

FINAL PLAN SUBMISSION

FOR:

PHASE I

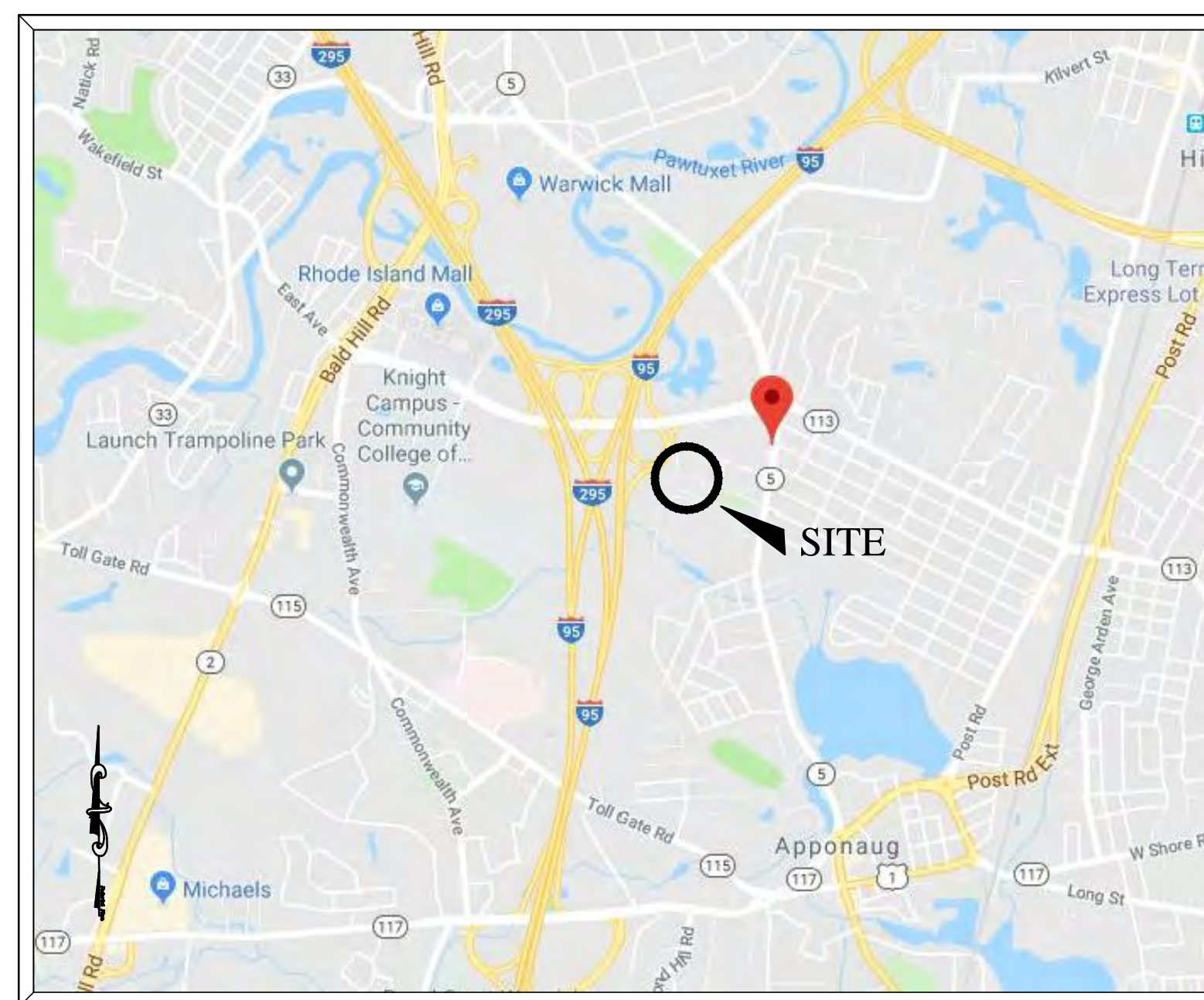
ORTHO RI AT THE CROSSINGS

ASSESSOR PLAT 257, LOT 10

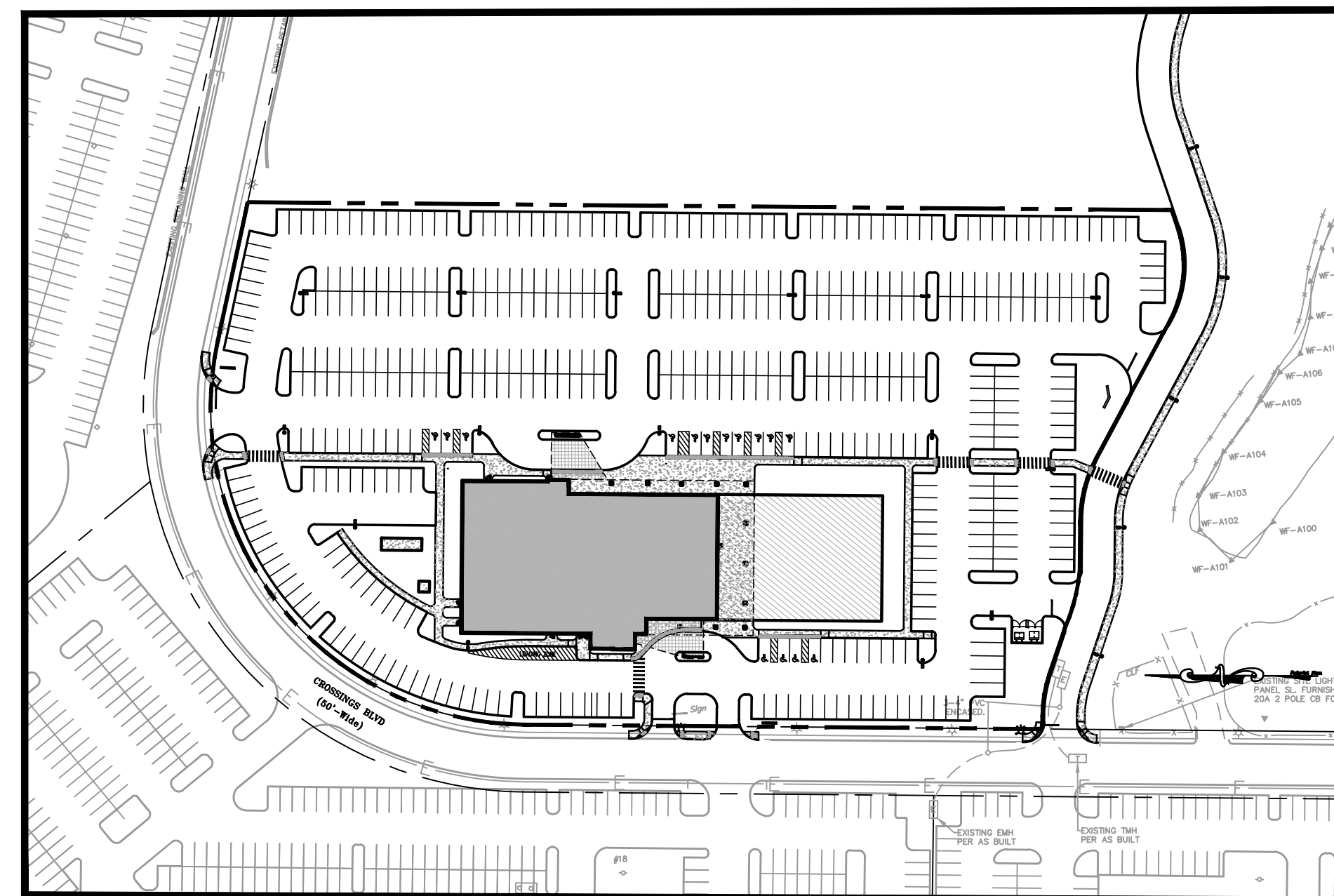
SITUATED ON:

CROSSINGS BLVD

WARWICK, RHODE ISLAND 02886



LOCUS MAP
NOT TO SCALE



SCALE 1" = 100'

PREPARED FOR:

BELLECASTLE REALTY, INC.
1414 ATWOOD AVENUE
JOHNSTON, RI 02919

JOB NO. 7155-00

DATE: JANUARY 29, 2019

SHEET INDEX

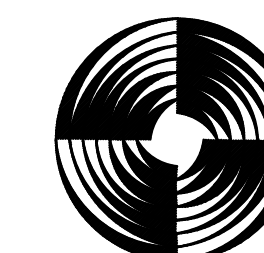
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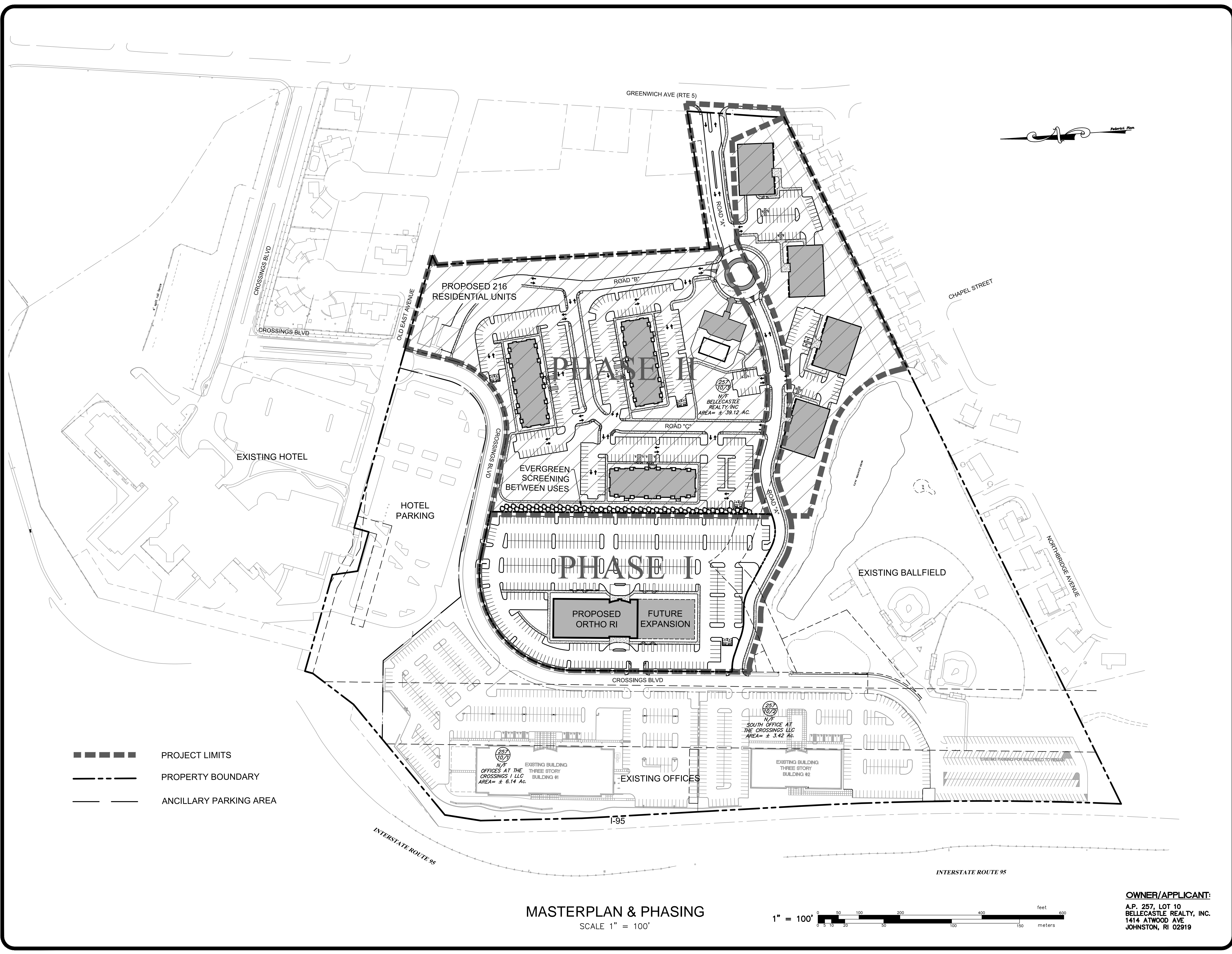
INFORMATIONAL

- 200' RADIUS MAP
- LIGHTING PLAN
- ADMINISTRATIVE SUBDIVISION PLAN

PREPARED BY:

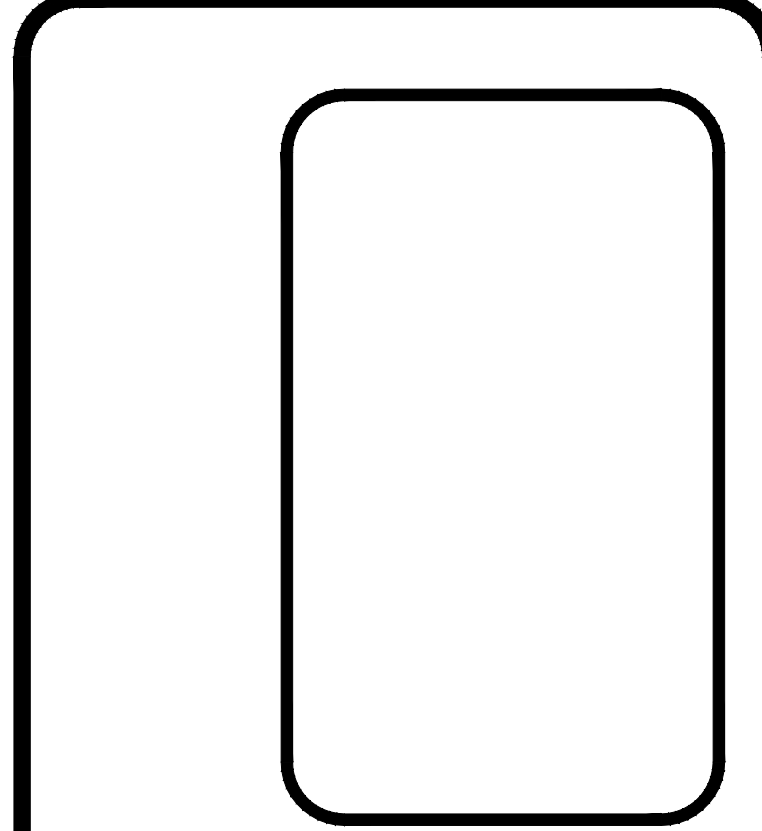


GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET - P.O. BOX 6145
PROVIDENCE, RHODE ISLAND 02940
(401) 273-6000



MASTERPLAN & PHASING PLAN
 FOR
 ORTHO RI
 AT THE CROSSINGS
 A.P. 257 LOT 10
 SITUATED ON
 GREENWICH AVENUE
 WARWICK, RHODE ISLAND
 PREPARED FOR
 BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

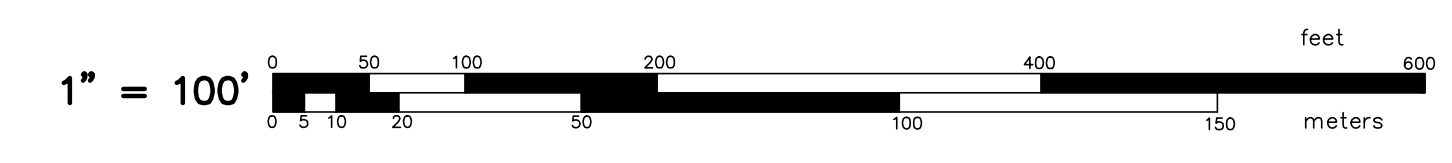


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 TEL. 401-273-6000

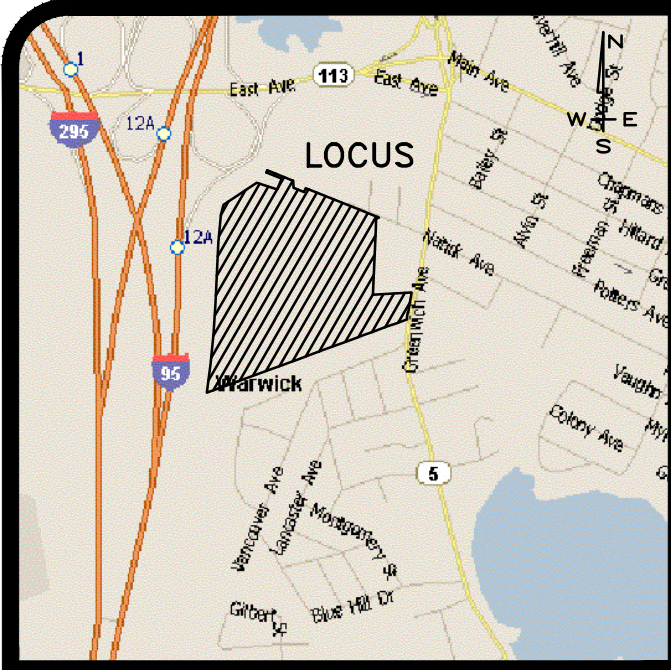
JOB NO. 5539-05	DRAWN BY K.Y.Y.
DWG. NO. 5539-05-Mas.-Phasing	CHECKED S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: OCTOBER 25, 2018

SHEET
C-1
 OF 22 SHEET

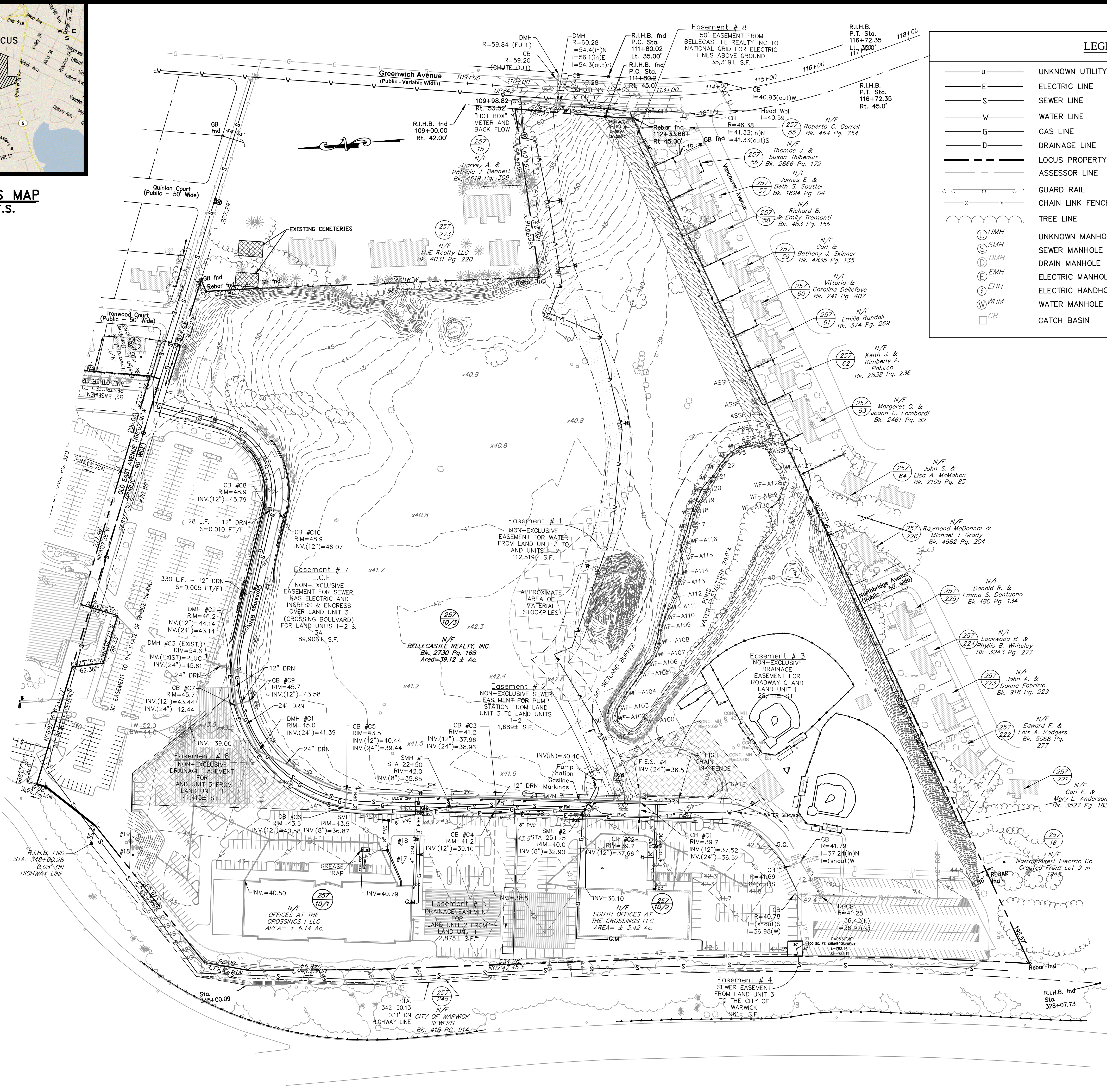
MASTERPLAN & PHASING
 SCALE 1" = 100'



OWNER/APPLICANT:
 A.P. 257, LOT 10
 BELLECASTLE REALTY, INC.
 1414 ATWOOD AVE
 JOHNSTON, RI 02919



LOCUS MAP
N.T.S.



LEGEND & ABBREVIATIONS

— U —	UNKNOWN UTILITY LINE	○ UP	UTILITY POLE
— E —	ELECTRIC LINE	○ GUY	GUY POLE
— S —	SEWER LINE	—	SINGLE POST SIGN
— W —	WATER LINE	○ LP	LIGHT POST
— G —	GAS LINE	CONC.	CONCRETE
— D —	DRAINAGE LINE	BIT.	BITUMINOUS
— A —	ASSESSOR LINE	N/F	NOW/FORMERLY
— G.R. —	GUARD RAIL	A.P.	ASSESSOR'S PLAN
— C.L.F. —	CHAIN LINK FENCE	INV.	INVERT
— T.L. —	TREE LINE	CLF	CHAIN LINK FENCE
○ UMH	UNKNOWN MANHOLE	SQ. FT.	SQUARE FEET
○ SMH	SEWER MANHOLE	AC.	ACRES
○ DMH	DRAIN MANHOLE	x164.5	SPOT GRADE ELEVATION
○ EMH	ELECTRIC MANHOLE	PVC	POLYVINYL CHLORIDE
○ EHH	ELECTRIC HANDHOLE	CPP	CORRUGATED PLASTIC PIPE
○ WHM	WATER MANHOLE	PE	POLYETHYLENE
□ CB	CATCH BASIN	HDPE	HIGH-DENSITY POLYETHYLENE
		RCP	REINFORCED CONCRETE PIPE

PARCEL DATA

A.P. 257, Lot 10
 Bellecastle Realty, Inc.
 Deed Bk. 2730, Page 168
 Greenwich Avenue
 Warwick, Rhode Island
 Lot Area:
 2,120,362 S.F. ± or
 48.68 Ac. ±

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

COMPREHENSIVE BOUNDARY SURVEY — CLASS I
 I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.

LOTS DEPICTED ON THIS PLATE (OR PLAN) SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOTS LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995.

BY: SAMUEL A. WHITE LICENSE NO. 1781
 LS A59-COA

GENERAL NOTES:

1.) Project site is located within "Zone X" (areas determined to be outside the 500 year flood plain) as shown on F.E.M.A. Flood Insurance rate map for the City of Warwick, Rhode Island, Kent County, Community Panel No. 44003C0128H, having a revised date of October 2, 2015.

EXISTING CONDITIONS PLAN
 FOR
ORTHO RI
 AT THE CROSSINGS
 A.P. 257 LOT 10
 SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
 PREPARED FOR
BELLECASTLE REALTY, INC.

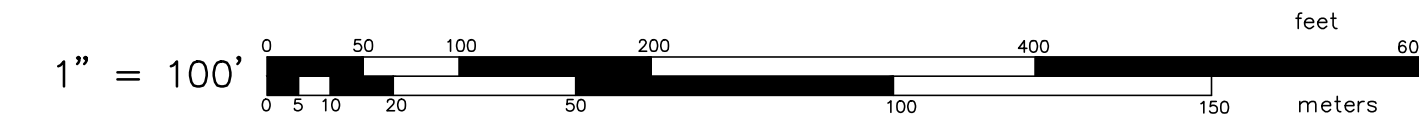
NO.	REVISION	BY	DATE

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 TEL. 401-273-6000

JOB NO. 5539-05.00	DRAWN BY RSE
DWG. NO. 5539-05-ECS	CALCS BY RSE
SCALE: 1"=100'	APPROVED SAW
	DATE: APRIL 2018

SHEET
C-2
 OF 22 SHEETS

EXISTING CONDITIONS SURVEY PLAN
 SCALE 1" = 100'



GENERAL CONSTRUCTION NOTES:

- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- SITWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT NOT LIMITED TO THE FOLLOWING: DEMOLITION PERMITS, SITE PLAN APPROVAL BY THE CITY OF WARWICK, RIDOT PHYSICAL ALTERATION PERMIT, RIDEM UNDERGROUND INJECTION CONTROL, WARWICK SEWER AND VEOLIA WATER NORTH AMERICA CONNECTION PERMIT, PROVIDENCE WATER SUPPLY BOARD CONNECTION PERMIT, WARWICK MAJOR LAND DEVELOPMENT PERMIT, AND WARWICK ZONING VARIANCE.
- THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION. VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS MUST CONFORM TO THE CITY OF WARWICK CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
- THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- AT ALL TIME THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
- HIGH INTENSITY LIGHTING FACILITIES MUST BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM PUBLIC VIEW AND FROM ADJACENT RESIDENTIAL PROPERTY AND DOES NOT INTERFERE WITH TRAFFIC. (REFER TO ELECTRICAL SITE PLANS PREPARED BY OTHERS FOR DETAILS.)
- ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- ALL WORK WITHIN THE STATE HIGHWAY RIGHT OF WAY SHALL CONFORM TO RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, INCLUDING ALL REVISIONS AND THE RI STANDARD DETAILS.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2003 INCLUDING ALL REVISIONS.
- TEST HOLE EVALUATIONS WERE PERFORMED BY GAROFALO & ASSOCIATES IN JULY 2004.
- REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
- THERE ARE KNOWN WETLAND AREAS ON OR ADJACENT TO THE PROJECT SITE. THE WETLANDS INDICATED HAVE BEEN FLAGGED IN THE FIELD.
- ALL CURB RADII ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
- WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
- ALL WORK WITHIN THE STATE'S ROW SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, WITH ALL REVISIONS. STANDARD DETAILS FOR WORK WITHIN THE STATE'S ROW ARE THE RHODE ISLAND STANDARD DETAILS, 1998 EDITION, WITH ALL REVISIONS.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
- IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

GENERAL DRAINAGE & GRADING NOTES:

- ALL STORM PIPE ENTERING STRUCTURES SHALL BE GROUTED TO ASSURE CONNECTION AT STRUCTURE IS WATERTIGHT.
- ALL STORM SEWER MANHOLES IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 6" ABOVE FINISH GRADE. LIDS SHALL BE LABELED "STORM SEWER".
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE CITY OF WARWICK SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
- ALL WATERLINES SHALL BE LAID 10-FEET (MINIMUM) DISTANCE FROM SANITARY LINES. A CARRIER PIPE SHALL BE PROVIDED WHEN WATERLINE CROSSES WITHIN 1.5-FEET VERTICAL DISTANCE FROM SEWER LINES. CARRIER PIPES SHALL EXTEND 10-FOOT PERPENDICULAR FROM THE CROSSING. ALL SEWER/WATER LAYOUT AND INSTALLATION SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF THE PROVIDENCE WATER SUPPLY BOARD AND RIDEM SEWER/WATER LINE SEPARATION POLICY.
- INSTALL SILT SACKS AT ALL INLETS AFTER INSTALLATION.

GENERAL UTILITY NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
- ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. THE CONTRACTOR SHALL REFER TO THE KENT COUNTY WATER AUTHORITY RULES & REGULATIONS FOR THE SERVICE INSTALLATION & EXTENSION REQUIREMENTS OF WATER LINES.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE, THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
- IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
- DOMESTIC AND FIRE PROTECTION WATER SERVICE IS PROVIDED TO THE PROPERTY BY THE KENT COUNTY WATER AUTHORITY (KCWA) AND METERED AT THE EXISTING ABOVE GROUND HEATED ENCLOSURE ON GREENWICH AVENUE. THE ONSITE WATER SYSTEM ON THE PROPERTY IS PRIVATE. WATER PIPING SHALL BE CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE KCWA REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION. WATER SERVICE PIPING SIZE SHOWN IS APPROXIMATE ONLY AND SHALL BE SIZED AND VERIFIED BY A LICENSED FIRE PROTECTION ENGINEER AND OR LICENSED PLUMBING ENGINEER.
- GATE VALVES SHALL BE CAST IRON BODY BRONZE MOUNTED, COMPLETE WITH ROAD BOX AND SHALL CONFORM TO THE KCWA REGULATIONS, STANDARDS AND SPECIFICATIONS.
- ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
- ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE WARWICK SEWER DEPARTMENT AND VEOLIA WATER NORTH AMERICA REGULATIONS STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE CITY OF WARWICK AND APPROVED, PRIOR TO ISSUANCE OF A PERMIT TO CONNECT TO PUBLIC SEWER SYSTEM.
- SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINTS UNLESS NOTED OTHERWISE. CLEANOUTS SHALL BE INSTALLED AT BUILDING FACE (REFER PLUMBING PLANS FOR ALL WORK WITHIN 5' OF THE BUILDING). NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
- SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE. SEWER CONNECTION TO THE PROPERTY LINE SHALL BE PERFORMED BY THE EPSD AND PAID FOR BY THE OWNER. CONTRACTOR SHALL INSTALL CLEANOUT AT THE BUILDING FACE. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH W.S.A. REQUIREMENTS.
- WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN EITHER DUCTILE IRON OR 6900 BLUE BRUTE PIPE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
- WHENEVER NEW SEWER LINES CONNECT TO EXISTING SEWER MANHOLES THE CONTRACTOR SHALL REBUILD THE EXISTING SEWER MANHOLE CHANNEL TO ACCOMMODATE THE NEW CONNECTION.
- STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H-20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOR PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS

- GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.

- ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
- TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
- SITE LIGHTING ELEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A PHOTO-METRICS PLAN TO THE CITY OF WARWICK PRIOR TO CONSTRUCTION. THE PLAN SHALL MEET THE APPLICABLE REQUIREMENTS OF THE CITY OF WARWICK. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE INSTALLATION OF LIGHT POLE BASES IN LOCATIONS INDICATED. REFER TO SITE LIGHTING PLANS FOR INSTALLATION REQUIREMENTS.
- WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE CITY OF WARWICK PUBLIC OR PRIVATE RIGHT OF WAYS, THE TRENCH MUST BE BACKFILLED WITH FLOWABLE FILL. ALL AREAS OF ROADWAY PAVEMENT & WALKWAYS DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER THE CITY OF WARWICK AND STATE STANDARDS AND SPECIFICATIONS.

STORMWATER SYSTEM MAINTENANCE NOTES:

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)

- SILT BARRIER:**
MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
- PAVED AREAS:**
PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
- CATCH BASINS:**
ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
- DRAIN MANHOLES:**
DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ONE FOOT OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
- SUBSURFACE INFILTRATION BASIN (STORMTECH INFILTRATION SYSTEMS AND ISOLATOR ROWS):**
SUBSURFACE INFILTRATION BASIN SHALL BE INSPECTED AFTER EVERY RAIN STORM. CARE SHALL BE TAKEN TO PREVENT SILTATION OF THE BASIN AFTER INSTALLATION. PRETREATMENT BMP'S (DEEP SUMP CATCH BASINS & WATER QUALITY STRUCTURES) MUST BE MAINTAINED AND CLEANED PER THE PROCEDURES LISTED TO ENSURE PROPER FUNCTIONING. SUBSURFACE INFILTRATION BASIN SHALL BE MONITORED FOR ANY PONDING AND ACCUMULATION OF SEDIMENT/DEBRIS. ALL ACCUMULATED SEDIMENT AND DEBRIS MUST BE REMOVED BY A VAC-TRUCK. DISPOSAL OF ALL SEDIMENT AND DEBRIS MUST IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL GUIDELINES & REGULATIONS.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)

- PAVED AREAS:**
PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEPED CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR. OR AS NECESSARY.
- CATCH BASINS:**
ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY, FRAMES AND GRATES ARE NOT DAMAGED, OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
- DRAIN MANHOLES:**
ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ONE FOOT OR MORE OF SEDIMENT HAS ACCUMULATED.

