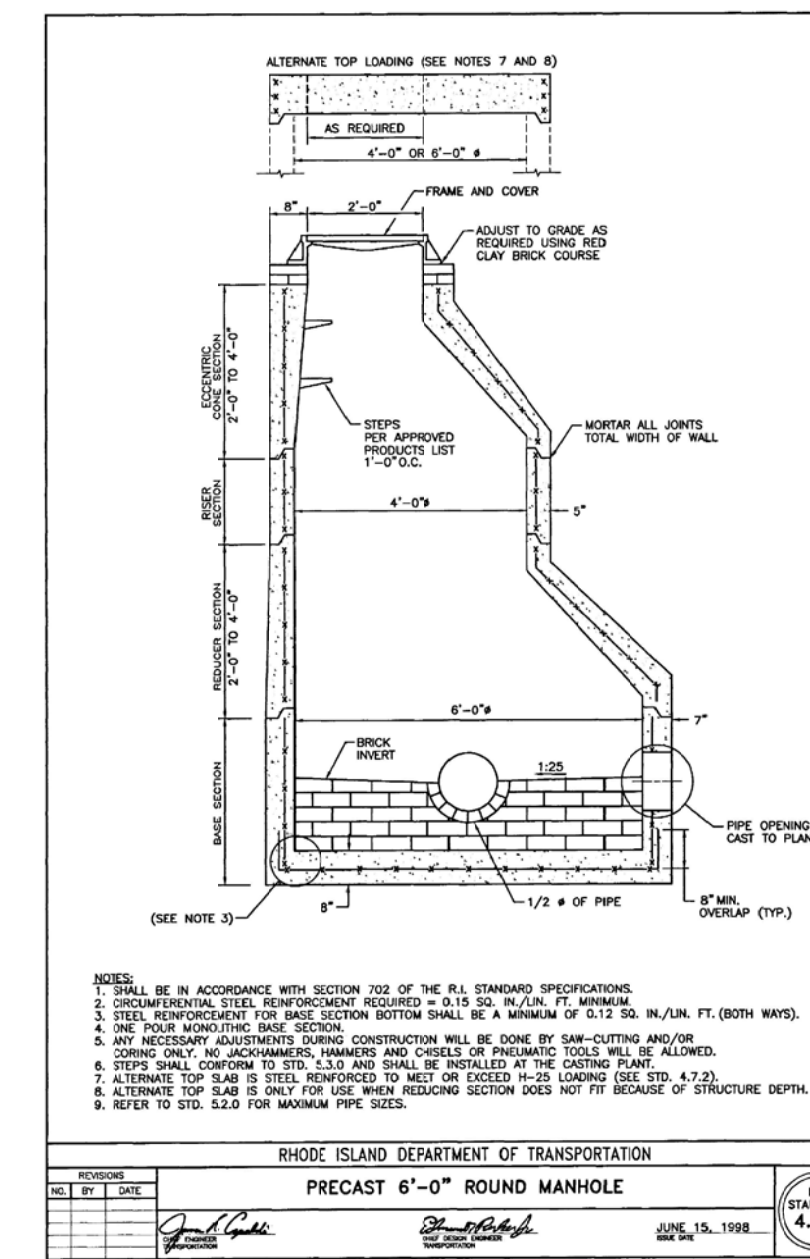


- NOTES:
- PIPE BEDDING AND BACKFILL TO SPRING LINE SHALL CONSIST OF CRUSHED STONE-3/4" MINUS. PIPE BACKFILL SHALL CONSIST OF CRUSHED STONE (WRAPPED IN FILTER FABRIC) OR GRAVEL (3" MINUS, WITH SIEVE ANALYSIS APPROVED BY ENGINEER), OR OTHER APPROVED MATERIAL. TRENCH BACKFILL SHALL CONSIST OF SUITABLE EXCAVATED MATERIAL OR OTHER APPROVED MATERIAL. ALL BEDDING/BACKFILL TO BE COMPACTED TO 95% DRY DENSITY, MODIFIED PROCTOR METHOD.
  - ALL TRENCH EXCAVATION AND ANY SHEETING AND SHORING SHALL BE DONE IN ACCORDANCE WITH ALL STATE AND LOCAL CODES AND OSHA REGULATIONS.
  - MINIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 12". MAXIMUM TRENCH WIDTH SHALL BE OUTSIDE DIAMETER OF PIPE AT BELL PLUS 24".

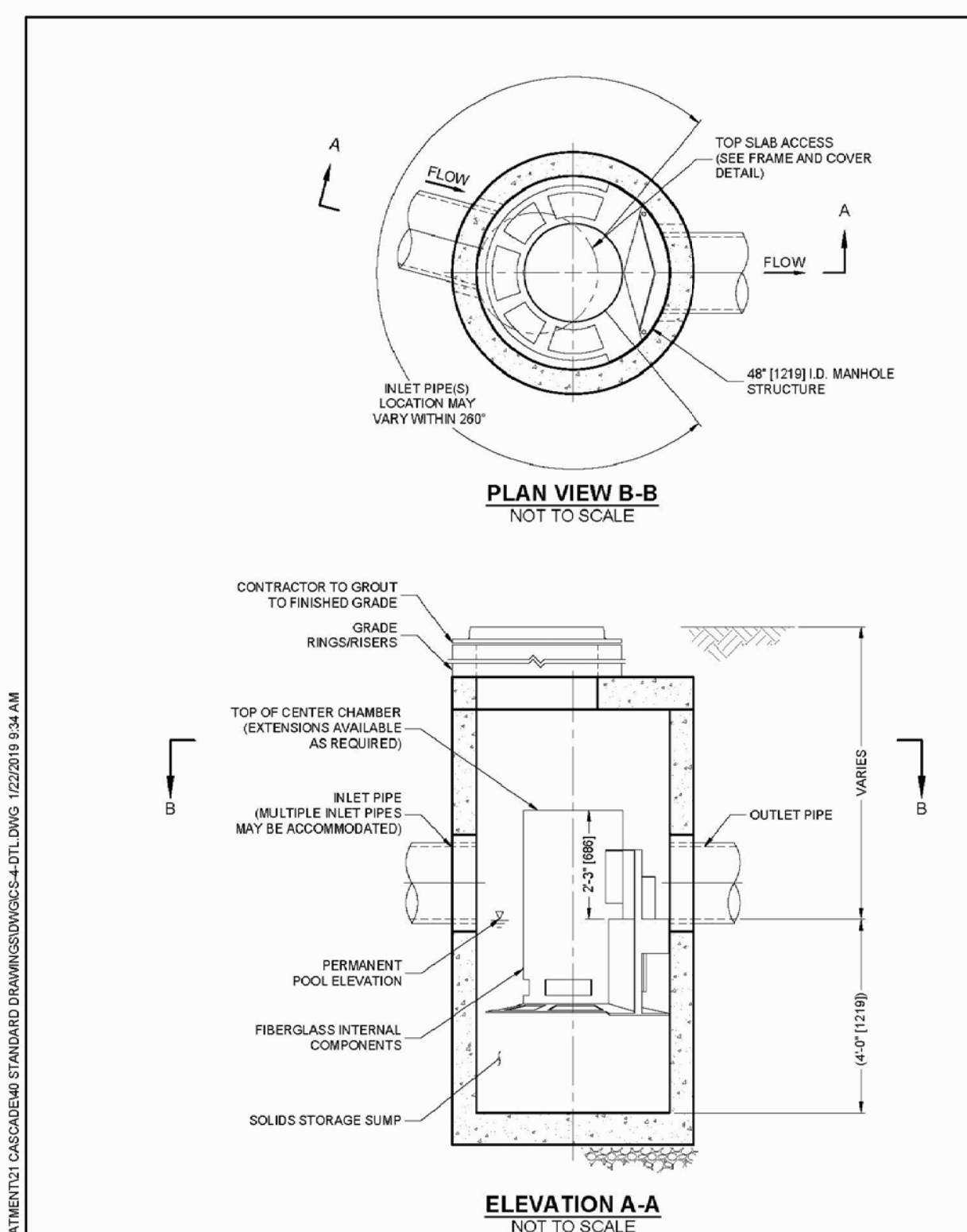
TRENCH DETAIL  
NOT TO SCALE



RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
PRECAST 4'-0" ROUND MANHOLE  
JUNE 15, 1998  
R.I. STANDARD 4.2.0



RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
PRECAST 6'-0" ROUND MANHOLE  
JUNE 15, 1998  
R.I. STANDARD 4.2.2



**CASCADE SEPARATOR DESIGN NOTES**

THE STANDARD CS-4 CONFIGURATION IS SHOWN. ALTERNATE CONFIGURATIONS ARE AVAILABLE AND ARE LISTED BELOW. SOME CONFIGURATIONS MAY BE COMBINED TO SUIT SITE REQUIREMENTS.

CONFIGURATION DESCRIPTION

- GRATED INLET ONLY (NO INLET PIPES)
- GRATED INLET WITH INLET PIPE OR PIPES
- CURB INLET ONLY (NO INLET PIPES)
- CURB INLET WITH INLET PIPE OR PIPES

**CONTECH**

**FRAME AND COVER (DIAMETER VARIES)**  
NOT TO SCALE

**GENERAL NOTES**

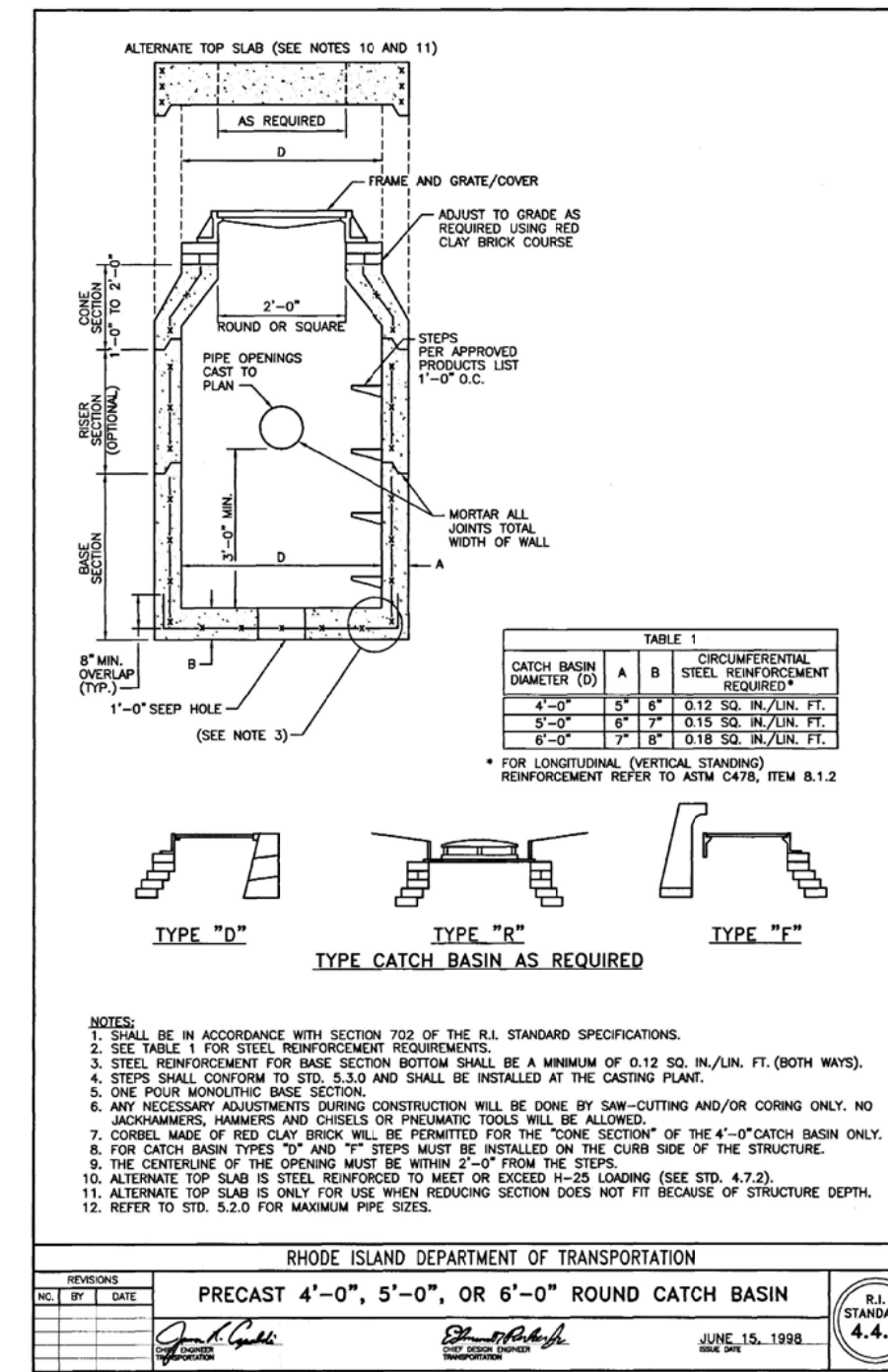
- CONTECH TO PROVIDE ALL MATERIALS UNLESS NOTED OTHERWISE.
- FOR SITE SPECIFIC DRAWINGS WITH DETAILED STRUCTURE DIMENSIONS AND WEIGHT, PLEASE CONTACT YOUR CONTECH ENGINEERED SOLUTIONS LLC REPRESENTATIVE. WWW.CONTECHES.COM
- CASCADE SEPARATOR WATER QUALITY STRUCTURE SHALL BE IN ACCORDANCE WITH ALL DESIGN DATA AND INFORMATION CONTAINED IN THIS DRAWING. CONTRACTOR TO CONFIRM STRUCTURE MEETS REQUIREMENTS OF PROJECT.
- CASCADE SEPARATOR STRUCTURE SHALL MEET AASHTO H20D LOAD RATING, ASSUMING EARTH COVER OF 2'-2" (10') AND GROUNDWATER ELEVATION AT, OR BELOW, THE OUTLET PIPE INVERT ELEVATION. ENGINEER OF RECORD TO CONFIRM ACTUAL GROUNDWATER ELEVATION. CASTINGS SHALL MEET AASHTO M250 AND BE CAST WITH THE CONTECH LOGO.
- CASCADE SEPARATOR STRUCTURE SHALL BE PRECAST CONCRETE CONFORMING TO ASTM C478 AND AASHTO LOAD FACTOR DESIGN METHOD.
- ALTERNATE UNITS ARE SHOWN IN MILLIMETERS [mm].

**INSTALLATION NOTES**

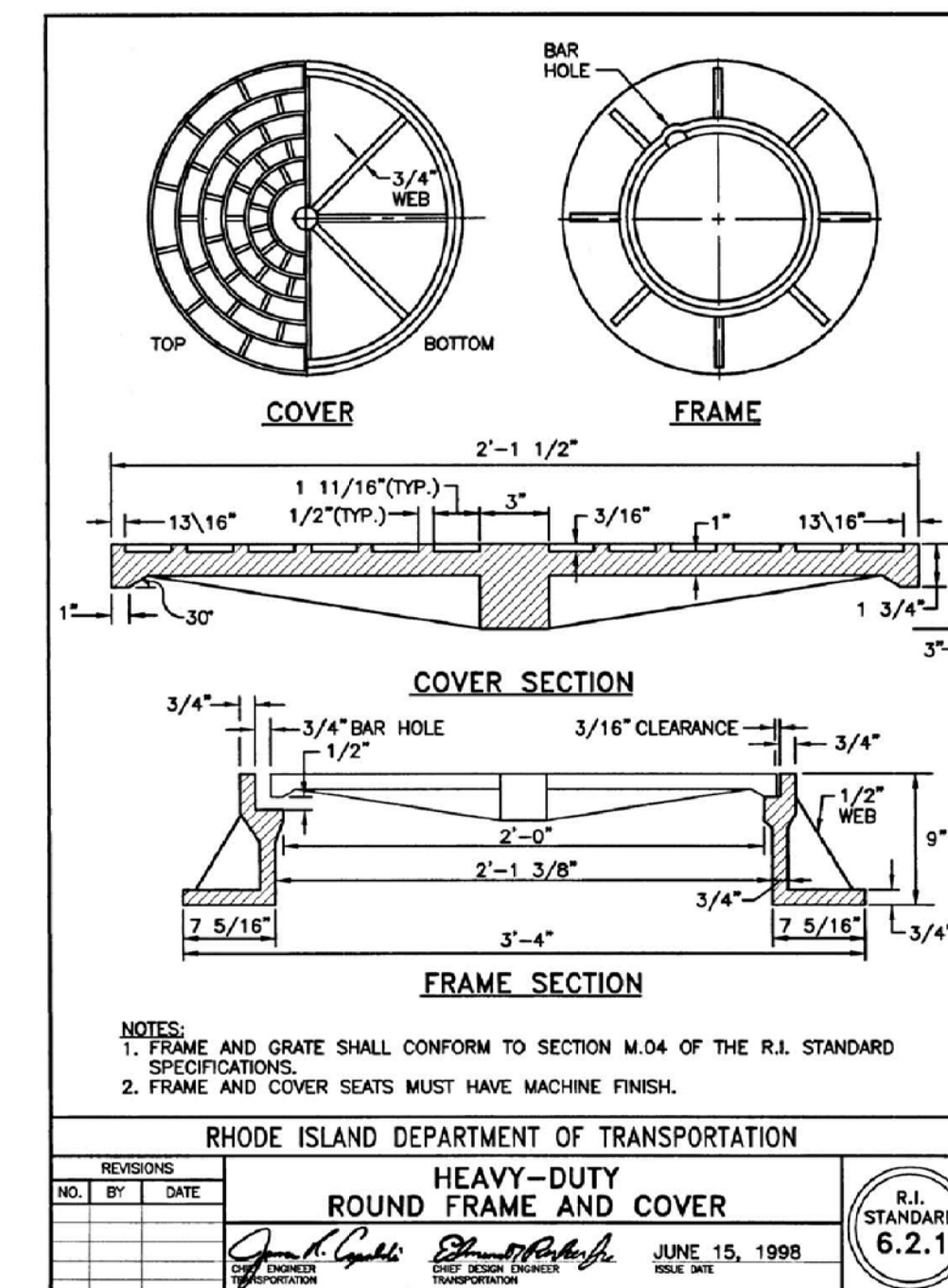
- ANY SUB-BASE BACKFILL DEPTH, AND/OR ANTI-FLOTATION PROVISIONS ARE SITE-SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.
- CONTRACTOR TO PROVIDE EQUIPMENT WITH SUFFICIENT LIFTING AND REACH CAPACITY TO LIFT AND SET THE CASCADE SEPARATOR MANHOLE STRUCTURE.
- CONTRACTOR TO INSTALL JOINT SEALANT BETWEEN ALL STRUCTURE SECTIONS AND ASSEMBLE MANHOLE STRUCTURE.
- CONTRACTOR TO PROVIDE, INSTALL, AND GROUT INLET AND OUTLET PIPES. MATCH PIPE INVERTS WITH ELEVATIONS SHOWN. ALL PIPE CENTERLINES TO MATCH PIPE OPENING CENTERLINES.
- CONTRACTOR TO TAKE APPROPRIATE MEASURES TO ASSURE UNIT IS WATER TIGHT, HOLDING WATER TO FLOWLINE INVERT MINIMUM. IT IS SUGGESTED THAT ALL JOINTS BELOW PIPE INVERTS ARE GROUTED.

