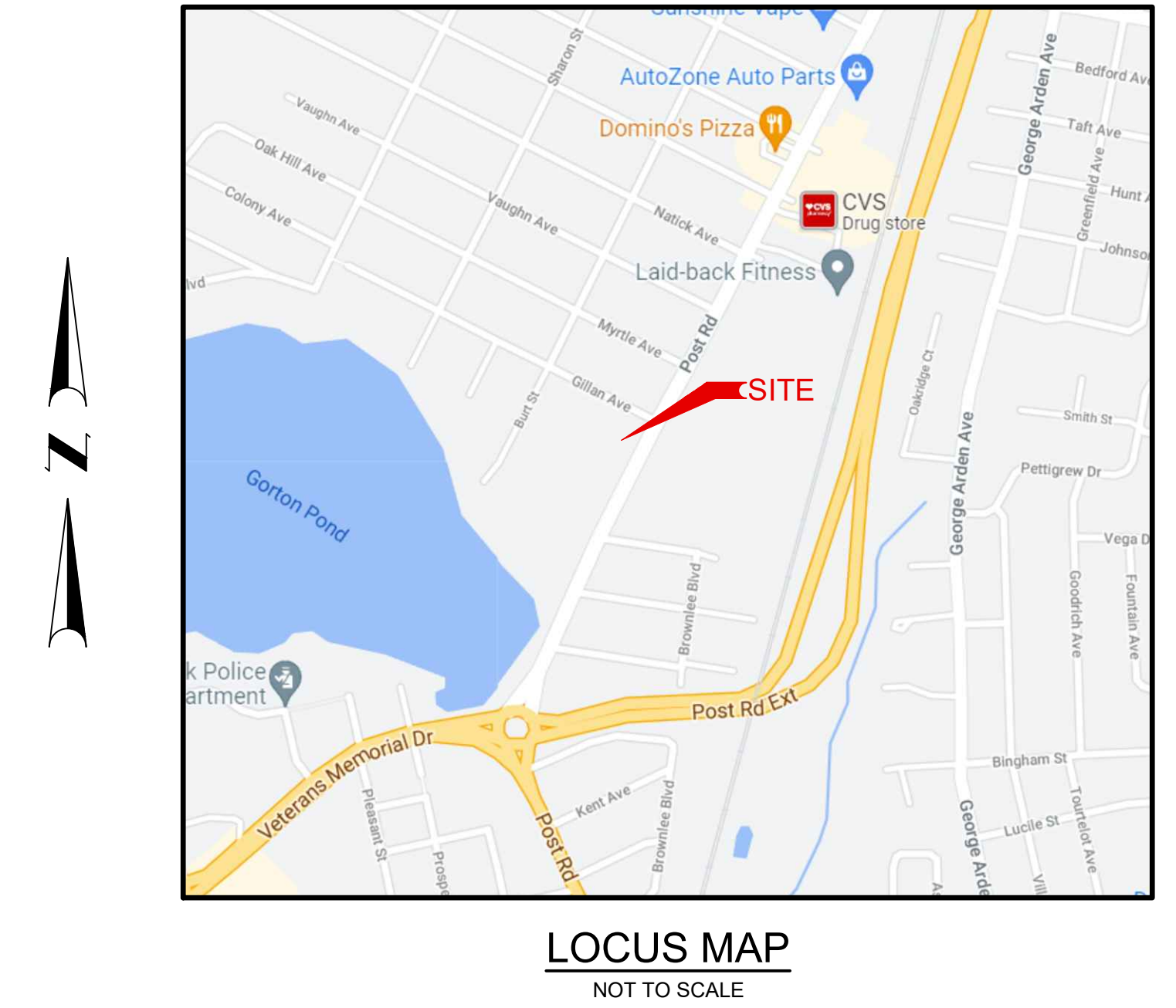


SHEET INDEX:

- 1 COVER
- 2 EXISTING CONDITIONS / DEMOLITION PLAN
- 3 SITE PLAN
- 4 NOTES & DETAILS 1
- 5 WATER & SEWER DETAILS
- 6 & 7 DETAILS 2 & 3
- 8 BOUNDARY STAKE-OUT SURVEY