INFILTRATION AREA CONSTRUCTION PROTECTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

- THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
- CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
- EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL AND THE ENTIRE AREA IS TO BE SCARIFIED PRIOR TO INSTALLATION.
- THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

SITE PLAN LEGEND (RIDOT):

- (BCP) BITUMINOUS CONCRETE PAVEMENT
2" CLASS 12.5 HMA SURFACE
3/2" CLASS 19 HMA BASE
12" GRAVEL BORROW SUBBASE
- (CM) CUT AND MATCH PAVEMENT
- (12"W) 12" PAVEMENT MARKINGS-CROSSWALKS & STOP BAR
- (LS) 4" LOAM AND SEEDING, TYPE 2
- (3.4.1) BRICK/SOILD BLOCK ROUND CATCH BASIN WITH GUTTER LINE
- (6.1.0) LIGHT - DUTY ROUND FRAME AND COVER
- (6.2.1) HEAVY - DUTY ROUND FRAME AND COVER
- (6.3.2) HIGH CAPACITY FRAME AND GRATE (BICYCLE SAFE)
- (6.4.0) ROUND FRAME AND GATE
- (7.1.0) PRECAST CONCRETE CURB
- (7.1.2) 6'-0" PRECAST CONCRETE TRANSITION CURB
- (7.1.3) PRECAST CONC. WHEELCHAIR RAMP TRANSITION CURB
- (7.1.8) PRECAST CONC. APRON STONE
- (7.1.9) PRECAST CONC. RAMP STONE
- (7.2.0) PRECAST CONC. SLOPED FACE CURB
- (7.2.1) PRECAST CONC. SLOPED FACE TRANSITION CURB
- (7.6.0) CURB SETTING DETAIL
- (9.9.0) CONSTRUCTION ACCESS
- (24.2.0) SIGN POST SELECTION & INSTALLATION DETAILS U-CHANNEL POST (SIGN UP TO 8'-0"W x 4'-0"H)
- (43.1.0) CEMENT CONCRETE SIDEWALK
- (43.3.0) WHEELCHAIR RAMP
- (43.3.1) WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS
- (48.1.0) DETECTIBLE WARNING PANEL PLACEMENT

SITE LEGEND

EXISTING	NEW	DESCRIPTION
		CENTERLINE (LAYOUT)
		STORM DRAIN
		ELECTRIC (UNDERGROUND)
		FIRE SERVICE
		FOOTING DRAIN
		GAS
		OVERHEAD WIRE
		PROPERTY LINE
		SANITARY SEWER
		SITE LIGHTING SERVICE
		TELEPHONE
		WATER
		CONTOUR
		SPOT GRADE
		SPOT GRADE (BOT. OF CURB)
		SPOT GRADE (TOP OF CURB)
		SPOT GRADE (BOT. OF WALL)
		SPOT GRADE (TOP OF WALL)
		BITUMINOUS CONC. CURB
		CAPE COD BERM
		PRECAST CONC. CURB
		PRECAST SLOPED MOUNT. CURB
		SLOPED GRANITE CURB
		VERTICAL GRANITE CURB
		CHAINLINK FENCE (CLF)
		STOCKADE FENCE (STKF)
		BORING LOCATION
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		CONCRETE THRUST BLOCK
		DRAIN MANHOLE
		FLARED END STRUCTURE
		SEWER MANHOLE
		WATER SERVICE
		UTILITY POLE
		FIRE HYDRANT
		GATE VALVE AND CURB BOX
		HANDICAP SYMBOL (PRKG. SPACE)
		SIGN
		WETLAND
		SOIL EVALUATION LOCATION
		TEST PIT LOCATION
		FIRE DEPARTMENT CONNECTION
		POST INDICATOR VALVE (PIV)
		ELECTRIC MANHOLE (EMH)
		TELEPHONE MANHOLE (TMH)
		TRANSFORMER PAD
		GENERATOR PAD
		GROUND CLEANOUT
		SIGHT LIGHT POLE
		TRAFFIC FLOW DIRECTION
		CONTINUOUS ROW OF HAYBALES
		CONTINUOUS ROW OF SILT FENCE
		PAVEMENT SAWCUT & MATCH TO EXISTING
		RIDOT STD DETAIL REFERENCE

ABBREVIATIONS

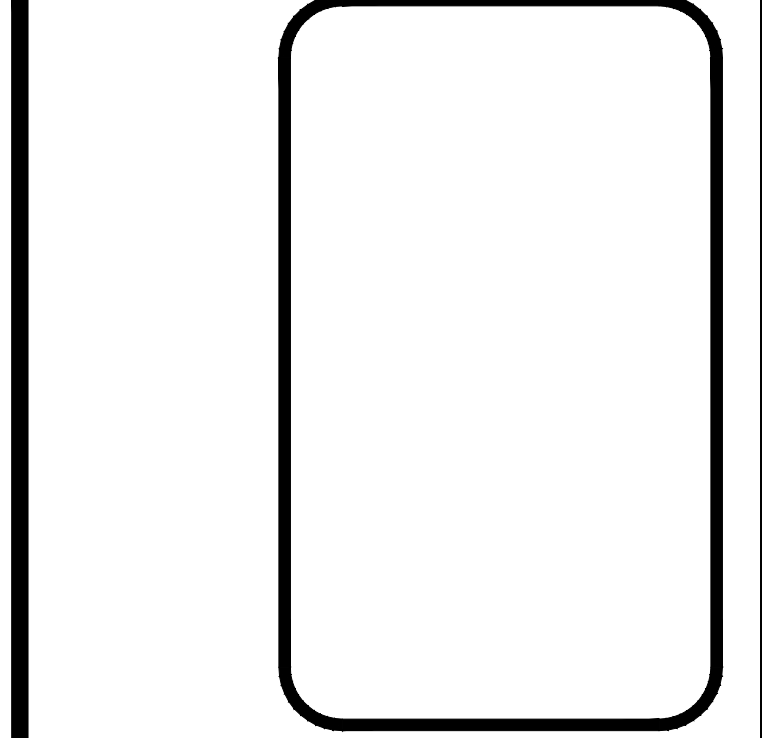
- CI CAST IRON PIPE
- CLDI CEMENT LINED DUCTILE IRON PIPE
- CLF CHAINLINK FENCE
- CTE POINT OF CONNECTION TO EXISTING
- ESHWT DUCTILE IRON PIPE
- ETR ESTIMATED SEASONAL HIGH WATER TABLE
- EX EXISTING
- F&I FURNISH AND INSTALL
- HDPE HIGH DENSITY POLYETHYLENE PIPE
- INV INVERT ELEVATION
- MTE MATCH TO EXISTING
- NC NOT IN CONTRACT
- NTS NOT TO SCALE
- PVC POLYVINYL CHLORIDE PIPE
- RCP REINFORCED CONCRETE PIPE
- VF VERIFY IN FIELD
- WQS WATER QUALITY STRUCTURE

OWNER/APPLICANT:

A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919

GENERAL NOTES & LEGEND
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOTS 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

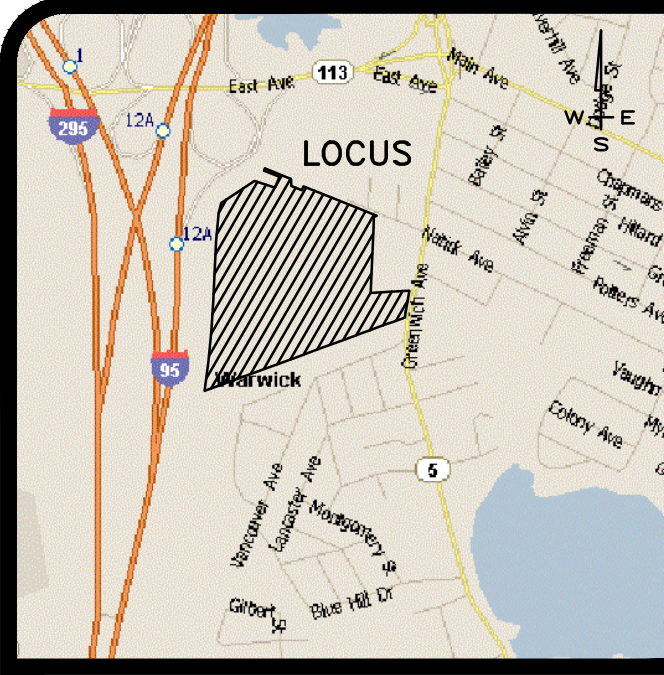


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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
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P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL: 401-273-6000

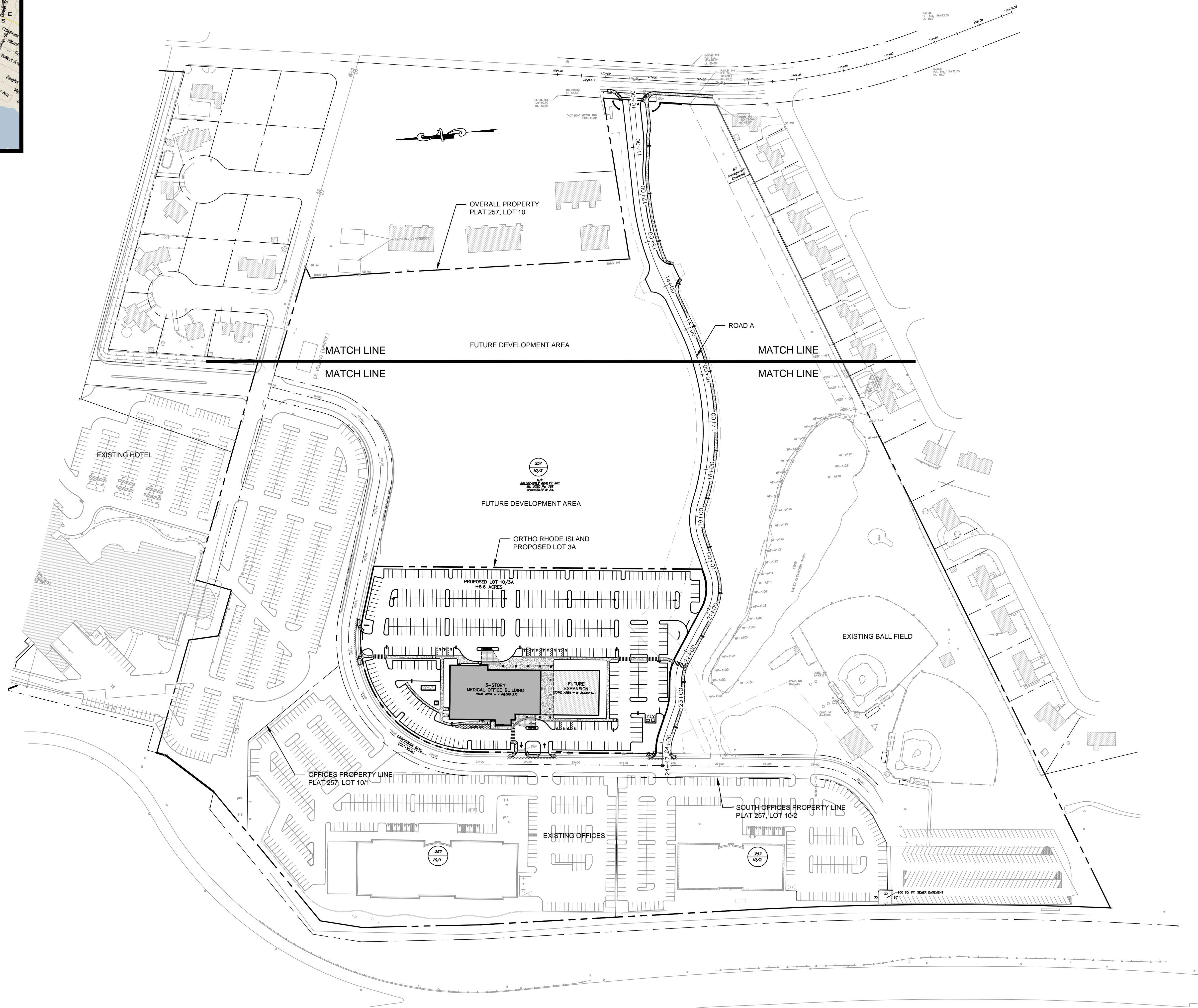
JOB NO. 7155-00	DRAWN BY K.Y.Y.
DWG. NO. 7155-00-Final	CHECKED S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JANUARY 29, 2019	

SHEET

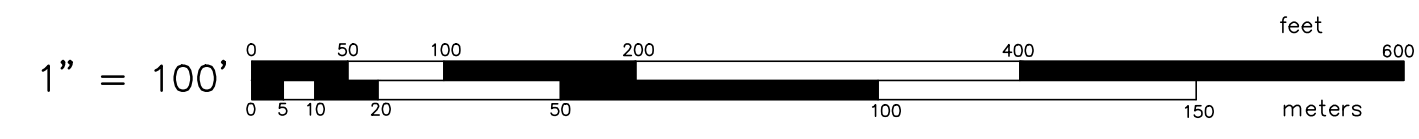
C-3



LOCUS MAP
N.T.S.



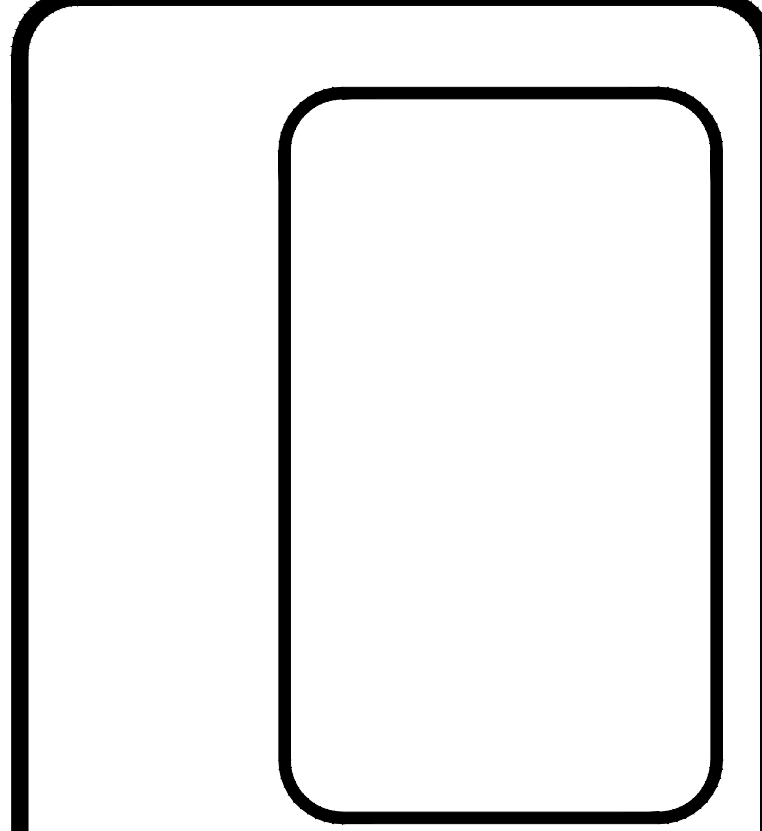
OVERALL SITE PLAN
SCALE 1" = 100'



OWNER/APPLICANT:
A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919

OVERALL SITE PLAN
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

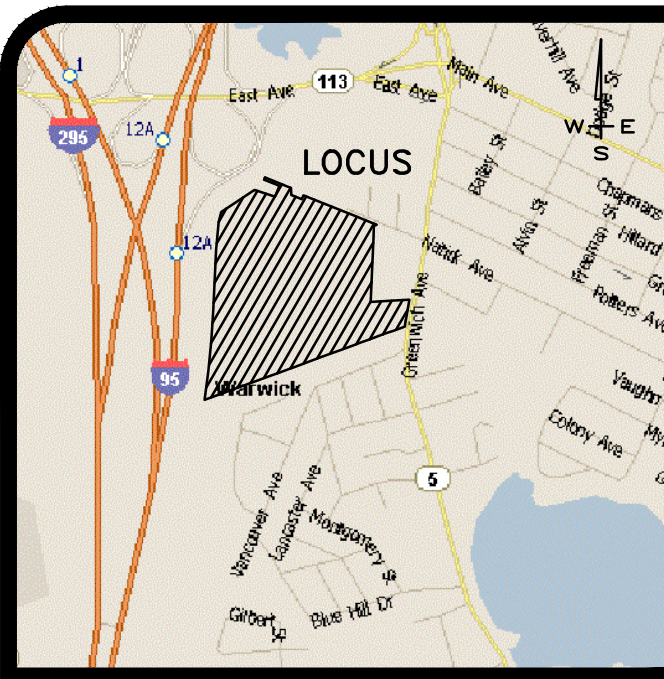


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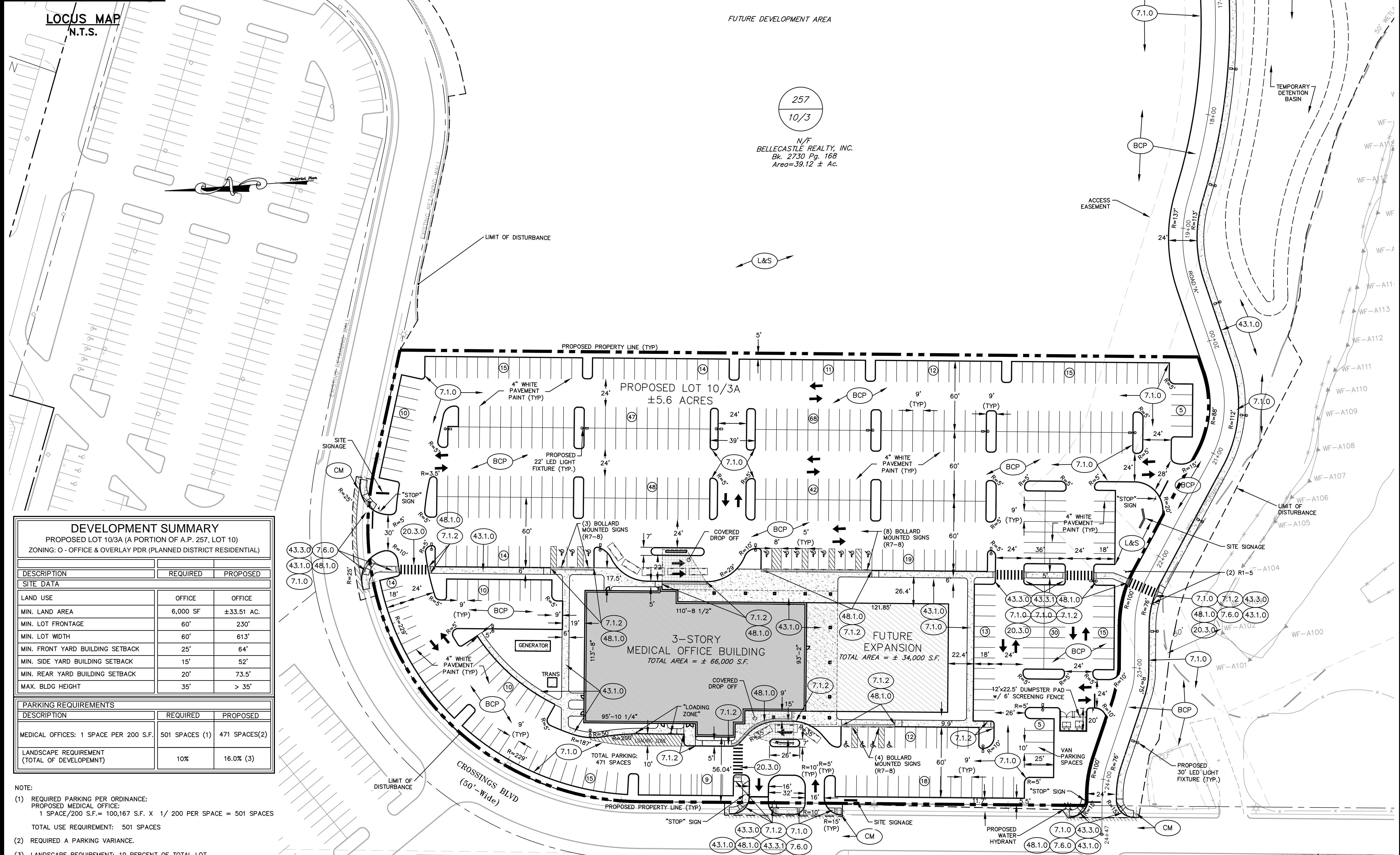
SHEET
C-4
OF 22 SHEETS



LOCUS MAP
N.T.S.

MATCH LINE - SHEET C6

MATCH LINE - SHEET C6



FUTURE DEVELOPMENT AREA

257
10/3

N/F
BELLECASTLE REALTY, INC.
Bk. 27-30 Pg. 168
Area=39.12 ± Ac.

DEVELOPMENT SUMMARY

PROPOSED LOT 10/3A (A PORTION OF A.P. 257, LOT 10)
ZONING: O - OFFICE & OVERLAY PDR (PLANNED DISTRICT RESIDENTIAL)

DESCRIPTION	REQUIRED	PROPOSED
SITE DATA		
LAND USE	OFFICE	OFFICE
MIN. LAND AREA	6,000 SF	±33.51 AC.
MIN. LOT FRONTAGE	60'	230'
MIN. LOT WIDTH	60'	613'
MIN. FRONT YARD BUILDING SETBACK	25'	64'
MIN. SIDE YARD BUILDING SETBACK	15'	52'
MIN. REAR YARD BUILDING SETBACK	20'	73.5'
MAX. BLDG HEIGHT	35'	> 35'

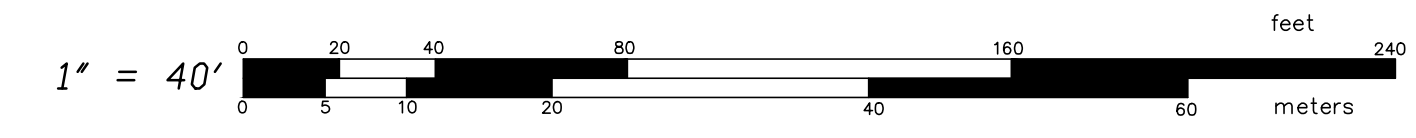
PARKING REQUIREMENTS

DESCRIPTION	REQUIRED	PROPOSED
MEDICAL OFFICES: 1 SPACE PER 200 S.F.	501 SPACES (1)	471 SPACES(2)
LANDSCAPE REQUIREMENT (TOTAL OF DEVELOPMENT)	10%	16.0% (3)

- NOTE:
- REQUIRED PARKING PER ORDINANCE:
PROPOSED MEDICAL OFFICE:
1 SPACE/200 S.F.= 100,167 S.F. X 1/ 200 PER SPACE = 501 SPACES
TOTAL USE REQUIREMENT: 501 SPACES
 - REQUIRED A PARKING VARIANCE.
 - LANDSCAPE REQUIREMENT: 10 PERCENT OF TOTAL LOT
PROPOSED LANDSCAPE AREA: ± 40,600 S.F.
= ± 40,635 S.F. / ± 244,086 S.F. (LOT AREA)
= 0.166 X 100 = 16.6%

SITE LAYOUT PLAN

SCALE 1" = 40'



OWNER/APPLICANT:

A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919

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SHEET

C-5

OF 22 SHEETS

SITE LAYOUT PLAN

FOR

ORTHO RI

AT THE CROSSINGS

A.P. 257 LOT 10

SITUATED ON

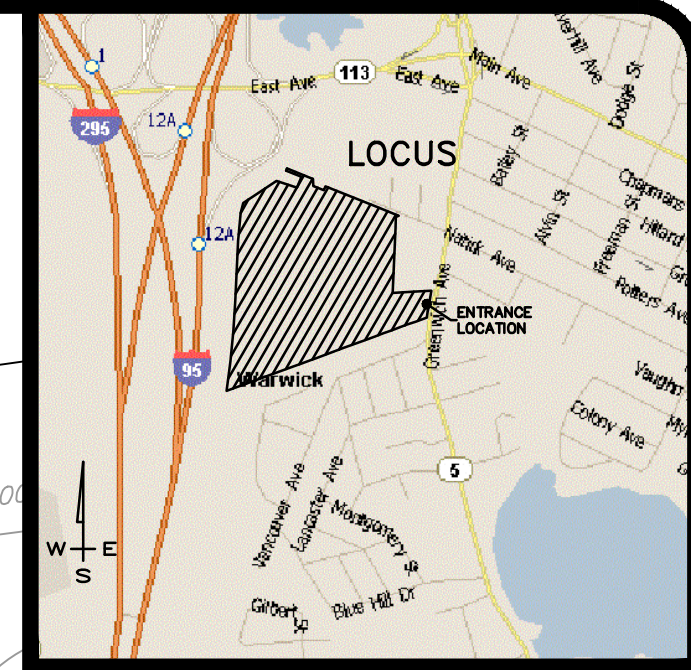
GREENWICH AVENUE

WARWICK, RHODE ISLAND

PREPARED FOR

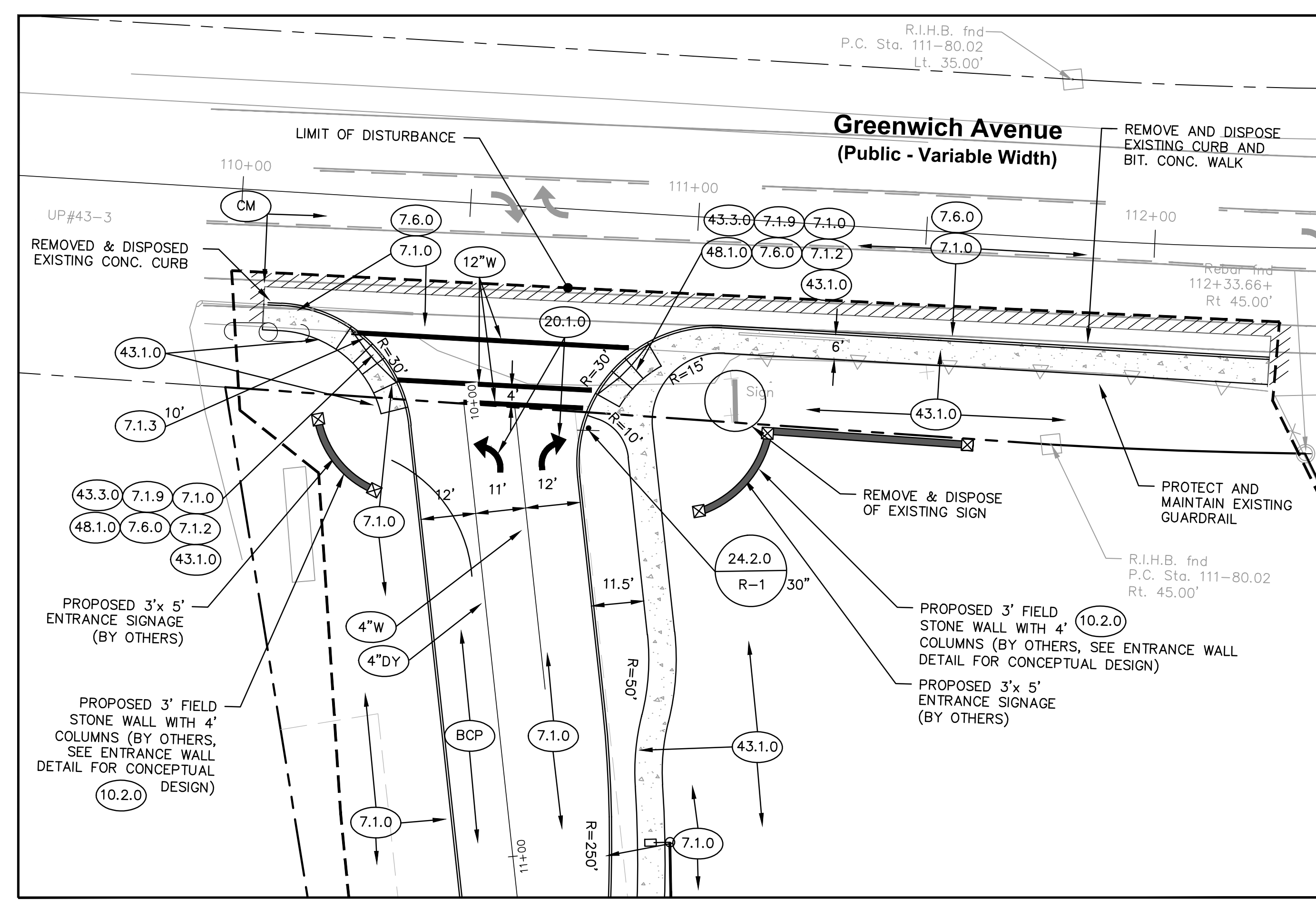
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

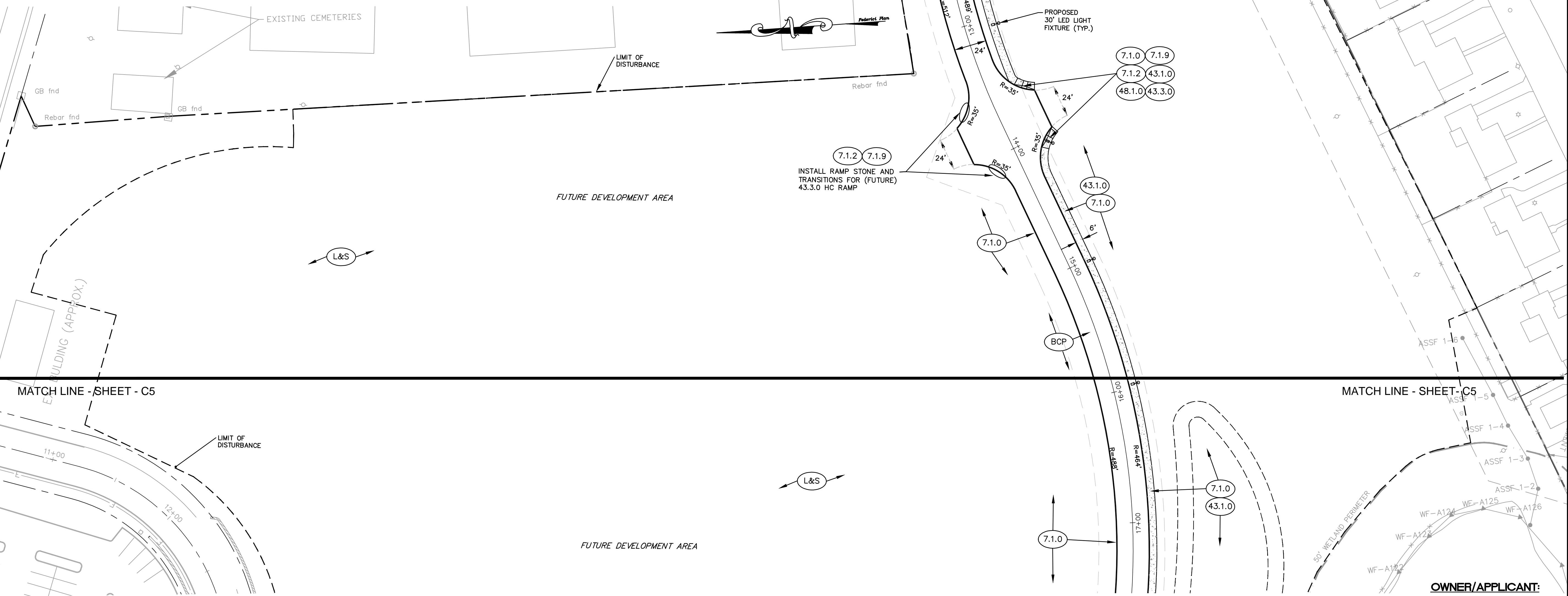


SITE LAYOUT PLAN
 FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
 SITUATED ON
GREENWICH AVENUE
 WARWICK, RHODE ISLAND
 PREPARED FOR
BELLECASTLE REALTY, INC.

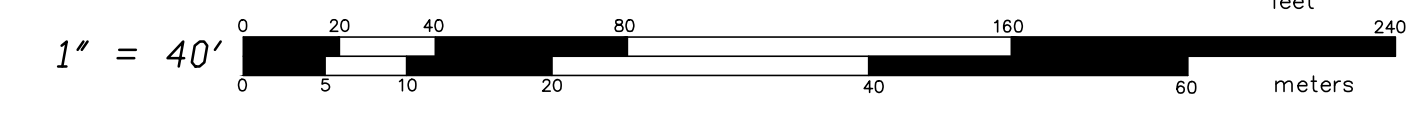
NO.	REVISION	BY	DATE
1.	PER RIDOT COMMENTS	KYY	10/5/18



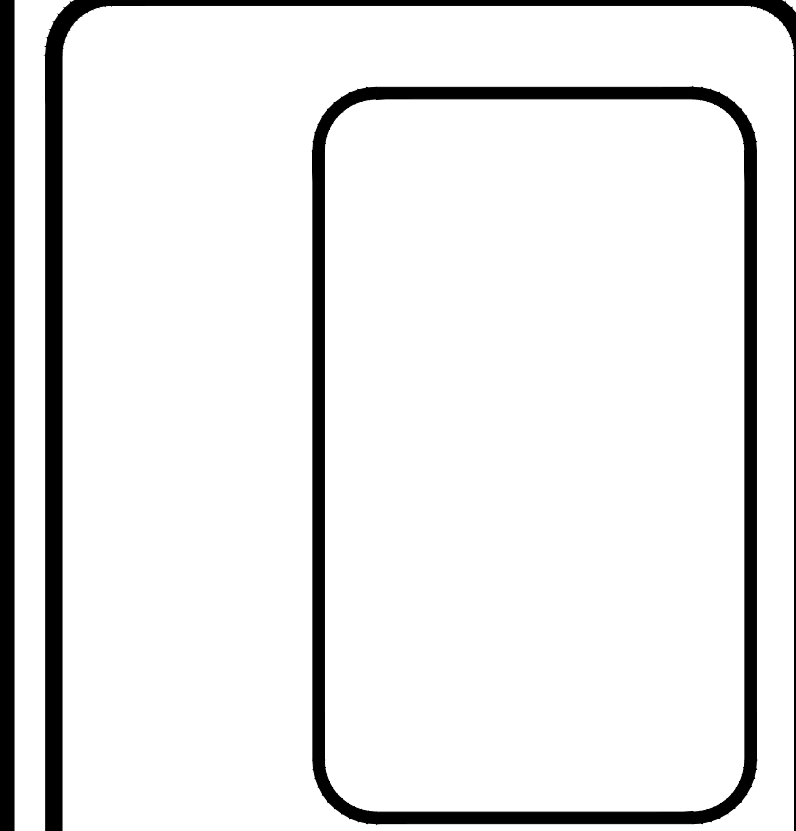
ENLARGED PLAN - GREENWICH AVENUE
 SCALE 1" = 20'



SITE LAYOUT PLAN
 SCALE 1" = 40'



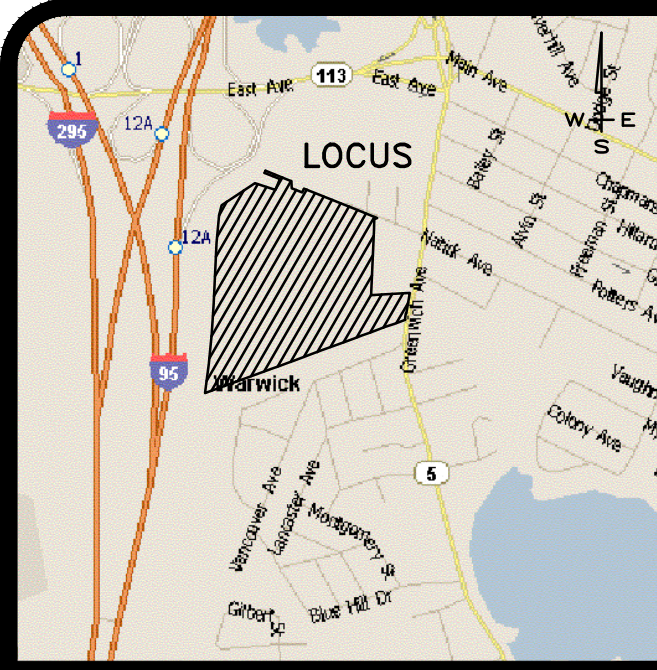
OWNER/APPLICANT:
 A.P. 257, LOT 10
 BELLECASTLE REALTY, INC.
 1414 ATWOOD AVE
 JOHNSTON, RI 02919



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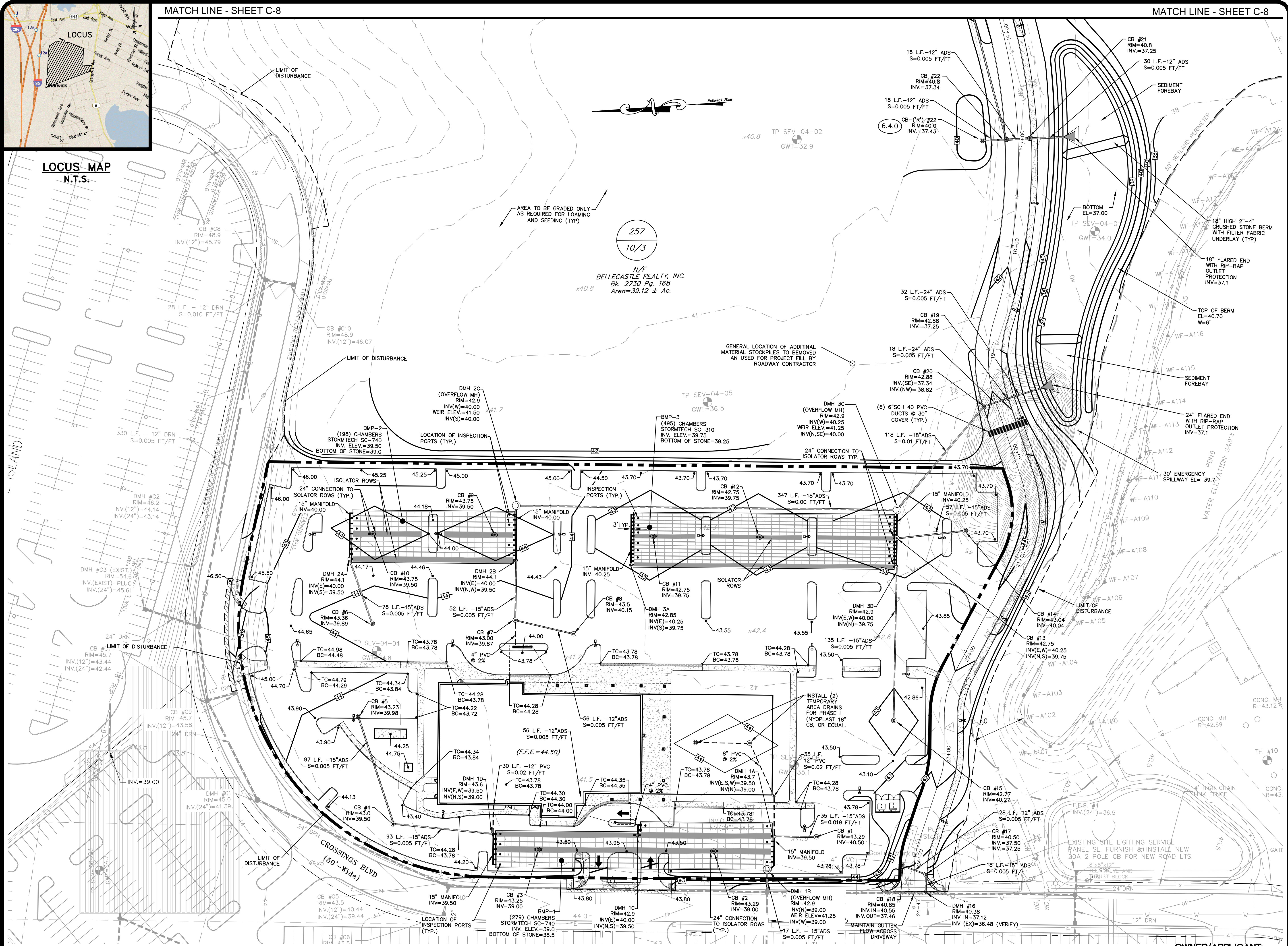
SHEET
C-6
 OF 22 SHEETS



MATCH LINE - SHEET C-8

MATCH LINE - SHEET C-8

LOCUS MAP
N.T.S.



257
10/3

N/F
BELLECASTLE REALTY, INC.
Bk. 2730 Pg. 168
Area=39.12 ± Ac.