**CONTECH ENGINEERED SOLUTIONS LLC**  
www.conteches.com  
2025 Connetquot Road, Connetquot, RI 02883  
401-421-1111 • 401-421-1112 • 401-421-1113

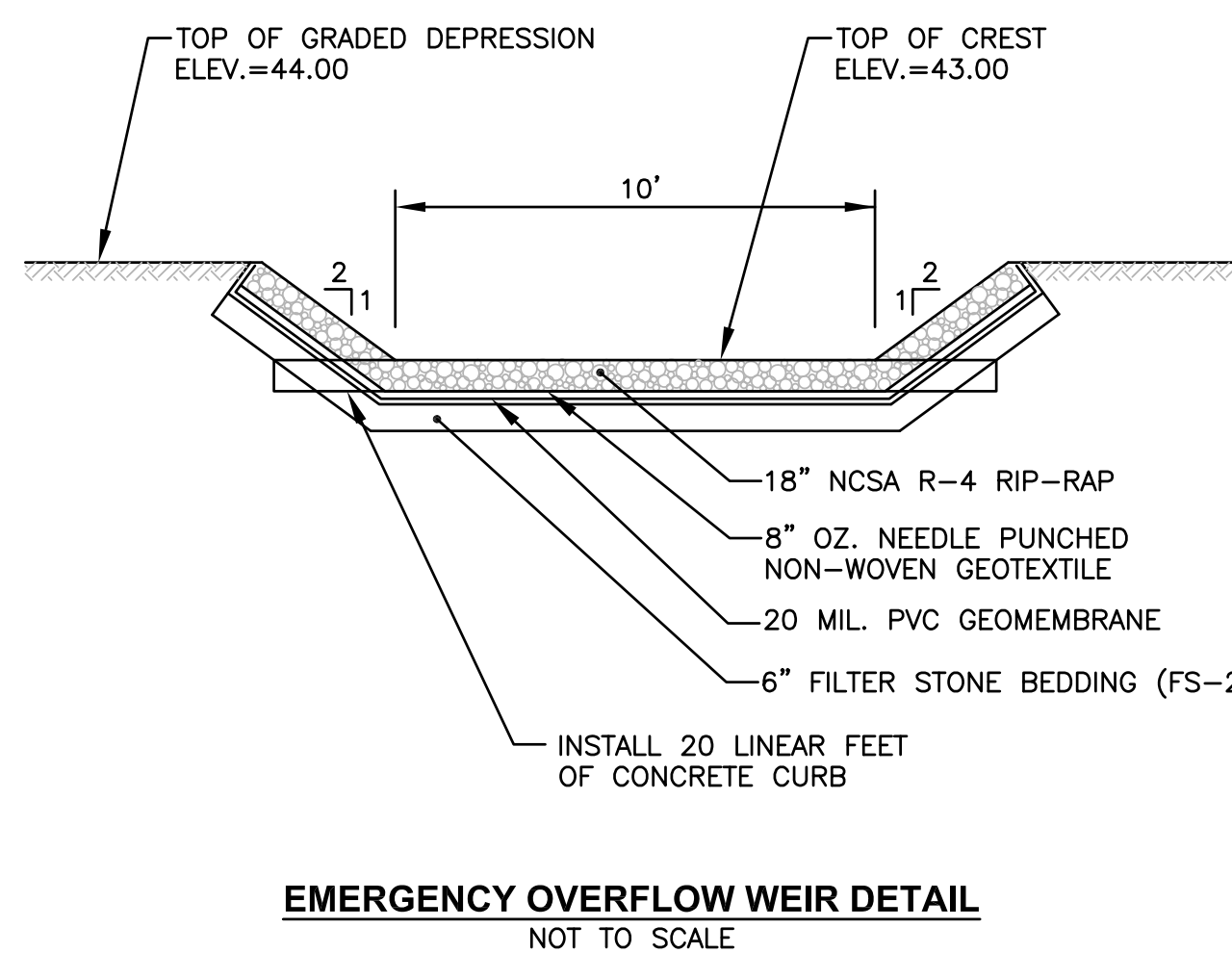
**CS-4 CASCADE SEPARATOR STANDARD DETAIL**



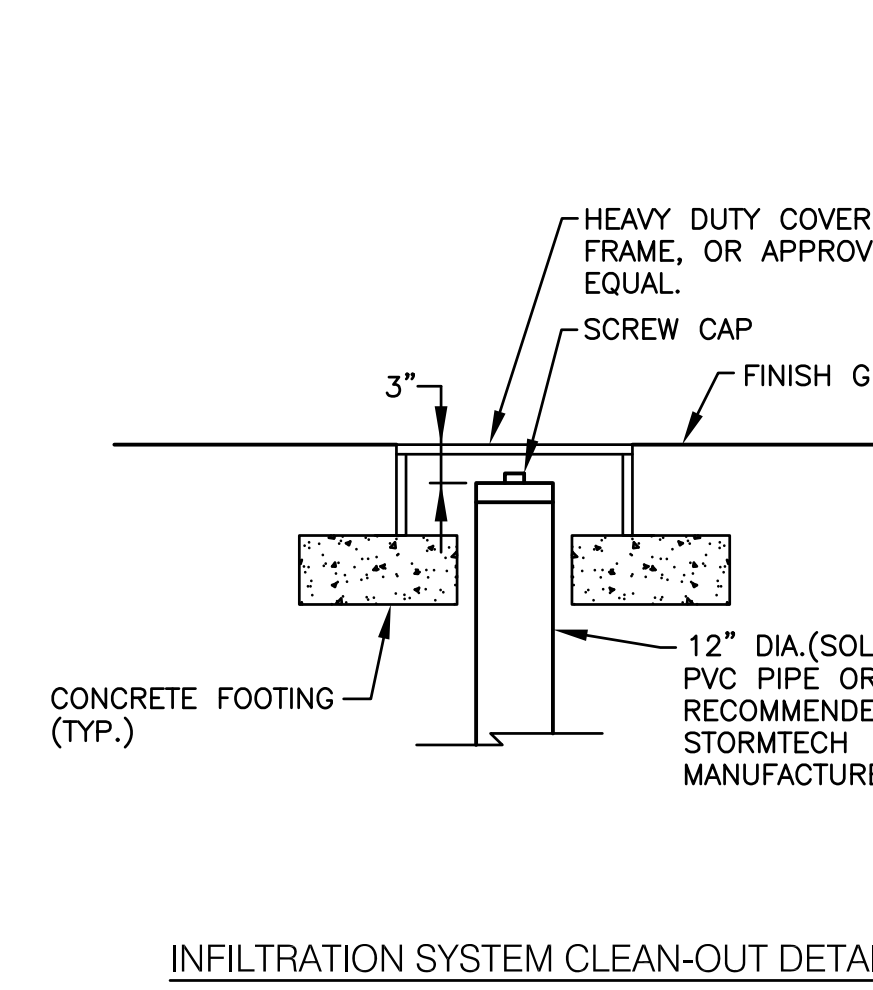
RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN  
JUNE 15, 1998  
R.I. STANDARD 4.4.0



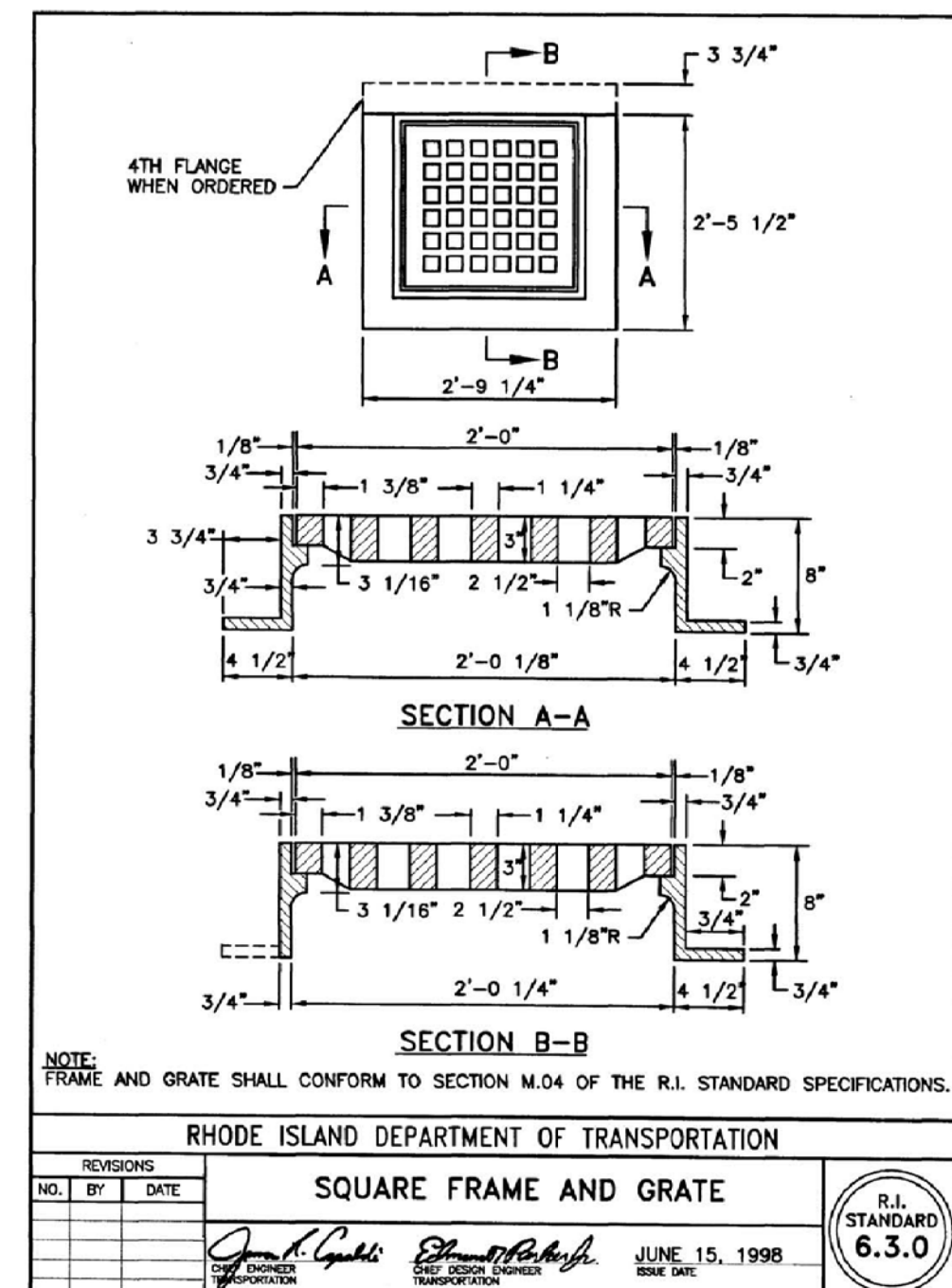
RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
HEAVY-DUTY ROUND FRAME AND COVER  
JUNE 15, 1998  
R.I. STANDARD 6.2.1



EMERGENCY OVERFLOW WEIR DETAIL  
NOT TO SCALE



INFILTRATION SYSTEM CLEAN-OUT DETAIL  
NOT TO SCALE



RHODE ISLAND DEPARTMENT OF TRANSPORTATION  
SQUARE FRAME AND GRATE  
JUNE 15, 1998  
R.I. STANDARD 6.3.0

**Crossman Engineering**

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-5660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

KEY PLAN

PROJECT TITLE:

**PROPOSED DUNKIN'**

PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT  
GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

PREPARED FOR:

**E&J WEST SHORE REALTY, LLC**

75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI  
02818

DRAWING TITLE:

**MISCELLANEOUS DETAIL PLAN No. 3**

DATE: APRIL 2021 SCALE: AS NOTED

DWC NAME: 2416-13-DETAIL3.dwg

REVISIONS

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |

DRAWING NUMBER

**C10.3**

SHEET: 13 OF 18

### GENERAL SEWER NOTES

- INSTALLATION OF THE SEWERAGE FACILITIES SHALL BE IN ACCORDANCE WITH THE WARWICK SEWER AUTHORITY SPECIFICATIONS AND REQUIREMENTS.
- PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURER'S DRAWINGS AND OTHER DATA, OF THE WARWICK SEWER AUTHORITY.
- ALL SEWERAGE FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE AS-BUILT LOCATIONS PRIOR TO PIPE BACKFILL. AS-BUILT DRAWINGS SHALL BE FURNISHED AS A CONDITION FOR ACCEPTANCE OF THE NEW SEWERAGE FACILITIES. PLANS SHALL INCLUDE LOCATION OF WYES.
- NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND COMPLETION CERTIFICATE IS ISSUED.
- AFTER THE CONTRACTOR HAS "STAKED OUT" THE FACILITIES TO BE CONSTRUCTED AND HAS THE APPROVED MATERIALS ON THE JOB, THE WARWICK SEWER AUTHORITY SHALL BE NOTIFIED IN ADVANCE OF CONSTRUCTION IN ORDER FOR THEM TO ARRANGE FOR THEIR INSPECTOR. THE NOTIFICATION MUST MEET THE WARWICK SEWER AUTHORITY REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARDS AND SPECIAL DETAILS, AND STANDARD SPECIFICATIONS, ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE LIMITS OF WORK AS SHOWN ON THE DRAWINGS.
- ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER. ALL GRASSED AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE LOAMED AND SEEDED.
- LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "DIG-SAFE" PRIOR TO STARTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

### 11. RELATION TO WATER LINES:

A. HORIZONTAL SEPARATION: WHENEVER POSSIBLE, SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET (3.0 m), HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER LINE. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER LINE IF:

- IT IS LAID IN A SEPARATE TRENCH, OR IF
- IT IS LAID IN THE SAME TRENCH WITH THE WATER LINE LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND IF
- IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM (INVERT) OF THE WATER LINE.