PROPOSED MULTI-FAMILY DEVELOPMENT

2907 POST ROAD
WARWICK, RHODE ISLAND

PLAT 267, LOT 202

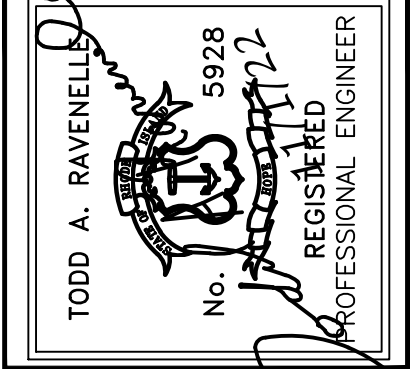
NOVEMBER 2022

RWR REAL ESTATE INVESTMENT GROUP, LLC

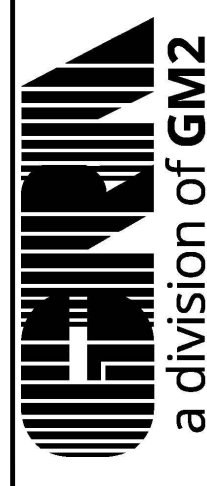


PROJECT
**PROPOSED MULTI-FAMILY
 DEVELOPMENT**
 2907 POST ROAD
 PLAT 267 LOT202

WARWICK, RHODE ISLAND



CLIENT
**RWR REAL ESTATE MANAGEMENT
 GROUP, LLC**



DRAWING TITLE
**EXISTING CONDITIONS /
 DEMOLITION PLAN**

NO.	DATE	REVISIONS	BY

PROJECT NO.: 40746

DATE: NOVEMBER 2022

SCALE: 1" = 20'