GRADING & DRAINAGE PLAN
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

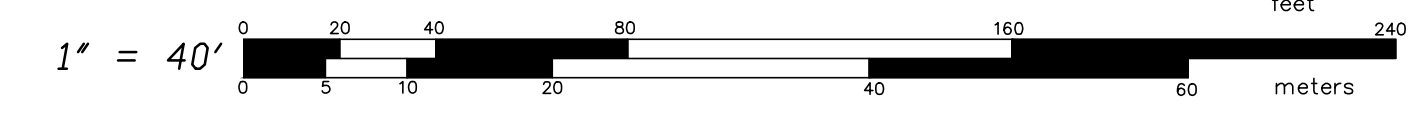
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DWG. NO. 7155-00-Final	CHECKED S.S.H.
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GRADING & DRAINAGE PLAN

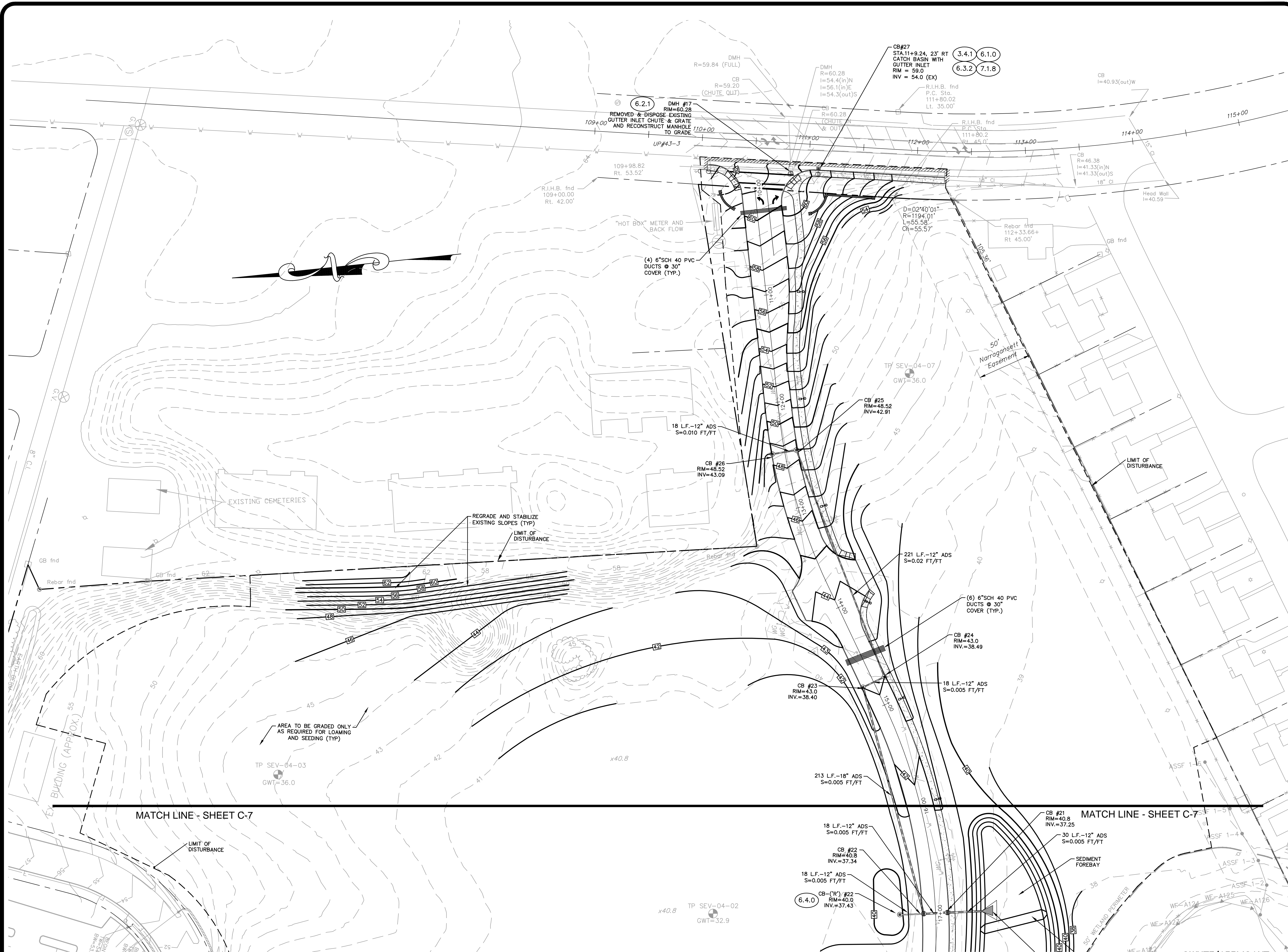
SCALE 1" = 40'



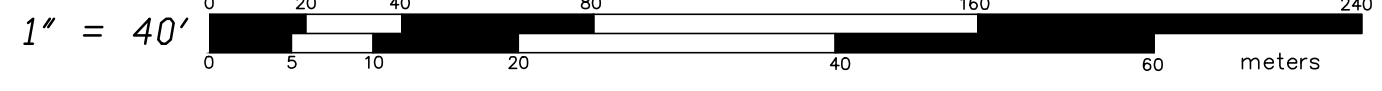
OWNER/APPLICANT:
A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919

C-7

OF 22 SHEETS



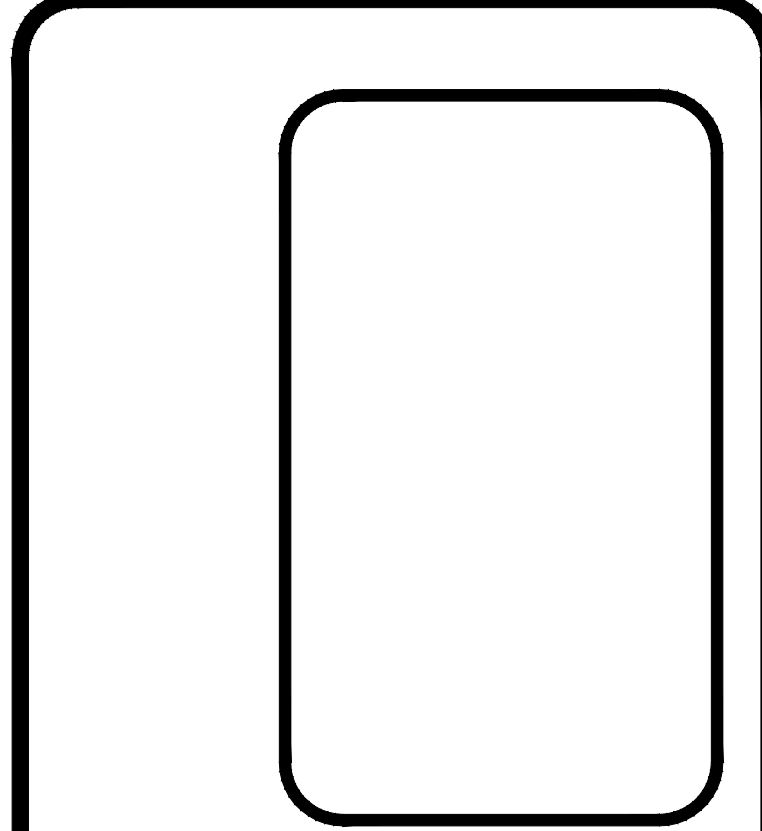
GRADING & DRAINAGE PLAN
SCALE 1" = 40'



OWNER/APPLICANT:
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BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919

GRADING & DRAINAGE PLAN
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

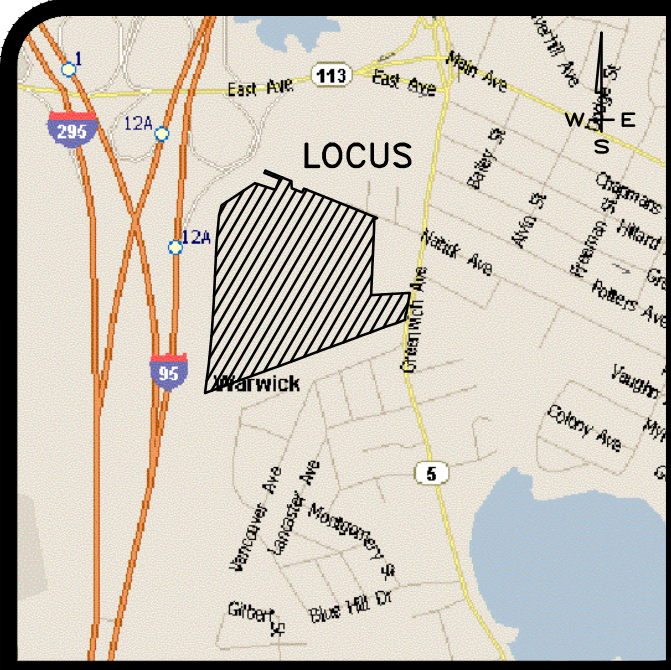
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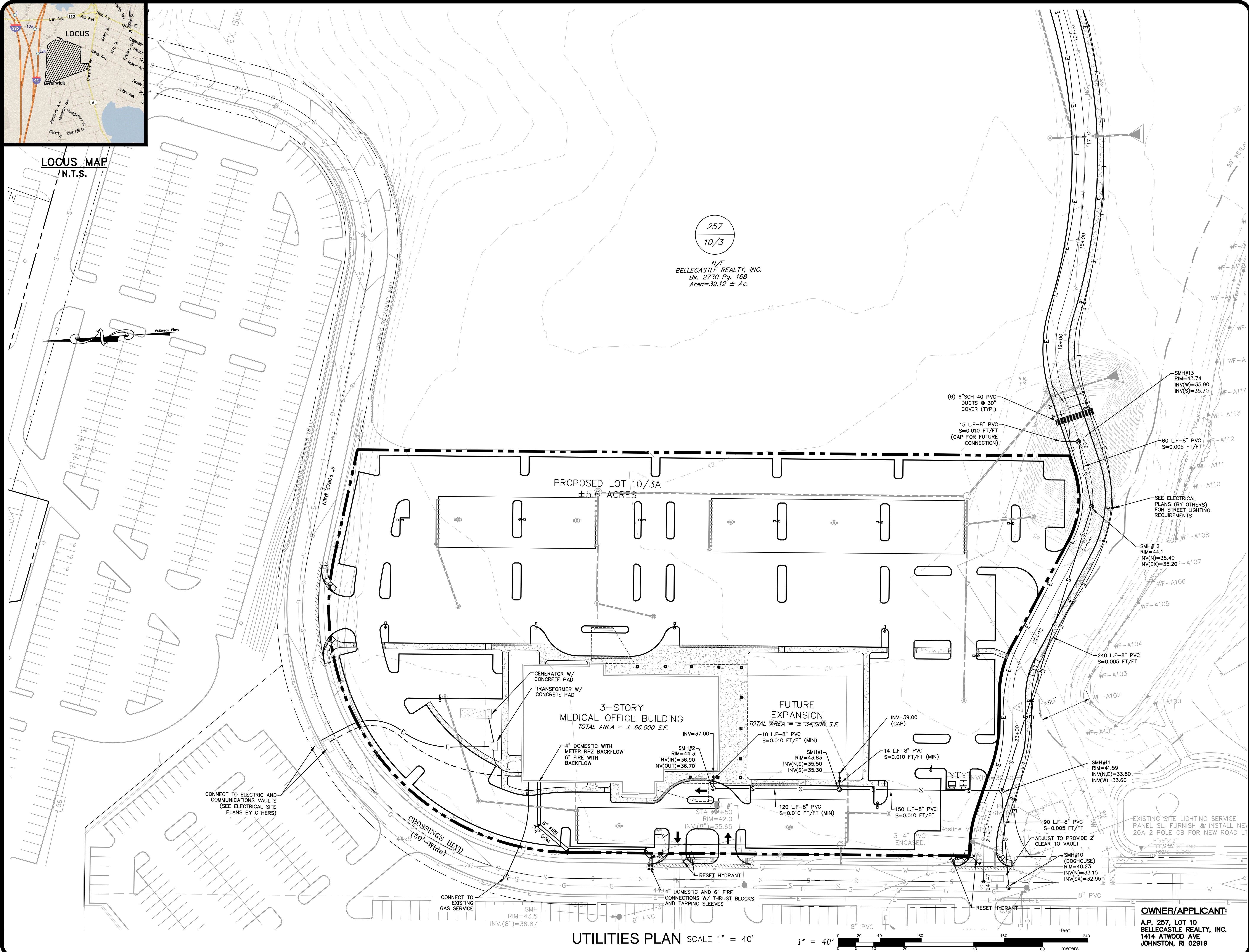
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C-8
OF 22 SHEETS



LOCUS MAP
N.T.S.



257
10/3

N/F
BELLECASTLE REALTY, INC.
Bk. 2730 Pg. 168
Area=39.12 ± Ac.

PROPOSED LOT 10/3A
±5.6 ACRES

3-STORY
MEDICAL OFFICE BUILDING
TOTAL AREA = ± 66,000 S.F.

FUTURE
EXPANSION
TOTAL AREA = ± 34,000 S.F.

UTILITIES PLAN
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

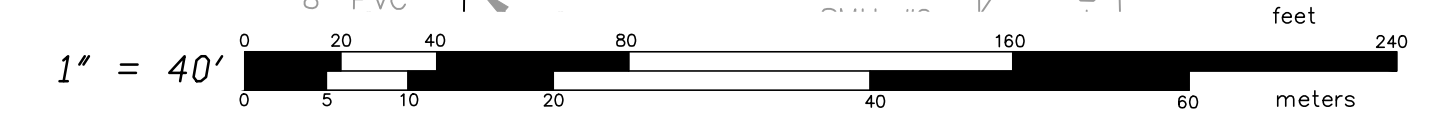
GAROFALO
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CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

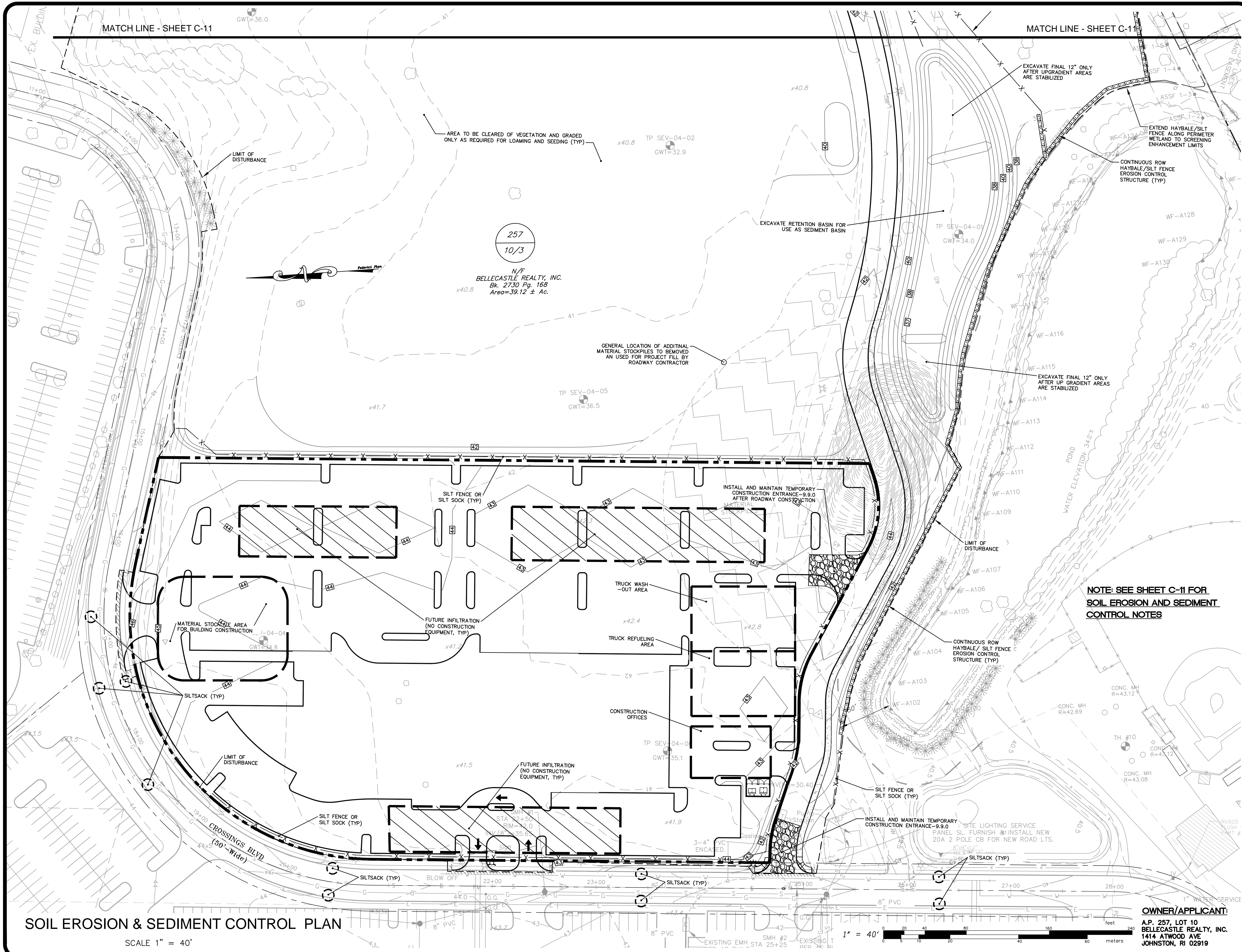
JOB NO. 7155-00	DRAWN BY K.Y.Y.
DWG. NO. 7155-00-Final	CHECKED S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JANUARY 29, 2019

SHEET
C-9
OF 22 SHEETS

UTILITIES PLAN SCALE 1" = 40'



OWNER/APPLICANT:
A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919



MATCH LINE - SHEET C-11

MATCH LINE - SHEET C-11

LIMIT OF DISTURBANCE

AREA TO BE CLEARED OF VEGETATION AND GRADED ONLY AS REQUIRED FOR LOAMING AND SEEDING (TYP)

EXCAVATE FINAL 12" ONLY AFTER UPGRADIENT AREAS ARE STABILIZED

EXTEND HAYBALE/SILT FENCE ALONG PERIMETER WETLAND TO SCREENING ENHANCEMENT LIMITS

CONTINUOUS ROW HAYBALE/SILT FENCE EROSION CONTROL STRUCTURE (TYP)

EXCAVATE RETENTION BASIN FOR USE AS SEDIMENT BASIN

EXCAVATE FINAL 12" ONLY AFTER UP GRADIENT AREAS ARE STABILIZED

GENERAL LOCATION OF ADDITIONAL MATERIAL STOCKPILES TO BE REMOVED AND USED FOR PROJECT FILL BY ROADWAY CONTRACTOR

INSTALL AND MAINTAIN TEMPORARY CONSTRUCTION ENTRANCE - 9.0' AFTER ROADWAY CONSTRUCTION

NOTE: SEE SHEET C-11 FOR SOIL EROSION AND SEDIMENT CONTROL NOTES

MATERIAL STOCKPILE AREA FOR BUILDING CONSTRUCTION

FUTURE INFILTRATION (NO CONSTRUCTION EQUIPMENT, TYP)

TRUCK WASH-OUT AREA

TRUCK REFUELING AREA

CONSTRUCTION OFFICES

FUTURE INFILTRATION (NO CONSTRUCTION EQUIPMENT, TYP)

INSTALL AND MAINTAIN TEMPORARY CONSTRUCTION ENTRANCE - 9.9.0'

SILT FENCE OR SILT SOCK (TYP)

LIMIT OF DISTURBANCE

SILT FENCE OR SILT SOCK (TYP)

SILT FENCE OR SILT SOCK (TYP)

SILT FENCE OR SILT SOCK (TYP)

SILT FENCE OR SILT SOCK (TYP)

SILT FENCE OR SILT SOCK (TYP)

SOIL EROSION & SEDIMENT CONTROL PLAN

SCALE 1" = 40'

1" = 40'

OWNER/APPLICANT:
A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919

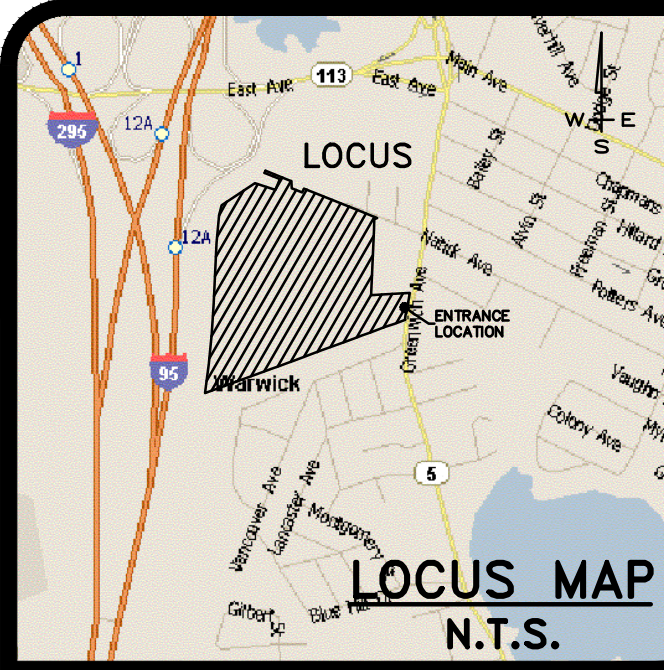
SOIL EROSION & SEDIMENT CONTROL PLAN
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

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SHEET
C-10
OF 22 SHEETS



SEDIMENTATION CONTROL PROGRAM:

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5% SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR DEVELOPER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECTED TO STORM WATER FLOW.
6. ADDITIONAL SILT SOCKS AND/OR SILT FENCE SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
7. INSTALL SILT SOCKS AT ALL INLETS AFTER INSTALLATION.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM:

1. DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
3. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OF FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
4. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
5. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
6. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
7. THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
8. THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

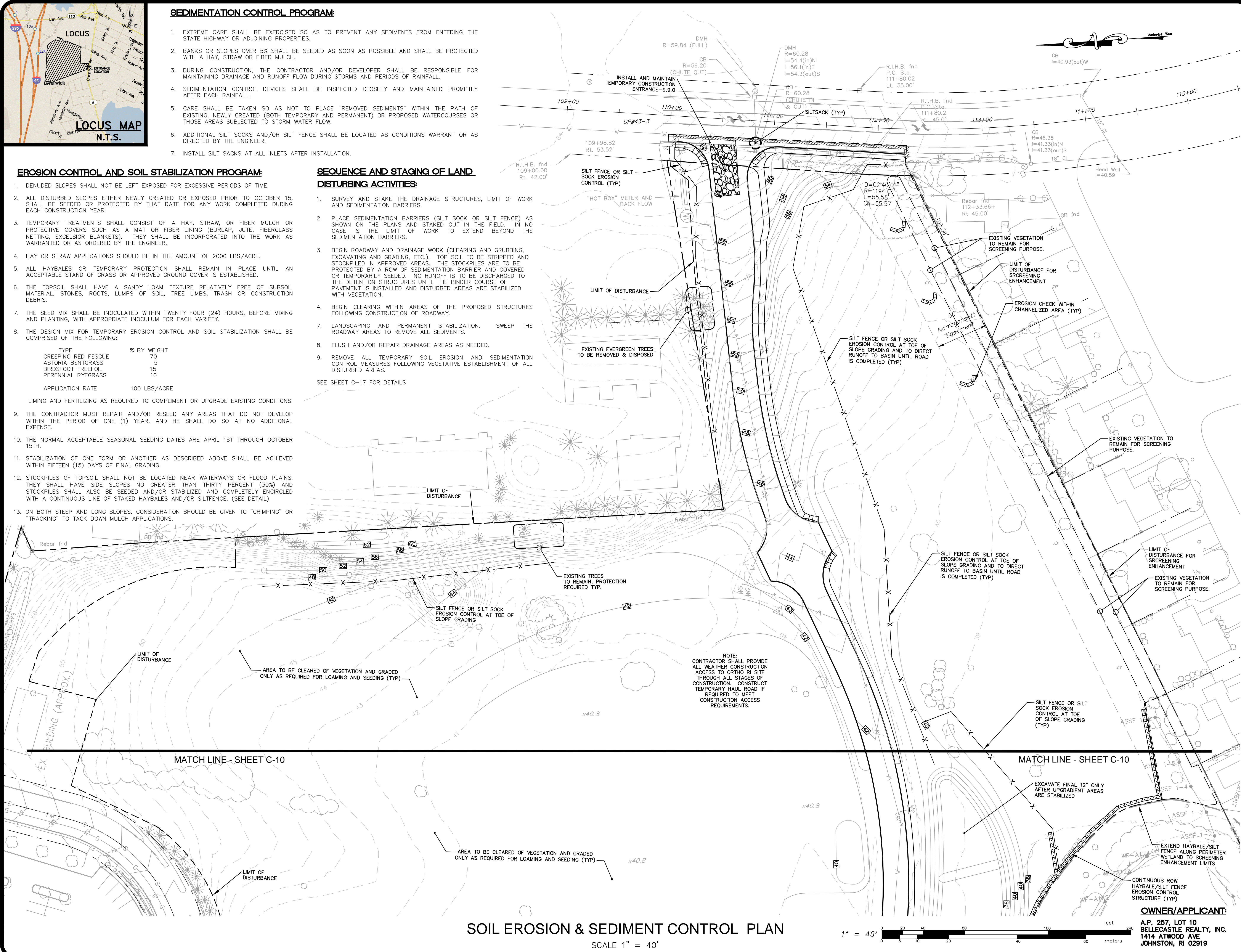
TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREFFOIL	15
PERENNIAL RYEGRASS	10

APPLICATION RATE 100 LBS/ACRE

LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEEDED AND/OR STABILIZED AND COMPLETELY ENCIrcLED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILT FENCE. (SEE DETAIL)
13. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

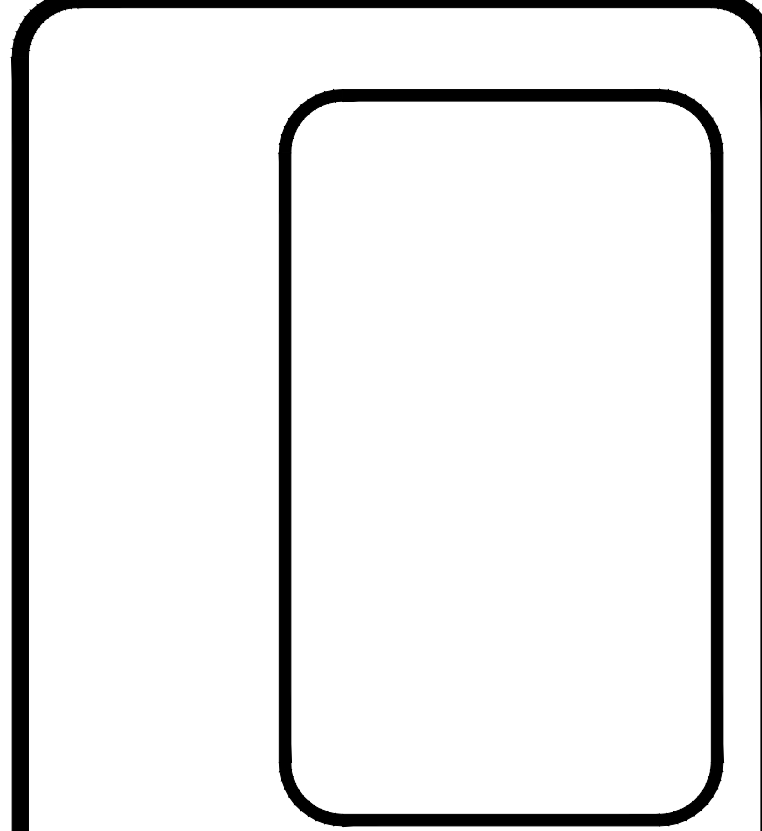
1. SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
 2. PLACE SEDIMENTATION BARRIERS (SILT SOCK OR SILT FENCE) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
 3. BEGIN ROADWAY AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED. NO RUNOFF IS TO BE DISCHARGED TO THE DETENTION STRUCTURES UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
 4. BEGIN CLEARING WITHIN AREAS OF THE PROPOSED STRUCTURES FOLLOWING CONSTRUCTION OF ROADWAY.
 7. LANDSCAPING AND PERMANENT STABILIZATION. SWEEP THE ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
 8. FLUSH AND/OR REPAIR DRAINAGE AREAS AS NEEDED.
 9. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.
- SEE SHEET C-17 FOR DETAILS



SOIL EROSION & SEDIMENT CONTROL PLAN
SCALE 1" = 40'

SOIL EROSION & SEDIMENT CONTROL PLAN
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

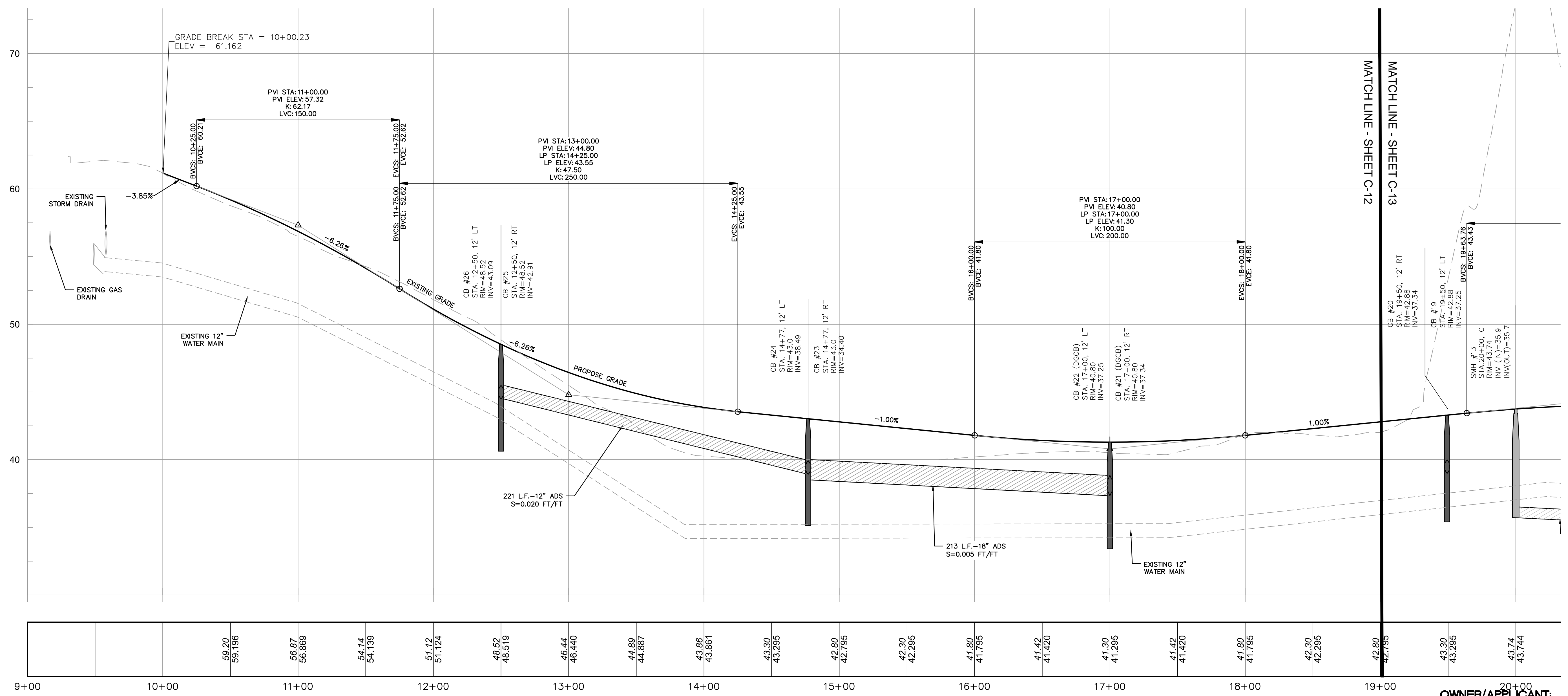
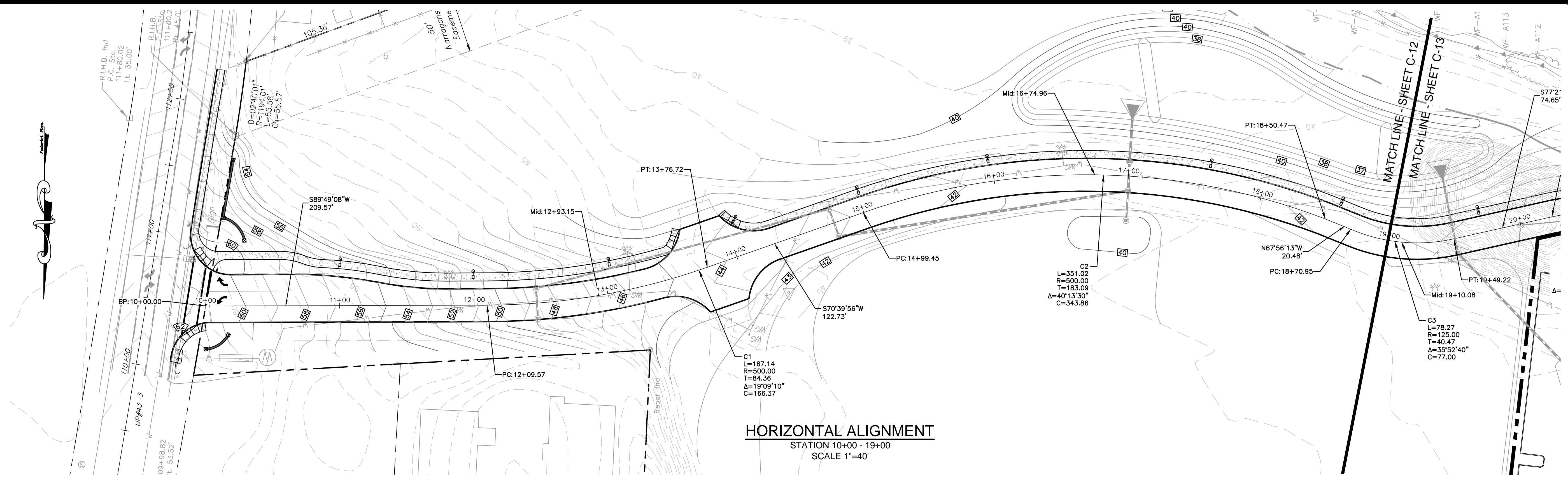


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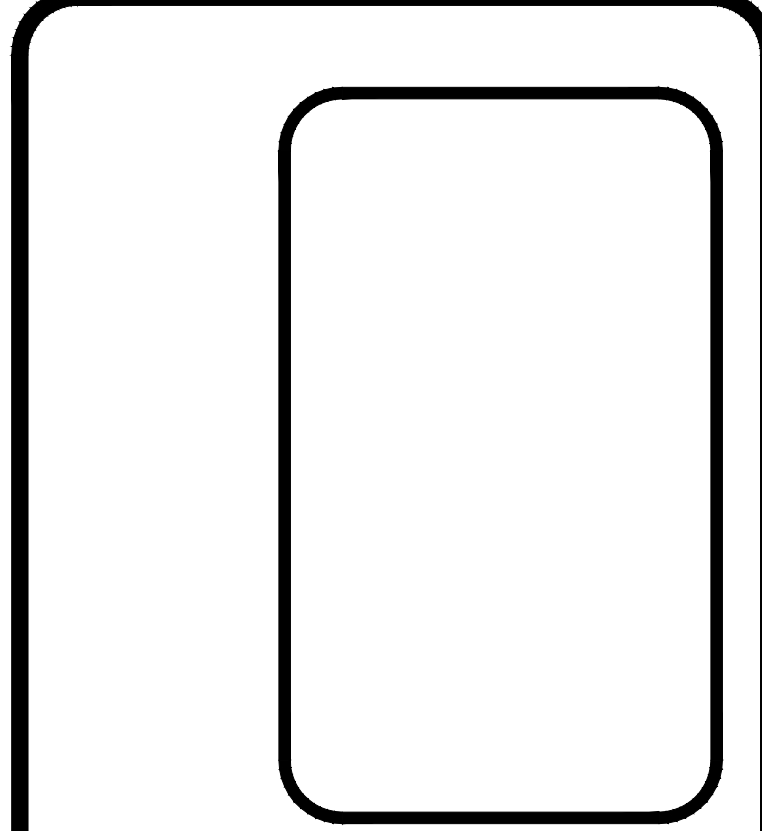
SHEET
C-11
OF 22 SHEETS