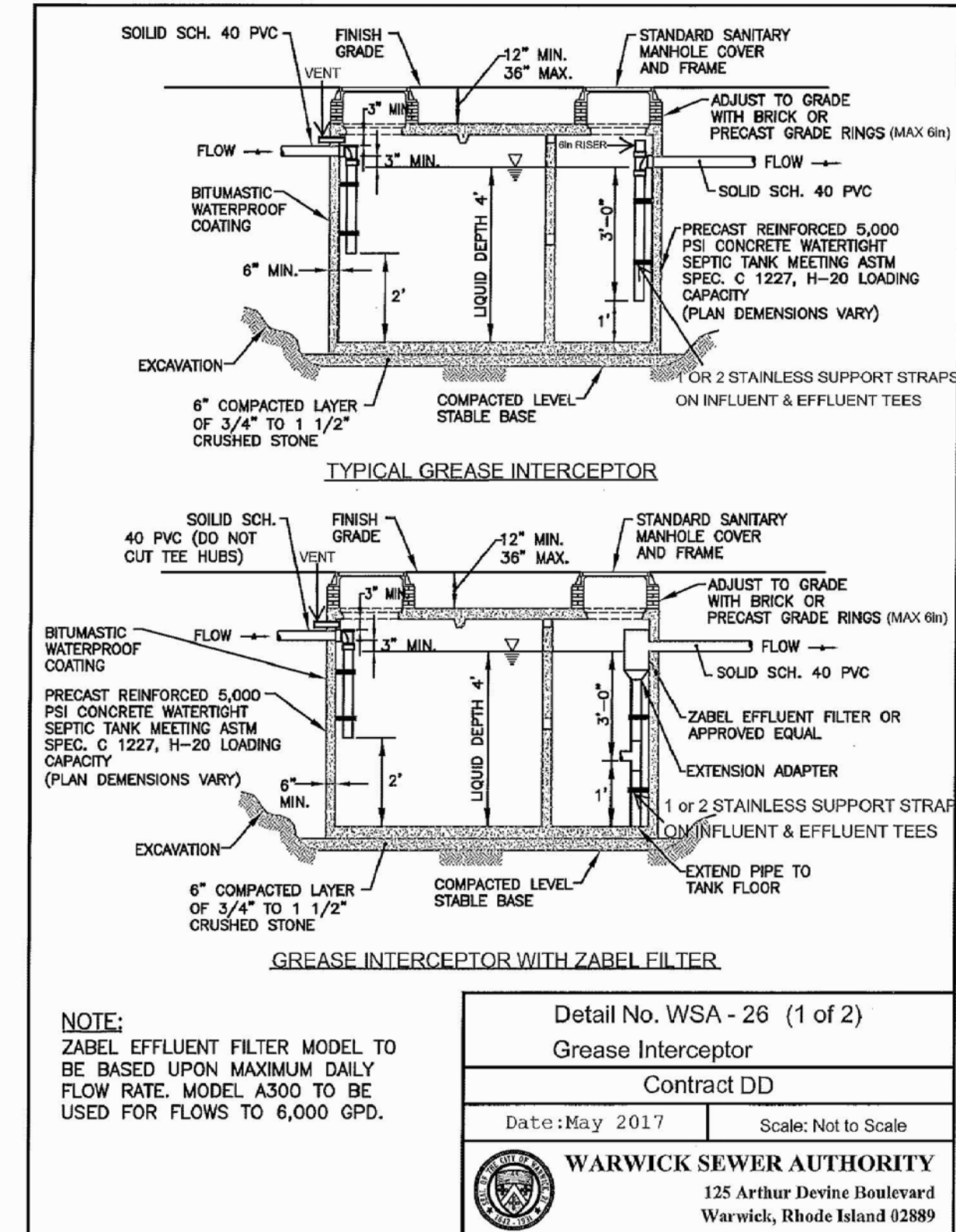
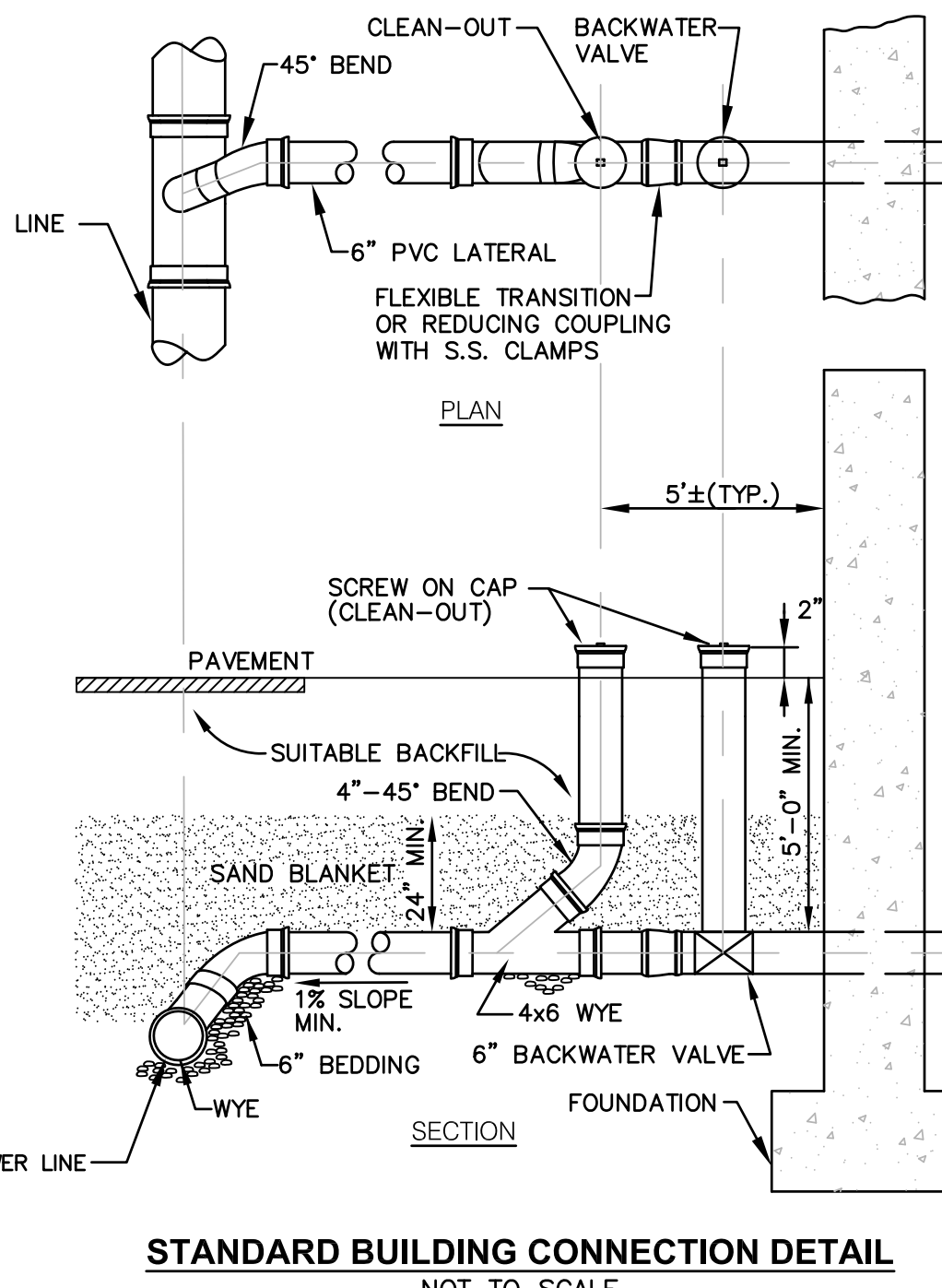
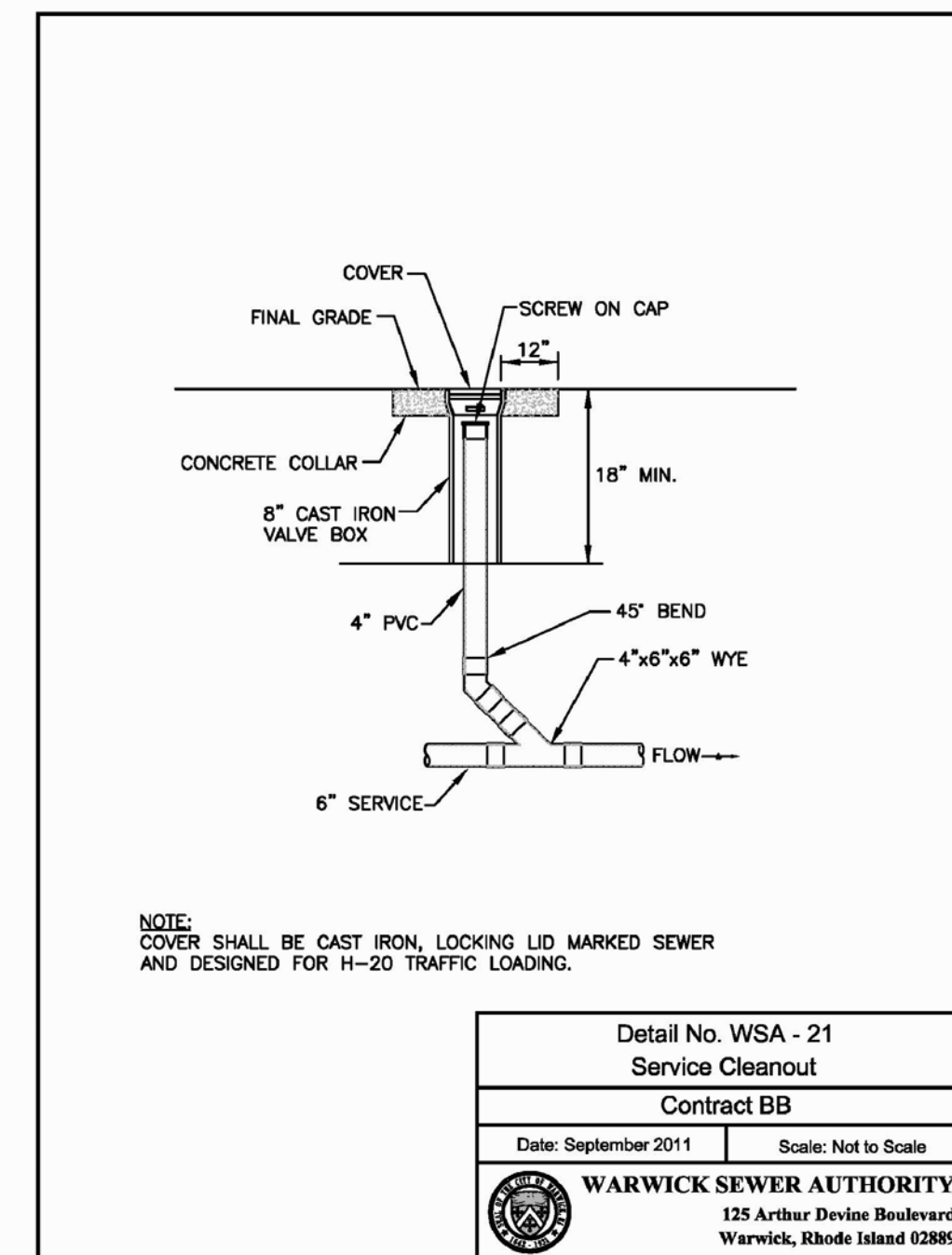
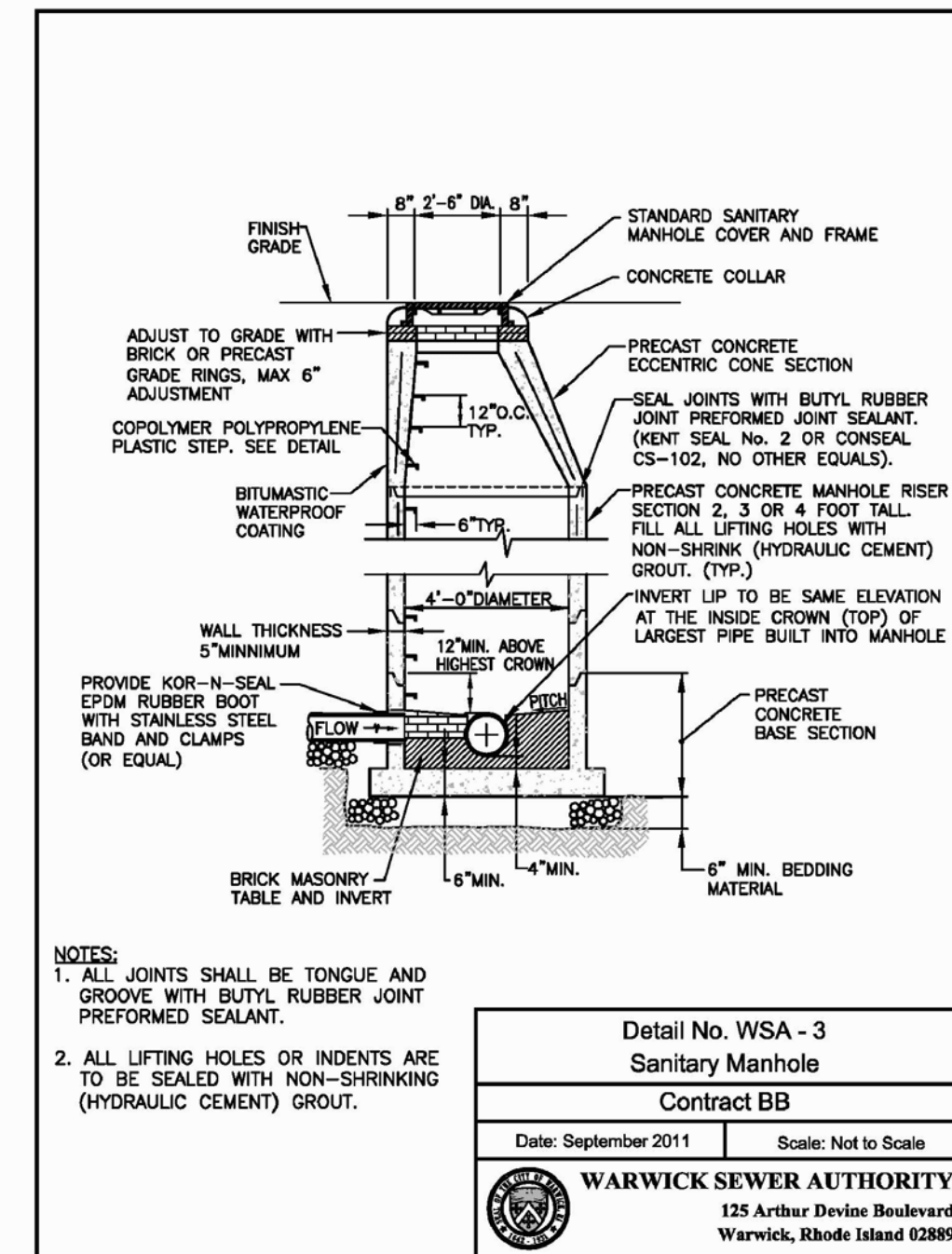
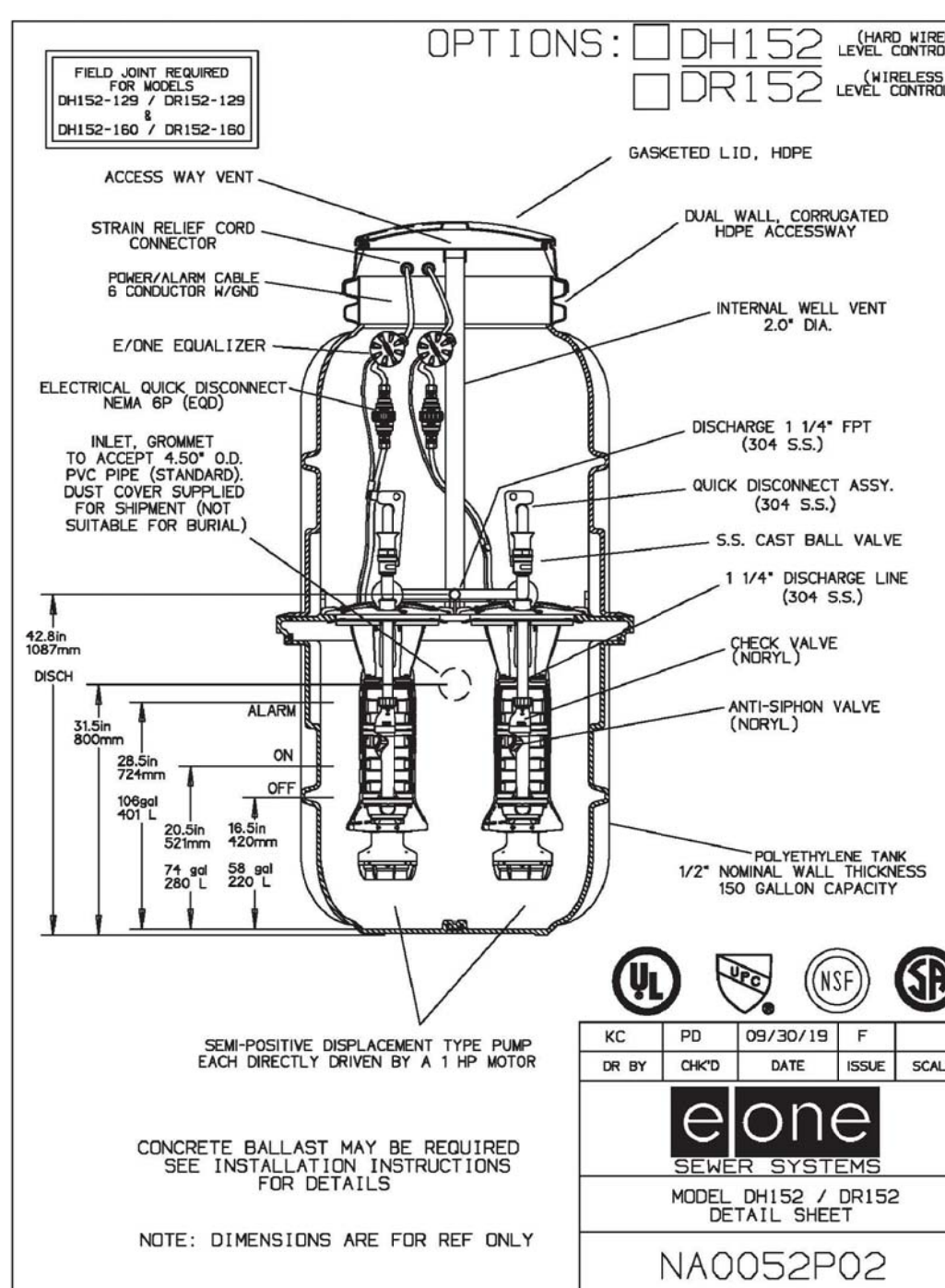
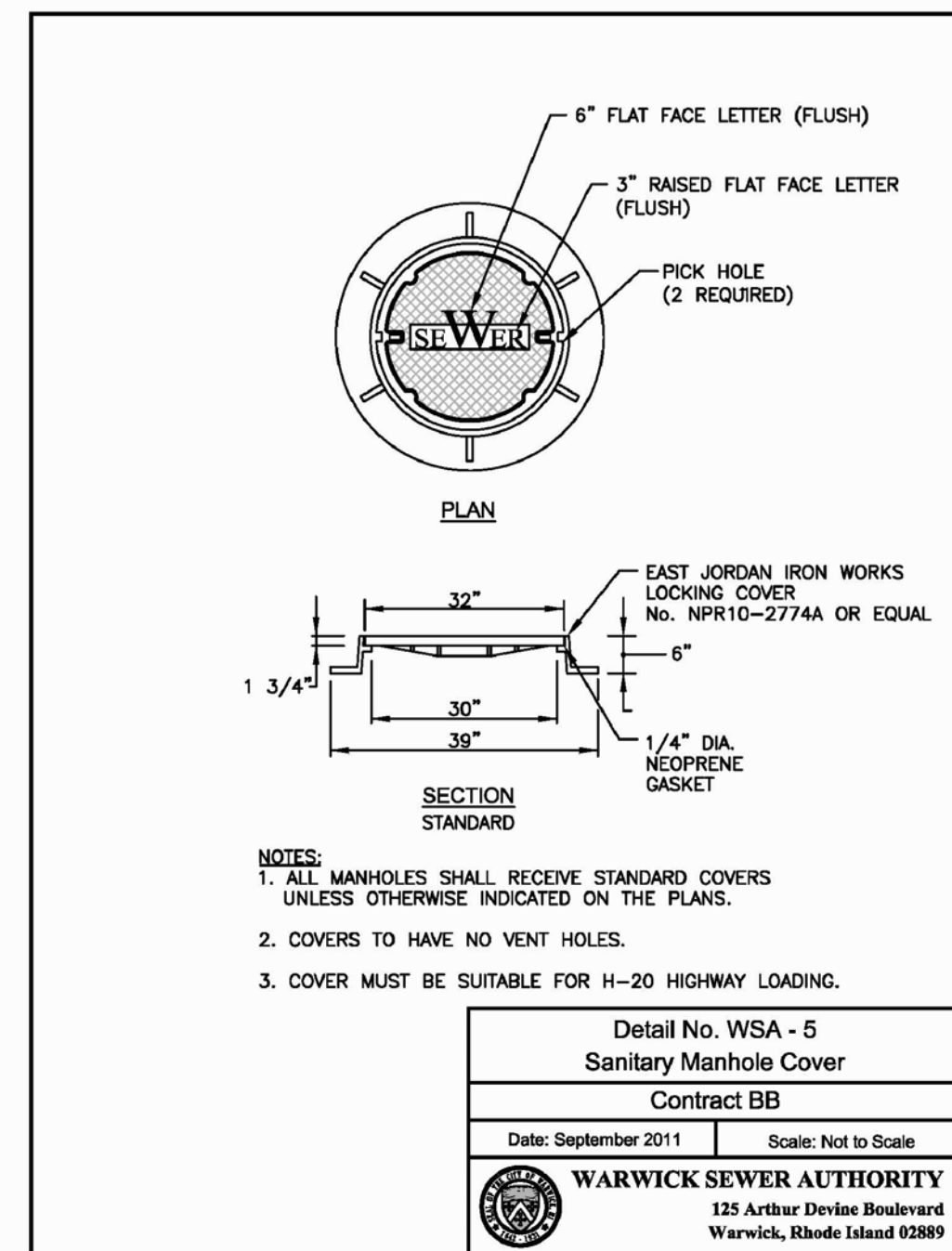
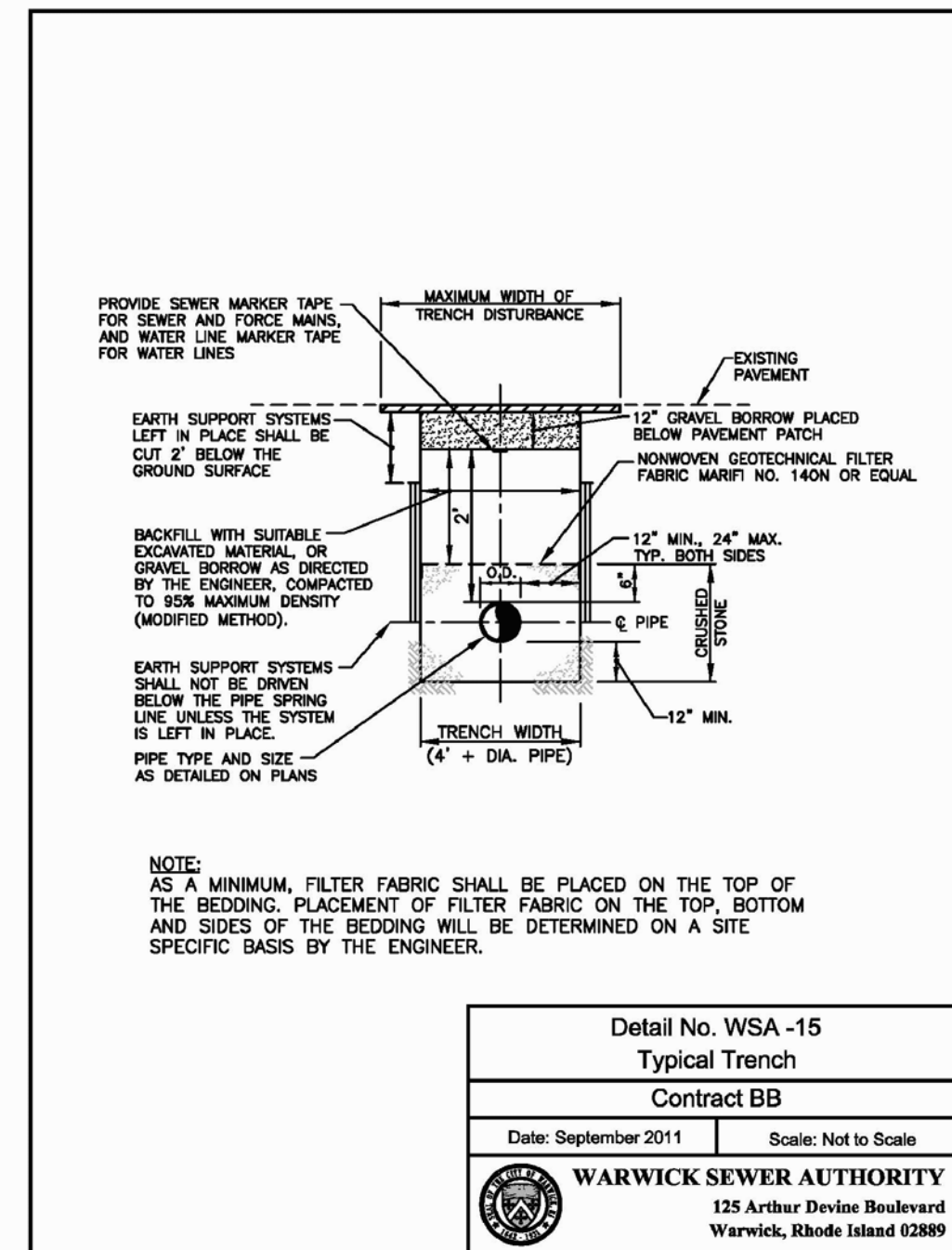
B. VERTICAL SEPARATION: WHENEVER A SEWER MUST CROSS UNDER WATER LINES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM OF THE WATER LINE. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER LINE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET (3.0 m) ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER LINE SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.

C. WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL-JOINT CEMENT LINED DUCTILE IRON PIPE OR OTHER EQUIVALENT BASED ON WATER TIGHTNESS AND STRUCTURAL SOUNDNESS. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATER TIGHTNESS.

- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING REQUIRED IN THE SEWER INSTALLATION.
- THE PROPOSED GRAVITY SANITARY SEWER PIPE SHALL BE PVC SCHEDULE 40, UNLESS OTHERWISE SHOWN ON PLANS. PIPE SIZE TO MATCH UTILITY PLAN.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE LOCATION AND ELEVATION OF EXISTING SEWER LINE PRIOR TO INSTALLATION. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL DIG TEST HOLES AND COORDINATE ALL INFORMATION WITH THE ENGINEER.
- THE PENETRATIONS ON THE OIL/WATER SEPARATOR SHALL USE KOR-N-SEAL EPDM RUBBER BOOTS WITH STAINLESS STEEL BANDS AND CLAMPS (OR EQUAL).
- PRIOR TO BACKFILL, THE CONTRACTOR SHALL CONTACT THE WARWICK SEWER AUTHORITY TO COORDINATE INSPECTIONS.
- ALL TANKS SHALL BE WATER TIGHT AND WATER TIGHT TESTING AND/OR CERTIFICATIONS SHALL BE PROVIDED TO THE WARWICK SEWER AUTHORITY AND ENGINEER.
- CONTRACTOR SHALL VENT ALL TANKS AS REQUIRED BY THE MANUFACTURER AND WARWICK SEWER AUTHORITY. VENT LOCATIONS SHALL BE COORDINATED WITH THE ARCHITECT. PROVIDE CHARCOAL FILTERS.

### SEWER TRENCH NOTES

- MINIMUM WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12" EACH SIDE.
- SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR TO ATTAIN 95% MAX. DENSITY (MOD. METHOD).
- CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
- CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.
- PIPE SHALL BE SCHEDULE 40 PVC OR APPROVED EQUAL.



| Grease Interceptor Checklist                    |   |
|---|---|
| Interceptor with standard effluent tee:         |   |
| <input type="checkbox"/>                        | Tank has H2O loading capacity   |
| <input type="checkbox"/>                        | Bitumastic waterproof coating   |
| <input type="checkbox"/>                        | Influent and effluent tees visible in cover opening   |
| <input type="checkbox"/>                        | Influent and effluent tees have at least 1 stainless support strap  |
| <input type="checkbox"/>                        | Effluent tee has 8in riser  |
| <input type="checkbox"/>                        | Influent standpipe 24in off bottom of tank  |
| <input type="checkbox"/>                        | Effluent standpipe 12in off bottom of tank  |
| <input type="checkbox"/>                        | At least 2 manhole covers over tees. Larger tanks (2000+) may require 3 manhole covers with third near center for proper cleaning.                  |
| Interceptor with Zabel filter additional items: |   |
| <input type="checkbox"/>                        | Zabel filter must be installed according to manufacturer's specifications.  |
| <input type="checkbox"/>                        | Support pipe installed to floor under the filter with tee opening position 12in off the floor (stainless strap not needed if space does not allow). |
| <input type="checkbox"/>                        | Support pipe under the tee must have at least four 1in holes near bottom for draining during tank cleanings.  |
| <input type="checkbox"/>                        | Handle extension must be installed on the filter if it cannot be safely reached.  |

**Detail No. WSA-26** (2 of 2)  
Grease Interceptor  
Contract DD  
Date: May 2017 Scale: Not to Scale  
**WARWICK SEWER AUTHORITY**  
125 Arthur Devine Boulevard  
Warwick, Rhode Island 02889

**Crossman Engineering**  
Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700  
Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR YOUR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

### KEY PLAN

### PROJECT TITLE:

**PROPOSED**  
**DUNKIN'**  
**PLAT MAP 319, LOTS 2, 4 & 502**  
**ZONING DISTRICT**  
**GENERAL BUSINESS**  
**35 WEST SHORE ROAD**  
**WARWICK, RHODE ISLAND**