DRAWN BY: LBD

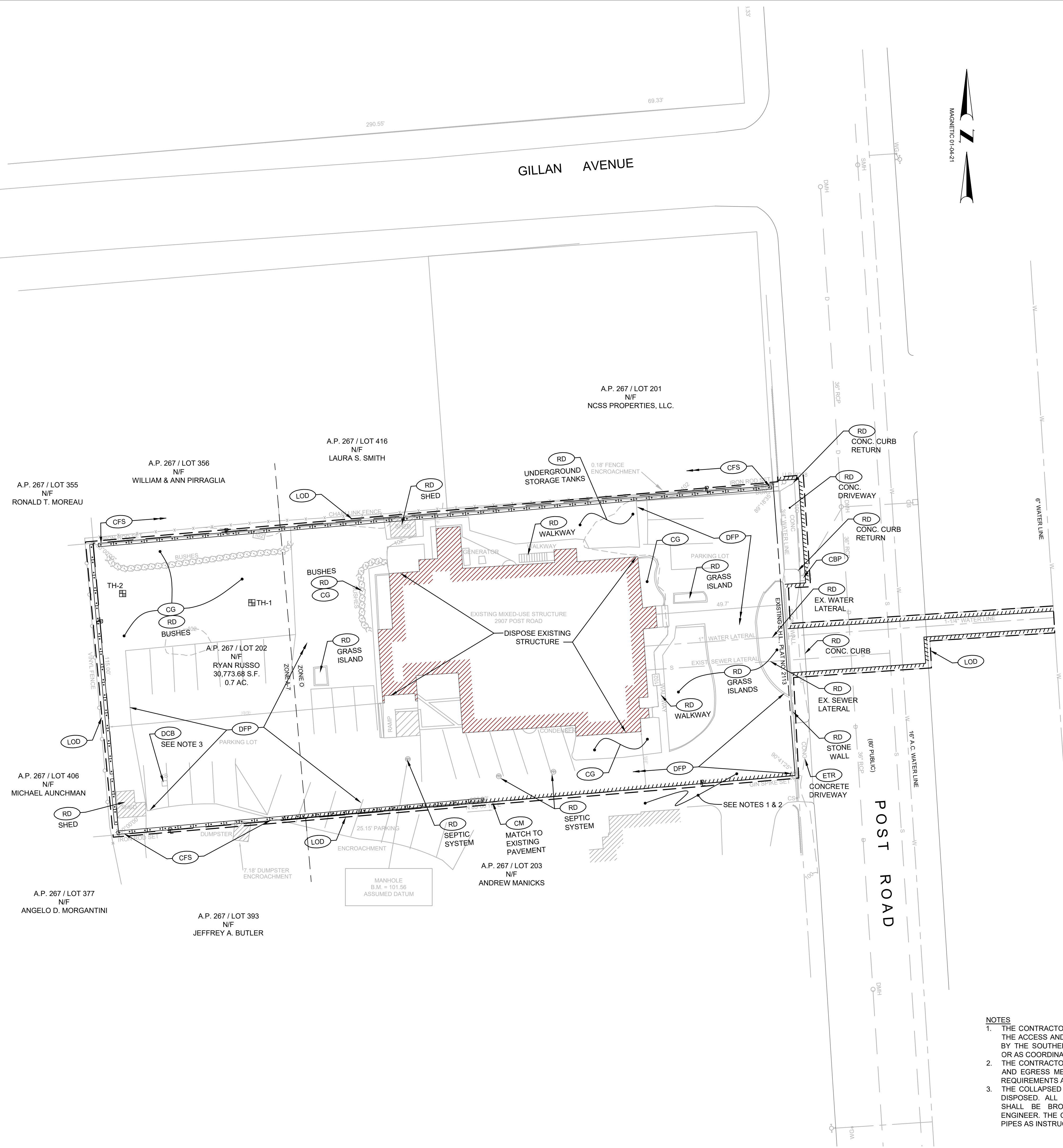
CHECKED BY: BDN

DRAWING NUMBER

2

SHEET 2 OF 8

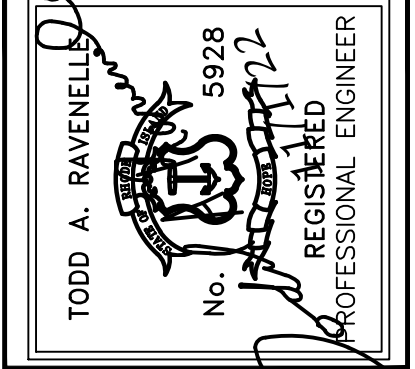
- LEGEND**
- LIMIT OF DISTURBANCE
 - COMPOST FILTER SOCK
 - CUT & MATCH PAVEMENT
 - (CBP) CATCH BASIN PROTECTION
 - (CFS) COMPOST FILTER SOCK
 - (CG) CLEARING AND GRUBBING
 - (CM) SAWCUT AND MATCH
 - (DCB) REMOVE AND DISPOSE CATCH BASIN
 - (DFP) DISPOSED FLEXIBLE PAVEMENT
 - (ETR) (ITEM) EXISTING TO REMAIN
 - (LOD) LIMIT OF DISTURBANCE
 - (RD) (ITEM) REMOVE AND DISPOSE



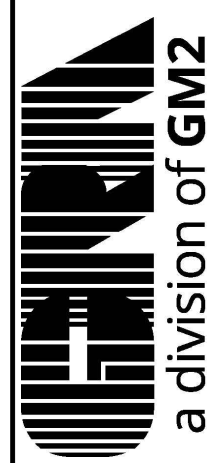
- NOTES**
1. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAINTAIN THE ACCESS AND EGRESS IN THIS LOCATION AS SHARED BY THE SOUTHERN ABUTTING PROPERTY AT ALL TIMES OR AS COORDINATED IN WRITING WITH THE NEIGHBOR.
 2. THE CONTRACTOR SHALL ENSURE THE SHARED ACCESS AND EGRESS MEETS ALL NFPA AND CITY OF WARWICK REQUIREMENTS AT ALL TIMES.
 3. THE COLLAPSED CATCH BASIN SHALL BE REMOVED AND DISPOSED. ALL PIPES IDENTIFIED IN THE DEMOLITION SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. THE CONTRACTOR SHALL PLUG AND CAP ALL PIPES AS INSTRUCTED BY THE ENGINEER.