OWNER/APPLICANT:
A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919



ROAD PROFILE
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE



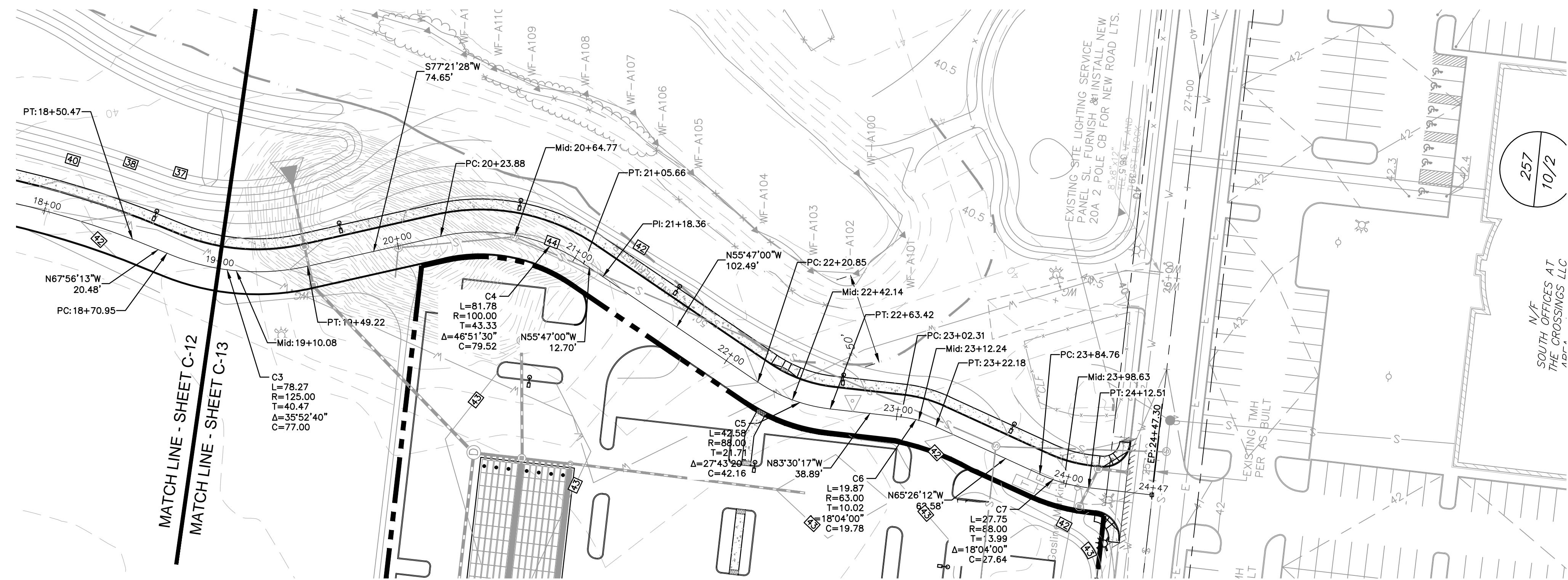
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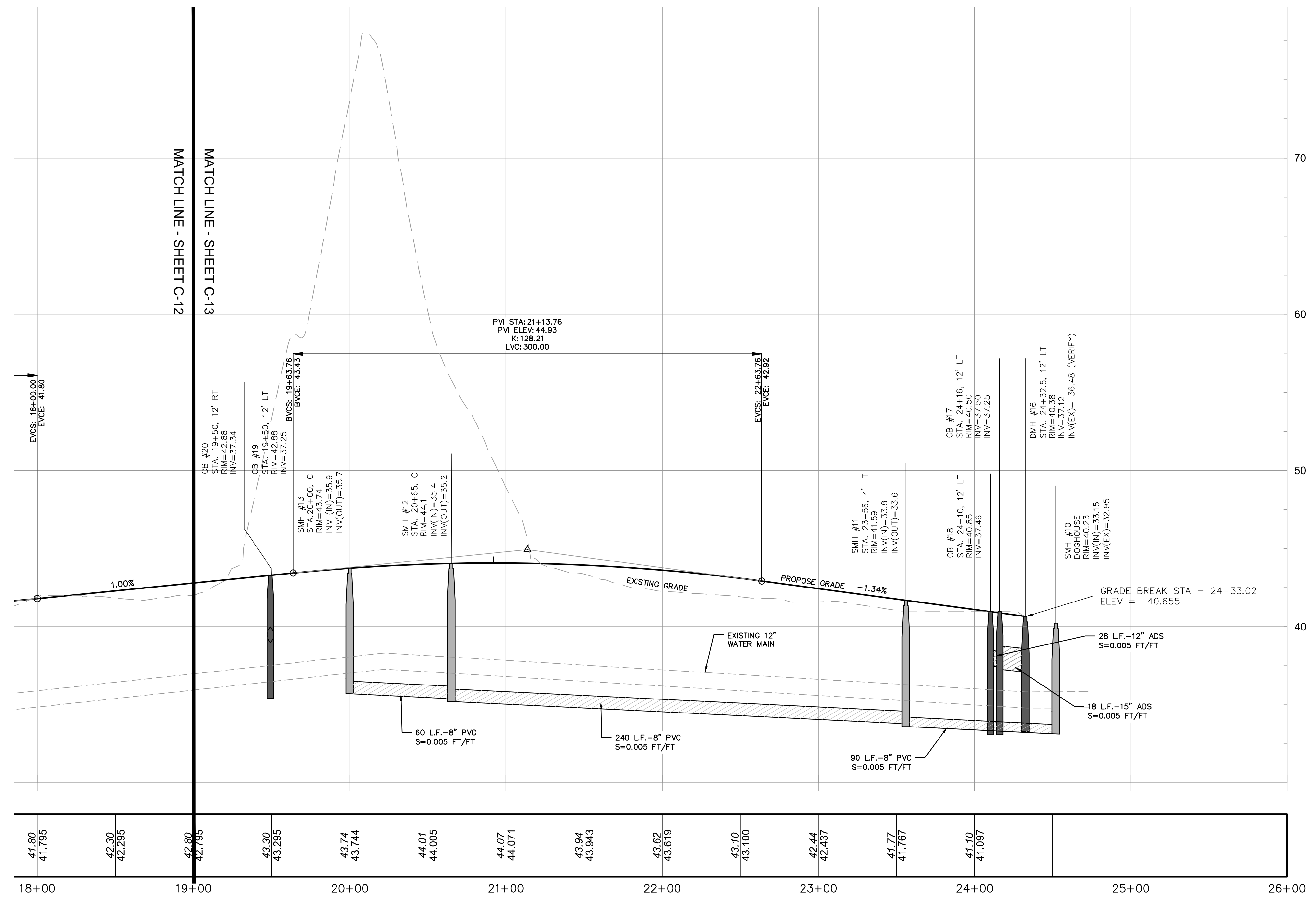
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SHEET
C-12
OF 22 SHEETS

OWNER/APPLICANT:
A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919



HORIZONTAL ALIGNMENT
STATION 19+00 - 24+50
SCALE 1"=40'

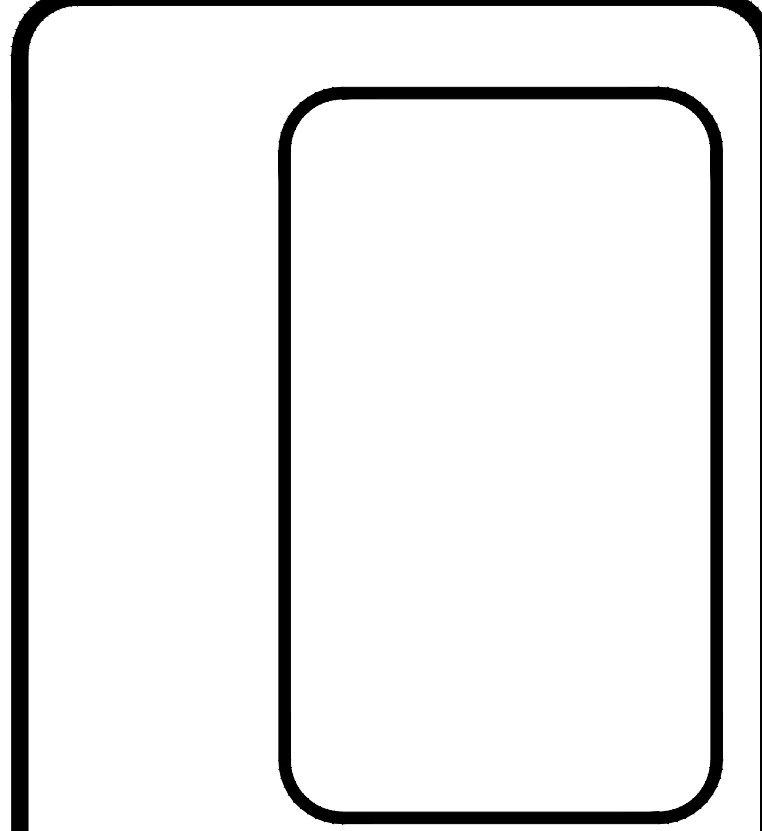


ROAD PROFILE
STATION 19+00 - 24+50
HORIZONTAL SCALE: 1"=40'
VERTICAL SCALE: 1"=20'

Horizontal 1"=40'
Vertical 1"=40'

ROAD PROFILE
FOR
ORTHO RI
AT THE CROSSINGS
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
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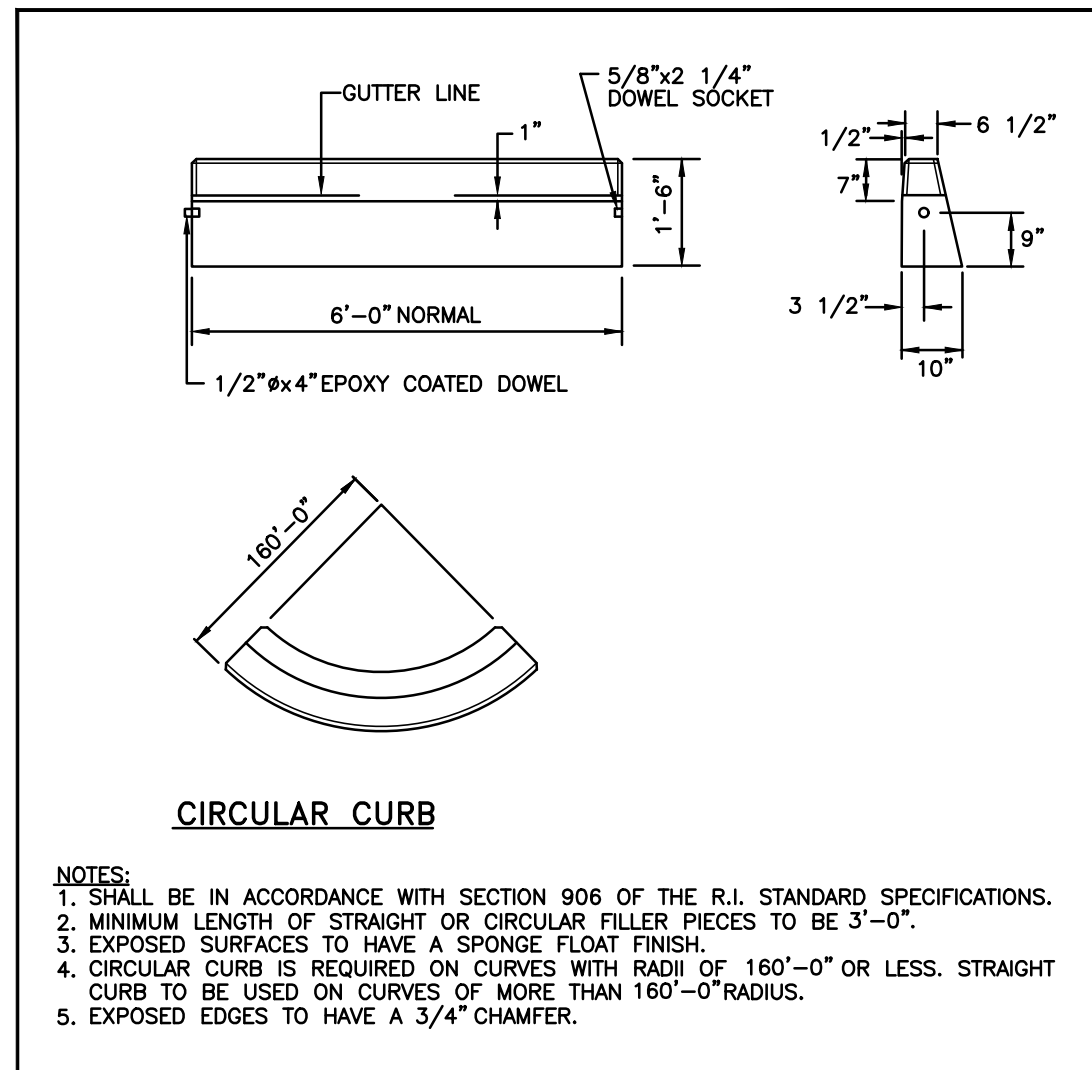
JOB NO. 7155-00	DRAWN BY K.Y.Y.
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SHEET

C-13

OF 22 SHEETS

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BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919

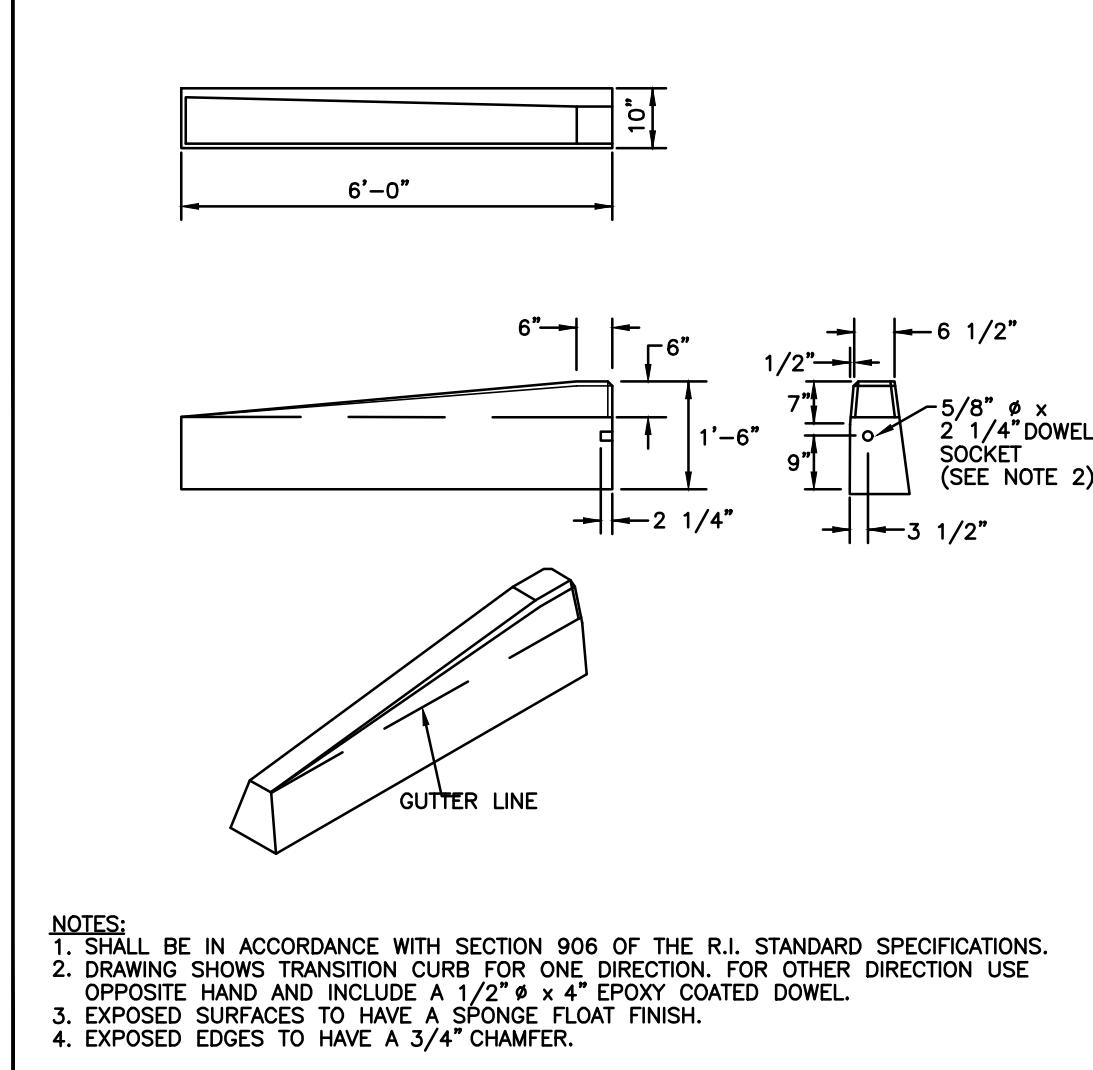


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

PRECAST CONCRETE CURB

JUNE 15, 1998
R.I. STANDARD 7.1.0

NO.	BY	DATE
1	MLP	MSP 05

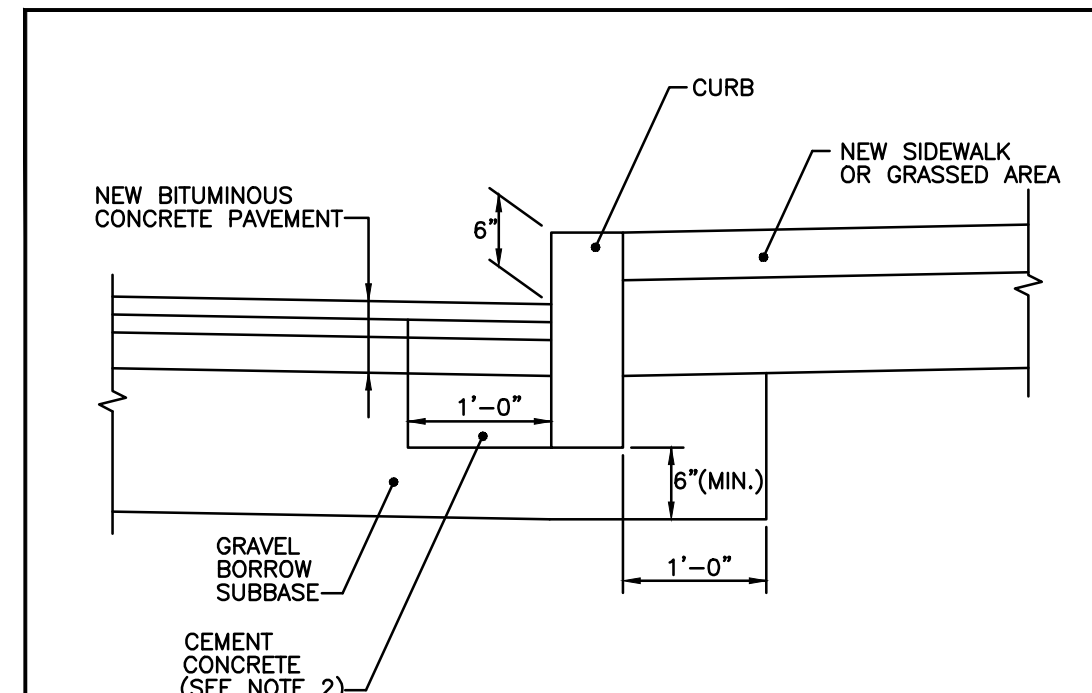


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

6'-0" PRECAST CONCRETE TRANSITION CURB

JUNE 15, 1998
R.I. STANDARD 7.1.2

NO.	BY	DATE
1	MLP	MSP 05

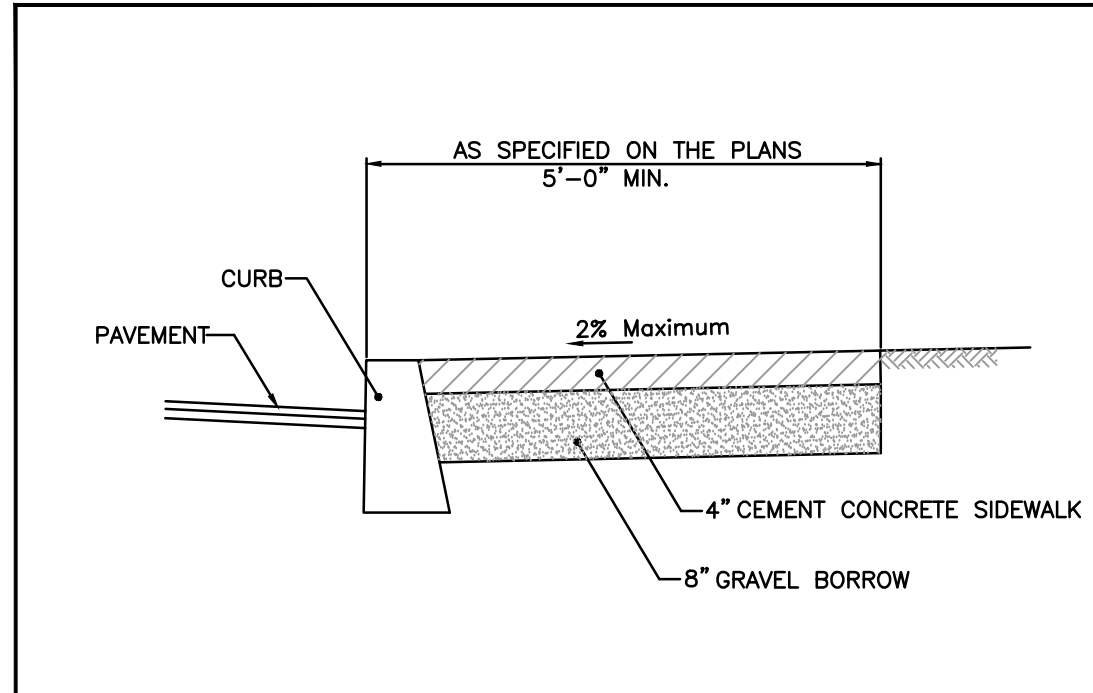


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

CURB SETTING DETAIL

JUNE 15, 1998
R.I. STANDARD 7.6.0

NO.	BY	DATE
1	MLP	MSP 05

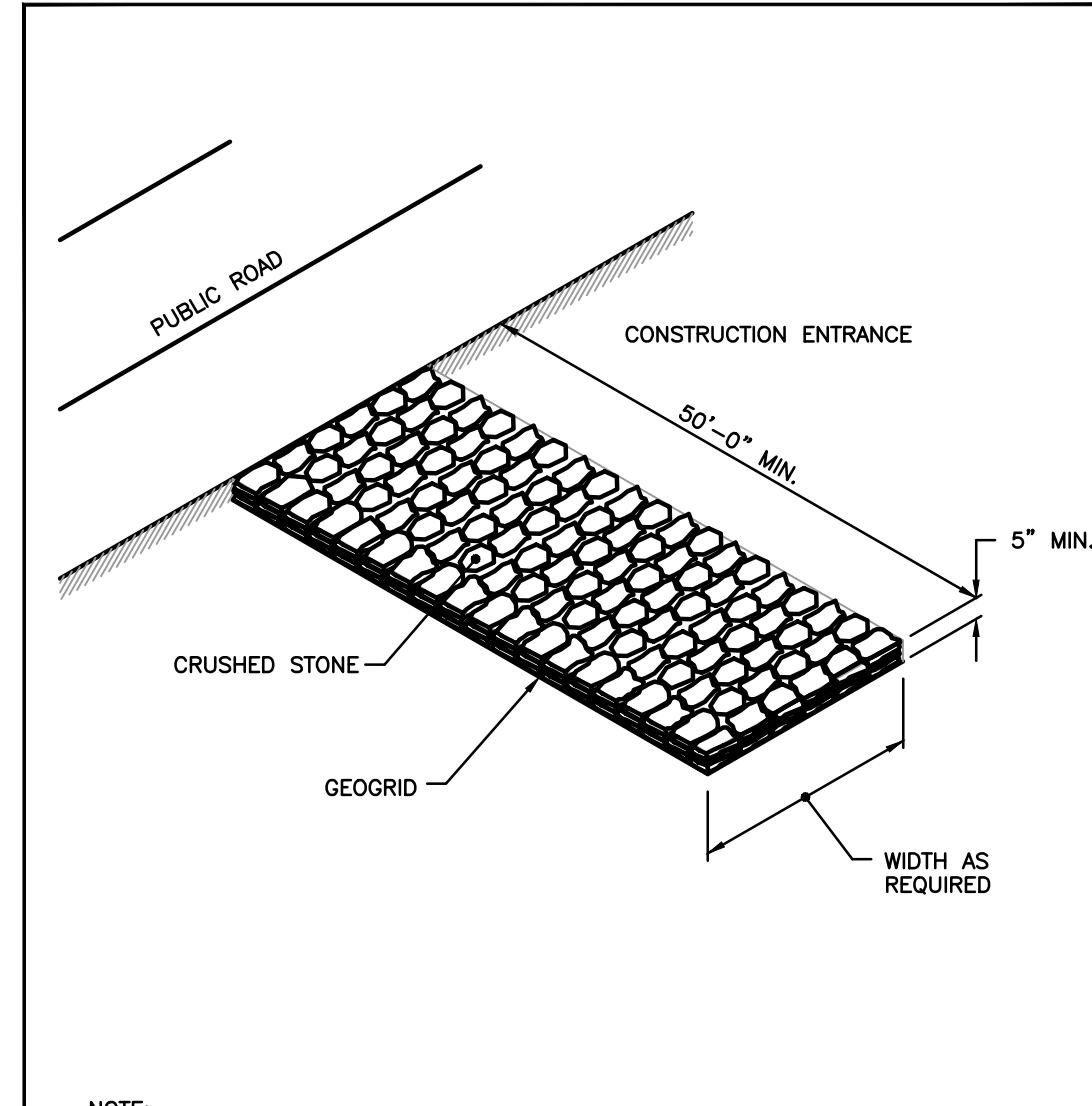


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

CEMENT CONCRETE SIDEWALK

JUNE 15, 1998
R.I. STANDARD 4.3.1.0

NO.	BY	DATE
1	MLP	MSP 05
2	MLP	06/01/10

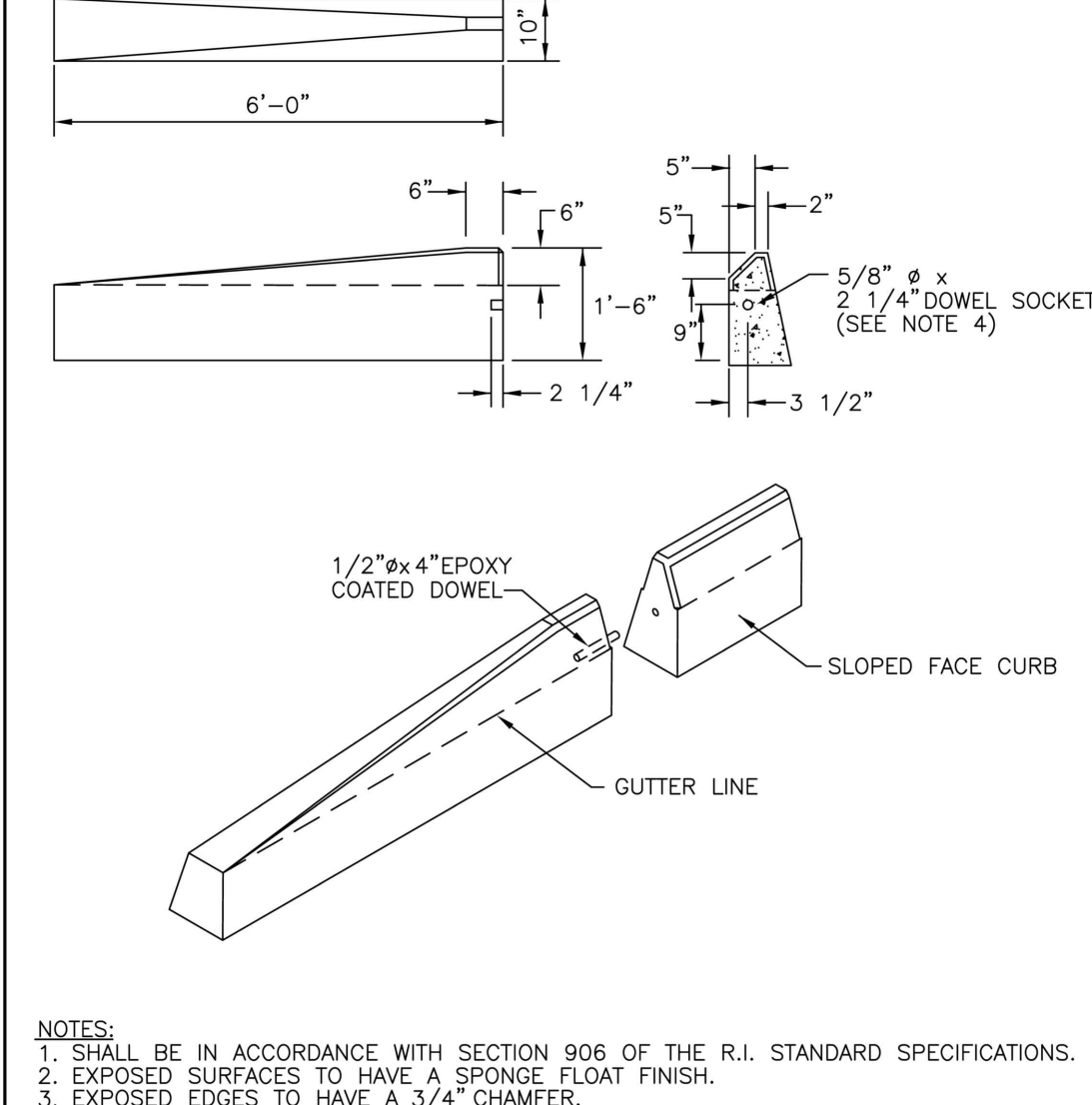


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

CONSTRUCTION ACCESS

JUNE 15, 1998
R.I. STANDARD 9.9.0

NO.	BY	DATE
1	MLP	MSP 05

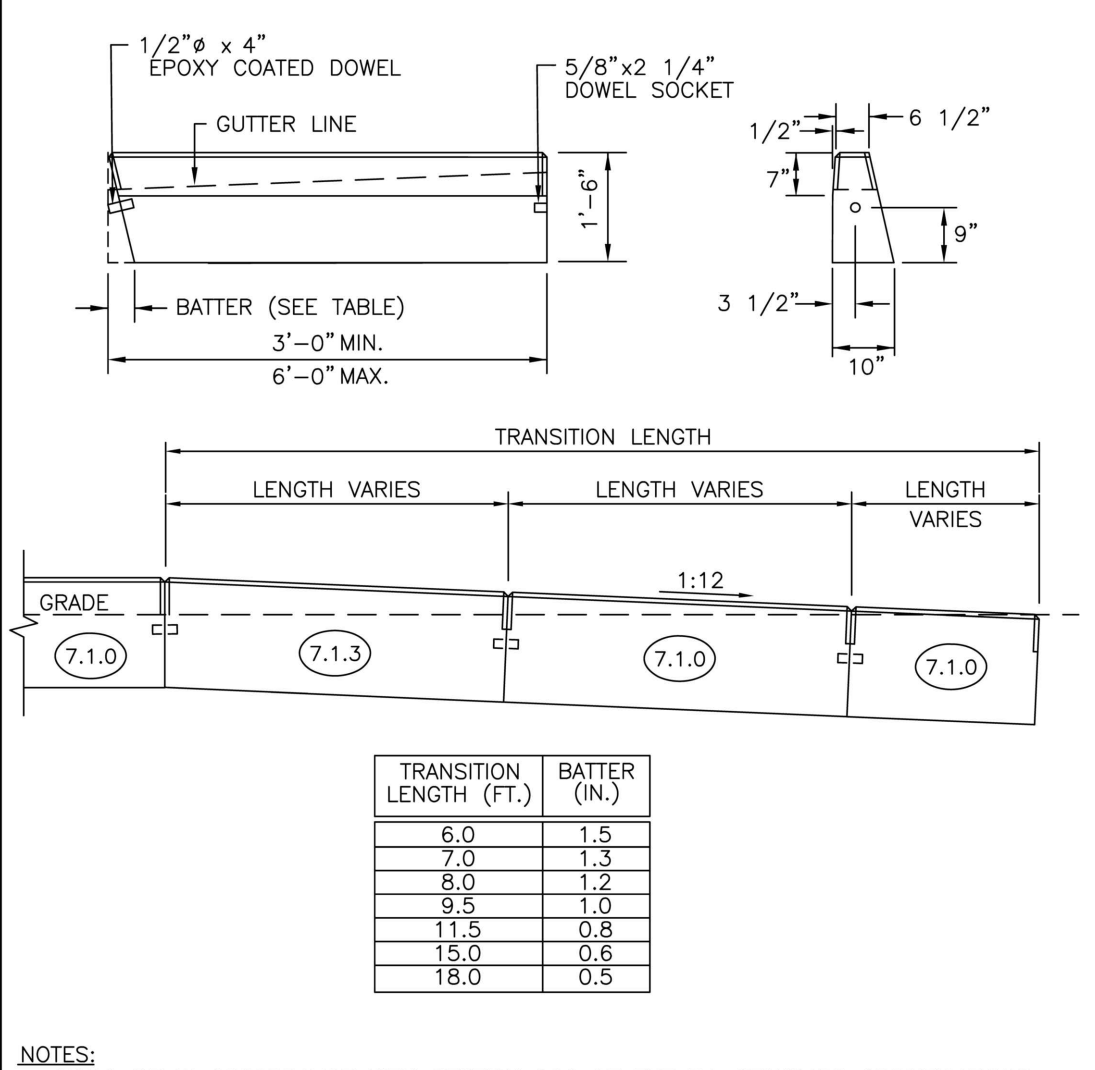


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

PRECAST CONCRETE SLOPED FACE TRANSITION CURB

JUNE 15, 1998
R.I. STANDARD 7.2.1

NO.	BY	DATE
1	MLP	MSP 05

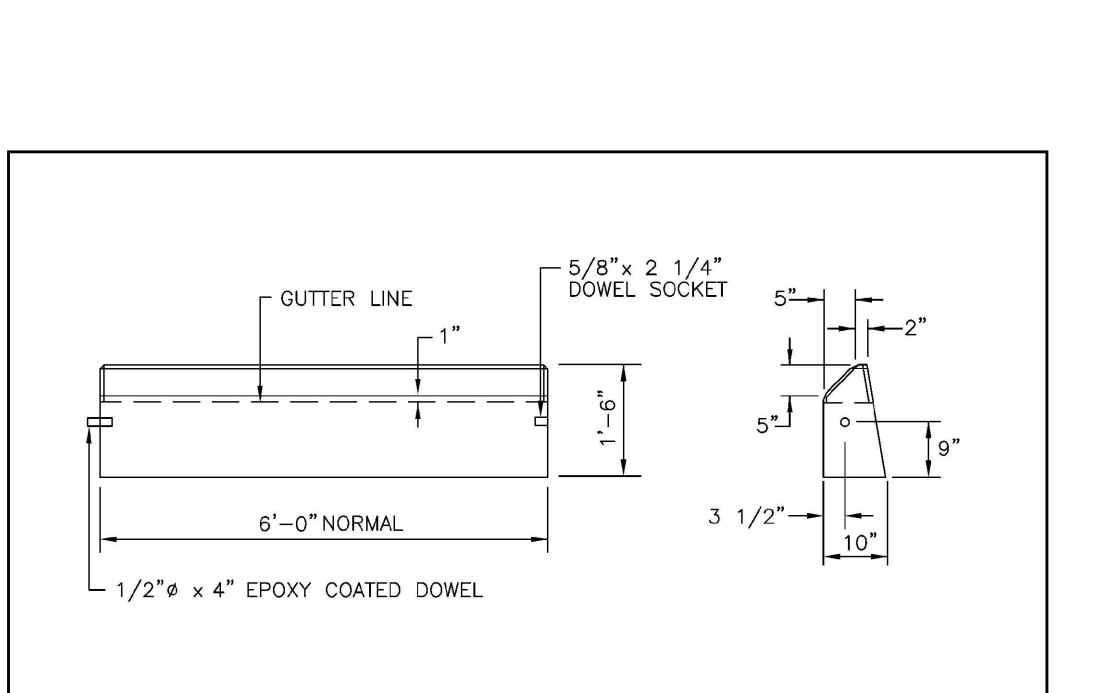


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB

JUNE 15, 1998
R.I. STANDARD 7.1.3

NO.	BY	DATE
1	MLP	MSP 05

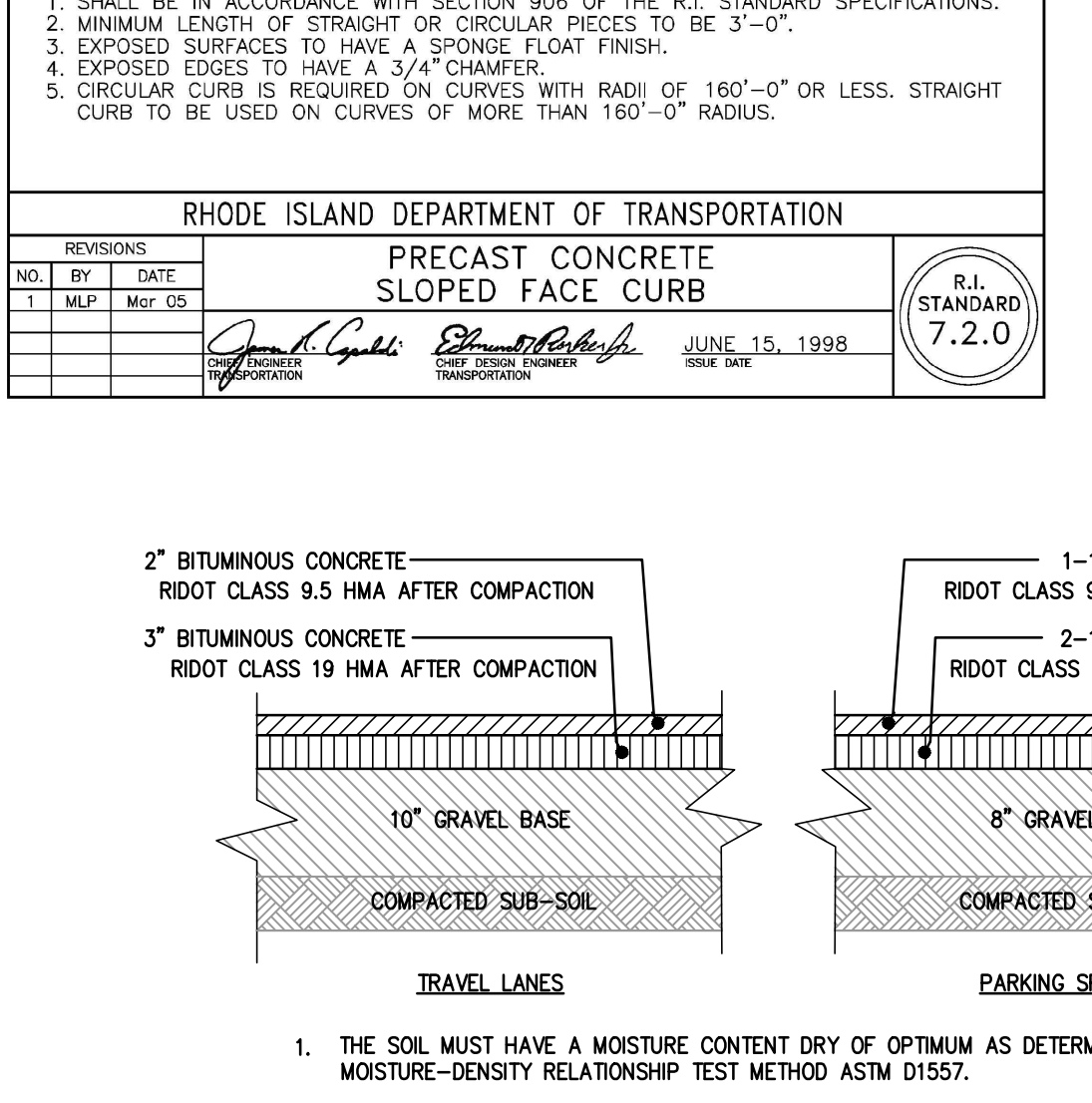


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

PRECAST CONCRETE SLOPED FACE CURB

JUNE 15, 1998
R.I. STANDARD 7.2.0

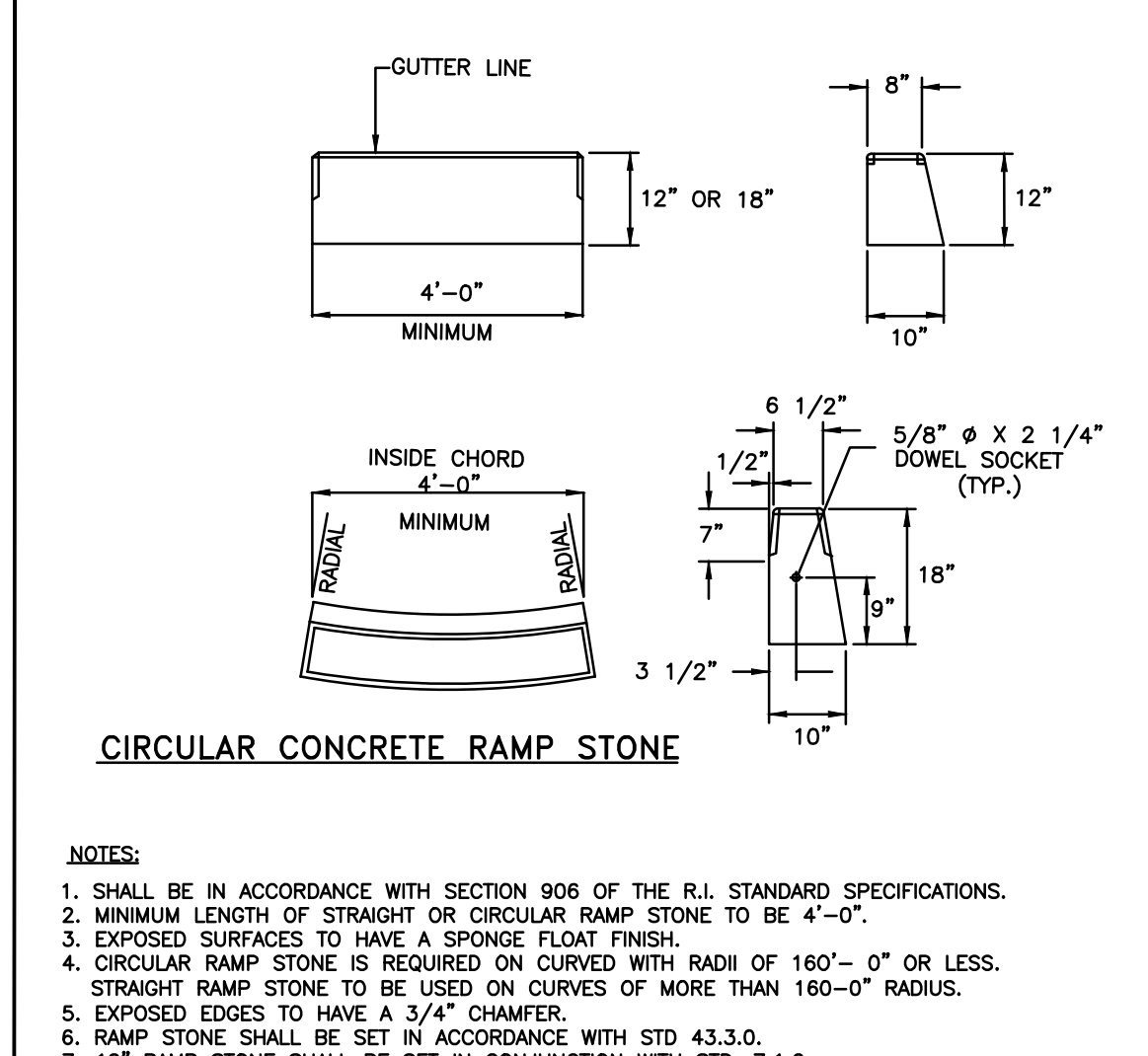
NO.	BY	DATE
1	MLP	MSP 05



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

BITUMINOUS CONCRETE PAVEMENT SECTIONS (BCP)

N.T.S.