### PREPARED FOR:

**E&J WEST SHORE REALTY, LLC**

**75 TIPPING ROCK DRIVE**  
**EAST GREENWICH, RI**  
**02818**

### DRAWING TITLE:

**MISCELLANEOUS**  
**DETAIL PLAN No. 4**

**DATE:** APRIL 2021 **SCALE:** AS NOTED

**DWG. NAME:** 2416-14-DETAIL4.dwg

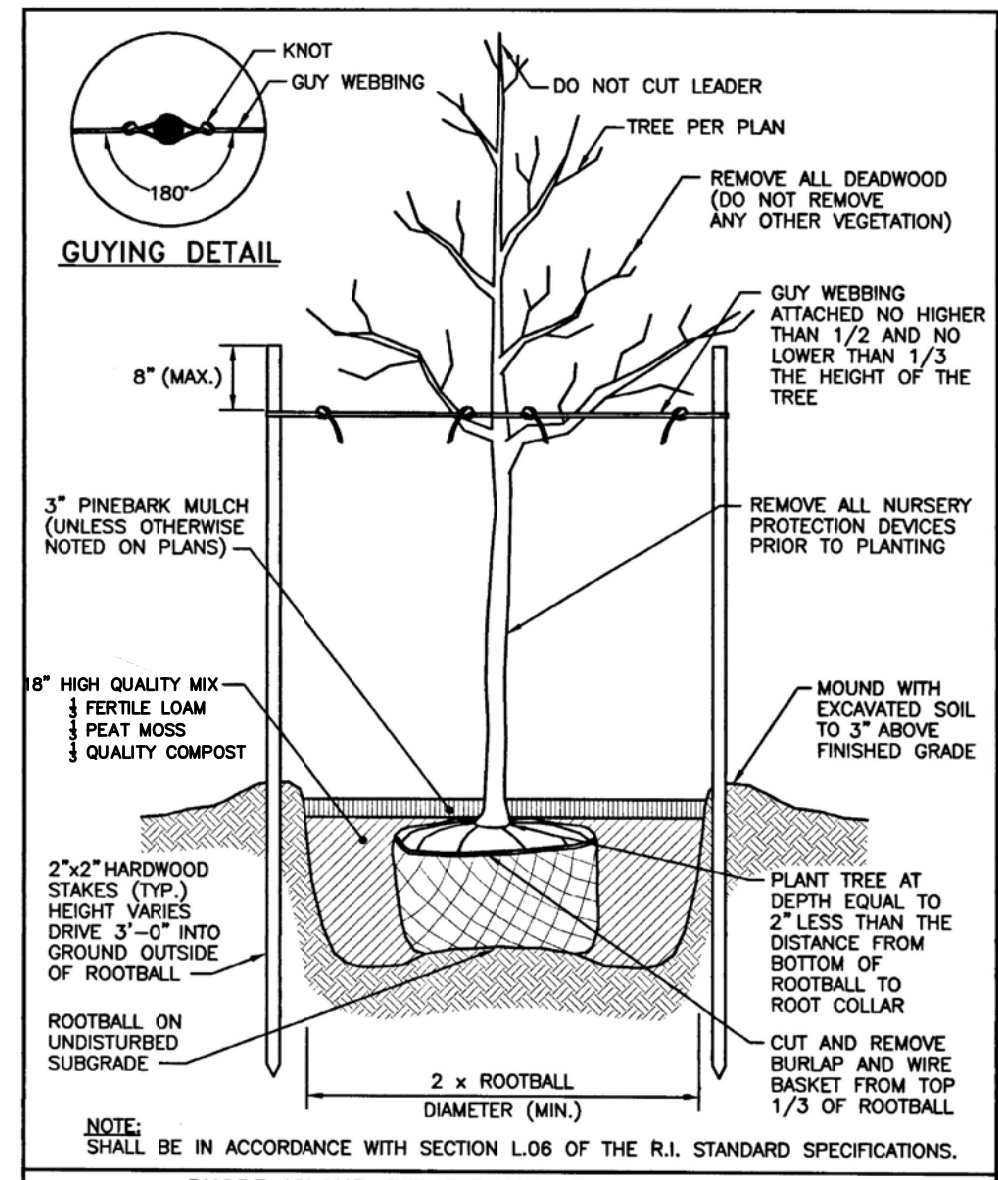
### REVISIONS

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |

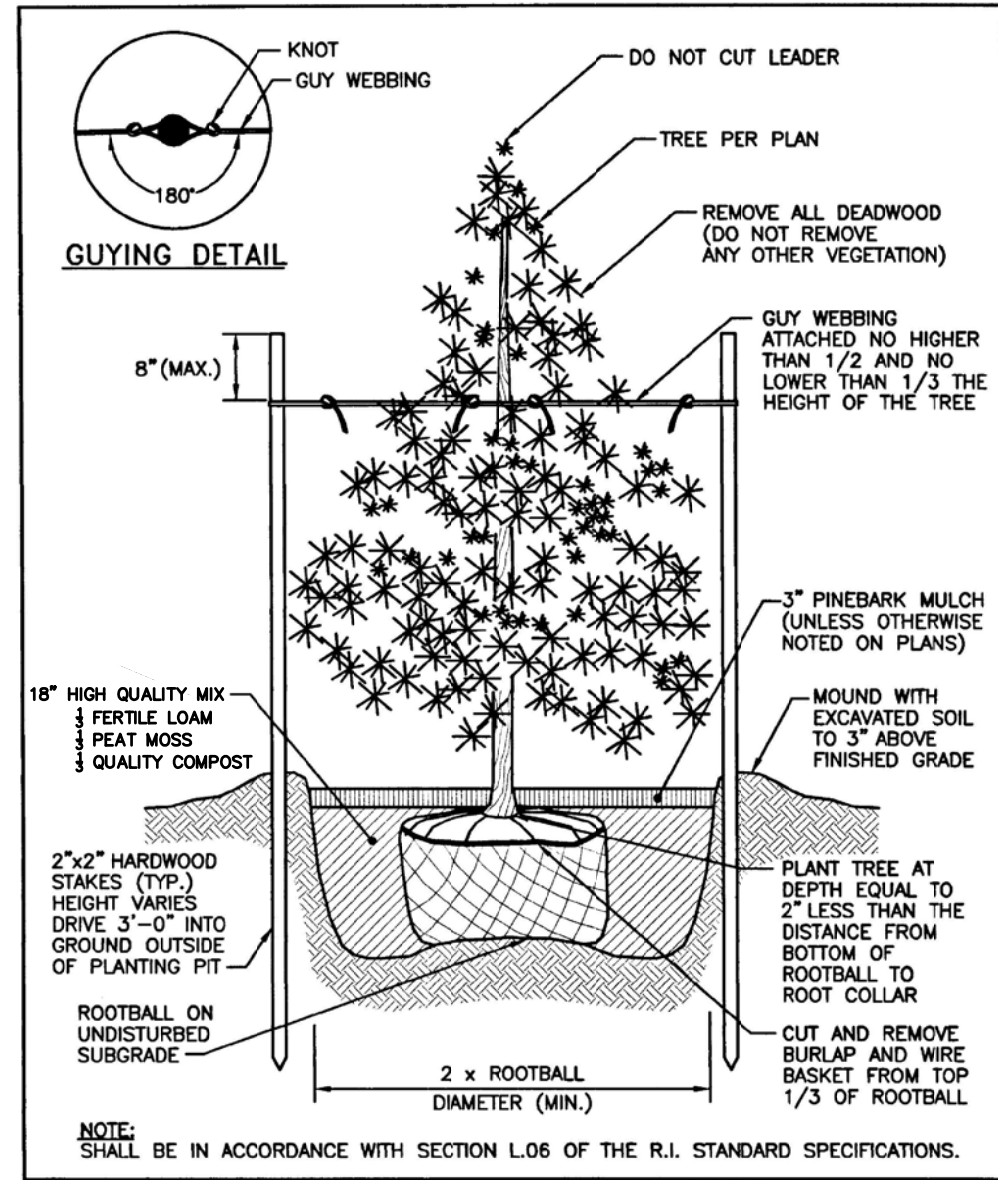
### DRAWING NUMBER

**C10.4**

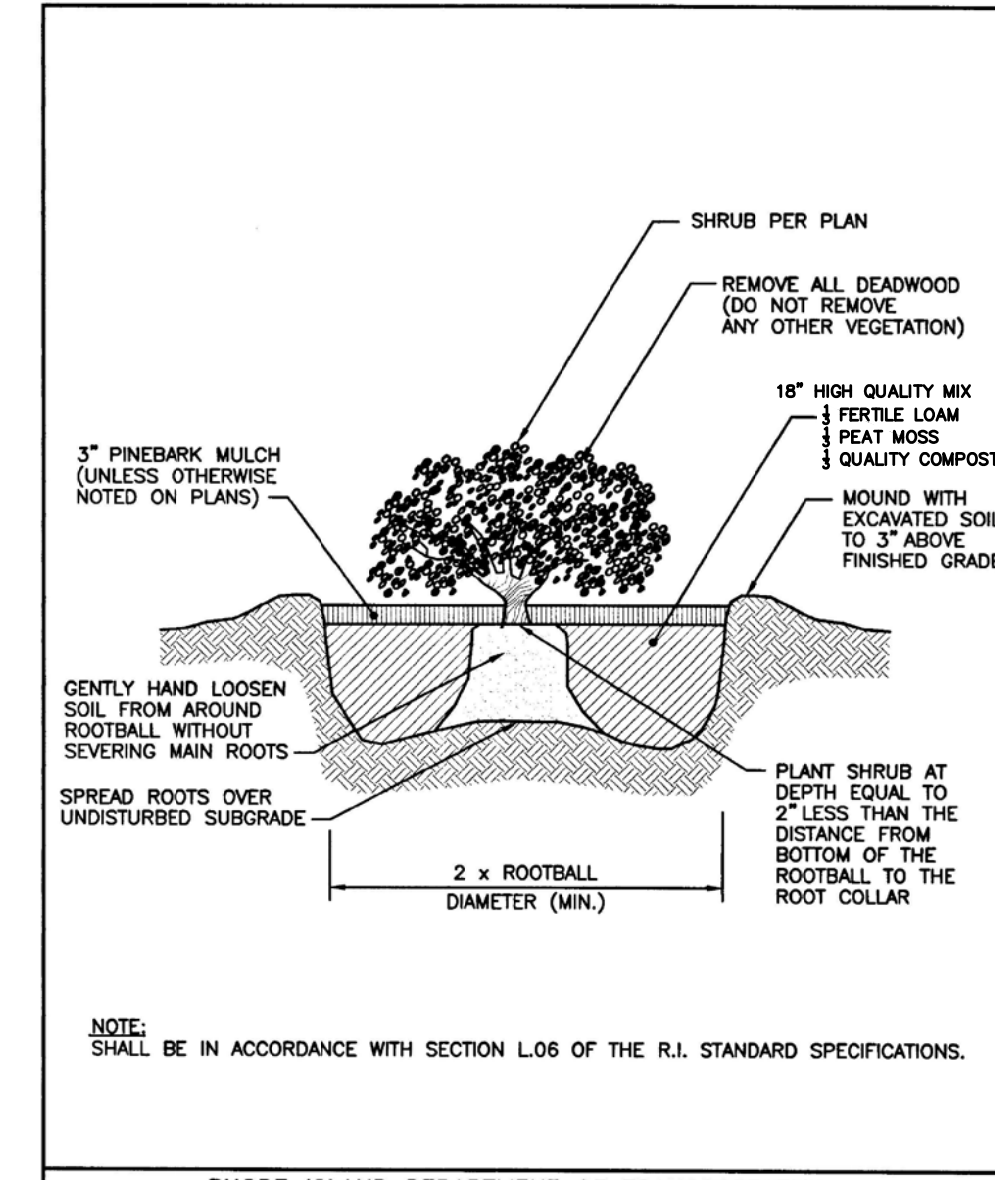
SHEET: 14 OF: 18



| RHODE ISLAND DEPARTMENT OF TRANSPORTATION                                 |     |    |                                |
|---|-----|----|--------------------------------|
| REVISIONS   | NO. | BY | DATE                           |
|   |     |    |                                |
| <b>LARGE TREE STAKING AND PLANTING DETAIL</b><br>(2" CALIPER AND GREATER) |     |    | R.I. STANDARD<br><b>50.1.0</b> |
| JUNE 15, 1998<br><small>DATE SHEET</small>                                |     |    |                                |



| RHODE ISLAND DEPARTMENT OF TRANSPORTATION                         |     |    |                                |
|---|-----|----|--------------------------------|
| REVISIONS   | NO. | BY | DATE                           |
|   |     |    |                                |
| <b>EVERGREEN TREE PLANTING DETAIL</b><br>(4"-0" HIGH AND GREATER) |     |    | R.I. STANDARD<br><b>50.2.0</b> |
| JUNE 15, 1998<br><small>DATE SHEET</small>                        |     |    |                                |



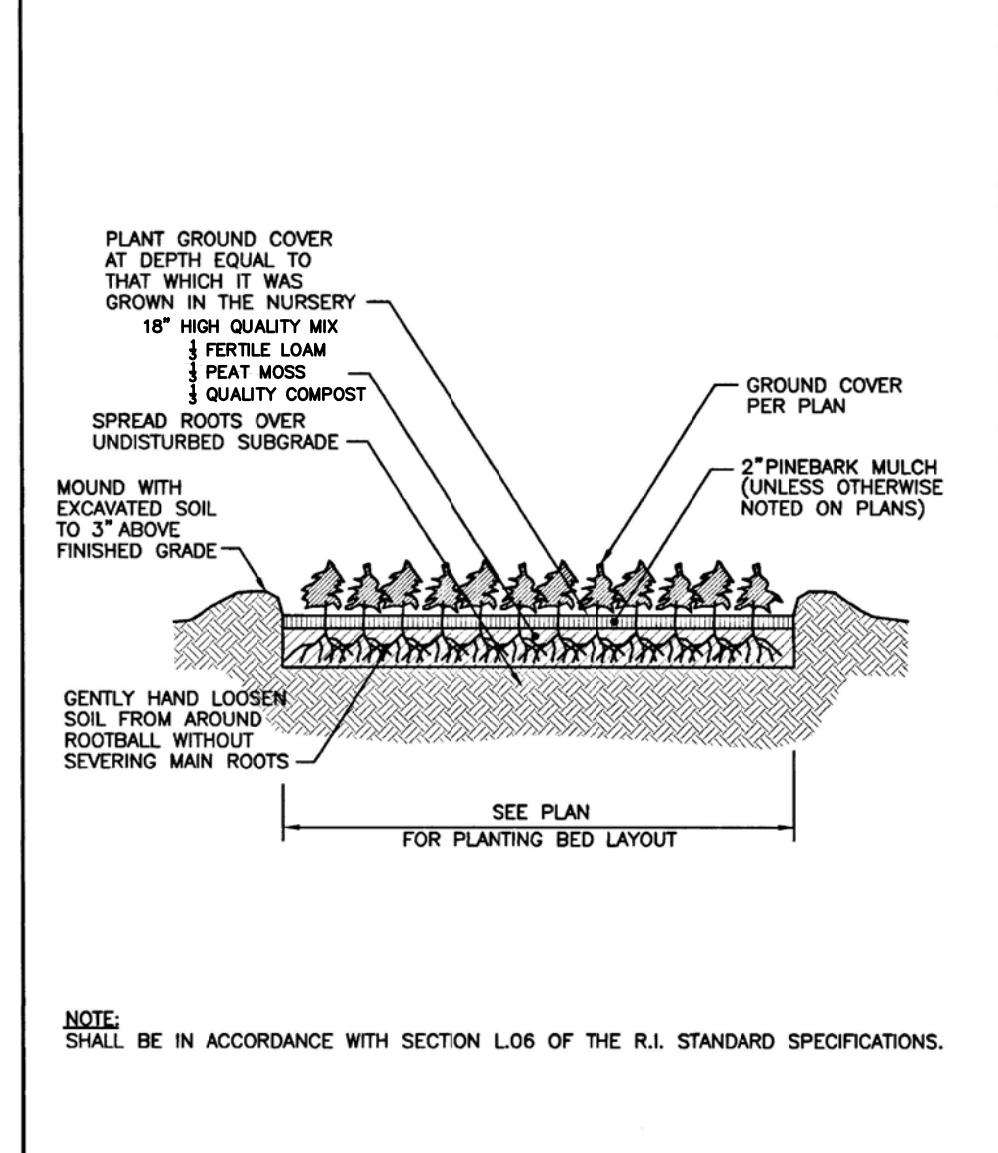
| RHODE ISLAND DEPARTMENT OF TRANSPORTATION    |     |    |                                |
|--|-----|----|--------------------------------|
| REVISIONS                                    | NO. | BY | DATE                           |
|  |     |    |                                |
| <b>CONTAINER GROWN SHRUB PLANTING DETAIL</b> |     |    | R.I. STANDARD<br><b>50.3.1</b> |
| JUNE 15, 1998<br><small>DATE SHEET</small>   |     |    |                                |

**WATER NOTES**

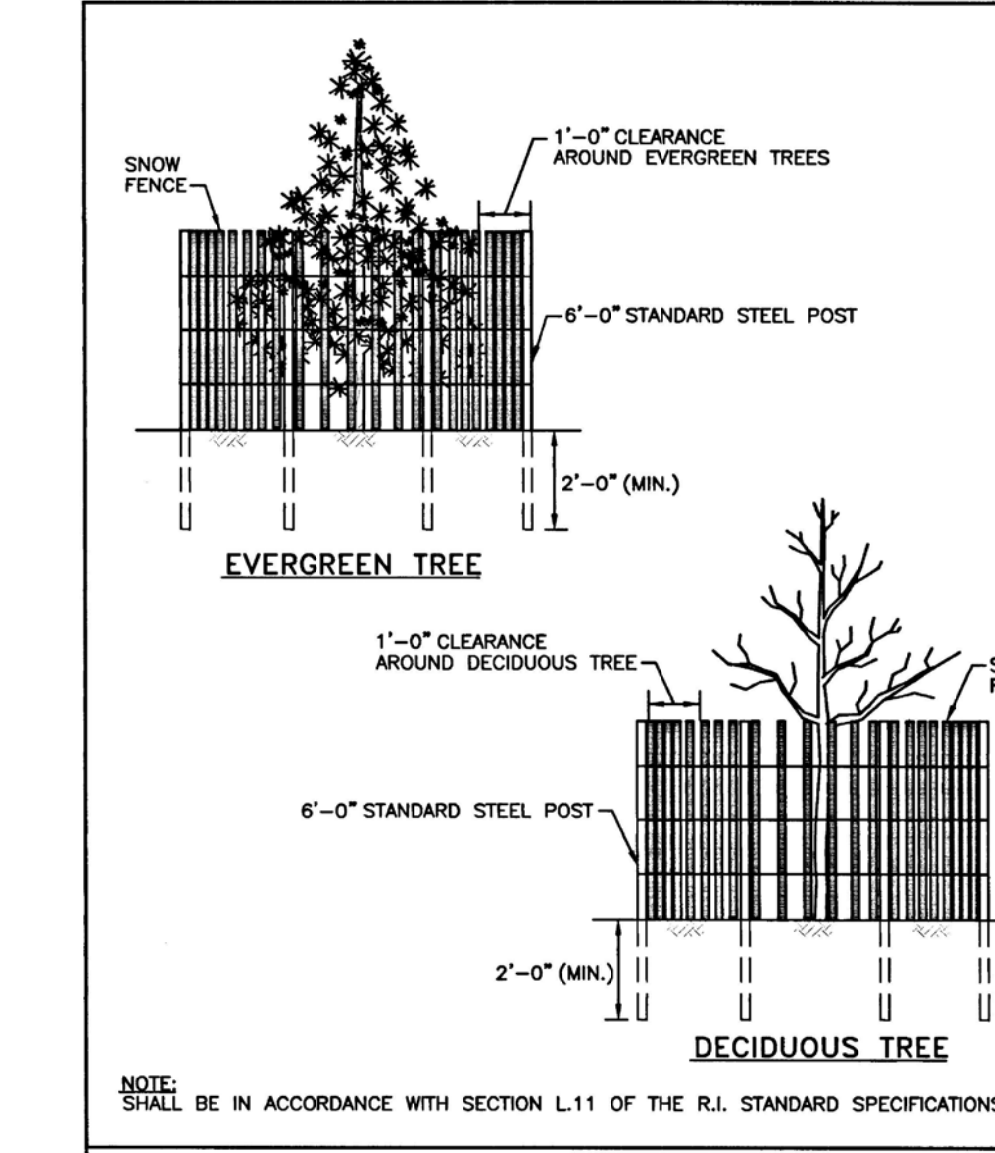
- ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO WARWICK WATER DIVISION REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
- PROPOSED PIPE SHALL BE HDPE PIPE APPROVED BY WARWICK WATER DIVISION (BY AMERICAN MANUFACTURER ONLY). FITTINGS SHALL MEET THE WARWICK WATER DIVISION REQUIREMENTS.
- CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, JOINTS, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
- PRESSURE AND LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO AMERICAN WATER WORKS ASSOCIATION (AWWA) RECOMMENDATIONS, WARWICK WATER DIVISION REQUIREMENTS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
- ALL FITTINGS, PIPE, JOINTS, ETC. SHALL BE DESIGNED FOR 1.5 TIMES WORKING PRESSURE BUT NOT LESS THAN 150 PSI.
- WATER PIPE SHALL TYPICALLY BE LOCATED AT LEAST TEN (10) FEET HORIZONTALLY FROM SEWER PIPE, AND AT A MINIMUM DEPTH OF COVER EQUAL TO 5'. WHERE A NEW WATER MAIN IS LESS THAN 18 INCHES CLEAR DISTANCE ABOVE A SEWER OR WHERE A WATER MAIN PASSES BENEATH A SEWER, ENCASE THE SEWER IN 6" OF CONCRETE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF THE CROSSING WATER MAIN. THE USE OF DUCTILE IRON TIGHT JOINT SEWER PIPE IN LIEU OF CONCRETE ENCASEMENT WILL BE CONSIDERED UPON CONTRACTORS SUBMITTAL OF SPECIFICATIONS TO ENGINEERS FOR APPROVAL.
- ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS PIPE, JOINTS, FITTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
- WATER LINE TRENCH TO BE AWWA TYPE 5. A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1'-0" BELOW FINISHED GRADE.
- PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL COMPLETE AND SUBMIT THE "CONTRACTOR'S MATERIAL AND TEST CERTIFICATE" FOR UNDERGROUND PIPING TO THE WARWICK WATER DIVISION AND ENGINEER. IN ADDITION, THE CONTRACTOR IS REQUIRED TO SUBMIT THE FOLLOWING ITEMS TO THE ENGINEER FOR THEIR REVIEW AND APPROVAL:
  - TYPE AND MANUFACTURER OF CORPORATIONS AND CURB STOPS
  - TYPE AND MANUFACTURER OF VALVE BOXES
  - TYPE AND MANUFACTURER OF PIPING
  - TYPE AND MANUFACTURER OF VALVES (OPEN LEFT)
  - TYPE AND MANUFACTURER OF HDPE SERVICE LINE
- WHEN THIS PROJECT IS COMPLETE, THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE WATER DEPARTMENT AND ENGINEER TWO SETS OF AS BUILT PLANS CERTIFIED BY A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER (ONE BLUE LINE, ONE REPRODUCIBLE COPY-MYLAR OR SEPIA) WHICH INDICATES:
  - ALL CURB STOPS WITH APPROPRIATE LOCATING MEASUREMENTS - MAIN-TO-CURB AND MEASUREMENTS FROM PERMANENT STRUCTURES.
  - A SCHEDULE OF MATERIALS WHICH INDICATES: AND MEASUREMENTS FROM PERMANENT STRUCTURES.
    - ITEM QUANTITY
    - MANUFACTURER
    - DESCRIPTION
      - INCLUDE SERIAL #'S AS APPLICABLE
      - MATERIAL
      - OPERATION CHARACTERISTICS
  - PIPE DEPTHS AT 50' INTERVALS
  - PIPE CROSSING LOCATIONS AND SEPARATION DISTANCES
- THE CONTRACTOR SHALL VERIFY THE SERVICE PIPE SIZE REQUIREMENT WITH THE BUILDING ARCHITECT AND PLUMBING CONTRACTOR PRIOR TO ORDERING PIPE, METERS AND BACKFLOW PREVENTORS. COORDINATION WITH THE WARWICK FIRE CHIEF AND WARWICK WATER DIVISION IS REQUIRED TO DETERMINE THE EXISTING WATER PRESSURE AVAILABLE.
- ALL VALVES TO OPEN LEFT.
- A SOLID STAINLESS STEEL INSERT SHALL BE INSTALLED AT EACH HDPE PIPE CONNECTION AND A 12-FOOT TYPE "K" COPPER WHIP SHALL BE INSTALLED AT THE POINT OF ENTRY INTO THE BUILDING.
- HDPE PIPE SHALL CONFORM TO ASTM D1248 TYPE III, GRADE P34, CLASS A, CATEGORY 5, COLOR BLUE WITH VIRGIN CLEAR NATURAL CENTER. AWWA C901, 200 PSI (CTS)