PROJECT
**PROPOSED MULTI-FAMILY
 DEVELOPMENT**
 2907 POST ROAD
 PLAT 267 LOT202

WARWICK, RHODE ISLAND



CLIENT
**RWR REAL ESTATE MANAGEMENT
 GROUP, LLC**



DRAWING TITLE
SITE PLAN

NO.	DATE	REVISIONS	BY

PROJECT NO.: 40746

DATE: NOVEMBER 2022

SCALE: 1" = 20'

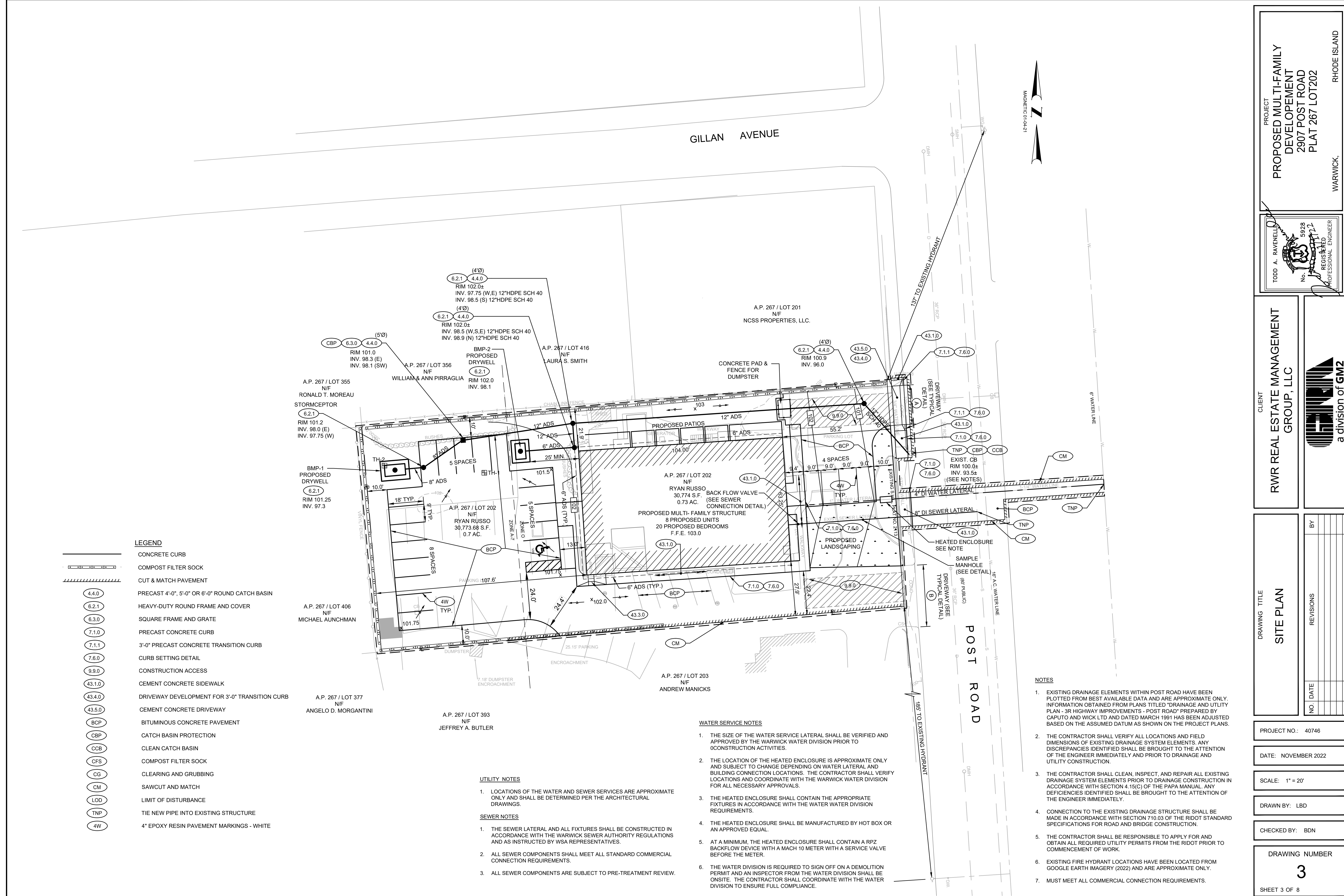
DRAWN BY: LBD

CHECKED BY: BDN

DRAWING NUMBER

3

SHEET 3 OF 8



LEGEND

- CONCRETE CURB
- COMPOST FILTER SOCK
- CUT & MATCH PAVEMENT
- PRECAST 4'-0", 5'-0" OR 6'-0" ROUND CATCH BASIN
- HEAVY-DUTY ROUND FRAME AND COVER
- SQUARE FRAME AND GRATE
- PRECAST CONCRETE CURB
- 3'-0" PRECAST CONCRETE TRANSITION CURB
- CURB SETTING DETAIL
- CONSTRUCTION ACCESS
- CEMENT CONCRETE SIDEWALK
- DRIVEWAY DEVELOPMENT FOR 3'-0" TRANSITION CURB
- CEMENT CONCRETE DRIVEWAY
- BITUMINOUS CONCRETE PAVEMENT
- CATCH BASIN PROTECTION
- CLEAN CATCH BASIN
- COMPOST FILTER SOCK
- CLEARING AND GRUBBING
- SAWCUT AND MATCH
- LIMIT OF DISTURBANCE
- TIE NEW PIPE INTO EXISTING STRUCTURE
- 4" EPOXY RESIN PAVEMENT MARKINGS - WHITE

UTILITY NOTES

- LOCATIONS OF THE WATER AND SEWER SERVICES ARE APPROXIMATE ONLY AND SHALL BE DETERMINED PER THE ARCHITECTURAL DRAWINGS.
- SEWER NOTES**