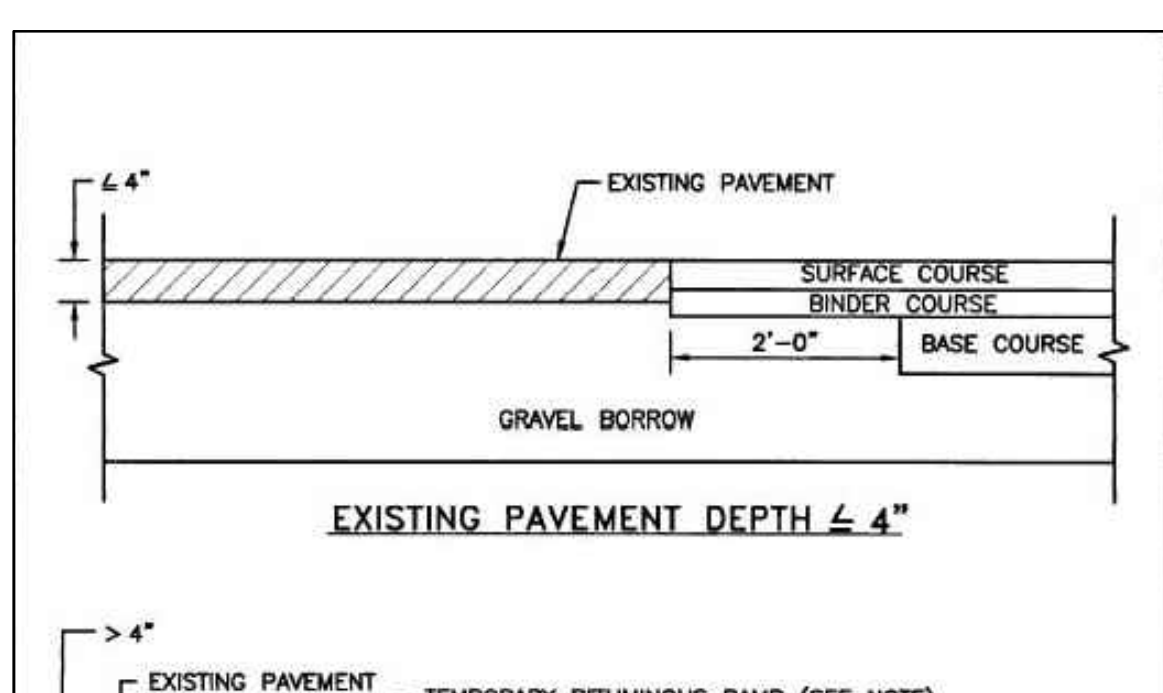


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

PRECAST CONCRETE RAMP STONE

JUNE 27, 2008
R.I. STANDARD 7.1.9

NO.	BY	DATE
1	MLP	MSP 05

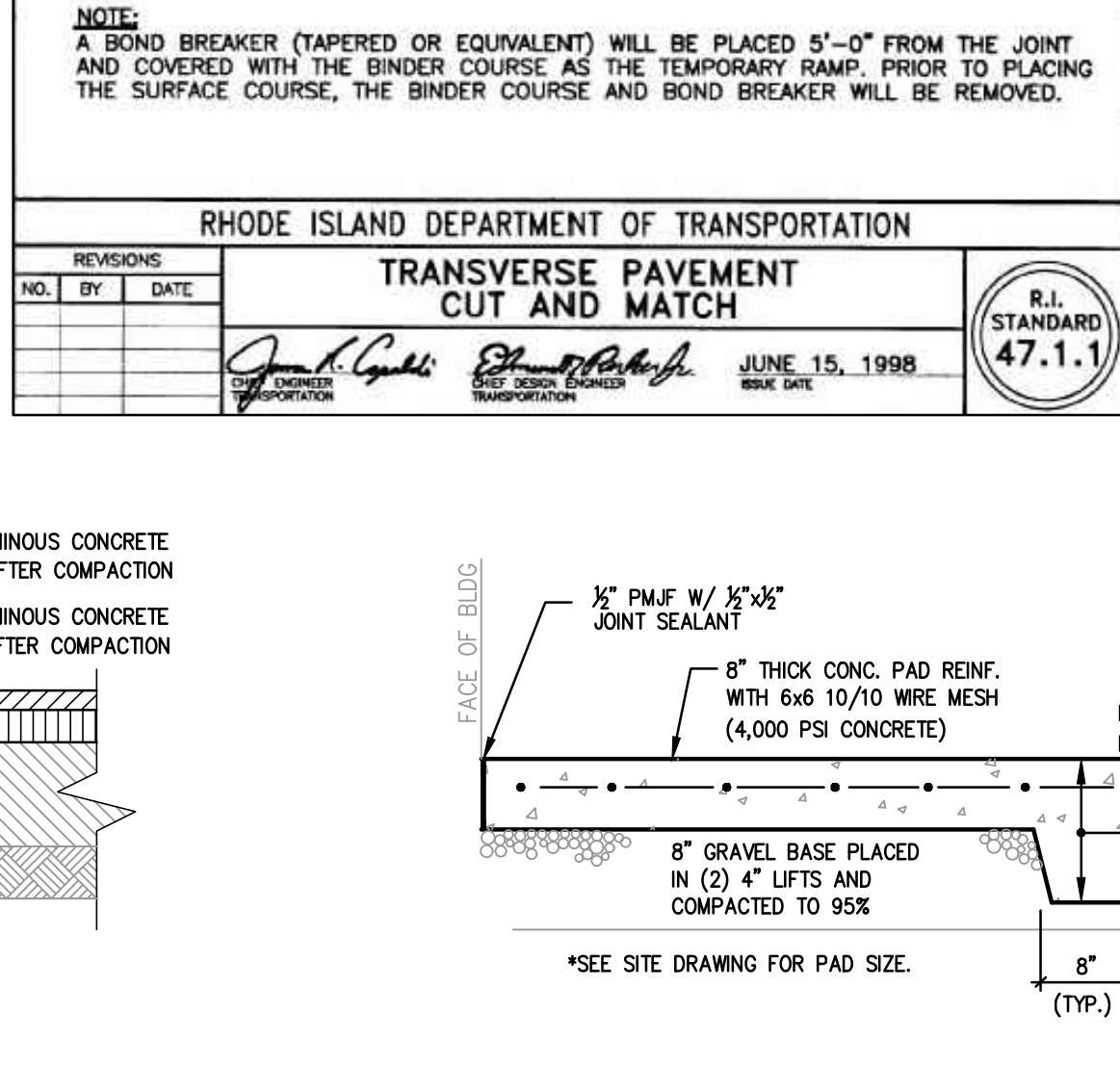


RHODE ISLAND DEPARTMENT OF TRANSPORTATION

TRANSVERSE PAVEMENT CUT AND MATCH

JUNE 15, 1998
R.I. STANDARD 47.1.1

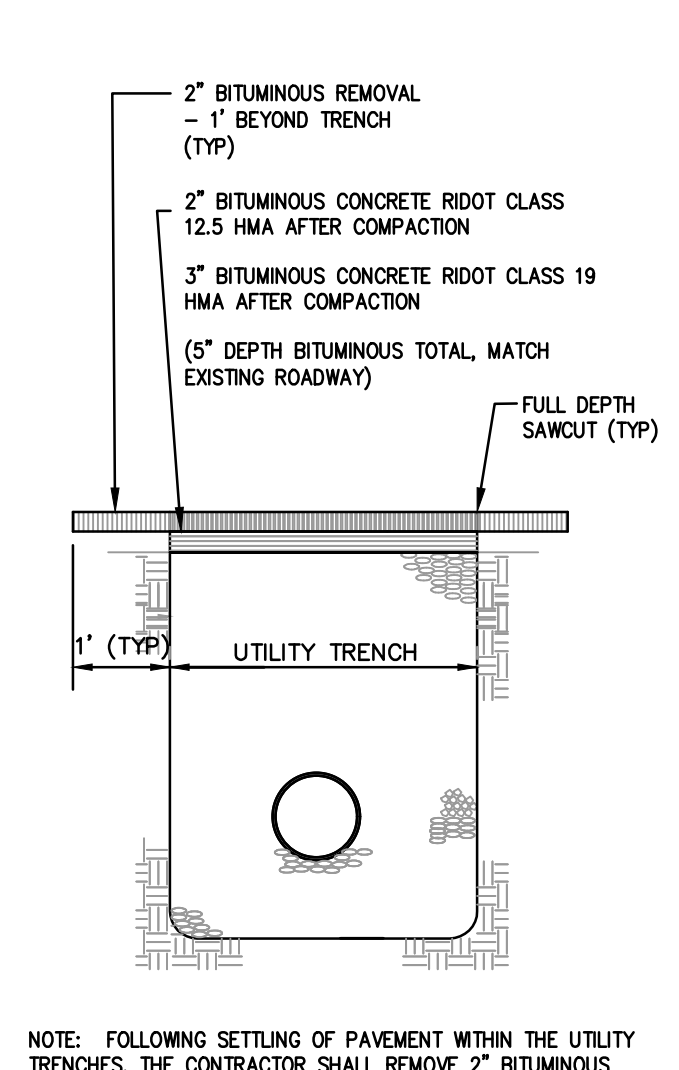
NO.	BY	DATE
1	MLP	MSP 05



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

DUMPSTER PADS

N.T.S.



RHODE ISLAND DEPARTMENT OF TRANSPORTATION

PAVEMENT RESURFACE

NOTE TO SCALE

CONSTRUCTION DETAILS PLAN

FOR

ORTHO RI

AT THE CROSSINGS

A.P. 257 LOT 10

SITUATED ON

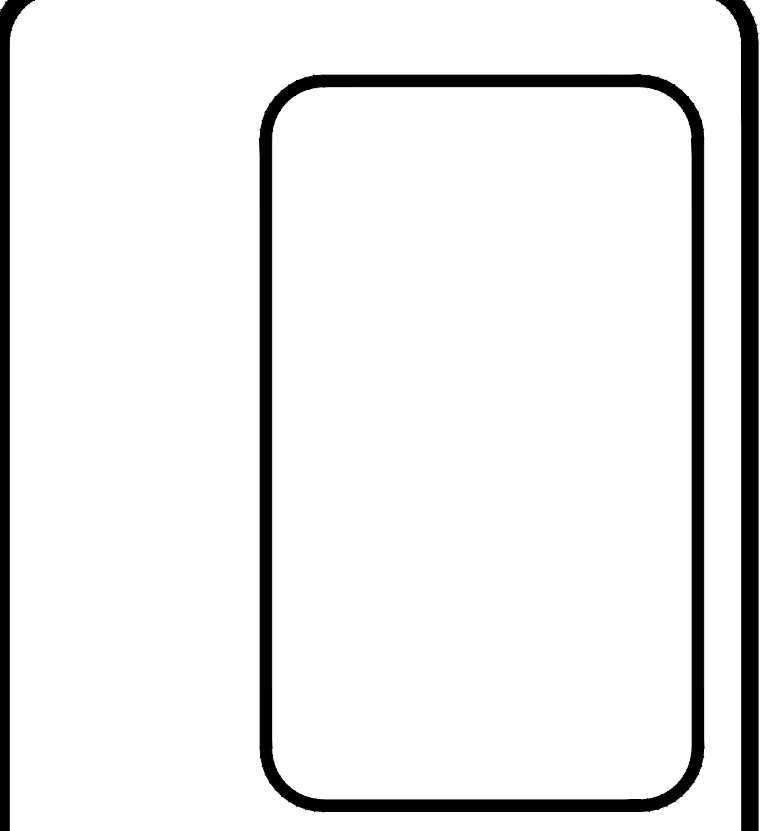
GREENWICH AVENUE

WARWICK, RHODE ISLAND

PREPARED FOR

BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE



GAROFALO

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SHEET

C-15

OF 22 SHEETS

OWNER/APPLICANT:

A.P. 257, LOT 10

BELLECASTLE REALTY, INC.

1414 ATWOOD AVE

JOHNSTON, RI 02919

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PAVEMENT MARKINGS
ARROWS AND ONLY
 R.I. STANDARD 20.1.0
 JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
BRICK/SOLID BLOCK ROUND CATCH BASIN WITH GUTTER INLET
 R.I. STANDARD 3.4.1
 JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
SQUARE FRAME AND ROUND COVER
 R.I. STANDARD 6.1.0
 JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
HEAVY-DUTY ROUND FRAME AND COVER
 R.I. STANDARD 6.2.1
 JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST CONCRETE APRON STONE (FOR ROUND CATCH BASIN)
 R.I. STANDARD 7.1.8
 JUNE 15, 1998

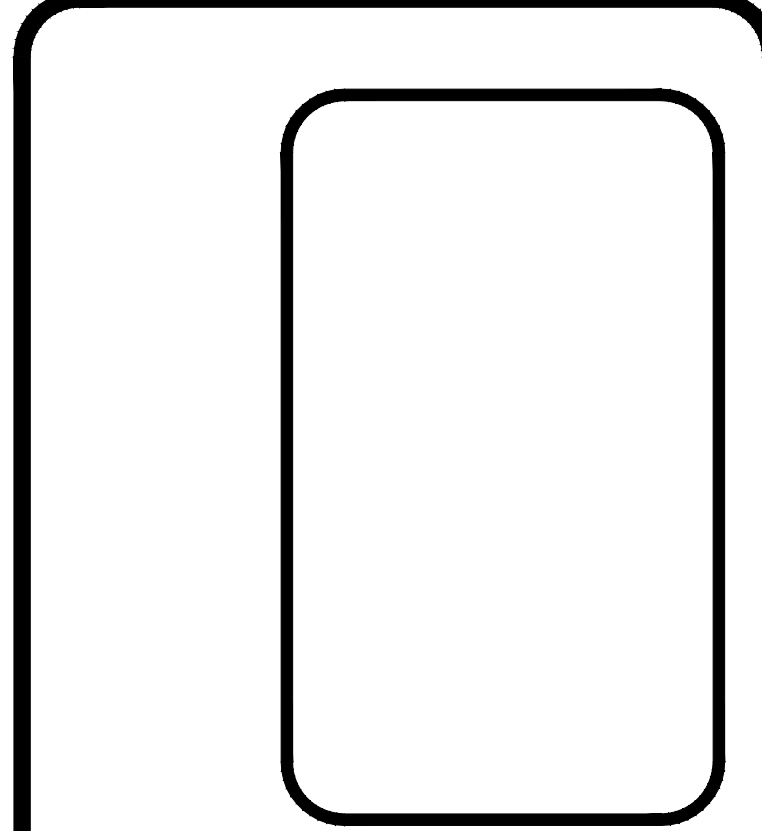
RHODE ISLAND DEPARTMENT OF TRANSPORTATION
SQUARE FRAME AND GRATE (BICYCLE SAFE)
 R.I. STANDARD 6.3.2
 JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
ROUND FRAME AND GRATE
 R.I. STANDARD 6.4.0
 JUNE 15, 1998

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
RUBBLE MASONRY WALL
 R.I. STANDARD 10.2.0
 JUNE 15, 1998

CONSTRUCTION DETAILS PLAN
 FOR
ORTHO RI
AT THE CROSSINGS
 A.P. 257 LOT 10
 SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
 PREPARED FOR
BELLECASTLE REALTY, INC.

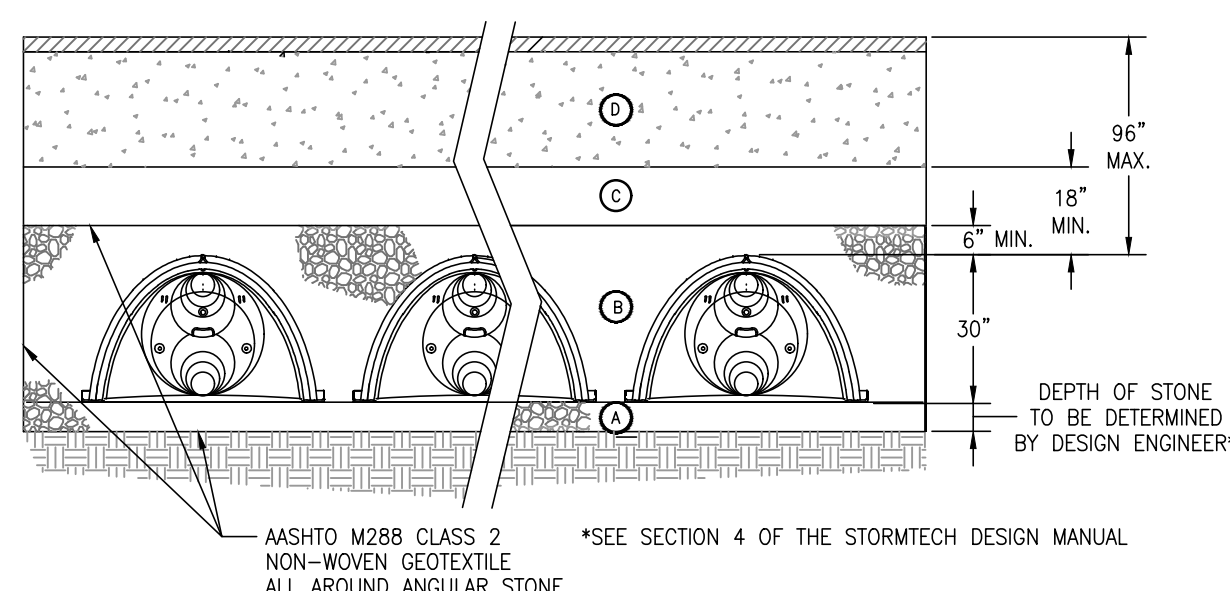
NO.	REVISION	BY	DATE



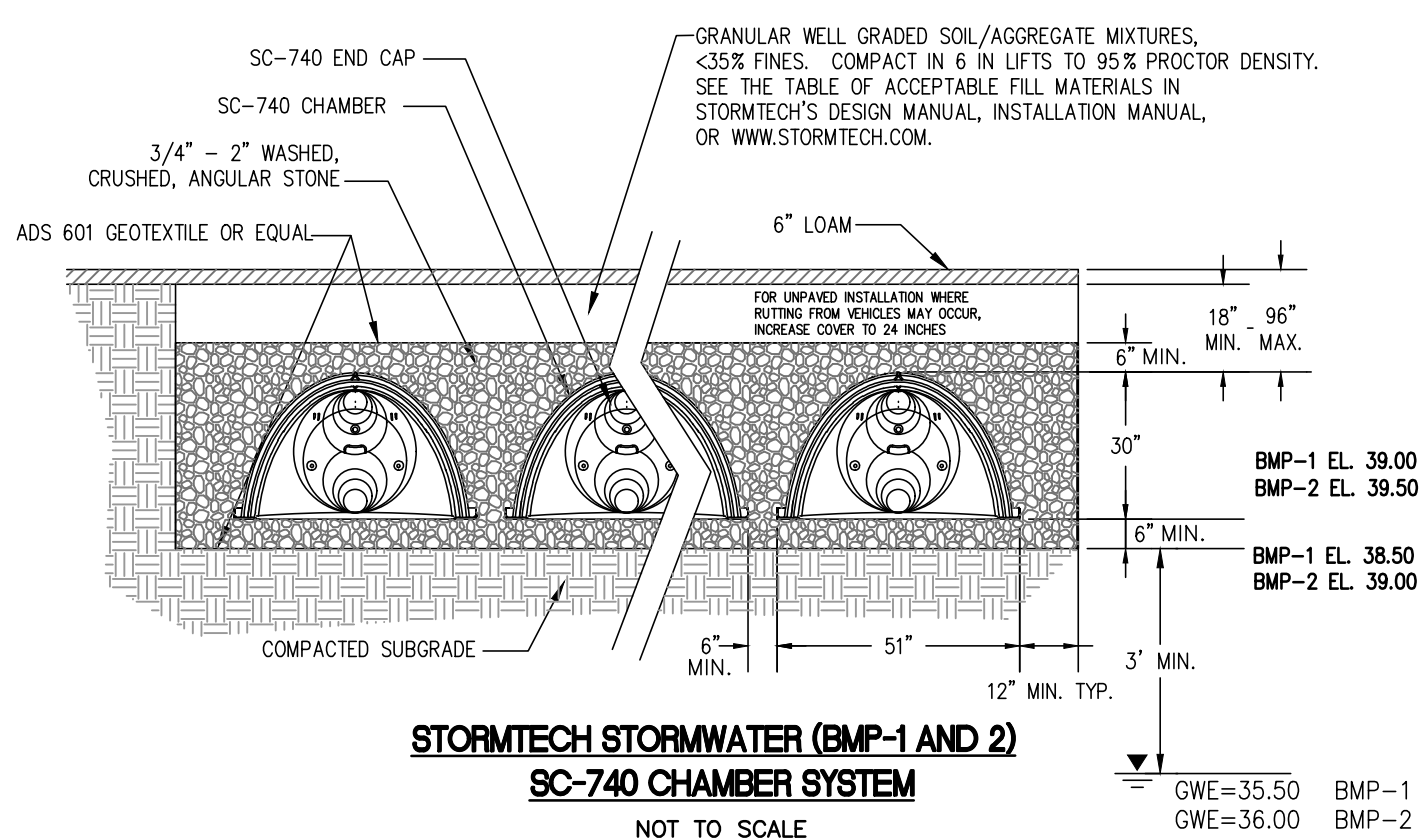
GAROFALO
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 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
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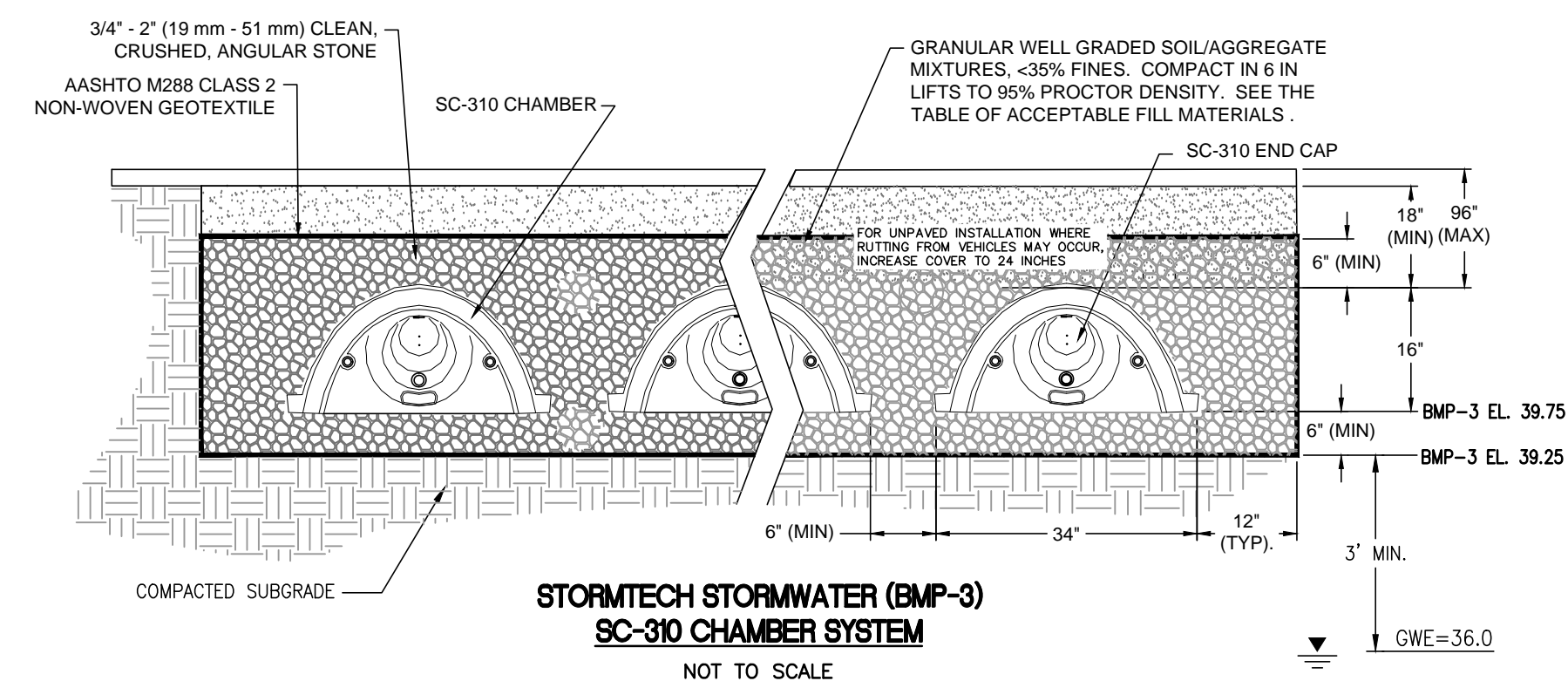
OWNER/APPLICANT:
 A.P. 257, LOT 10
 BELLECASTLE REALTY, INC.
 1414 ATWOOD AVE
 JOHNSTON, RI 02919



**ACCEPTABLE FILL MATERIALS
STORMTECH SC-310 AND SC-740 CHAMBER SYSTEMS**
NOT TO SCALE



**STORMTECH STORMWATER (BMP-1 AND 2)
SC-740 CHAMBER SYSTEM**
NOT TO SCALE

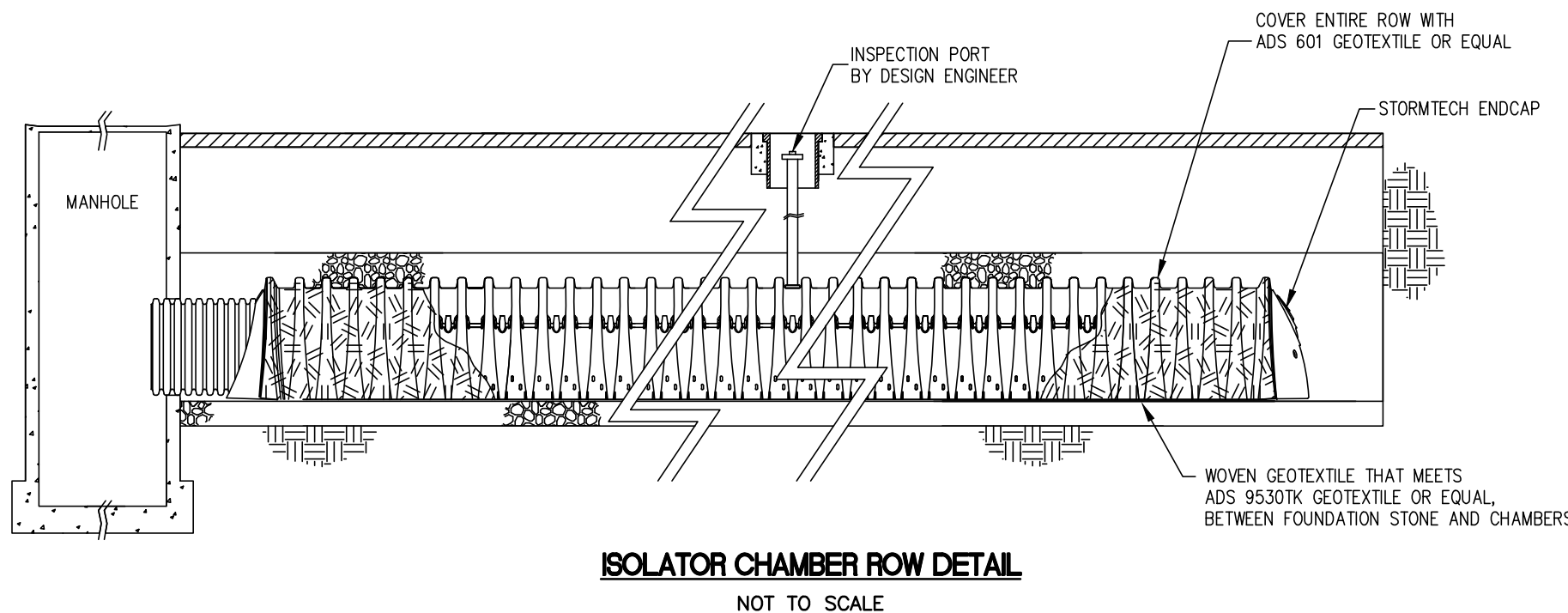


**STORMTECH STORMWATER (BMP-3)
SC-310 CHAMBER SYSTEM**
NOT TO SCALE

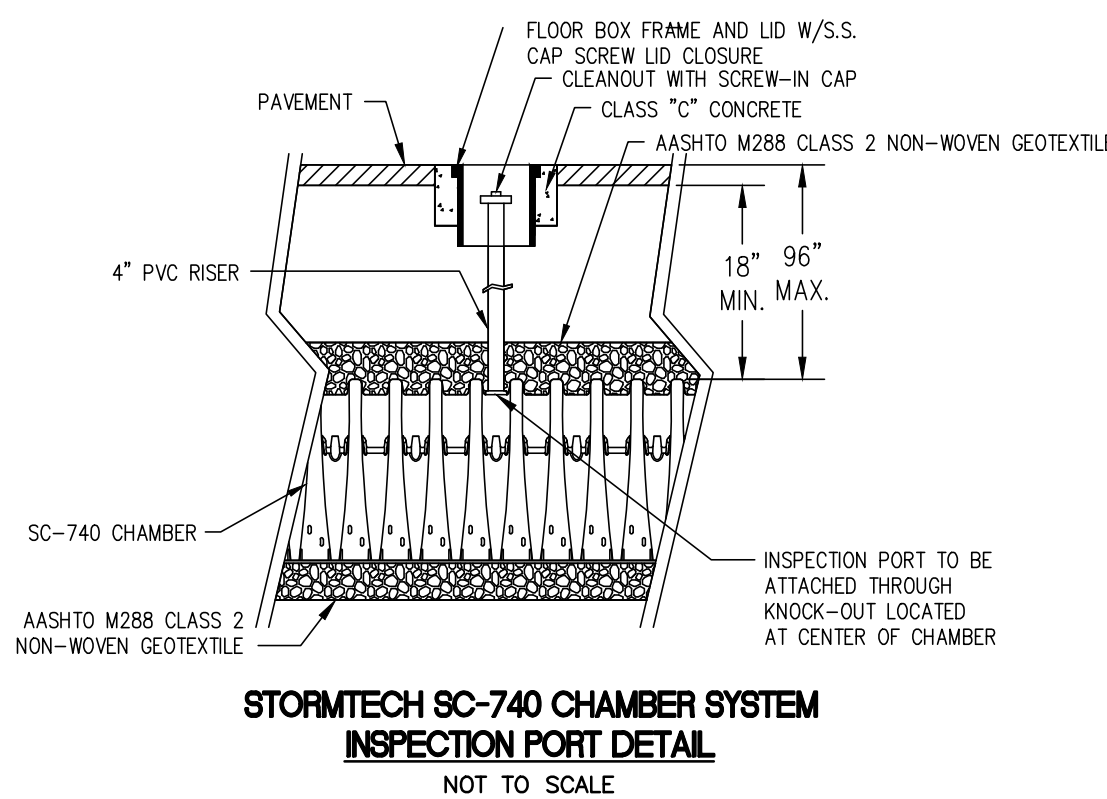
ACCEPTABLE FILL MATERIALS: SC-310 AND SC-740 CHAMBER SYSTEMS

MATERIAL LOCATION	DESCRIPTION	AASHTO M43 DESIGNATION*	COMPACTION/DENSITY REQUIREMENT
① FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISH GRADE ABOVE. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THIS LAYER.	ANY SOIL/ROCK MATERIALS, NATIVE SOILS, OR PER ENGINEER'S PLANS. CHECK PLANS FOR PAVEMENT SUBGRADE REQUIREMENTS.	N/A	PREPARE PER ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRENGTH MATERIAL AND PREPARATION REQUIREMENTS.
② FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE (B LAYER) TO 18\"/>			