**LANDSCAPE CONSTRUCTION NOTES**

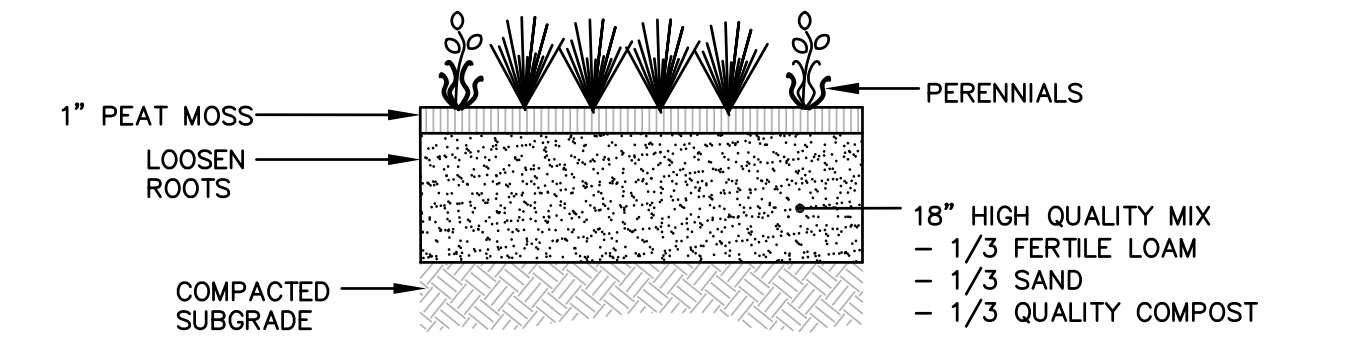
- FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
- LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 4" OVER ALL PLANTED AREAS.
- NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY. CALIPER MEASUREMENTS FOR ALL NEW PLANT STOCK TO BE TAKEN SIX (6) INCHES ABOVE GRADE FOR TREES UNDER FOUR (4) INCHES AND TWELVE (12) INCHES ABOVE GRADE FOR TREES OVER FOUR (4) INCHES. ALL TREES SHALL BE A MINIMUM OF SEVEN (7) FEET ABOVE FINISHED GRADE WHEN TREES ARE LOCATED WITHIN VEHICULAR AND PEDESTRIAN TRAVEL WAYS.
- ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
- SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
- STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
- WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
- PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-6-4 FERTILIZER BROADCAST AT A RATE OF THREE POUNDS PER 100 SQUARE FEET OF SURFACE AREA BROADCAST. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AT A RATE OF ONE AGRIFORM PELLET PER INCH OF TRUNK DIAMETER (FOLLOW MANUFACTURER'S WRITTEN INSTRUCTIONS). APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF AN EIGHT WEEK PERIOD.
- LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
- MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH 3" DARK HEMLOCK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
- GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, FREE OF CHARGE.



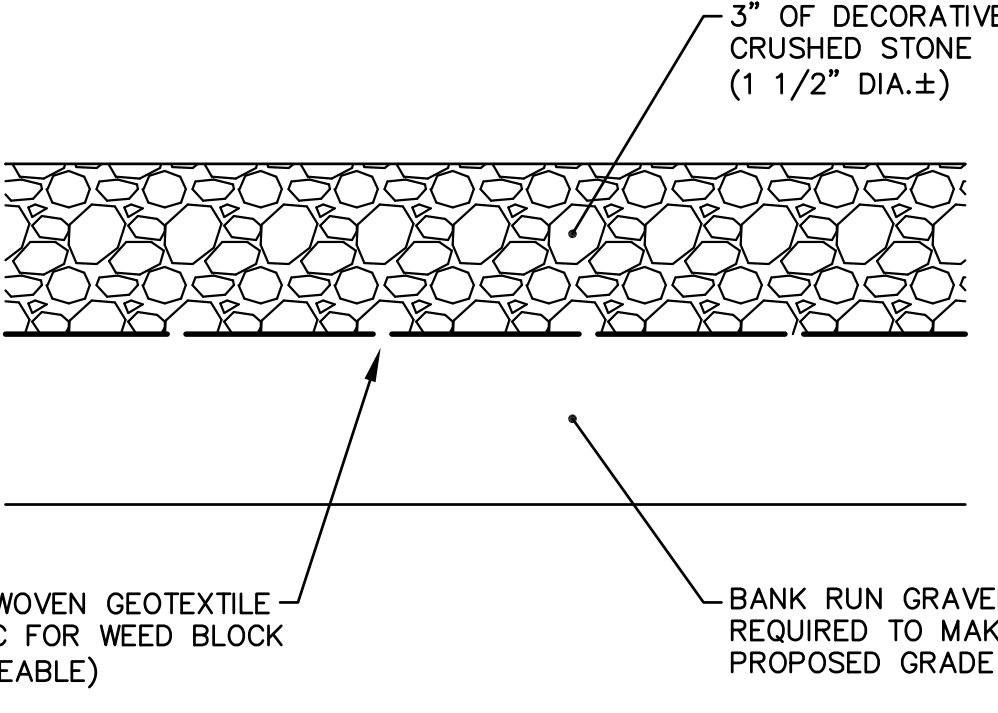
| RHODE ISLAND DEPARTMENT OF TRANSPORTATION  |     |    |                                |
|--|-----|----|--------------------------------|
| REVISIONS                                  | NO. | BY | DATE                           |
|  |     |    |                                |
| <b>GROUND COVER PLANTING DETAIL</b>        |     |    | R.I. STANDARD<br><b>50.6.0</b> |
| JUNE 15, 1998<br><small>DATE SHEET</small> |     |    |                                |



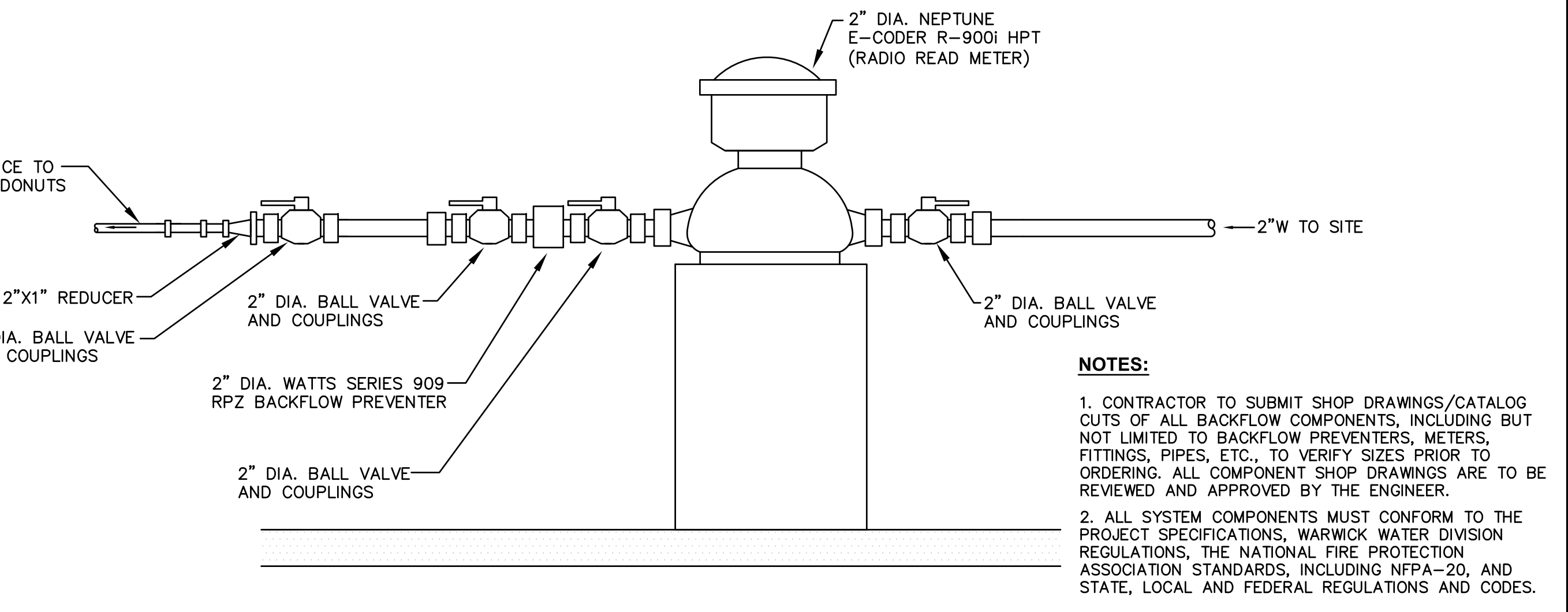
| RHODE ISLAND DEPARTMENT OF TRANSPORTATION                  |     |    |                                |
|--|-----|----|--------------------------------|
| REVISIONS  | NO. | BY | DATE                           |
|  |     |    |                                |
| <b>DRIP LINE TREE PROTECTION DEVICE FOR EXISTING TREES</b> |     |    | R.I. STANDARD<br><b>51.1.1</b> |
| JUNE 15, 1998<br><small>DATE SHEET</small>                 |     |    |                                |



| PERENNIAL DETAIL |  |
|------------------|--|
| NOT TO SCALE     |  |



| CRUSHED STONE BED DETAIL |  |
|--------------------------|--|
| NOT TO SCALE             |  |



| DOMESTIC WATER BACKFLOW AND METERING SYSTEM (INSIDE BUILDING) |  |  |
|---|--|--|
| NOT TO SCALE  |  |  |

- NOTES:**
- CONTRACTOR TO SUBMIT SHOP DRAWINGS/CATALOG CUTS OF ALL BACKFLOW COMPONENTS, INCLUDING BUT NOT LIMITED TO BACKFLOW PREVENTERS, METERS, FITTINGS, PIPES, ETC., TO VERIFY SIZES PRIOR TO ORDERING. ALL COMPONENT SHOP DRAWINGS ARE TO BE REVIEWED AND APPROVED BY THE ENGINEER.
  - ALL SYSTEM COMPONENTS MUST CONFORM TO THE PROJECT SPECIFICATIONS, WARWICK WATER DIVISION REGULATIONS, THE NATIONAL FIRE PROTECTION ASSOCIATION STANDARDS, INCLUDING NFPA-20, AND STATE, LOCAL AND FEDERAL REGULATIONS AND CODES.
  - A MINIMUM CLEARANCE OF 12" SHALL BE MAINTAINED AROUND BACKFLOW PREVENTER
  - PROVIDE DOUBLE CHECK VALVE ASSEMBLY ON 1" SERVICE TO DUNKIN' DONUTS.

**Crossman Engineering**  
 Rhode Island: 151 Centerville Road, Warwick, RI 02886, Phone (401) 738-5660  
 Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700  
 Email: [cel@crossmaneng.com](mailto:cel@crossmaneng.com)

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

KEY PLAN

PROJECT TITLE:  
**PROPOSED DUNKIN'**  
**PLAT MAP 319, LOTS 2, 4 & 502**  
**ZONING DISTRICT**  
**GENERAL BUSINESS**  
**35 WEST SHORE ROAD**  
**WARWICK, RHODE ISLAND**

PREPARED FOR:  
**E&J WEST SHORE REALTY, LLC**  
**75 TIPPING ROCK DRIVE**  
**EAST GREENWICH, RI 02818**

DRAWING TITLE:  
**MISCELLANEOUS DETAIL PLAN No. 5**

DATE: APRIL 2021 SCALE: AS NOTED  
 DWG. NAME: 2416-15-DETAIL5.dwg

| REVISIONS |                  |          |
|-----------|------------------|----------|
| NUMBER    | REMARKS          | DATE     |
| 1         | PRELIMINARY PLAN | 10/1/21  |
| 2         | RIDEM COMMENTS   | 12/1/21  |
| 3         | RIDOT COMMENTS   | 12/28/21 |
| 4         | RIDOT COMMENTS   | 2/14/22  |

DRAWING NUMBER  
**C10.5**  
 SHEET: 15 OF 18



**Crossman Engineering**

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-5660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

KEY PLAN

PROJECT TITLE:

**PROPOSED DUNKIN'**

PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

PREPARED FOR:

**E&J WEST SHORE REALTY, LLC**

75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI 02818

DRAWING TITLE:  
**MISCELLANEOUS DETAIL PLAN No. 6**

DATE: APRIL 2021  
SCALE: AS NOTED

DWG. NAME: 2416-16-DETAIL6.dwg

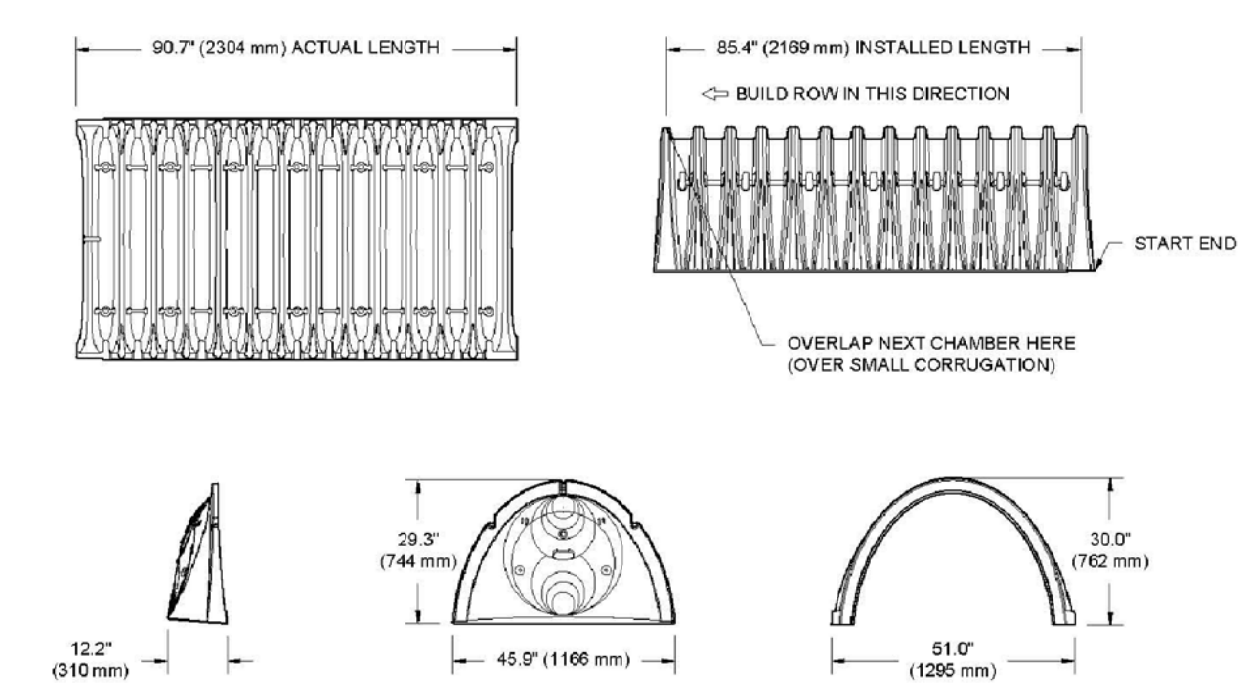
REVISIONS

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |
| 4      | RIDOT COMMENTS   | 2/14/22  |

DRAWING NUMBER

# C10.6

SHEET 16 OF 18



**NOMINAL CHAMBER SPECIFICATIONS**

| SIZE (W X H X INSTALLED LENGTH) | CHAMBER STORAGE        | MINIMUM INSTALLED STORAGE* | WEIGHT    |
|---------------------------------|------------------------|----------------------------|-----------|
| 51.0\" X 30.0\" X 65.4\"        | 48.2 CUBIC FEET        | 78.4 CUBIC FEET            | 75.0 lbs. |
| (1295 mm X 762 mm X 2169 mm)    | (1.36 m <sup>3</sup> ) | (2.20 m <sup>3</sup> )     | (33.6 kg) |

\*ASSUMES 6\" (152 mm) STONE ABOVE, 6\" (229 mm) BELOW, AND 6\" (152 mm) BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH 'B'  
STUBS AT TOP OF END CAP FOR PART NUMBERS ENDING WITH 'T'

| PART #                      | STUB            | A               | B               | C             |
|-----------------------------|-----------------|-----------------|-----------------|---------------|
| SC740EPEDBT / SC740EPEDBTPC | 8\" (203 mm)    | 10.9\" (277 mm) | 18.5\" (470 mm) | 0.5\" (13 mm) |
| SC740EPEDBB / SC740EPEDBBPC | 12.2\" (310 mm) | 12.2\" (310 mm) | 16.5\" (419 mm) | ---           |
| SC740EPEDBT / SC740EPEDBTPC | 17\" (430 mm)   | 13.4\" (340 mm) | 14.5\" (368 mm) | 0.7\" (18 mm) |
| SC740EPEDBB / SC740EPEDBBPC | 12\" (305 mm)   | 14.2\" (373 mm) | 12.5\" (318 mm) | ---           |
| SC740EPEDBT / SC740EPEDBTPC | 15\" (375 mm)   | 18.4\" (467 mm) | 9.0\" (229 mm)  | ---           |
| SC740EPEDBB / SC740EPEDBBPC | 18\" (457 mm)   | 19.2\" (489 mm) | 5.0\" (127 mm)  | ---           |
| SC740EPEDBT / SC740EPEDBTPC | 24\" (609 mm)   | 15.3\" (389 mm) | ---             | 1.6\" (41 mm) |
| SC740EPEDBB / SC740EPEDBBPC | 24\" (609 mm)   | 15.3\" (389 mm) | ---             | 0.1\" (3 mm)  |

ALL STUBS EXCEPT FOR THE SC740EPEDBB ARE PLACED AT BOTTOM OF END CAP SUCH THAT THE OUTSIDE DIAMETER OF THE STUB IS FLUSH WITH THE BOTTOM OF THE END CAP. FOR ADDITIONAL INFORMATION CONTACT STORMTECH AT 1-888-802-2884.

\*FOR THE SC740EPEDBB THE 24\" (609 mm) STUB LIES BELOW THE BOTTOM OF THE END CAP APPROXIMATELY 1.75\" (44 mm). BACKFILL MATERIAL SHOULD BE REMOVED FROM BELOW THE 12\" STUB SO THAT THE FITTING SITS LEVEL.

NOTE: ALL DIMENSIONS ARE NOMINAL

**2 DC-780 TECHNICAL SPECIFICATIONS**

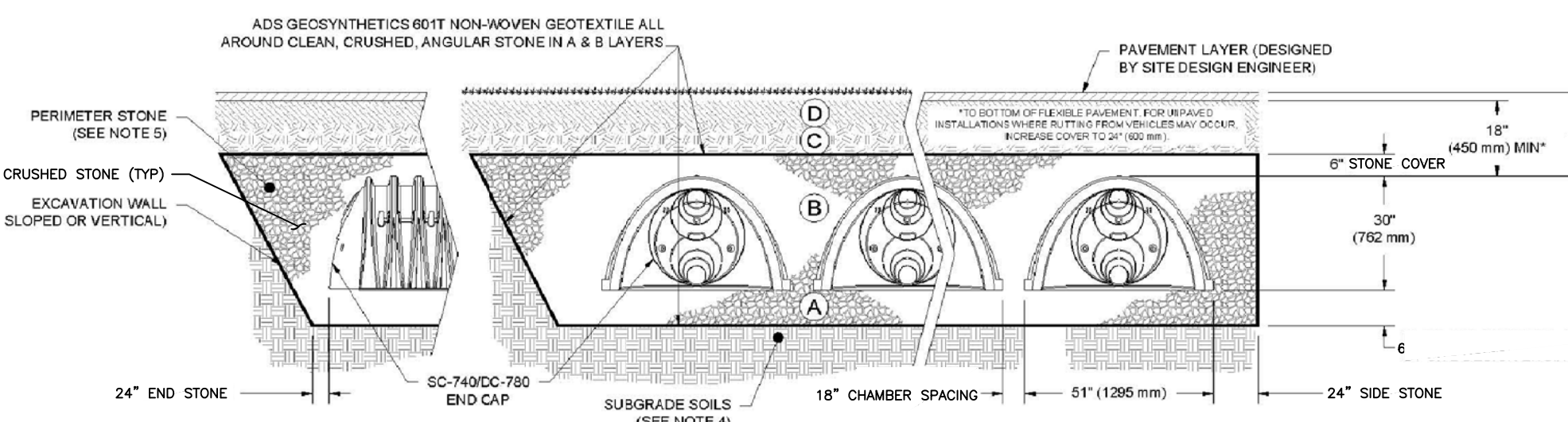
**BMP NO. 1: UNDERGROUND INFILTRATION SYSTEM NO. 1**  
2 ROWS OF 11 ADS STORMTECH SC740 CHAMBERS.  
STONE INVERT=40.00  
CHAMBER INVERT=40.50  
PROVIDE 12\" PIPE AT TOP OF CHAMBER END SECTION TO CONNECT TO UIS NO. 2. PIPE INVERT= 42.00.

**BMP NO. 2: UNDERGROUND INFILTRATION SYSTEM NO. 2**  
4 ROWS OF 11 ADS STORMTECH SC740 CHAMBERS.  
STONE INVERT=40.00  
CHAMBER INVERT=40.50

**ACCEPTABLE FILL MATERIALS: STORMTECH DC-780 CHAMBER SYSTEMS**

| MATERIAL LOCATION | DESCRIPTION   | AASHTO MATERIAL CLASSIFICATIONS  | COMPACTION / DENSITY REQUIREMENT   |
|-------------------|---|--|--|
| D                 | FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'D' LAYER. | N/A  | PREPARE PER SITE DESIGN ENGINEER'S PLANS. FINED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS.   |
| C                 | INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDED STONE ('B' LAYER) TO 18\" (457 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBBASE MAY BE PART OF THE 'C' LAYER.    | AASHTO M145<br>A-1, A-2, A-3, A-3<br>OR<br>AASHTO M61<br>3, 3S7, 4, 4S7, 5, 5S, 6, 6S, 7, 7S, 8, 8S, 9, 9S | BEGIN COMPACTIONS AFTER 12\" (305 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6\" (152 mm) MAX LIFTS TO A MIN. 90% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 95% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER GROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN). |
| B                 | EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE.  | AASHTO M61<br>3, 3S7, 4, 4S7, 5, 5S, 6, 6S   | NO COMPACTION REQUIRED.  |
| A                 | FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER.   | AASHTO M61<br>3, 3S7, 4, 4S7, 5, 5S, 6, 6S   | PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE!   |

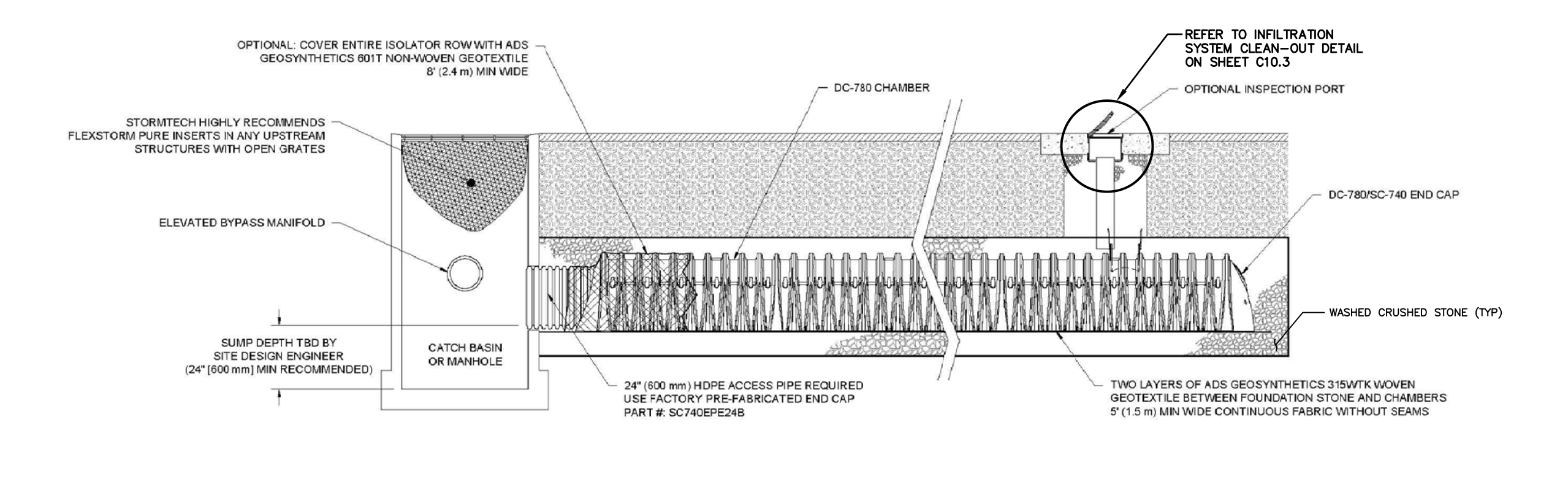
PLEASE NOTE:  
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M63) STONE".  
2. STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6\" (152 mm) MAX LIFTS USING TWO FULL COVERAGES WITH A VIBRATORY COMPACTOR.  
3. WHERE INFILTRATION SUBBASES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGNS, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



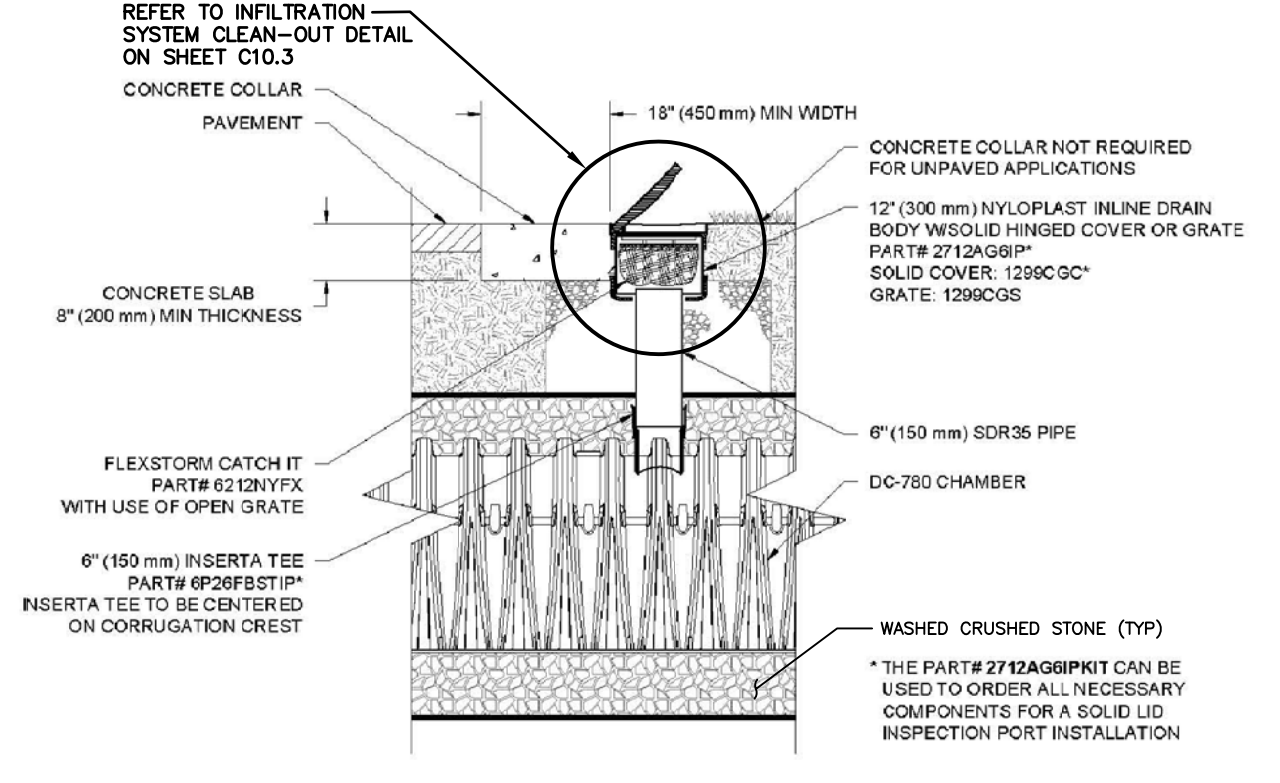
**NOTES:**

- DC-780 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- DC-780 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBBASE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

**1 DC-780 CROSS SECTION DETAIL**



**DC-780 ISOLATOR ROW DETAIL**



**INSPECTION & MAINTENANCE**

STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT

A. INSPECTION PORTS (IF PRESENT)

- REMOVE/OPEN LID ON NYLON PLAST INLINE DRAIN
- REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
- USING A FLASHLIGHT AND STADIA ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
- LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
- IF SEDIMENT IS AT OR ABOVE 3\" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

B. ALL ISOLATOR ROWS

- REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW
- USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
- MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
- FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
- IF SEDIMENT IS AT OR ABOVE 3\" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.

STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS

- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45\" (1.1 m) OR MORE IS PREFERRED
- APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAN
- VACUUM STRUCTURE SUMP AS REQUIRED

STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS. RECORD OBSERVATIONS AND ACTIONS.

STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

**NOTES**

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.