- THE SEWER LATERAL AND ALL FIXTURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE WARWICK SEWER AUTHORITY REGULATIONS AND AS INSTRUCTED BY WSA REPRESENTATIVES.
 - ALL SEWER COMPONENTS SHALL MEET ALL STANDARD COMMERCIAL CONNECTION REQUIREMENTS.
 - ALL SEWER COMPONENTS ARE SUBJECT TO PRE-TREATMENT REVIEW.

WATER SERVICE NOTES

- THE SIZE OF THE WATER SERVICE LATERAL SHALL BE VERIFIED AND APPROVED BY THE WARWICK WATER DIVISION PRIOR TO CONSTRUCTION ACTIVITIES.
- THE LOCATION OF THE HEATED ENCLOSURE IS APPROXIMATE ONLY AND SUBJECT TO CHANGE DEPENDING ON WATER LATERAL AND BUILDING CONNECTION LOCATIONS. THE CONTRACTOR SHALL VERIFY LOCATIONS AND COORDINATE WITH THE WARWICK WATER DIVISION FOR ALL NECESSARY APPROVALS.
- THE HEATED ENCLOSURE SHALL CONTAIN THE APPROPRIATE FIXTURES IN ACCORDANCE WITH THE WATER WATER DIVISION REQUIREMENTS.
- THE HEATED ENCLOSURE SHALL BE MANUFACTURED BY HOT BOX OR AN APPROVED EQUAL.
- AT A MINIMUM, THE HEATED ENCLOSURE SHALL CONTAIN A RPZ BACKFLOW DEVICE WITH A MACH 10 METER WITH A SERVICE VALVE BEFORE THE METER.
- THE WATER DIVISION IS REQUIRED TO SIGN OFF ON A DEMOLITION PERMIT AND AN INSPECTOR FROM THE WATER DIVISION SHALL BE ONSITE. THE CONTRACTOR SHALL COORDINATE WITH THE WATER DIVISION TO ENSURE FULL COMPLIANCE.