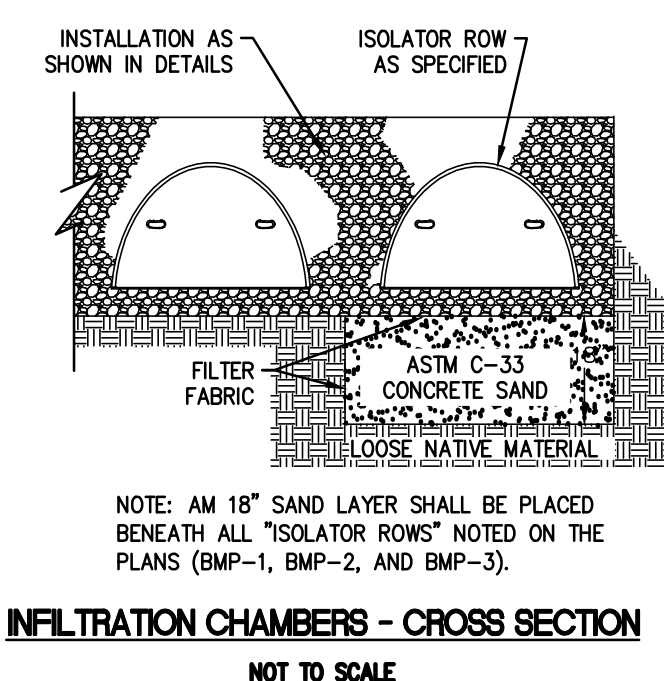
PLEASE NOTE:
1. THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE: "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE."
2. AS AN ALTERNATE TO PROCTOR TESTING AND FIELD DENSITY MEASUREMENTS ON OPEN GRADED STONE, STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6\"/>



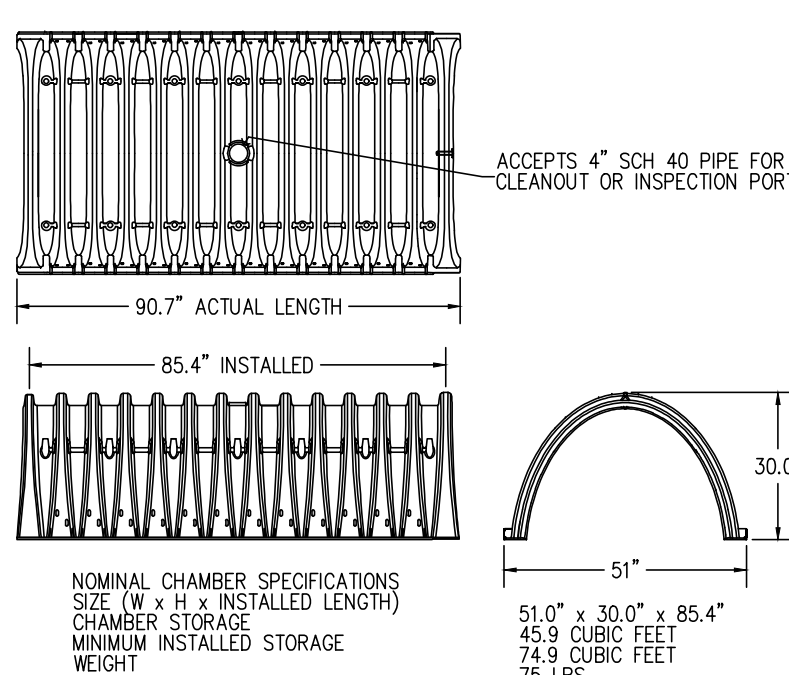
ISOLATOR CHAMBER ROW DETAIL
NOT TO SCALE



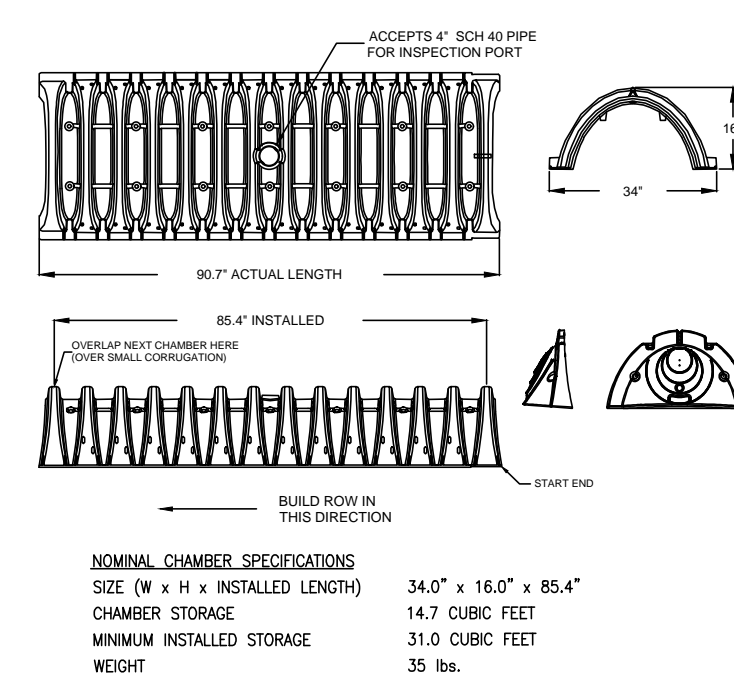
**STORMTECH SC-740 CHAMBER SYSTEM
INSPECTION PORT DETAIL**
NOT TO SCALE



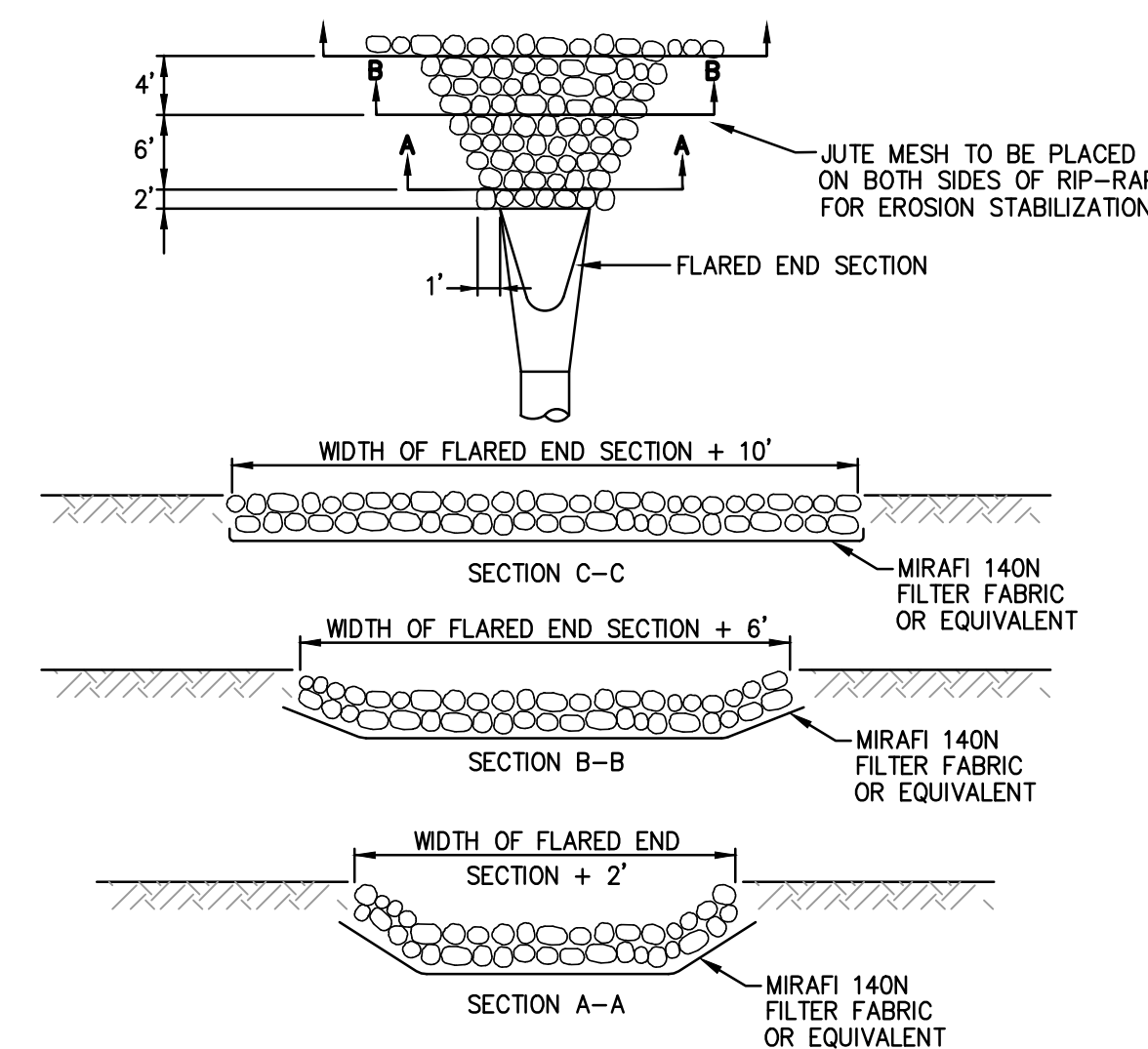
INFILTRATION CHAMBERS - CROSS SECTION
NOT TO SCALE



STORMTECH SC-740 CHAMBER (BMP-1 AND 2)
NOT TO SCALE

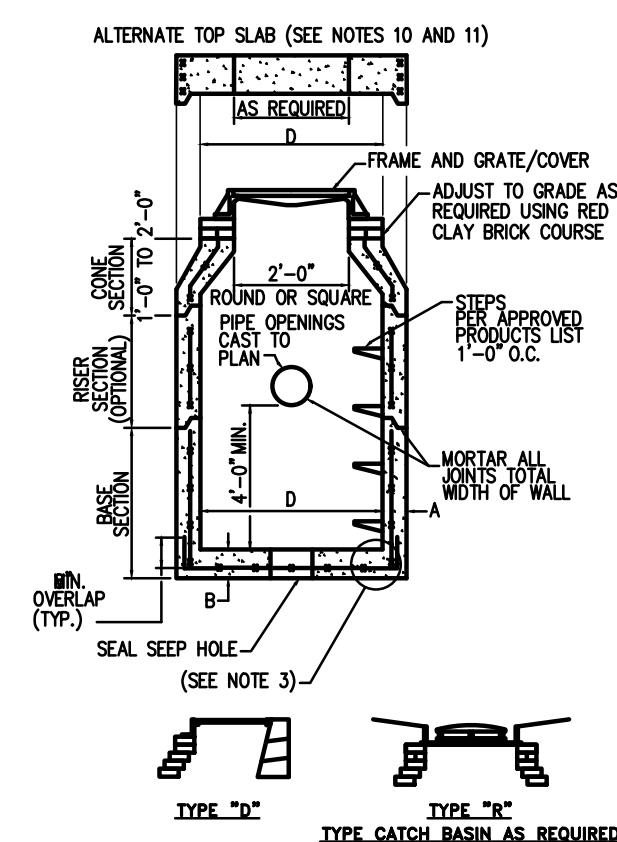


STORMTECH SC-310 CHAMBER (BMP-3)
NOT TO SCALE



RIP RAP AT FLARED END SECTION

- NOTES:
1. UNLESS OTHERWISE SPECIFIED, CLASS "C" RIP-RAP IS TO BE USED FOR ALL FLARED ENDS.
2. DIMENSIONS MAY BE MODIFIED BY ENGINEER TO MEET FIELD CONDITIONS.
3. UNLESS OTHERWISE SPECIFIED, DUMPED RIP-RAP SHALL BE USED.
4. USE ONLY SECTION A-A FOR ROOF DRAINS.



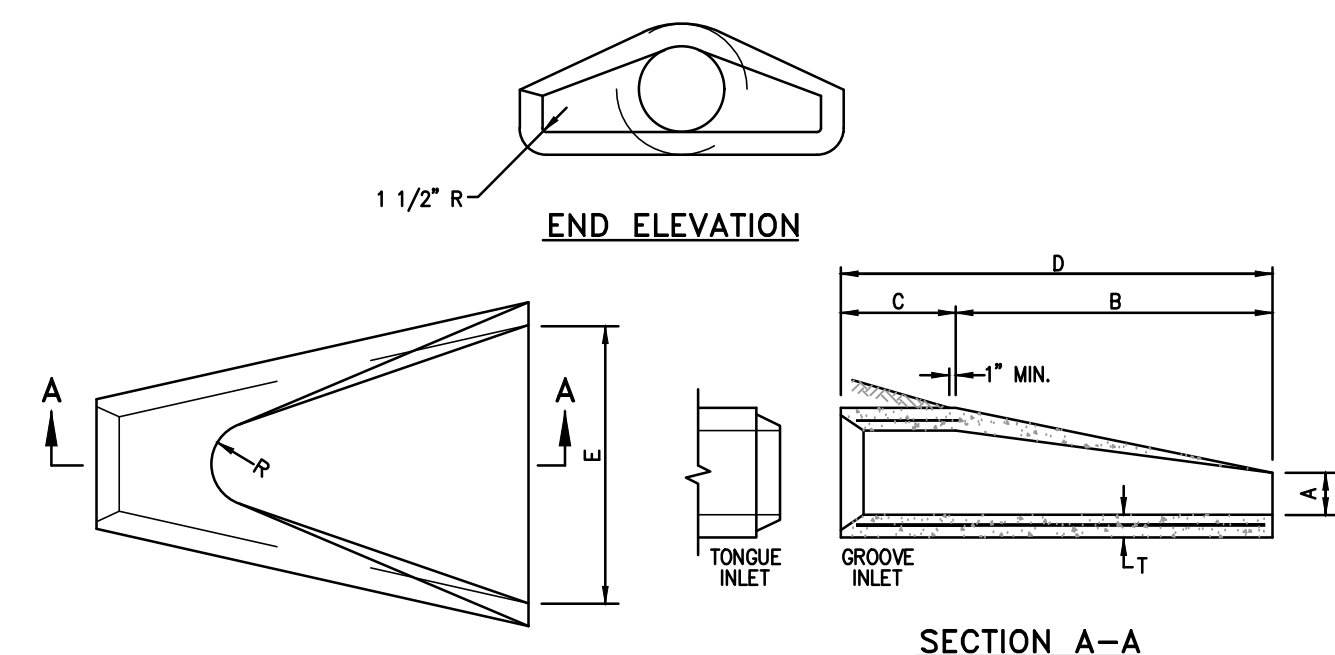
NOTE: ALL CATCHBASINS SHALL BE 4\"/>

CATCH BASIN DIAMETER (D)	CIRCUMFERENTIAL STEEL REINFORCEMENT REQUIRED*	
	A	B
4'-0"	4"	5"
5'-0"	5"	6"
6'-0"	6"	7"

* FOR LONGITUDINAL (VERTICAL STANDING) REINFORCEMENT REFER TO ASTM C478, ITEM 8.1.2

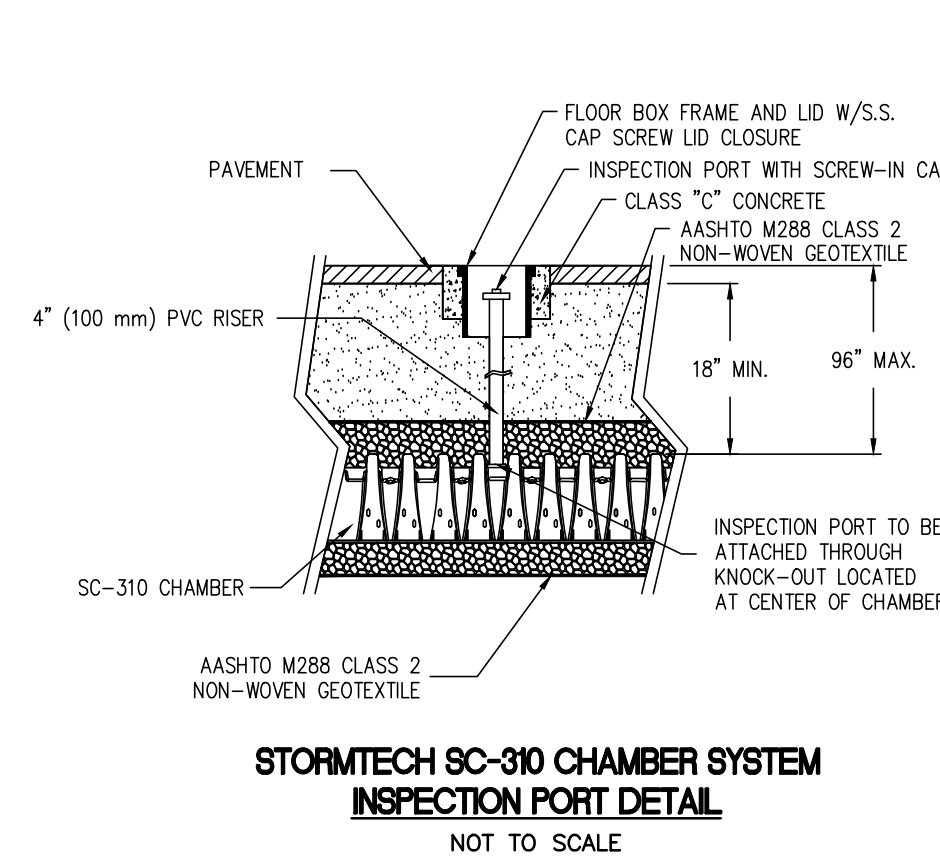
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 702 OF THE R.I. STANDARD SPECIFICATIONS.
2. SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
3. STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF 0.12 SQ. IN./LIN. FT. (BOTH WAYS).
4. STEPS SHALL CONFORM TO STD. 5.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
5. ONE POUR MONOLITHIC BASE SECTION.
6. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND DRILLS OR PNEUMATIC TOOLS WILL BE ALLOWED.
7. CORBEL MADE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CORNER SECTION" OF THE 4\"/>

**PRECAST 4'-0", 5'-0", OR 6'-0"
ROUND CATCH BASIN**
NOT TO SCALE

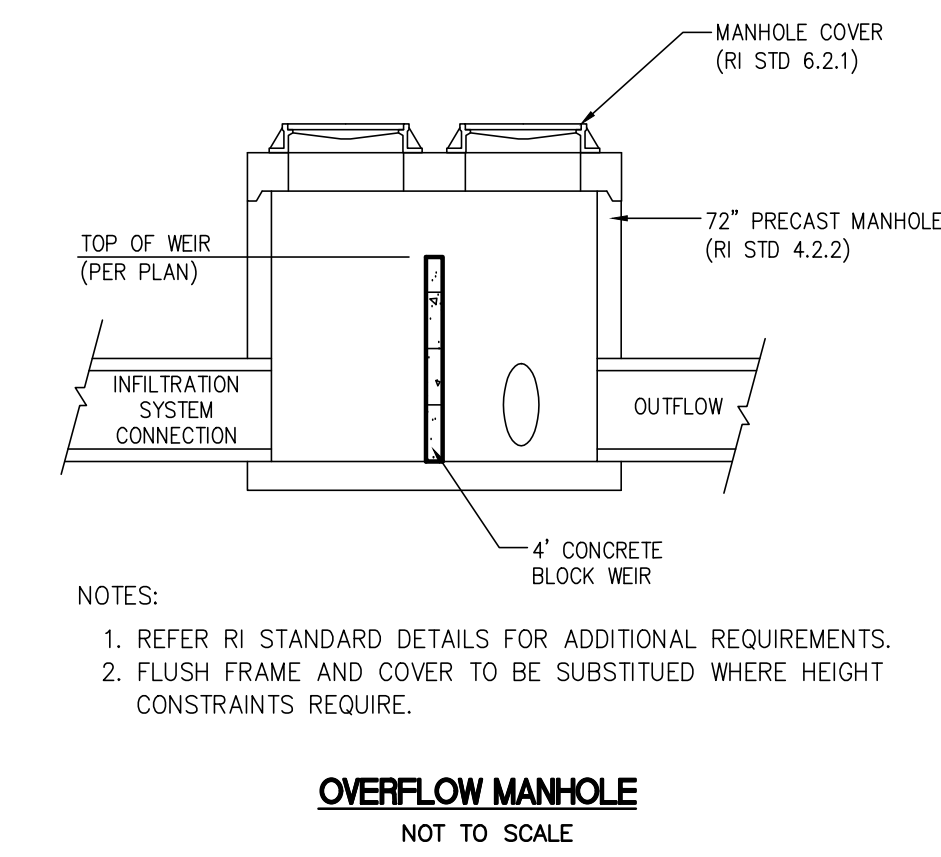


DIMENSIONS								REINFORCEMENT
DIA.	A	B	C	D	E	R	T	ONE LAYER REINFORCEMENT IN CENTER OF EACH WAY (SQ. IN./FT.)
1'-0"	4"	2'-0"	4'-0 7/8"	6'-0 7/8"	2'-0"	9"	2"	0.048
1'-3"	6"	2'-3"	3'-10"	6'-1"	2'-6"	11"	2 1/4"	0.054
1'-6"	9"	2'-3"	3'-10"	6'-1"	3'-0"	12"	2 1/2"	0.060
2'-0"	9 1/2"	3'-7 1/2"	2'-6"	6'-1 1/2"	4'-0"	1'-2"	3"	0.072
2'-6"	1'-0"	4'-6"	1'-7 3/4"	6'-1 3/4"	5'-0"	1'-3"	3 1/2"	0.084
3'-0"	1'-3"	5'-3"	2'-10 3/4"	8'-1 3/4"	6'-0"	1'-8"	4"	0.096
3'-6"	1'-9"	5'-3"	2'-11"	8'-2"	6'-6"	1'-10"	4 1/2"	0.108
4'-0"	2'-0"	6'-0"	2'-2"	8'-2"	7'-0"	1'-10"	5"	0.120
4'-6"	2'-3"	5'-5"	2'-11"	8'-4"	7'-6"	2'-0"	5 1/2"	0.132
5'-0"	2'-6"	5'-0"	3'-3"	8'-3"	8'-0"	2'-0"	6"	0.144

PRECAST CONCRETE FLARED END SECTION
NOT TO SCALE (RIDOT STD. 2.3.0)

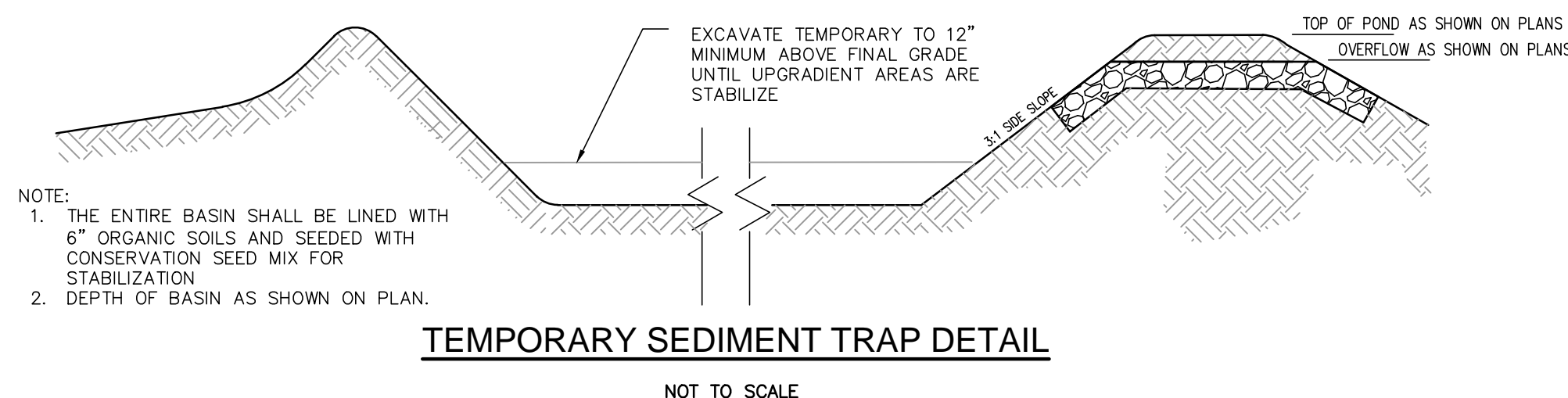


**STORMTECH SC-310 CHAMBER SYSTEM
INSPECTION PORT DETAIL**
NOT TO SCALE



OVERFLOW MANHOLE
NOT TO SCALE

- NOTES:
1. REFER RI STANDARD DETAILS FOR ADDITIONAL REQUIREMENTS.
2. FLUSH FRAME AND COVER TO BE SUBSTITUTED WHERE HEIGHT CONSTRAINTS REQUIRE.



TEMPORARY SEDIMENT TRAP DETAIL
NOT TO SCALE

CONSTRUCTION DETAILS PLAN
FOR
ORTHO RI
AT THE CROSSINGS
SITUATED ON
A.P. 257 LOT 10
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

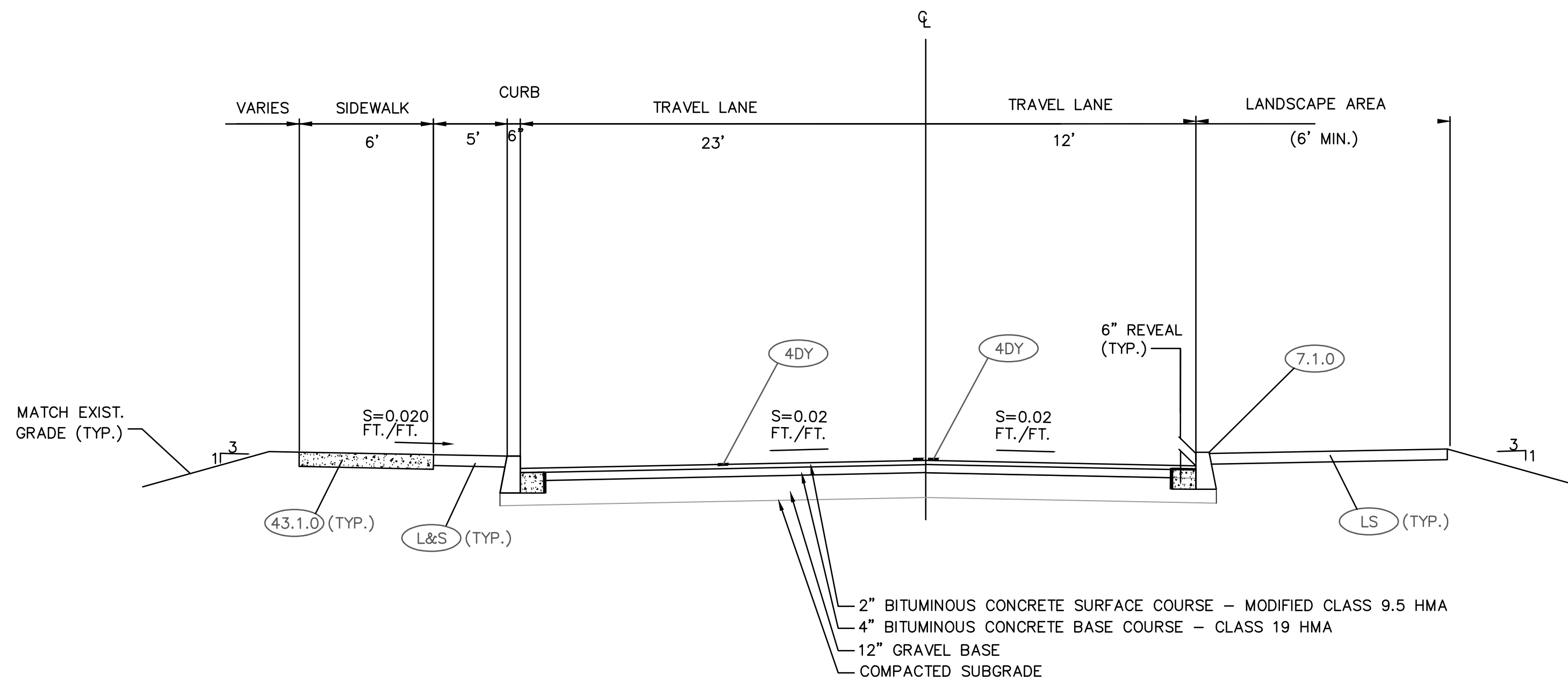
GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

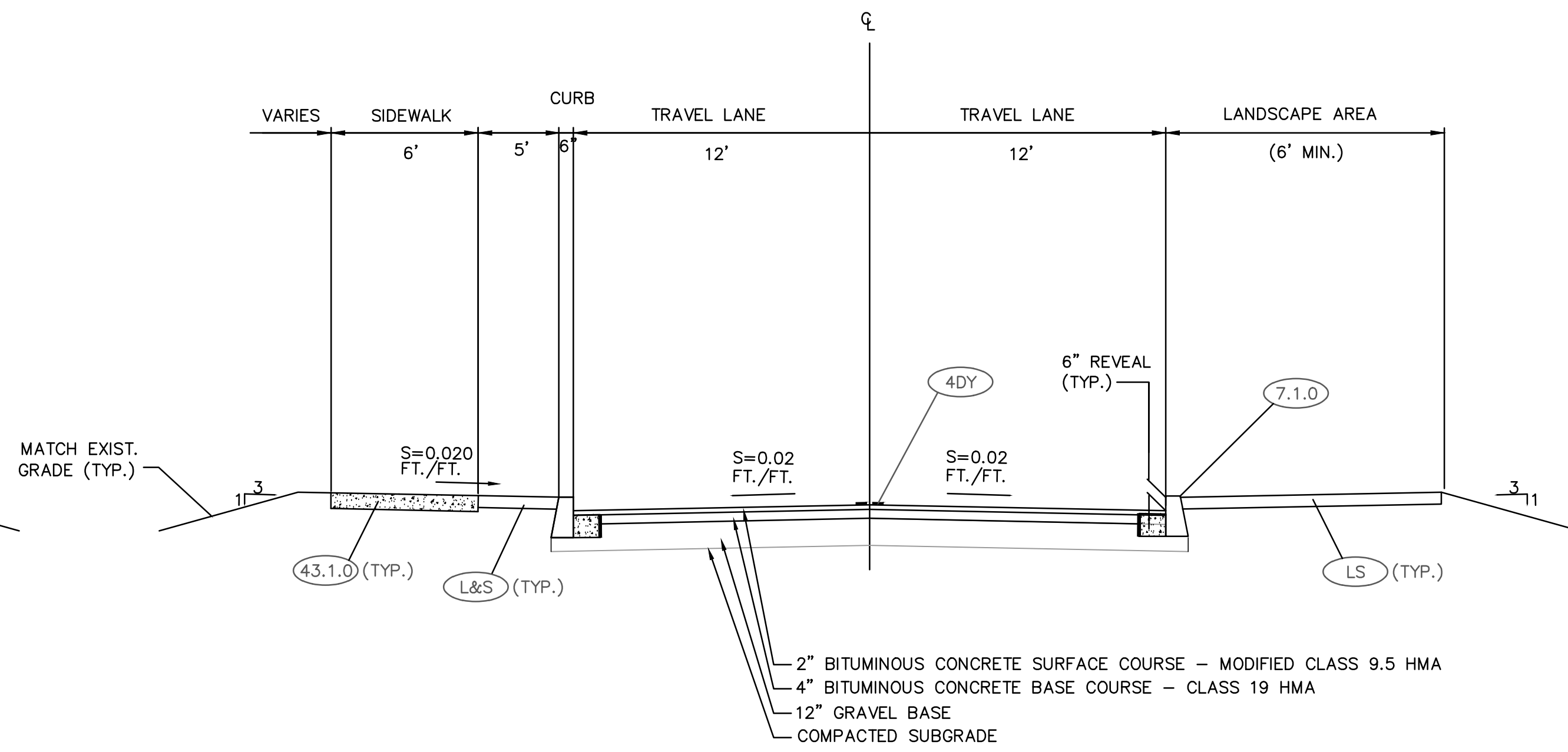
JOB NO. 7155-00	DRAWN BY K.Y.Y.
DWG. NO. 7155-00-Details	CHECKED S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
SHEET	DATE: JANUARY 29, 2019

C-18

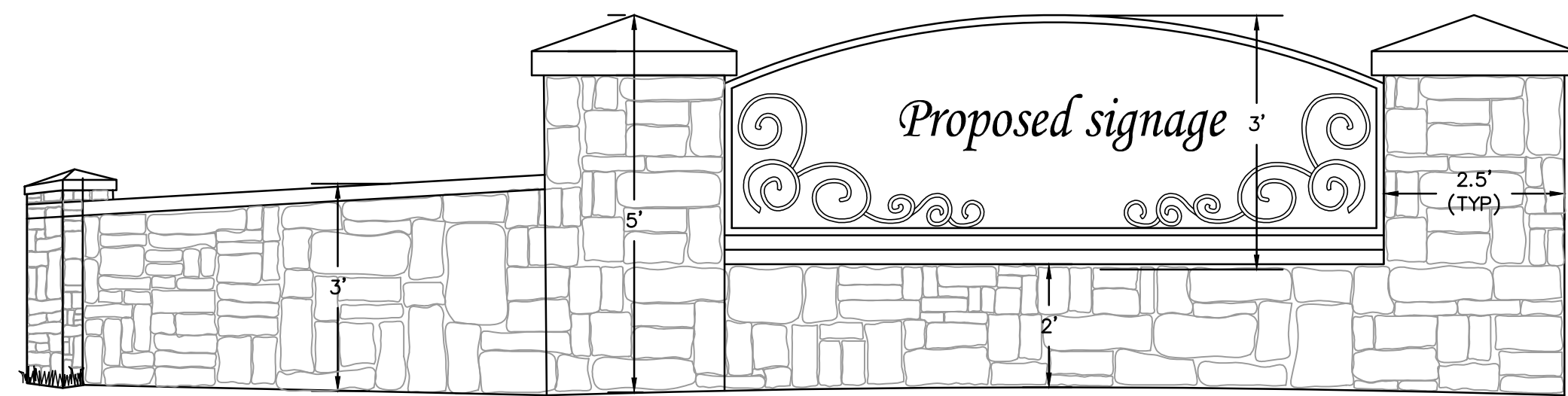
OWNER/APPLICANT:
A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919



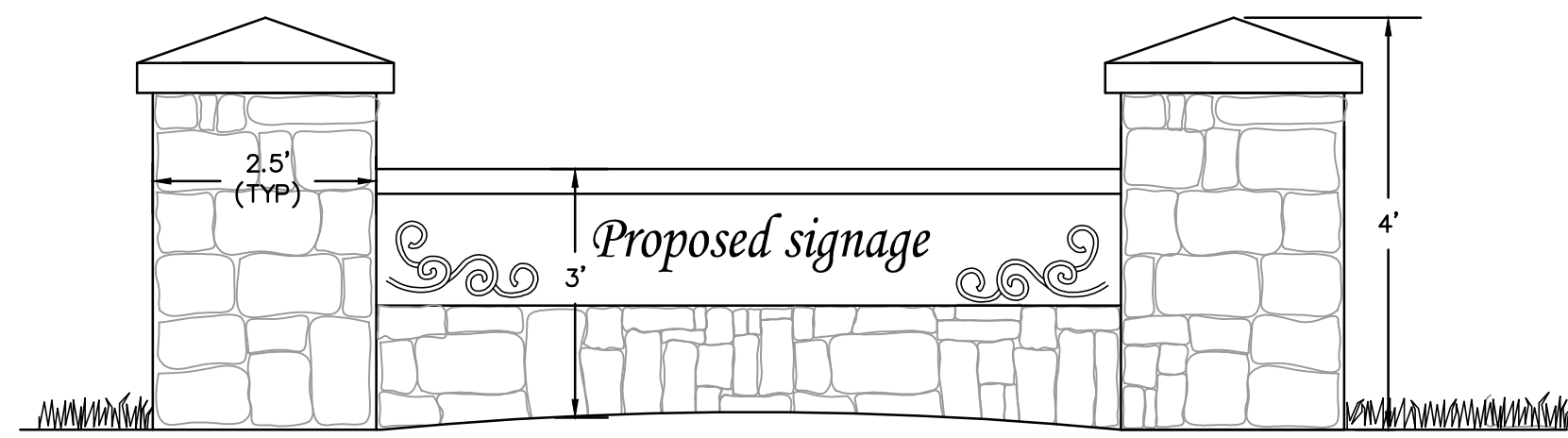
ROAD "A" - STATION 10+00 TO 11+50
 NOT TO SCALE



ROAD "A" - STATION 11+50 TO 24+50
 NOT TO SCALE



LEFT SIDE WALL



RIGHT SIDE WALL

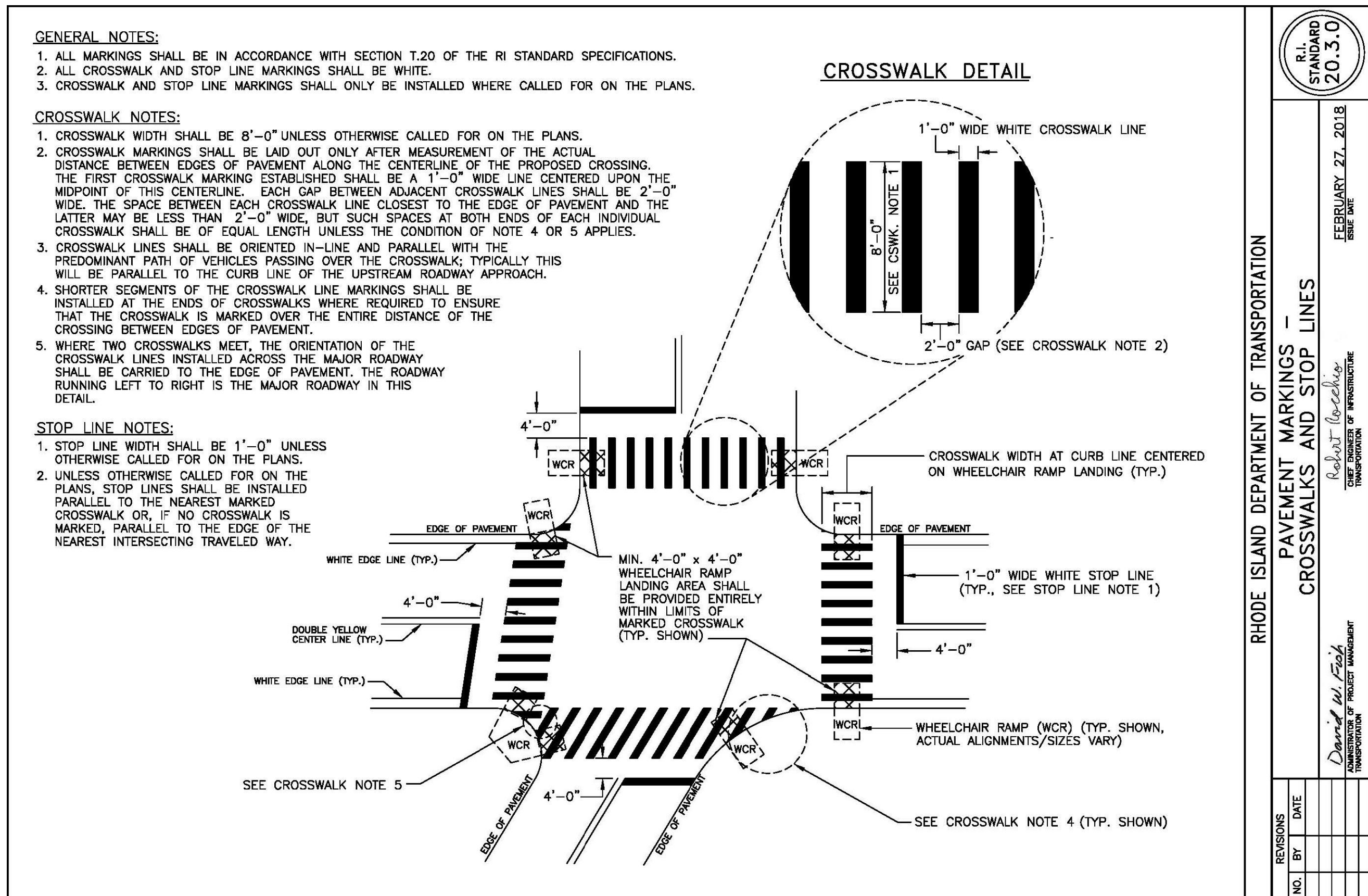
ENTRANCE STONE WALL / SIGNAGE
 NOT TO SCALE

NOTE:
 ENTRANCE WALL AND SIGNAGE DETAIL IS CONCEPTUAL ONLY.
 CONTRACTOR SHALL SUBMIT DESIGN FOR REVIEW AND
 APPROVAL BY THE OWNER.