**4 DC-780 6\" (150 mm) INSPECTION PORT DETAIL**

DC-780 STANDARD DETAILS



4640 TRUENMAN BLVD  
HILLIARD, OH 43026

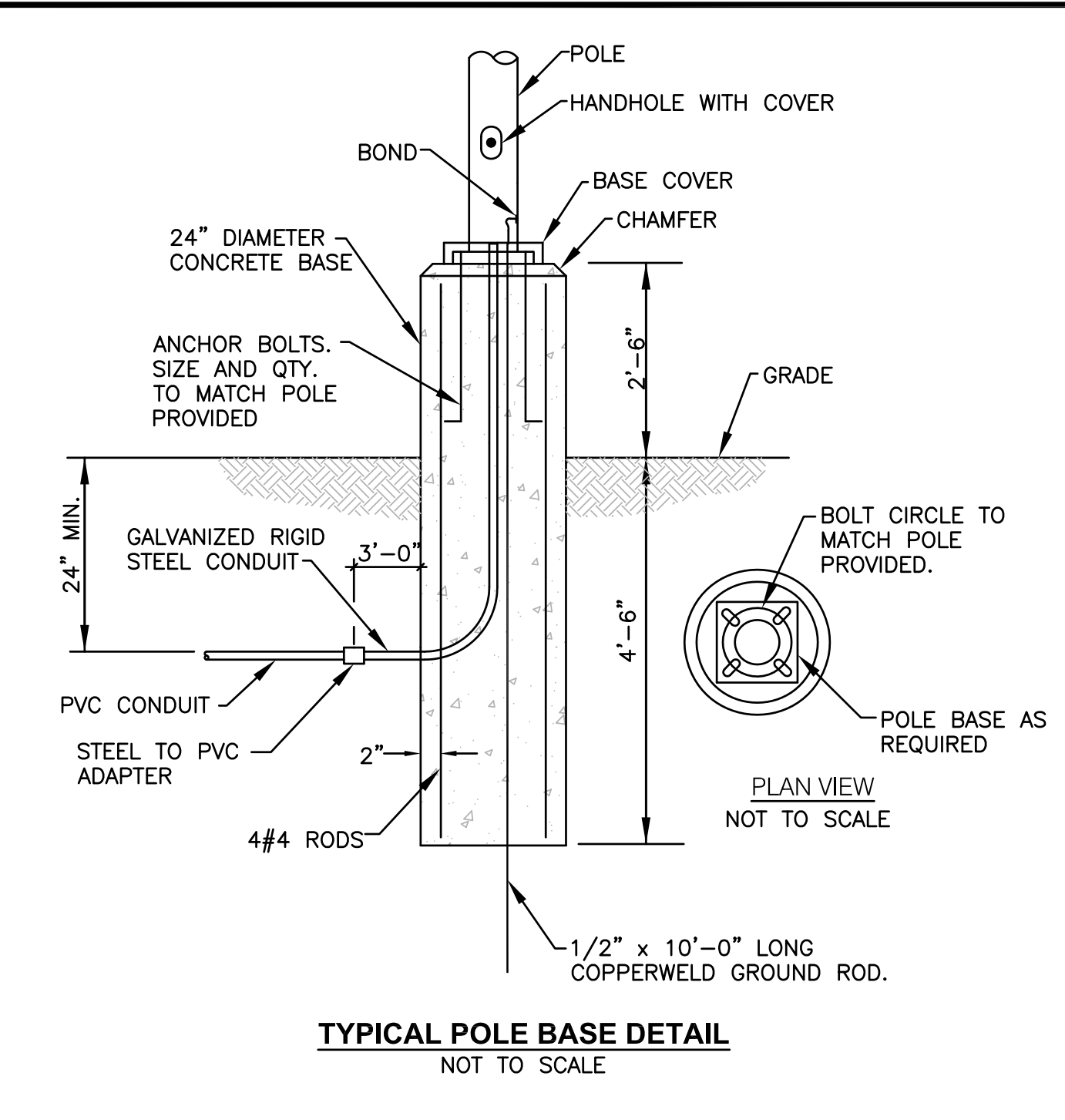


SHEET 1 OF 1

DRAWN: JLM DATE: 08/28/18 PROJECT NO: NOT TO SCALE REV: DC-780 STANDARD DETAILS

UNLESS OTHERWISE NOTED, THIS DETAIL IS BASED ON THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS" OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS". GENERAL RECOMMENDATIONS AND ARE NOT SPECIFIC FOR THIS PROJECT. UNLESS THE PLANS ARE OTHERWISE NOTED AND SEALED BY THE SITE DESIGN ENGINEER, THE SITE DESIGN ENGINEER SHALL REVIEW THESE DETAILS PRIOR TO CONSTRUCTION AND SEALING THE DOCUMENT. IT IS THE SITE DESIGN ENGINEER'S RESPONSIBILITY TO ENSURE THE DETAILS PROVIDED HEREIN MEET OR EXCEEDS THE APPLICABLE NATIONAL, STATE, OR LOCAL REQUIREMENTS AND TO ENSURE THAT THE DETAILS PROVIDED HEREIN ARE ACCEPTABLE FOR THIS PROJECT.





**Lumark**

**DESCRIPTION**  
The Privilux LED area, site luminaire combines optical performance, energy efficiency and long-term reliability in an advanced, patent pending modern design. Utilizing the latest LED technology, the Privilux luminaire delivers unparalleled uniformity resulting in greater pole capacity.

**CONSTRUCTION**  
Construction is comprised of a heavy-duty, anodized aluminum extrusion housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperatures and long life. The direct aluminum drive is further protected by a heavy-duty, anodized aluminum extrusion housing. The LED drivers are mounted in direct contact with the casting to promote low operating temperatures and long life.

**FINISH**  
Housing and cast parts finished in heavy duty powder coated paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard color is bronze. Additional colors available in white, grey, black, dark platinum and graphite metallic.

**WARRANTY**  
Five-year warranty.

**PRV / PRV-XL PREVAIL**

**CERTIFICATION DATA**  
EMC Class A  
EMC Class B  
EMC Class C  
EMC Class D  
EMC Class E

**ENERGY DATA**  
Power Factor  
Efficiency  
Temperature Ranging  
Temperature Ranging

**REPAIRING DATA**  
Replacement Parts  
Replacement Parts

**COOPER LIGHTING**

**ORDERING INFORMATION**

| Product  | SKU # | Yield | Mounting Type | Base Type | Finish | Mounting Type | Number of Luminaire | Order Part # | Order Part # |
|----------|-------|-------|---------------|-----------|--------|---------------|---------------------|--------------|--------------|
| Privilux | 10457 | 1000  | 1000          | 1000      | 1000   | 1000          | 1000                | 1000         | 1000         |

**COOPER LIGHTING**  
by F.T.N.

**COOPER LIGHTING**

**SSS SQUARE STRAIGHT STEEL**

**ORDERING INFORMATION**

| Product    | SKU # | Yield | Mounting Type | Base Type | Finish | Mounting Type | Number of Luminaire | Order Part # | Order Part # |
|------------|-------|-------|---------------|-----------|--------|---------------|---------------------|--------------|--------------|
| SSS Square | 10458 | 1000  | 1000          | 1000      | 1000   | 1000          | 1000                | 1000         | 1000         |

**COOPER LIGHTING**  
by F.T.N.



**Specifications**  
Qty = 1 72.5 Sq Ft

Double Face Internally Illuminated Monument Sign

\*EMC to be removed from existing site and brought to Poyant

**Header:**

- 1 1/2" deep 1 1/2" x 1 1/2" x 3/16" aluminum angle frame topper with 2" x 2" x 1/8" aluminum tube reveal secured to bottom of frame as required
- Faces and sides clad with .090 aluminum, painted to match PMS 7540C
- Address to be 1/2" clear acrylic push thru graphics with white translucent vinyl applied second surface and white translucent vinyl applied first surface
- (Qty: 1) 7" GE Line Fit run horizontally
- (Qty: 1) 24-100J Power Supply
- Access panel in top of sign to access LED
- Topper to be secured to top of cabinet with fasteners as required

**Cabinet:**

- 18 1/2" deep cabinet painted PMS 7540C
- 2 1/2" retainer painted PMS 7540C
- Face(s) to be 3/16" clear polycarbonate
- "DUNKIN'" to be embossed 1/2"; translucent vinyl applied 2nd surface (including returns of embosment)
- "DRIVE THRU," white background and @ to be flat; translucent vinyl on 2nd surface
- GE Tetra Snap LED Illumination with corresponding Power Supplies

**EMC:**

- EMC's to be upgraded to 8mm Full Color EMC
- Existing (Qty: 2) 5" deep EMC's to be clad on sides to appear as one unit, painted black
- Existing EMC's mounted in front of each pole using 2" x 2" x 3/16" steel angle shoe to shoe

**Stone Base:**

- Base to be fabricated 2" x 2" x 3/16" aluminum angle frame with angle supports as needed
- 1/2" thick cement board to be secured to aluminum frame w/ vertical angle supports as required
- Stone Veneer supplied and applied to base by others in field (once veneer is applied, there will be no access to anchor bolts)

**Pole, Plates and Foundation:**

- (Qty: 2) Poles to be 4" SCH 40" Steel Pipes
- Poles to be welded to (Qty: 2) 12" x 12" x 1" thick steel mounting plate
- Mounting plate to attach to (Qty: 4 - per plate) 3/4" dia galvanized anchor bolts (36" long, 32" embedment)
- (Qty: 4) 10" x 7" x 1/2" inside plates attached to cabinet with fasteners as required
- (Qty: 1) Foundation by others to be 4'-0" deep x 9'-6" wide x 4'-4" windload with #4 Rebar Top and Bottom @ 12" OC

**Engineering Required**

**Colors & Materials**

Vinyl

- DD Orange 3M 3830-3123
- DD Magenta 3M 3630-1379
- White Translucent

Paint

- To Match PMS 7540C; Gbss Finish
- White; Gbss Finish
- Black; Gbss Finish

**Poyant**  
Building Time Saver

125 Samuel Barnett Boulevard  
New Bedford, MA 02745  
800.544.0861 | poyantsigns.com

**DUNKIN'**  
35 West Shore Road  
Warwick, RI 02889

Project: 19457  
Dunkin'

Sales: Bill Gavigan Jr.  
Date: 4.13.21  
Designer: RMA

**Note:**  
This is an original unpublished drawing created by Poyant Signs, Inc. It is submitted for your personal use in connection with a project being planned for you by Poyant Signs, Inc. It is not to be shown to anyone outside your organization, nor is it to be reproduced, copied or exhibited in any fashion until transferred.

Revisions:  
4.23.21 RMA (R2) Added to Package

**UL**  
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and all other applicable local codes. The installer proper grounding and bonding of the sign.

**3 YEAR WARRANTY**

All Signage Shown is Covered by Poyant's Exclusive 30 Day Free Trial 3 Year Brand Identity Warranty Program

Approved By: \_\_\_\_\_  
Date: \_\_\_\_\_  
Monument  
Option B

Sign Type 10457.1B-R2 1B.1  
1 of 1

**Crossman Engineering**

Rhode Island  
151 Carterville Road  
Warwick, RI 02886  
Phone (401) 738-5660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

These drawings are the property of Crossman Engineering and have been prepared for their client for a specific site and project. These drawings are not to be copied or used for any other purpose without the written consent of Crossman Engineering.

**KEY PLAN**

**PROJECT TITLE:**

**PROPOSED DUNKIN'**  
PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT  
GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

**PREPARED FOR:**

**E&J WEST SHORE REALTY, LLC**  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI  
02818

**DRAWING TITLE:**  
**MISCELLANEOUS DETAIL PLAN No. 7**

DATE: APRIL 2021 SCALE: AS NOTED

DWG. NAME: 2416-17-DETAIL7.dwg

| REVISIONS | NUMBER | REMARKS          | DATE     |
|-----------|--------|------------------|----------|
|           | 1      | PRELIMINARY PLAN | 10/1/21  |
|           | 2      | RIDEM COMMENTS   | 12/1/21  |
|           | 3      | RIDOT COMMENTS   | 12/28/21 |
|           | 4      | RIDOT COMMENTS   | 2/14/22  |

**DRAWING NUMBER**  
**C10.7**  
SHEET: 17 OF 18



**Crossman Engineering**

Rhode Island  
151 Centerville Road  
Warwick, RI 02886  
Phone (401) 738-5660

Massachusetts  
103 Commonwealth Avenue  
North Attleboro, MA 02763  
Phone (508) 695-1700

Email: cel@crossmaneng.com

THESE DRAWINGS ARE THE PROPERTY OF CROSSMAN ENGINEERING AND HAVE BEEN PREPARED FOR THEIR CLIENT FOR A SPECIFIC SITE AND PROJECT. THESE DRAWINGS ARE NOT TO BE COPIED OR USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN CONSENT OF CROSSMAN ENGINEERING.

KEY PLAN

PROJECT TITLE:

**PROPOSED DUNKIN'**  
PLAT MAP 319, LOTS 2, 4 & 502  
ZONING DISTRICT  
GENERAL BUSINESS  
35 WEST SHORE ROAD  
WARWICK, RHODE ISLAND

PREPARED FOR:

**E&J WEST SHORE REALTY, LLC**  
75 TIPPING ROCK DRIVE  
EAST GREENWICH, RI  
02818

DRAWING TITLE:

**LANDSCAPE PLAN**

DATE: APRIL 2021 SCALE: 1"=20'

DWG. NAME: 2416-18-LAND.dwg

REVISIONS

| NUMBER | REMARKS          | DATE     |
|--------|------------------|----------|
| 1      | PRELIMINARY PLAN | 10/1/21  |
| 2      | RIDEM COMMENTS   | 12/1/21  |
| 3      | RIDOT COMMENTS   | 12/28/21 |

DRAWING NUMBER

**L1**

SHEET: 18 OF 18

**PLANTING SCHEDULE**

**TREES**

| Key                | Quantity | Botanical Name                | Spacing  | Size          | Remarks |
|--------------------|----------|-------------------------------|----------|---------------|---------|
| <b>Common Name</b> |          |                               |          |               |         |
| CBF                | 7        | Carpinus betulus 'Fastigiata' | as shown | 2-2 1/2" cal. | B & B   |
| CK                 | 5        | Cornus kousa                  | as shown | 2-2 1/2" cal. | B & B   |
| JT                 | 6        | Juniperus virginiana 'Taylor' | as shown | 6'-8'         | B & B   |
| PA                 | 1        | Platanus acerifolia           | as shown | 2-2 1/2" cal. | B & B   |
| PP                 | 7        | Picea pungens 'Hoopsi'        | as shown | 6'-8'         | B & B   |
| PS                 | 6        | Pinus strobus                 | as shown | 6'-8'         | B & B   |
| PSG                | 1        | Prunus sargentii              | as shown | 2-2 1/2" cal. | B & B   |
| TON                | 40       | Thuja occidentalis 'Nigra'    | as shown | 6'-8'         | B & B   |

**SHRUBS**

|     |    |                                    |          |         |       |
|-----|----|------------------------------------|----------|---------|-------|
| BM  | 14 | Buxus microphylla 'Green Mountain' | as shown | #3      | cont. |
| CF  | 6  | Chamaecyparis p. 'King's Gold'     | as shown | #5      | cont. |
| CA  | 6  | Cornus sanguinea 'Arctic Fire'     | as shown | #5      | cont. |
| HM  | 29 | Hydrangea macrophylla 'Nikko Blue' | as shown | #5      | cont. |
| HL  | 4  | Hydrangea p. 'Little Lime'         | as shown | #5      | cont. |
| IGS | 20 | Ilex glabra 'Shamrock'             | as shown | #5      | cont. |
| MD  | 34 | Microbiota decussata               | as shown | #3      | cont. |
| RBN | 17 | Rhododendron 'Boule De Neige'      | as shown | 24"-30" | B & B |
| RS  | 16 | Rhododendron 'Scintillation'       | as shown | 24"-30" | B & B |
| RDK | 14 | Rosa 'Double White Knockout'       | 30" o.c. | #2      | cont. |
| RF  | 71 | Rosa 'Flower Carpet Red'           | 30" o.c. | #2      | cont. |
| SG  | 21 | Spirea japonica 'Gold Flame'       | as shown | #5      | cont. |
| SMK | 11 | Syringa p. 'Miss Kim'              | as shown | #5      | cont. |

**GROUND COVER**

|     |     |                                     |          |    |       |
|-----|-----|-------------------------------------|----------|----|-------|
| HSD | 81  | Hemerocallis 'Stella D'Oro'         | 24" o.c. | #1 | cont. |
| HSE | 5   | Hosta 'Sieboldiana Elegans'         | as shown | #2 | cont. |
| JS  | 103 | Juniperus chinensis 'Sargentii'     | 36" o.c. | #2 | cont. |
| JSG | 22  | Juniperus chinensis 'Sea of Gold'   | as shown | #5 | cont. |
| MS  | 23  | Miscanthus sinensis 'Yaku Jima'     | as shown | #3 | cont. |
| NN  | 9   | Nipponanthemum nipponicum           | 30" o.c. | #1 | cont. |
| SS  | 15  | Schizachyrium scoparium 'The Blues' | as shown | #2 | cont. |

**NOTES:**

- DECORATIVE STONE OR MULCH TO BE USED IN PLANTING BEDS SITE WIDE. COORDINATE COLOR AND SIZE WITH OWNER. ALL LANDSCAPED AREAS ONSITE WILL BE WITHIN PLANTING BEDS AND WILL RECEIVE STONE COVER. NO GRASS AREAS ARE PROPOSED. ALL STONE AREAS SHALL HAVE A WEED BLOCK FILTER FABRIC BELOW.
- PROPOSED STREET TREES WILL BE SPACED 50' ON CENTER.

**GRAPHIC SCALE**