NOTES

- EXISTING DRAINAGE ELEMENTS WITHIN POST ROAD HAVE BEEN PLOTTED FROM BEST AVAILABLE DATA AND ARE APPROXIMATE ONLY. INFORMATION OBTAINED FROM PLANS TITLED "DRAINAGE AND UTILITY PLAN - 3R HIGHWAY IMPROVEMENTS - POST ROAD" PREPARED BY CAPUTO AND WICK LTD AND DATED MARCH 1991 HAS BEEN ADJUSTED BASED ON THE ASSUMED DATUM AS SHOWN ON THE PROJECT PLANS.
- THE CONTRACTOR SHALL VERIFY ALL LOCATIONS AND FIELD DIMENSIONS OF EXISTING DRAINAGE SYSTEM ELEMENTS. ANY DISCREPANCIES IDENTIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY AND PRIOR TO DRAINAGE AND UTILITY CONSTRUCTION.
- THE CONTRACTOR SHALL CLEAN, INSPECT, AND REPAIR ALL EXISTING DRAINAGE SYSTEM ELEMENTS PRIOR TO DRAINAGE CONSTRUCTION IN ACCORDANCE WITH SECTION 4.15(C) OF THE PAPA MANUAL. ANY DEFICIENCIES IDENTIFIED SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER IMMEDIATELY.
- CONNECTION TO THE EXISTING DRAINAGE STRUCTURE SHALL BE MADE IN ACCORDANCE WITH SECTION 710.03 OF THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO APPLY FOR AND OBTAIN ALL REQUIRED UTILITY PERMITS FROM THE RIDOT PRIOR TO COMMENCEMENT OF WORK.
- EXISTING FIRE HYDRANT LOCATIONS HAVE BEEN LOCATED FROM GOOGLE EARTH IMAGERY (2022) AND ARE APPROXIMATE ONLY.
- MUST MEET ALL COMMERCIAL CONNECTION REQUIREMENTS.