SITE SIGNAGE
 NOT TO SCALE

NOTE:
 WALL AND SIGNAGE IS NOTIONAL ONLY - TENANT SIGNAGE SHALL
 CONFORM TO EXISTING PARK STANDARDS. CONTRACTOR SHALL
 SUBMIT DESIGN FOR REVIEW AND APPROVAL BY THE OWNER.



RHODE ISLAND DEPARTMENT OF TRANSPORTATION
 STANDARD 20.3.0
 REGULARLY 2/1, 2018
 CIVIL ENGINEER
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF RHODE ISLAND
 No. 10156
 TRANSPORTATION
 DESIGNER
 REGISTERED PROFESSIONAL ENGINEER
 STATE OF RHODE ISLAND
 No. 10156
 TRANSPORTATION

REVISIONS	BY	DATE

GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, RI 02940
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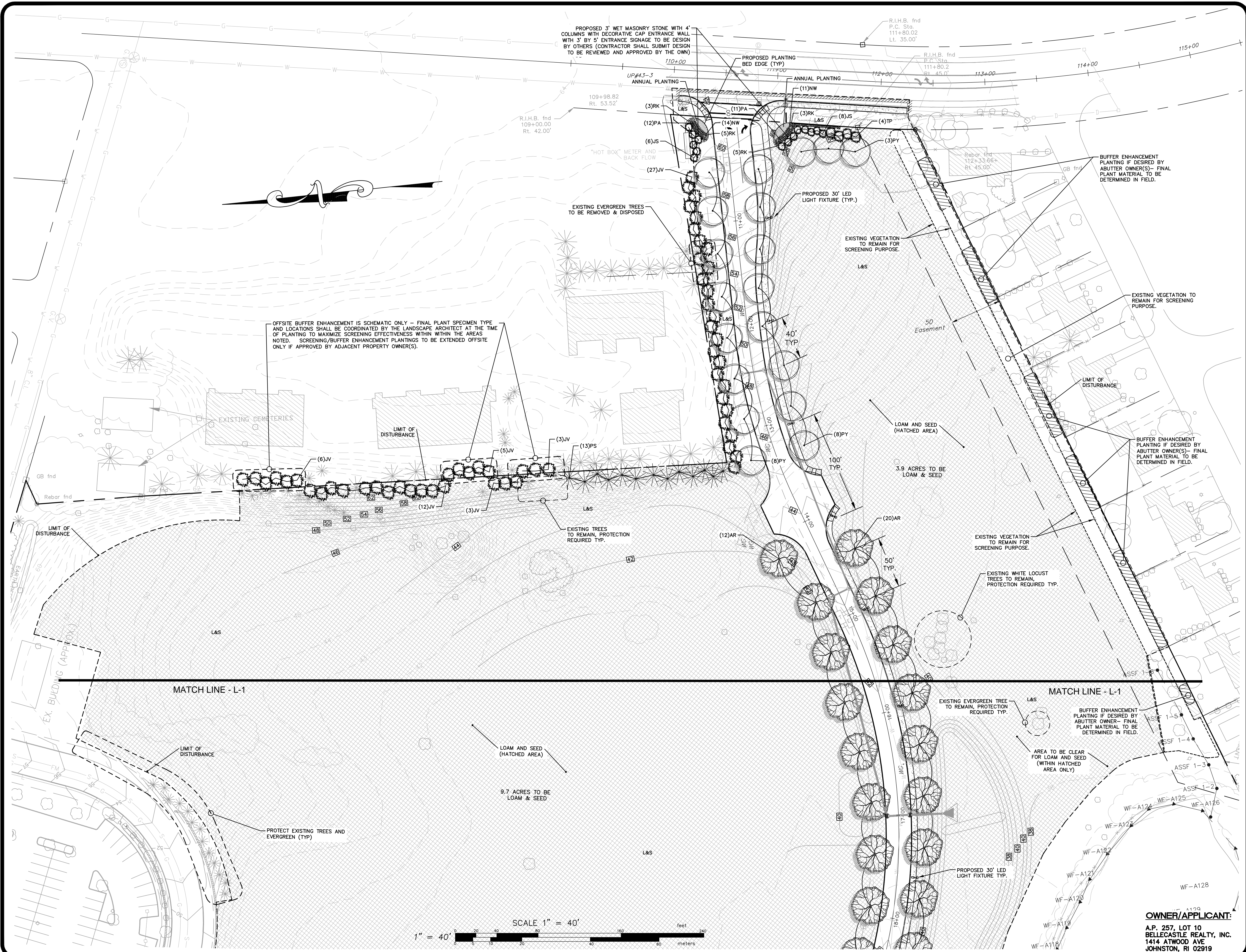
JOB NO. 7155-00	DRAWN BY K.Y.Y.
DWG. NO. 7155-00-Details	CHECKED S.S.H.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JANUARY 29, 2019	

SHEET

C-19

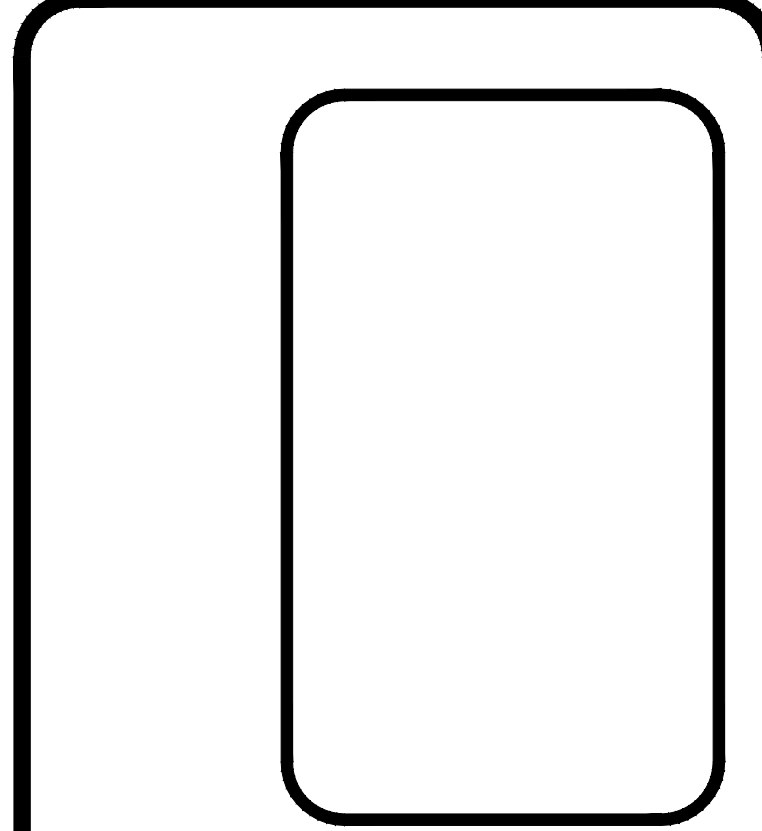
OF 22 SHEETS

OWNER/APPLICANT:
 A.P. 257, LOT 10
 BELLECASTLE REALTY, INC.
 1414 ATWOOD AVE
 JOHNSTON, RI 02919



FINAL LANDSCAPE PLAN
 FOR
ORTHO RI
 AT THE CROSSINGS
 A.P. 257 LOT 10
 SITUATED ON
 GREENWICH AVENUE
 WARWICK, RHODE ISLAND
 PREPARED FOR
 BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE



GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
 85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

JOB NO. 7155-00	DRAWN BY K.Y.Y.
DWG. NO. 7155-00-LAND	CHECKED R.J.B.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: JANUARY 29, 2019

SHEET
L-2
 OF 22 SHEETS

OWNER/APPLICANT:
 A.P. 257, LOT 10
 BELLECASTLE REALTY, INC.
 1414 ATWOOD AVE
 JOHNSTON, RI 02919

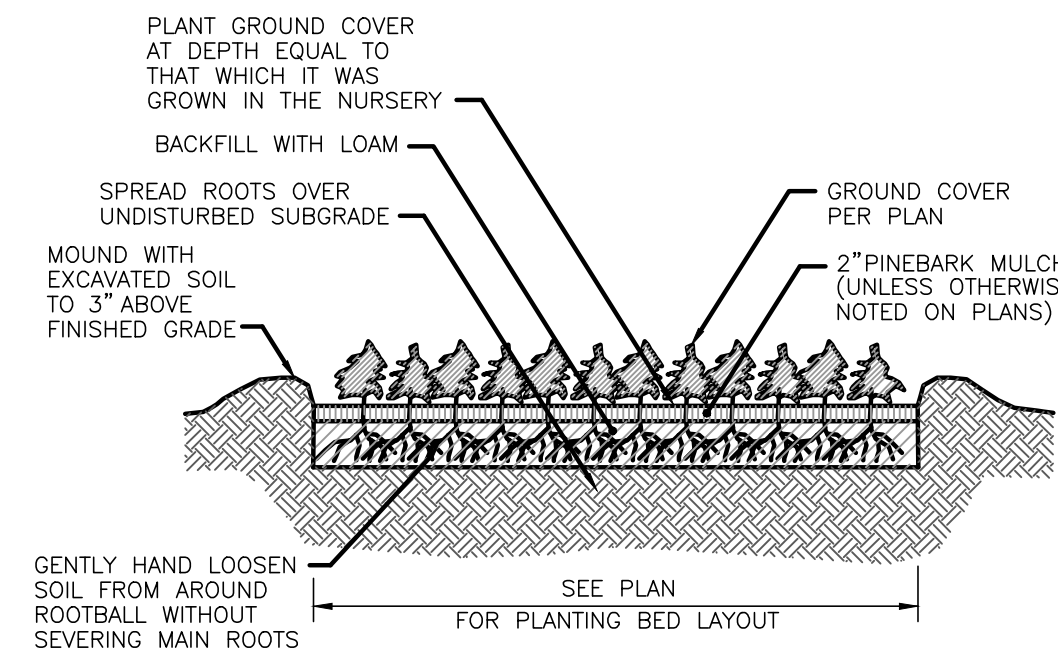
GENERAL LANDSCAPE NOTES:

1. THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
2. ALL PLANT MATERIAL SHALL MEET THE AMERICAN OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY. NO SUBSTITUTIONS SHALL BE ACCEPTED WITHOUT PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.
3. ALL PLANT MATERIAL FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR. IF THE FIRST YEAR ENDS DURING THE DORMANT PERIOD, THE GUARANTEE SHALL EXTEND TO THE START OF THE NEXT LEAFING. DURING THE ONE-YEAR GUARANTEE PERIOD THE CONTRACTOR SHALL EMPLOY ACCEPTED HORTICULTURAL PRACTICES TO KEEP THE PLANTS INSTALLED IN LIVING, HEALTHY CONDITION. FOLLOWING THE ONE-YEAR GUARANTEE PERIOD THE OWNER/OWNERS SHALL INSPECT ALL PLANT MATERIAL FOR HEALTHY ORNAMENTAL QUALITY. AT THAT TIME SHOULD ANY PLANT MATERIAL BE FOUND IN INADEQUATE HEALTH THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLACE THE PLANT IN KIND AND PROVIDE A ONE-YEAR GUARANTEE FOR THE REPLACEMENT PLANT.
4. INSTALL ALL PLANT MATERIAL AS SHOWN IN DETAILS.
5. STAKE ALL TREES OVER 5' AS SHOWN ON DETAILS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
6. THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFFSET LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
7. THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
8. LAYOUT: ALL NOTES AND DIMENSIONS ARE TYPICAL UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE SQUARE (PARALLEL OR PERPENDICULAR) UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTIFY THE OWNER/OWNER'S REPRESENTATIVE IMMEDIATELY IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE CONTRACT DOCUMENTS AND/OR IN THE FIELD, OR ON CONDITIONS UNCOVERED IN THE WORK WHICH ARE NOT REFLECTED IN THE PLANS.
9. PROTECTION OF EXISTING PLANTINGS: MAXIMUM EFFORT SHOULD BE MADE TO SAVE TREES OF OTHER PLANT SPECIMENS WHICH ARE LARGE FOR THEIR SPECIES, RARE TO THE AREA, OR OF SPECIAL HORTICULTURAL OR LANDSCAPE VALUE. CONTACT OWNER/LANDSCAPE ARCHITECT BEFORE REMOVING ANY SPECIMEN OF THIS TYPE UNLESS OTHERWISE NOTED ON THE PLANS. NO MATERIAL OR TEMPORARY SOIL DEPOSITS SHALL BE PLACED WITHIN THE DRIP LINE OF SHRUBS OR TREES DESIGNATED ON THE LANDSCAPE PLAN TO BE RETAINED. PROTECTIVE BARRIERS ARE TO BE INSTALLED AROUND EACH PLANT AND/OR GROUP OF PLANTS THAT ARE TO REMAIN ON THE SITE. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF-SUPPORTING. THEY SHALL BE OF MINIMUM OF FOUR FEET (4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED.
10. PRUNING: THE CONTRACTOR SHALL CAREFULLY PRUNE BRANCHES IN THE WAY OF CONSTRUCTION BY USING ONLY APPROVED METHODS AND TOOLS. THE USE OF AXES FOR TRIMMING OR SPURS FOR CLIMBING WILL NOT BE PERMITTED.
11. UTILITIES: THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ANY AND ALL UTILITY DAMAGE INCLUDING DAMAGE THAT MAY OCCUR TO NEW UTILITIES. THE CONTRACTOR IS REQUIRED TO CONTACT DIG-SAFE PRIOR TO COMMENCING ANY SITE CONSTRUCTION. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
12. DISTURBED AREAS: ALL AREAS DISTURBED DURING THE COURSE OF CONSTRUCTION ARE TO BE RESTORED TO ORIGINAL (OR BETTER) CONDITION BY THE CONTRACTOR BEFORE COMPLETION OF THE PROJECT, AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT AND OWNER. ALL GRASS AREAS DISTURBED DURING CONSTRUCTION SHALL BE FINE RAKED TO REMOVE STONES AND LOAMED AND SEEDED AS PER SPECIFICATIONS.
13. DRAINAGE SYSTEMS: CONTRACTOR IS RESPONSIBLE FOR GENERAL CLEAN-OUT OF ALL CATCH BASINS, MANHOLES, AND/OR OTHER DRAINAGE FEATURES ON THE SITE WHICH HAVE ACCUMULATED SEDIMENT AS A RESULT OF CONSTRUCTION ACTIVITIES.

LOAM AND SEEDING

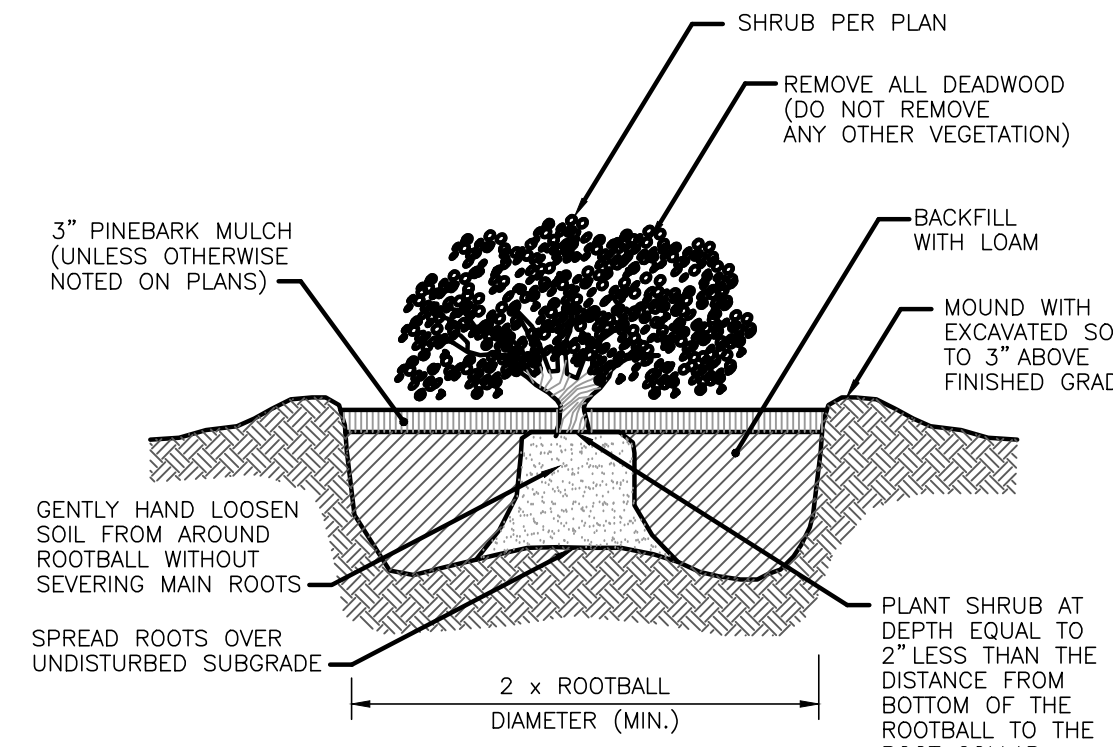
APPLICATION OF LOAM AND SEED SHALL BE IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

1. LOAM MATERIAL TO BE FURNISHED SHALL CONSIST OF SCREENED LOOSE, FRIABLE, FINE SANDY LOAM OR SANDY LOAM, AS DEFINED BY THE USDA'S SOIL CONSERVATION SERVICE IN THE SOIL SURVEY MANUAL ISSUED IN 1993, FREE OF SUBSOIL, REFUSE, STUMPS, ROOTS, ROCKS, COBBLES, STONES, BRUSH, NOXIOUS WEEDS, LITTER AND OTHER MATERIALS WHICH ARE LARGER THAN 1/2-INCH IN ANY DIMENSION AND WHICH WILL PREVENT THE FORMATION OF A SUITABLE SEED BED. ORGANIC MATTER SHALL CONSTITUTE NOT LESS THAN 5 PERCENT NOR MORE THAN 20 PERCENT OF THE LOAM AS DETERMINED BY LOSS-ON-IGNITION OF OVEN DRIED SAMPLES THAT HAVE BEEN DRAWN BY THE ENGINEER, UNLESS OTHERWISE SPECIFIED OR DIRECTED. THE LOAM SHALL HAVE AN ACIDITY RANGE OF 5.5 PH TO 7.6 PH.
2. LOAM MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE RETAINED AND DISTRIBUTED WITHIN THE SITE IN ACCORDANCE WITH THE LANDSCAPE PLAN. STOCKPILED LOAM SHALL NOT BE MIXED WITH ANY SUBSOIL OR UNSUITABLE MATERIAL. ALL EXISTING LOAM REMAINS THE PROPERTY OF THE OWNER.
3. LOAM SHALL BE SPREAD TO A DEPTH OF 4" IN SEEDING AREAS AND PLACED TRUE TO LINES AND GRADES SHOWN ON THE PLANS.
4. THE LOAMED SURFACE SHALL BE GRADED, AND ALL ROOTS, SODS, WEEDS, COBBLES OR STONES WITH ANY DIMENSION GREATER THAN 1 INCH SHALL BE REMOVED AND LEGALLY DISPOSED OF. AFTER SHAPING AND GRADING, ALL TRUCKS AND OTHER EQUIPMENT NOT REQUIRED TO PERFORM SEEDING, MULCHING OR MOWING OPERATIONS SHALL BE EXCLUDED FROM THE LOAMED AREAS.
5. LIME (GROUND OR PELLETIZED) SHALL BE APPLIED DRY AND SPREAD EVENLY OVER THE ENTIRE SURFACE TO BE SEEDED. UNLESS OTHERWISE SPECIFIED, THE APPLICATION RATE SHALL BE 1 TON PER ACRE. RAKING SHALL BE COMPLETED AFTER THE FERTILIZER HAS BEEN APPLIED.
6. ALL SEED DELIVERED TO THE JOB SHALL BE IN CONTAINERS LABELED IN ACCORDANCE WITH PROVISIONS OF THE RHODE ISLAND SEED ACT OF 1956 (VOLUME 8, TITLE 2, CHAPTER 6) AND ITS AMENDMENTS AS PROVIDED FOR AGRICULTURAL SEED OFFERED FOR SALE. ONLY THE CURRENT YEARS SEED SHALL BE ACCEPTED.
7. SEED SHALL BE APPLIED ONLY DURING THE FOLLOWING DATES:
 SPRING SEEDING: MARCH 15 TO MAY 31.
 FALL SEEDING: AUGUST 15 TO OCTOBER 15.
8. THE CONTRACTOR SHALL WATER ALL SEEDED AREAS AND RESEED AS NECESSARY FOR A PERIOD OF 2-MONTHS OR UNTIL A HEALTH STAND OF GRASS IS ESTABLISHED AND APPROVAL HAS BEEN MADE BY THE OWNER/LANDSCAPE ARCHITECT.



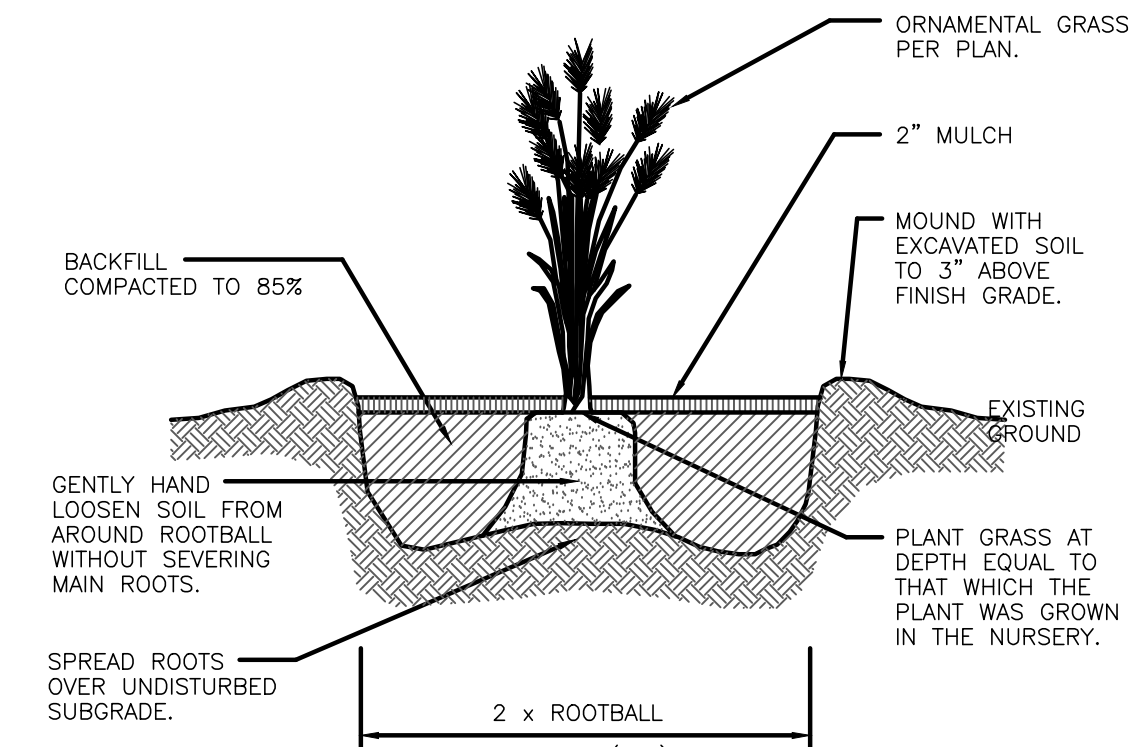
Ground Cover Planting Detail

NOT TO SCALE

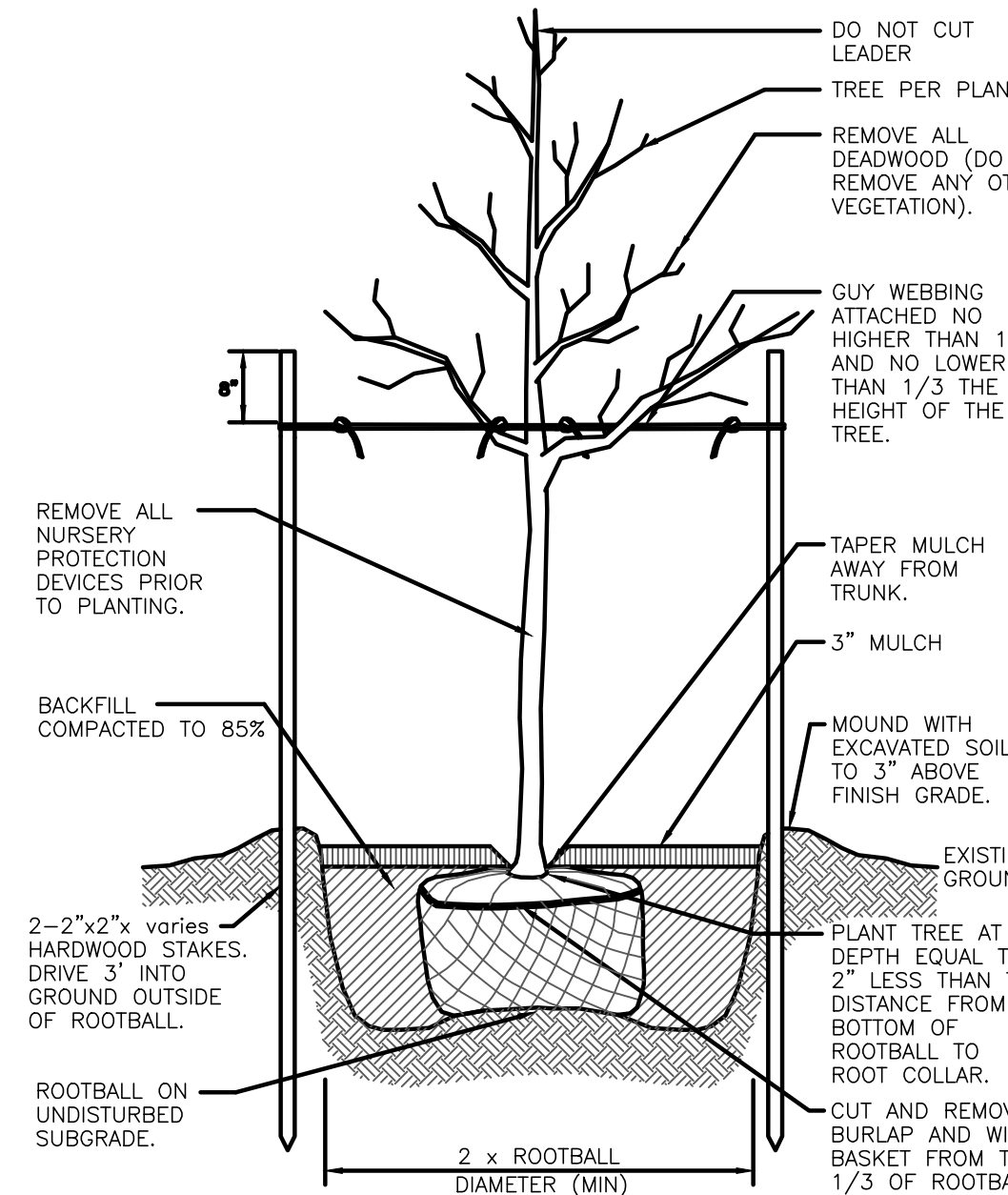


Container Grown Shrub and Perennial Planting Detail

NOT TO SCALE

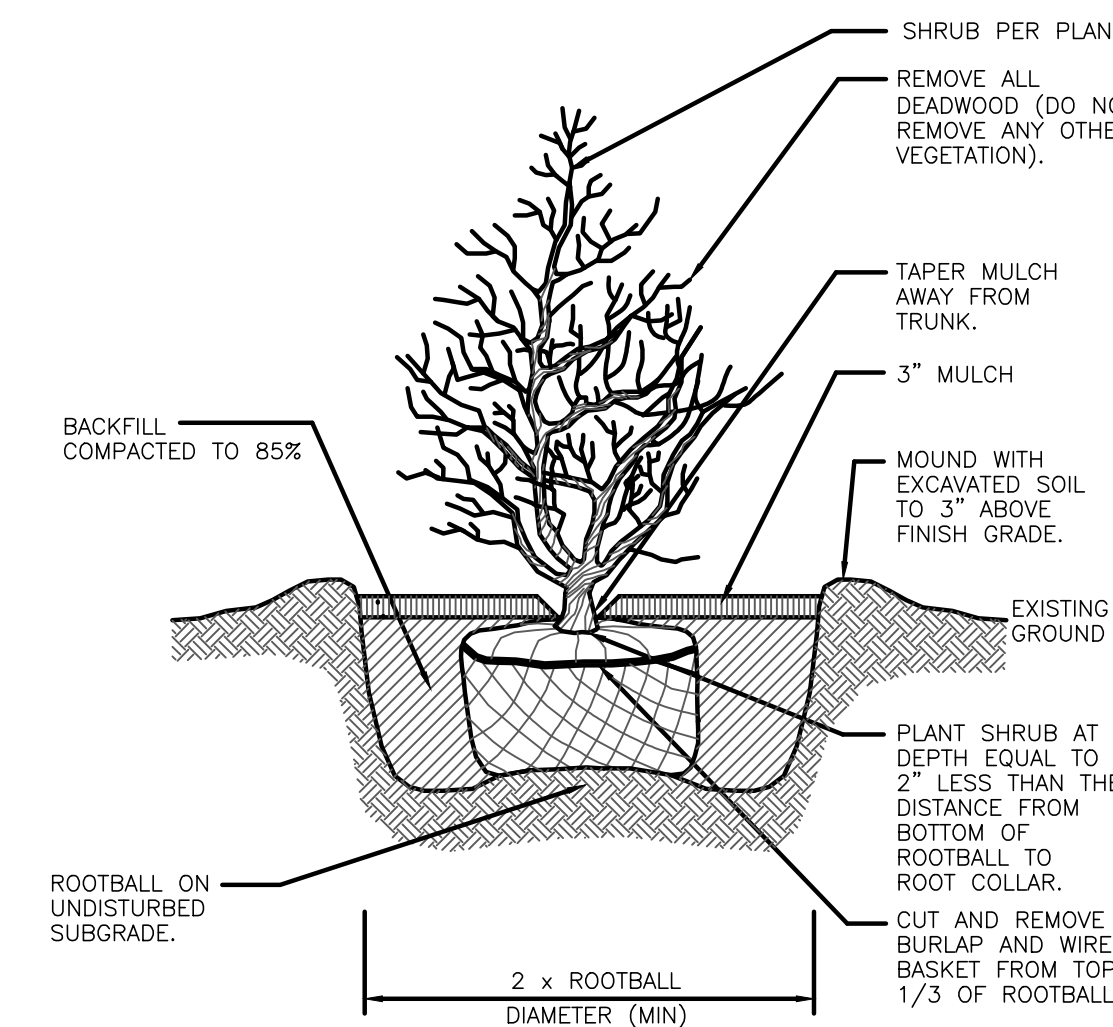


Perennial Planting Detail



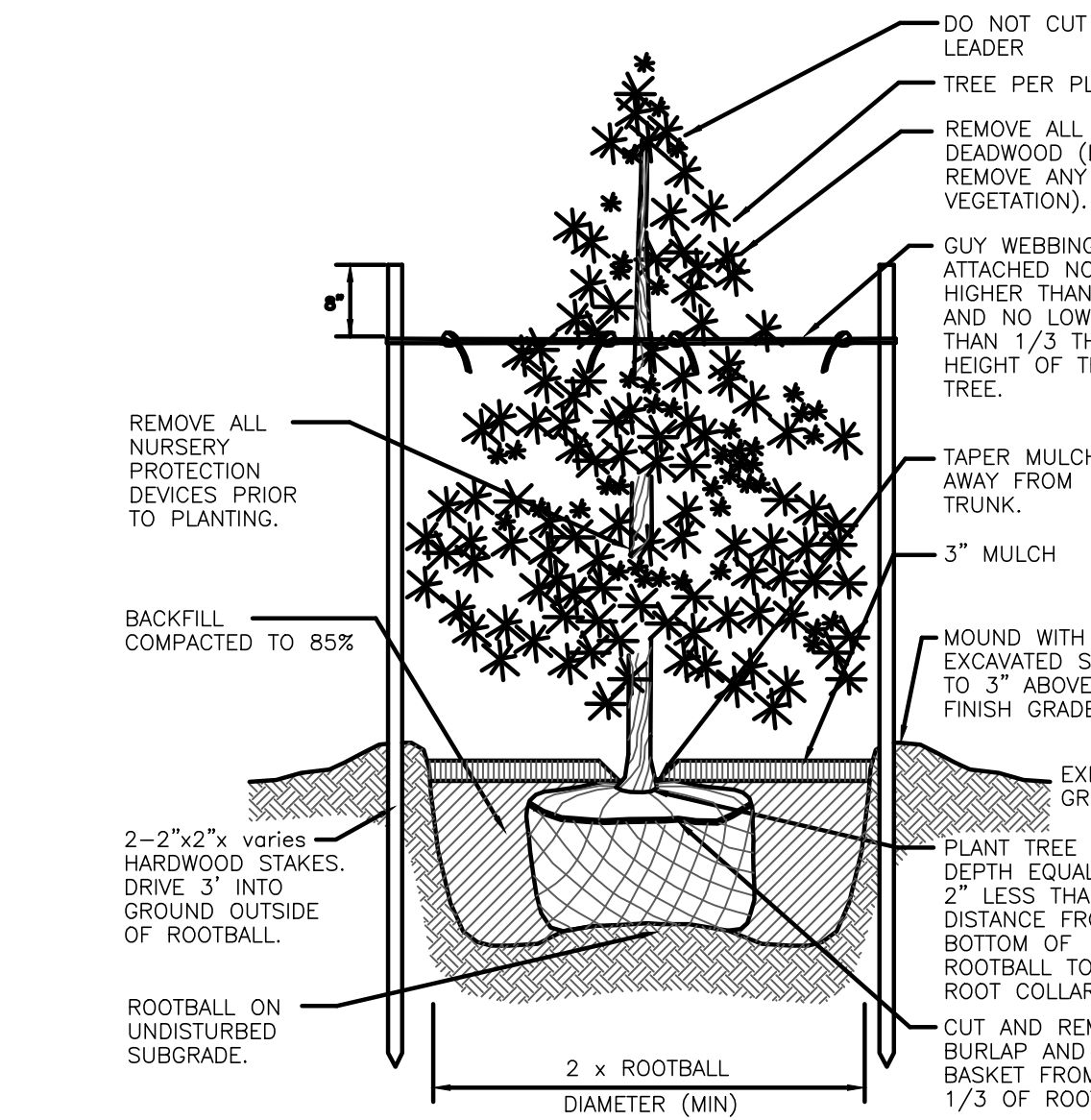
Canopy Tree Planting Detail

NOT TO SCALE



B & B Shrub Planting Detail

NOT TO SCALE



Evergreen Tree Planting Detail

NOT TO SCALE

PLANT LIST:

CANOPY TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AR	ACER RUBRUM 'FRANKSRED' RED SUNSET SWAMP MAPLE	56	2'-2.5" CAL	
GT	GLEDITSIA TRIACANTHOS 'SKYCOLE' THORNLESS HONEY LOCUST SKYLINE	17	2'-2.5" CAL	

FLOWERING TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AC	AMELANCHIER CANADENSIS SHABLOW-SERVICEBERRY	7	7'-8" CLUMP	
AG	ACER GRISULUM PAPERBARK MAPLE	5	7'-8" CLUMP	
PY	PRUNUS X YEDONENSIS YOSHINO CHERRY SINGLE WHITE FLOWER	26	7'-8" CLUMP	

EVERGREEN TREES				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
J5	JUNIPERUS SCOPULORUM 'MOONGLOW' MOONGLOW JUNIPER	19	5'-6" B4B	
JV	JUNIPERUS VIRGINIANA EASTERN RED CEDAR	56	5'-6" B4B	
TP	THUJA PLICATA 'GREEN GIANT' GREEN GIANT ARBORVITAE	19	5'-6" B4B	
PS	PINUS STROBUS EASTERN WHITE PINE	13	5'-6" B4B	

GENERAL SEEDING MIX (L&S)

	PERCENT BY WEIGHT	PERCENT BY VOLUME
CHEWINGS FESCUE IMPROVED VARIETIES	30	85
KENTUCKY BLUEGRASS IMPROVED VARIETIES	30	90
PERENNIAL RYEGRASS IMPROVED VARIETIES	40	90

APPLICATION RATE: 200 LBS / ACRE

* QUANTITY SHOWN IS FOR NUMBER OF INDIVIDUAL PLANT REQUIRED. CONTRACTOR SHALL USE FLATS WHEN AVAILABLE.

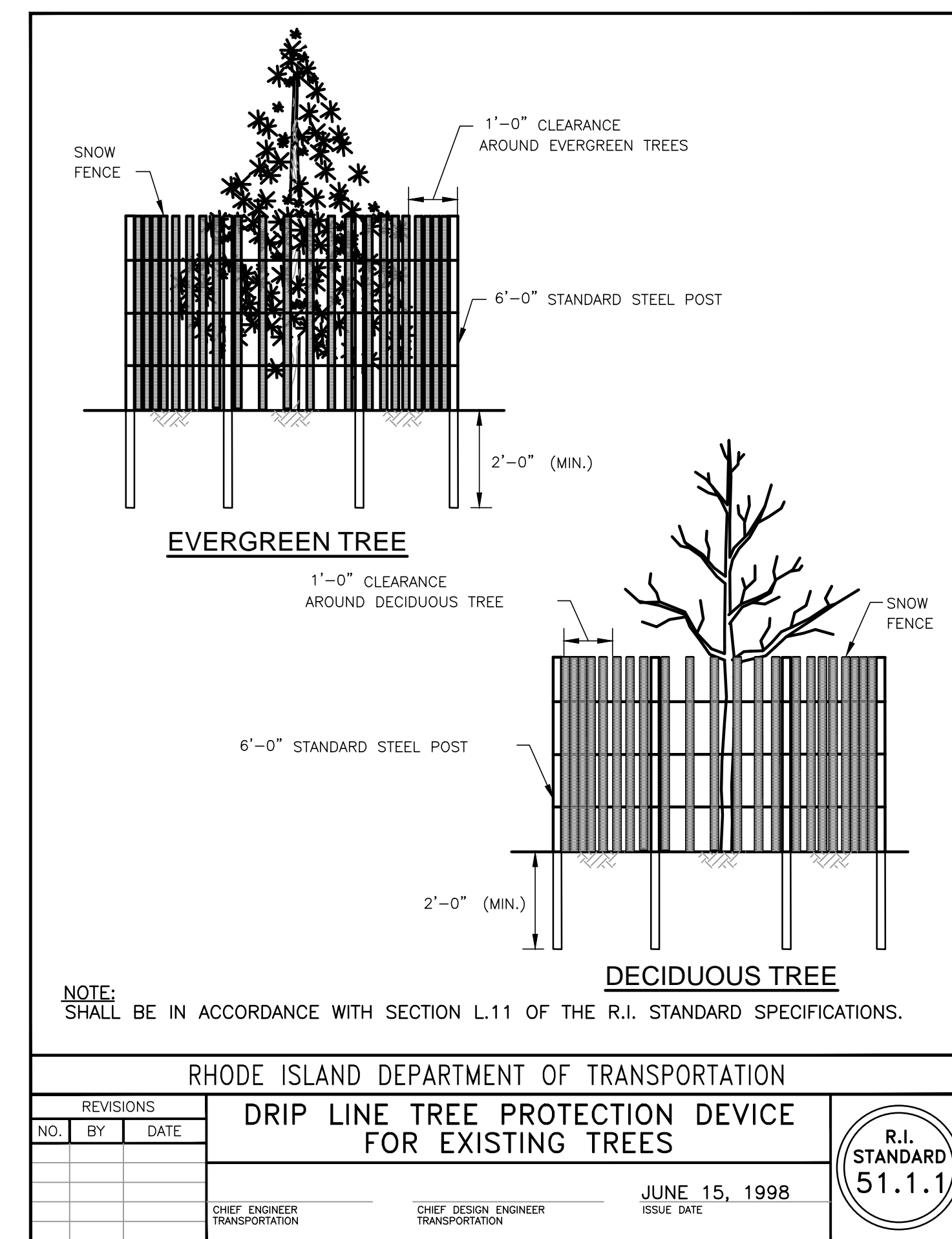
OWNER/APPLICANT:

A.P. 257, LOT 10
 BELLECASTLE REALTY, INC.
 1414 ATWOOD AVE
 JOHNSTON, RI 02919

EVERGREEN/ DECIDUOUS SHRUBS				
KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
AD	AZALEA 'DELAWARE VALLEY WHITE' WHITE AZALEA	36	#3 CONTAINER	
AN	AZALEA 'NANCY OF ROBIN HILL' AZALEA NANCY OF ROBIN HILL	10	#3 CONTAINER	
BM	BUXUS MICRO, 'WINTER GEM' WINTER GEM BOXWOOD	64	#3 CONTAINER	
CAS	CLETHRA ALNIFOLIA 'SIXTEEN CANDLES' SIXTEEN CANDLES SUMMERSWEET	13	CONTAINER	
HME	HYDRANGEA MACRO, 'ENDLESS SUMMER' ENDLESS SUMMER HYDRANGEA	13	#3 CONTAINER	
IG	ILEX GLABRA 'COMPACTA' COMPACT HOLEY	21	#3 CONTAINER	
IM	ILEX MESERVEAE 'BLUE PRINCE' BLUE PRINCE HOLLY	5	#3 CONTAINER	
IV	ILEX VERTICILLATA 'SPARKLEBERRY' SPARKLEBERRY WINTERBERRY	10	#3 CONTAINER	
JVG	JUNIPERUS VIRGINIANA 'GREY OWL' GREY OWL JUNIPER	73	#3 CONTAINER	
RK	ROSA KNOCK OUT PINK PINK KNOCK OUT ROSE	48	#5 CONTAINER	
VCC	VIBURNUM CARLESII 'COMPACTUM' KOREANSPICE VIBURNUM	10	#3 CONTAINER	

PERENNIALS/GROUNDCOVERS/ VINES

KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
HA	HOSTA 'AUGUST MOON' AUGUST MOON HOSTA	22	#2 CONTAINER	
HF	HOSTA 'FIRE AND ICE' FIRE AND ICE PLANTAIN LILY	23	#2 CONTAINER	
HU	HEMEROCALLIS 'JOAN SENIOR' JOAN SENIOR DAYLILY	115	FLAT	18" O.C.
HM	HEUCHERA 'MELTING FIRE' CORAL BELL-BURGUNDY WHITE	33	#1 CONTAINER	
H5	HEMEROCALLIS 'STELLA DE ORO' STELLA DE ORO DAYLILY	476	FLAT	18" O.C.
JC	JUNIPERUS CONFERTA 'BLUE PACIFIC' SHORE JUNIPER	168	FLAT	36" O.C.
JH	JUNIPERUS HORIZ, 'BAR HARBOR' BAR HARBOR CREEPING JUNIPER	210	FLAT	36" O.C.
LM	LAMILUM MACULATUM 'PURPLE DRAGON' PURPLE DRAGON DEAD NETTLE	122	FLAT	15" O.C.
NW	NEPETA 'WALKERS LOW' CAT MINT BLUE	89	#1 CONTAINER	
PA	PENNISETUM ALOPECUROIDES 'HAMELN' HAMELN MOUNTAIN GRASS	63	#2 CONTAINER	
RH	RUBICECKIA HIRTA BLACK EYED SUSAN	8	#2 CONTAINER	



NOTE: SHALL BE IN ACCORDANCE WITH SECTION L.11 OF THE R.I. STANDARD SPECIFICATIONS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION

REVISIONS: NO. BY DATE

DRIP LINE TREE PROTECTION DEVICE FOR EXISTING TREES

CHEF ENGINEER TRANSPORTATION: _____

CHEF DESIGN ENGINEER TRANSPORTATION: _____

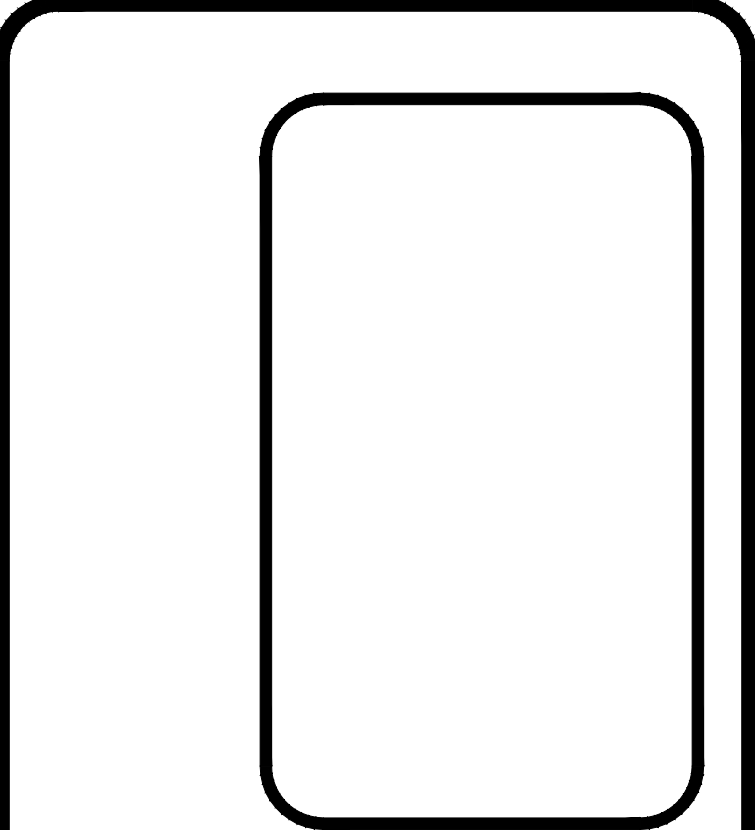
JUNE 15, 1998

ISSUE DATE

R.I. STANDARD 51.1.1

FINAL LANDSCAPE DETAILS PLAN
 FOR
 ORTHO RI
 AT THE CROSSINGS
 A.P. 257 LOT 10
 SITUATED ON
 GREENWICH AVENUE
 WARWICK, RHODE ISLAND
 PREPARED FOR
 BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE



GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

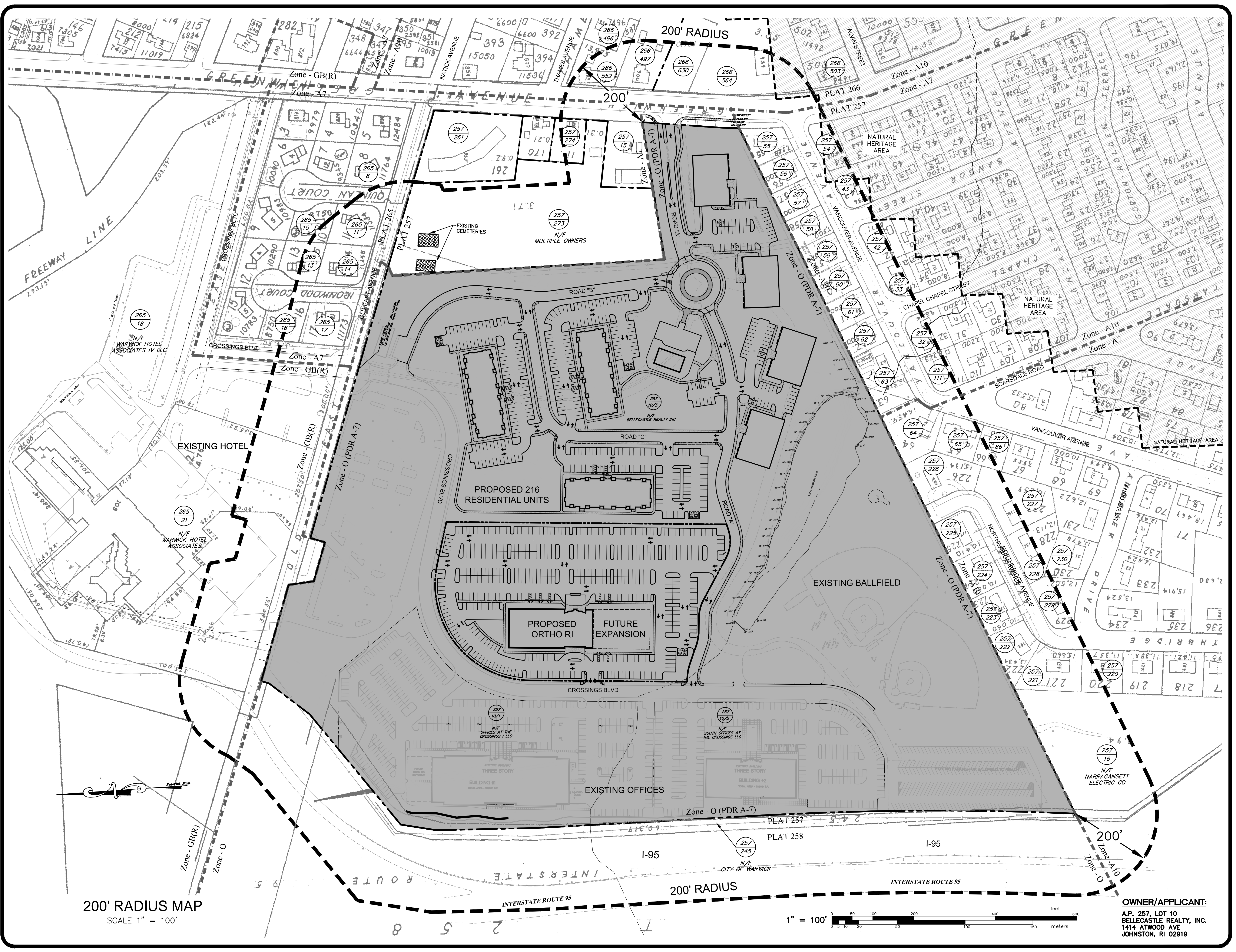
85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, RI 02940
 TEL. 401-273-6000

JOB NO. 7155-00	DRAWN BY K.Y.Y.
DWG. NO. 7155-00-LAND	CHECKED R.J.B.
SCALE: AS SHOWN	APPROVED S.B.G.
DATE: JANUARY 29, 2019	

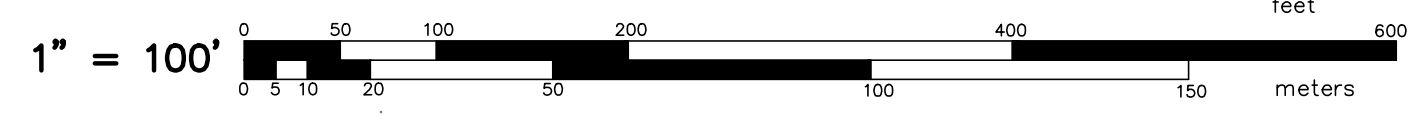
SHEET

L-3

LV155-00 Ortho RI (Colspan) - Warwick, RI\wva\01-Current\Master-Plan\155-00-200-Radius Map.dwg



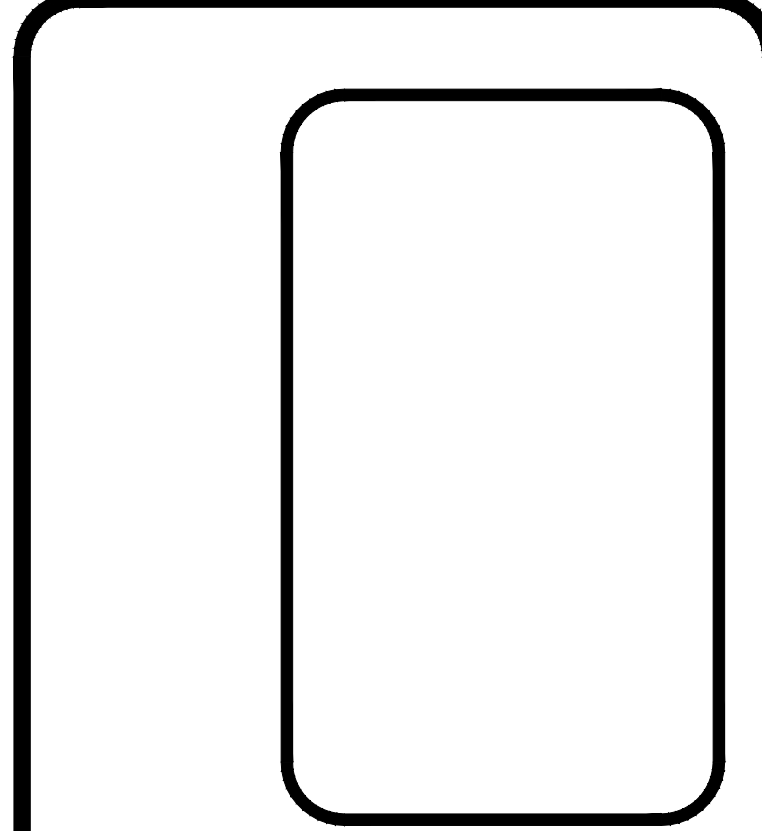
200' RADIUS MAP
SCALE 1" = 100'



OWNER/APPLICANT:
A.P. 257, LOT 10
BELLECASTLE REALTY, INC.
1414 ATWOOD AVE
JOHNSTON, RI 02919

200' RADIUS MAP
FOR
BELLECASTLE REALTY, INC.
A.P. 257 LOT 10
SITUATED ON
GREENWICH AVENUE
WARWICK, RHODE ISLAND
PREPARED FOR
BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

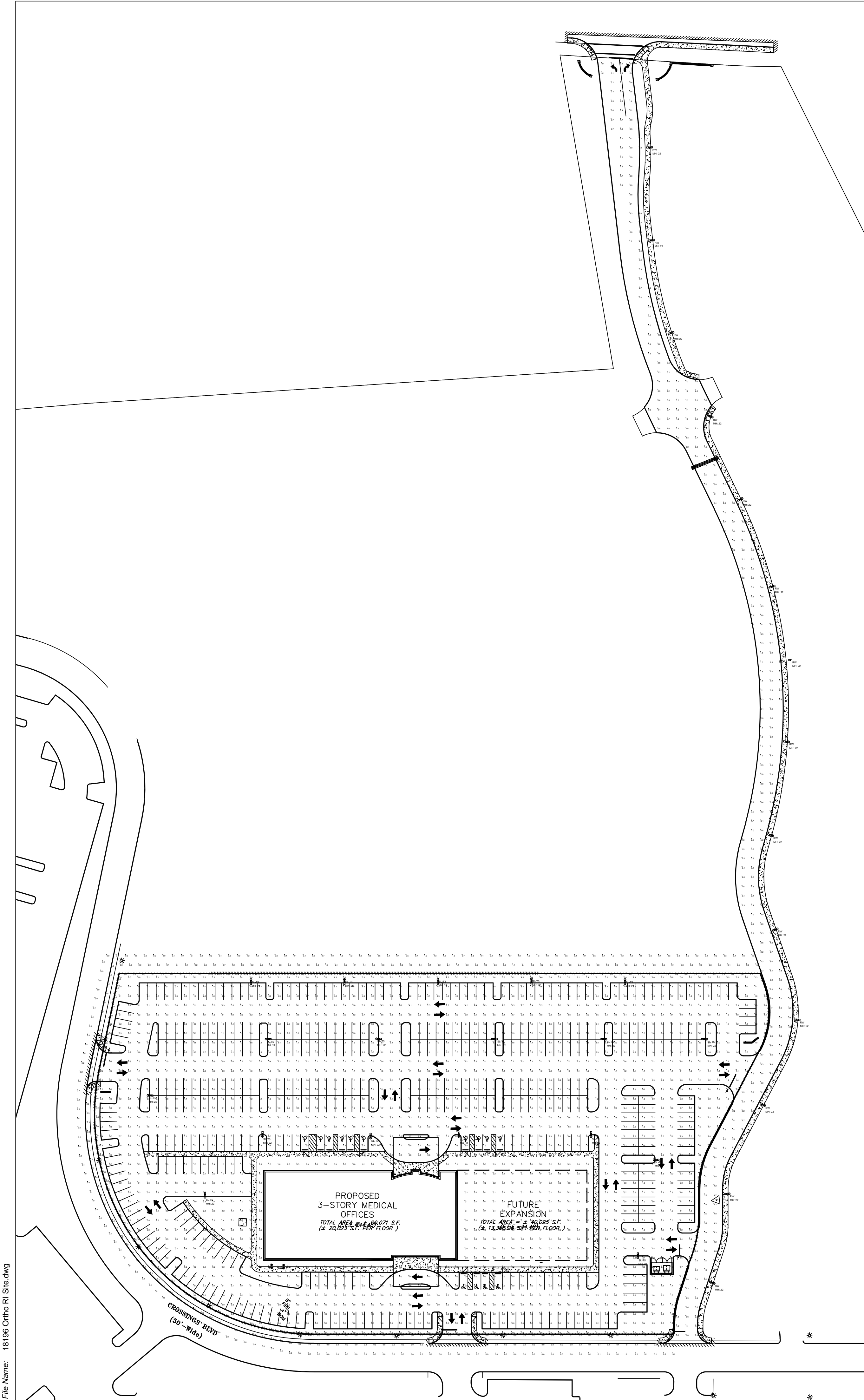


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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, RI. 02940
TEL. 401-273-6000

JOB NO. 5539-05	DRAWN BY K.Y.Y.
DWG. NO. 5539-05-Radius	CHECKED S.B.G.
SCALE: AS SHOWN	APPROVED S.B.G.
	DATE: MAY 30, 2018

SHEET
R1
1 OF 1 SHEET



Luminaire Schedule						
Symbol	Qty	Label	Description	LLF	Lum. Lumens	Lum. Watts
	9	SL-T3	VMX-1-T3-25L-4K-UNV	0.850	24013	172
	8	SL-T5	VMX-1-T5LR-25L-4K-UNV	0.850	23948	172
	1	SL-T4	VMX-1-T4-25L-4K-UNV	0.850	24063	172
	14	RW	BSX-II-3-T3-20L-4K-UNV	0.850	21720	152

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Property Line	Illuminance	Fc	0.49	4.1	0.0	N.A.	N.A.
Roadway	Illuminance	Fc	2.73	6.9	0.1	27.30	69.00
Site Points	Illuminance	Fc	1.50	9.0	0.0	N.A.	N.A.

ABBREVIATIONS:
 Avg= Average
 AFG= Above Finished Grade
 CF = Compact Fluorescent
 CV= Coefficient of variation
 fc = Footcandles
 HPS = High Pressure Sodium
 LLF= Light Loss Factor
 MH = Mounting Height
 NTS = Not to Scale
 PSMH = Pulse Start Metal Halide
 SF = Square foot
 W = Watts

NOTES:
 A. CALCULATION POINTS INDICATED ARE BASED ON MAINTAINED FOOTCANDLE (FC) LEVELS AFTER A LIGHT LOSS FACTOR (LLF) IS APPLIED TO FIXTURE. REFER TO SCHEDULES FOR LLF AND LUMEN INFORMATION.
 B. REFER TO PLAN FOR FIXTURE MOUNTING HEIGHTS.
 C. CALCULATION POINTS TAKEN AT GRADE.

SK & Associates
 Experience the light™
 T - 781-821-1700
 www.skandassociates.com

20/22 Carver Circle
 Canton, MA 02021

PROJECT NAME
Rhode Island Ortho- Site

CLIENT
Garofalo & Associates, Inc.
 85 Corliss Street
 Providence, RI 02940

SEAL

REVISIONS		
No.	Description	Date
5.		
4.		
3.		
2.		
1.		

Issue Date: October 29, 2018
 Project #: 18196
 Drawn: AD
 Checked: TJ
 Approved: HD
 Scale: NTS

DRAWING NAME
**Site Lighting-
 Lighting
 Photometrics and
 Schedules**

DRAWING NUMBER
SL1

STREET INDEX	
Greenwich Avenue	Northbridge Avenue
Old East Avenue	

INTENT
THE INTENT OF THIS PLAN IS TO MERGE AP 257 LOT 10 AND 13 INTO ONE PARCEL.

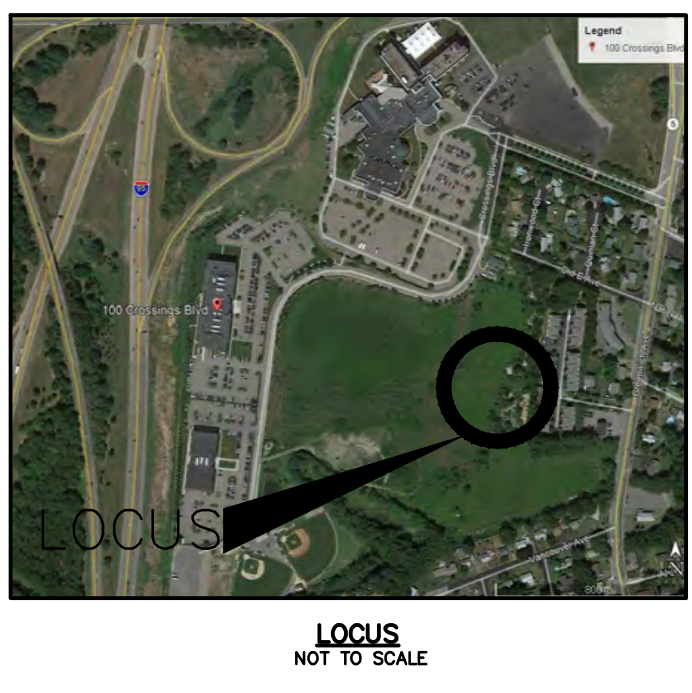
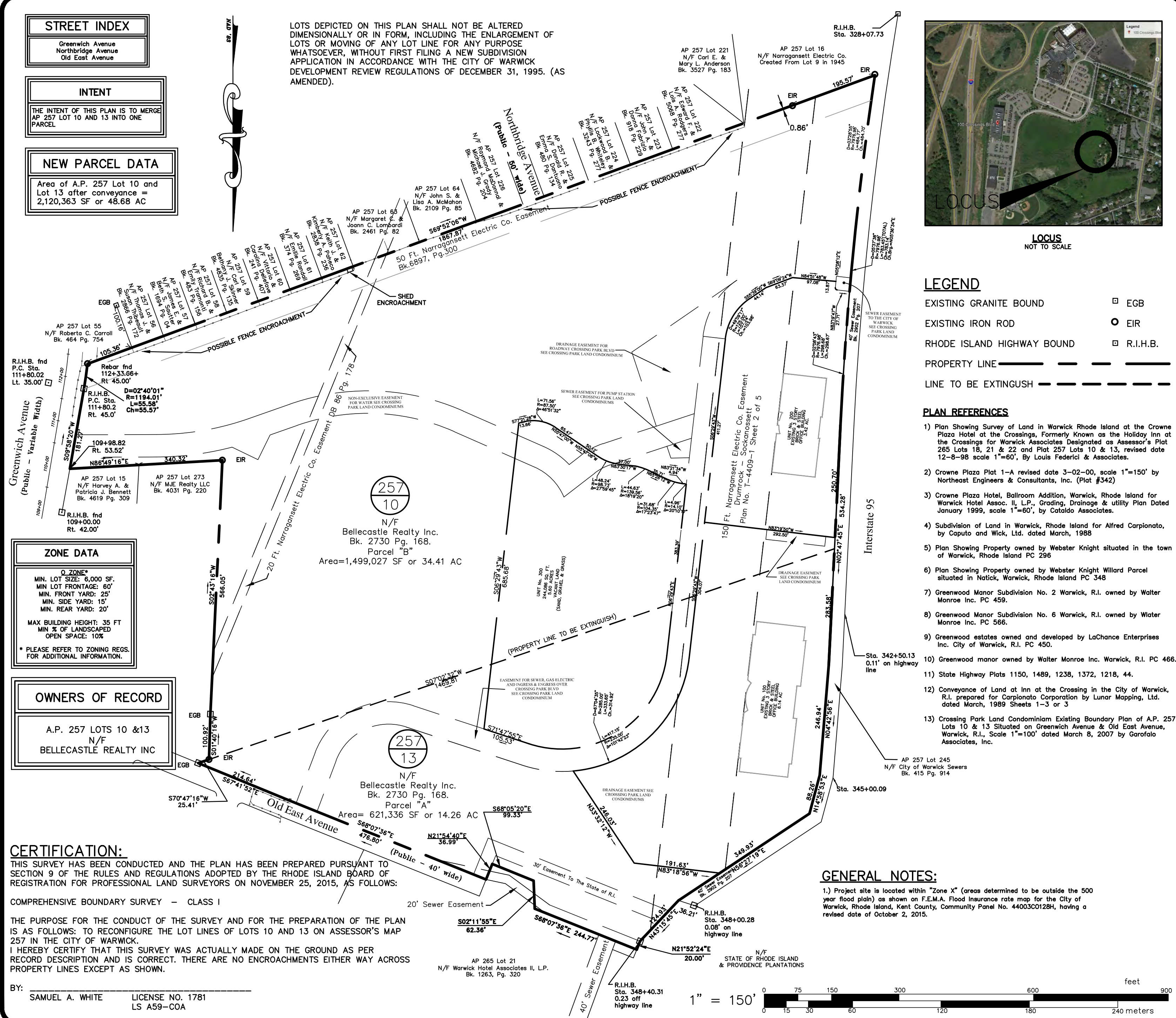
NEW PARCEL DATA
Area of A.P. 257 Lot 10 and Lot 13 after conveyance = 2,120,363 SF or 48.68 AC

ZONE DATA
O-ZONE
MIN. LOT SIZE: 6,000 SF
MIN. LOT FRONTAGE: 40'
MIN. FRONT YARD: 20'
MIN. SIDE YARD: 15'
MIN. REAR YARD: 20'
MAX. BUILDING HEIGHT: 35 FT
MIN. % OF LANDSCAPED OPEN SPACE: 10%
* PLEASE REFER TO ZONING REGS. FOR ADDITIONAL INFORMATION.

OWNERS OF RECORD
A.P. 257 LOTS 10 & 13
N/F
BELLECASTLE REALTY INC

CERTIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:
COMPREHENSIVE BOUNDARY SURVEY - CLASS 1
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO RECONFIGURE THE LOT LINES OF LOTS 10 AND 13 ON ASSESSOR'S MAP 257 IN THE CITY OF WARWICK.
I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.
BY: SAMUEL A. WHITE LICENSE NO. 1781 LS A59-COA

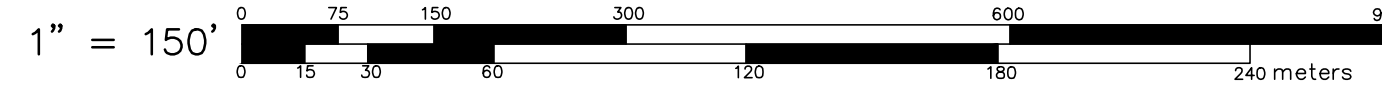
LOTS DEPICTED ON THIS PLAN SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOT LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995. (AS AMENDED).



- LEGEND**
- EXISTING GRANITE BOUND EGB
 - EXISTING IRON ROD EIR
 - RHODE ISLAND HIGHWAY BOUND R.I.H.B.
 - PROPERTY LINE
 - LINE TO BE EXTINGUISH

- PLAN REFERENCES**
- 1) Plan Showing Survey of Land in Warwick Rhode Island at the Crowne Plaza Hotel at the Crossings, Formerly known as the Holiday Inn at the Crossings for Warwick Associates, Designated as Assessor's Plot 265 Lots 18, 21 & 22 and Plot 257 Lots 10 & 13, revised date 12-3-98 scale 1"=40', by Louis Federici & Associates.
 - 2) Crowne Plaza Plot 1-A revised date 3-02-00, scale 1"=150' by Northeast Engineers & Consultants, Inc. (Plot #342)
 - 3) Crowne Plaza Hotel, Ballroom Addition, Warwick, Rhode Island for Warwick Hotel Assoc. II, L.P., Grading, Drainage & utility Plan Dated January 1999, scale 1"=60', by Cataldo Associates.
 - 4) Subdivision of Land in Warwick, Rhode Island for Alfred Capronato, by Caputo and Wick, Ltd. dated March, 1989
 - 5) Plan Showing Property owned by Webster Knight situated in the town of Warwick, Rhode Island PC 296
 - 6) Plan Showing Property owned by Webster Knight Willard Parcel situated in Natick, Warwick, Rhode Island PC 348
 - 7) Greenwood Manor Subdivision No. 2 Warwick, R.I. owned by Walter Monroe Inc. PC 459.
 - 8) Greenwood Manor Subdivision No. 6 Warwick, R.I. owned by Water Monroe Inc. PC 566.
 - 9) Greenwood estates owned and developed by LaChance Enterprises Inc. City of Warwick, R.I. PC 450.
 - 10) Greenwood Manor owned by Walter Monroe Inc. Warwick, R.I. PC 466.
 - 11) State Highway Plots 1150, 1489, 1238, 1372, 1216, 44.
 - 12) Conveyance of Land at Inn at the Crossings in the City of Warwick, R.I. prepared for Capronato Corporation by Lunar Mapping, Ltd. dated March, 1989 Sheets 1-3 or 3
 - 13) Crossing Park Land Condominium Existing Boundary Plan of A.P. 257 Lots 10 & 13 Situated on Greenwich Avenue & Old East Avenue, Warwick, R.I., Scale 1"=100' dated March 9, 2007 by Garofalo Associates, Inc.

GENERAL NOTES:
1.) Project site is located within "Zone X" (area determined to be outside the 500 year flood plain) as shown on F.E.M.A. Flood Insurance rate map for the City of Warwick, Rhode Island, Kent County, Community Panel No. 44003001284, having a revised date of October 2, 2015.



CROSSING PARK ADMINISTRATIVE SUBDIVISION FOR ASSESSOR'S PLAT 257 LOT 10 & 13 SITUATED ON GREENWICH AVENUE & OLD EAST AVENUE WARWICK, RHODE ISLAND PREPARED FOR BELLECASTLE REALTY, INC.

NO.	REVISION	BY	DATE

DRAFT

This plan is a "DRAFT" version and has been prepared for the purpose of review and commenting only. It is not legal without the official stamp, signature and date of a Professional Land Surveyor registered in the State of Rhode Island. (RI General Law § 5-8.1-12)

GAROFALO

GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS
SURVEYORS/LAND PLANNERS
ENVIRONMENTAL SCIENTISTS

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These drawings are the property of Garofalo & Associates, Inc. and are prepared for the specific project and site shown. They are not to be used for any other purpose without the consent of the owner or one of its contacts.

88 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02941
TEL: 401-273-6000

JOB NO. 5539-06	DRAWN BY M.P.H.
DWG. NO. 5539-06-ADMNSUB	CHECKED S.A.W.
SCALE: 1"=150'	APPROVED S.A.W.
	DATE: APRIL 22, 2013

SHEET
1
1 OF SHEETS