GENERAL NOTES

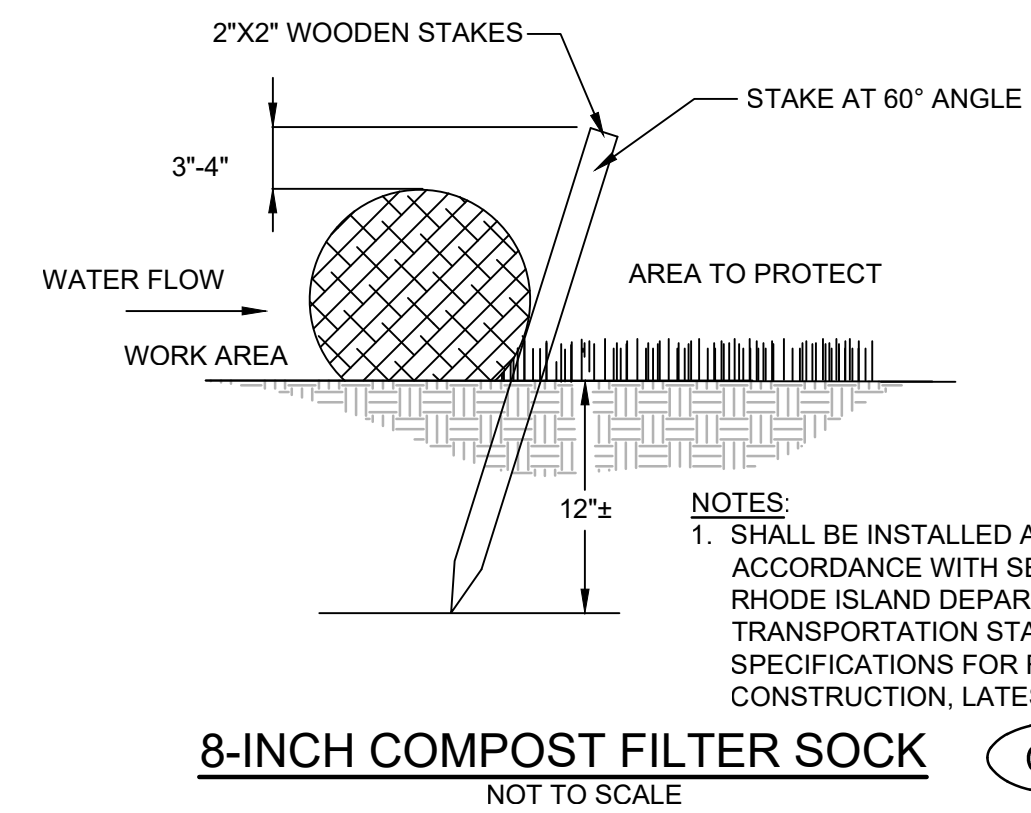
- SPECIFICATIONS GOVERNING THIS PROJECT SHALL BE THE RIDOT "STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" (AMENDED AUGUST 2013, INCLUDING ALL REVISIONS, ADDENDA AND SUPPLEMENTAL SPECIFICATIONS); AND THE "RHODE ISLAND STANDARD DETAILS" (1998, INCLUDING ALL REVISIONS). ALL PROJECT SITE IMPROVEMENTS SHALL CONFORM TO THE APPLICABLE STANDARDS SET FORTH IN THESE DOCUMENTS (AND THE SUB-REFERENCES INCORPORATED THEREIN) UNLESS OTHERWISE INDICATED IN THE CONTRACT DOCUMENTS.
- THE PROJECT LIMITS OF CLEARING AND SURFACE DISTURBANCE MUST BE STRICTLY ADHERED TO IN ALL AREAS. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, THE CONTRACTOR WILL BE RESPONSIBLE FOR RESTORING (THROUGH PROVISION AND PLACEMENT OF LOAM AND SEED) ANY UNPAVED AREAS OUTSIDE OF THE PROJECT LIMITS OF DISTURBANCE IMPACTED BY CONSTRUCTION OPERATIONS. ANY REQUIRED RESTORATION OUTSIDE THE PROJECT LIMITS OF DISTURBANCE SHALL BE COMPLETED TO THE SATISFACTION OF THE ENGINEER AND AT THE CONTRACTOR'S EXPENSE.
- ANY DAMAGE CAUSED BY THE CONTRACTOR TO EXISTING CURBING, SIDEWALKS, PAVEMENTS, FENCES, OR OTHER SITE FEATURES TO REMAIN IN PLACE SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DISPOSAL OF ALL EXCESS EXCAVATED PAVEMENTS, CURBING, SIDEWALKS, CURB STOPS, AND OTHER CONSTRUCTION WASTE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE AND FEDERAL LAWS AND REGULATIONS.
- THE CONTRACTOR SHALL MAINTAIN ALL EXCAVATION IN A DRY CONDITION. NO SEPARATE PAYMENT OR ALLOWANCE SHALL BE MADE FOR DEWATERING.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENTS FROM DEWATERING OPERATION DISCHARGES THROUGH THE USE OF STILLING BASINS, FILTER FABRIC DEVICES, AND/OR OTHER SUITABLE MEANS AS APPROVED BY THE ENGINEER.
- FILL REQUIRED FOR EMBANKMENTS SHALL CONFORM TO THE REQUIREMENTS FOR COMMON BORROW SET FORTH IN SECTION M.01.01 OF THE RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.
- THE CONTRACTOR SHALL PROVIDE CONTINUOUS DUST CONTROL (USING WATER AND/OR CALCIUM CHLORIDE OR OTHER APPROVED METHODS) FOR ALL EARTH STOCKPILES, EARTH PILED ALONG EXCAVATIONS AND SURFACES OF BACK FILLED TRENCHES, IN ACCORDANCE WITH THE RIDOT STANDARD SPECIFICATIONS AND AS DIRECTED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE ALL REQUIRED NOTICES AND COMPLY WITH ALL PERMITS, LAWS, ORDINANCES, RULES AND REGULATIONS BEARING ON THE CONDUCT OF THE WORK AS DRAWN AND SPECIFIED IN THE CONTRACT DOCUMENTS.
- EXISTING UTILITIES HAVE BEEN PLOTTED FROM BEST AVAILABLE DATA AND ARE APPROXIMATE ONLY. IN ACCORDANCE WITH CURRENT STATE "DIG SAFE" LAWS AND RULES, THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE SYSTEM ELEMENTS AND UTILITIES (BOTH UNDERGROUND AND OVERHEAD) BEFORE ANY EXCAVATION MAY COMMENCE. THE CONTRACTOR IS ADVISED THAT (A) NOT ALL UTILITY PROVIDERS SUBSCRIBE TO THE DIG SAFE PROGRAM, AND (B) IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ALL POTENTIALLY AFFECTED UTILITY COMPANIES AND ENSURE THAT ALL UTILITIES HAVE BEEN MARKED PRIOR TO THE COMMENCEMENT OF WORK. EXCAVATION SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY MUNICIPAL, STATE OR FEDERAL AGENCY OR AUTHORITY HAVING JURISDICTION OVER THE WORK. ANY DAMAGE TO EXISTING UTILITIES MARKED IN THE FIELD OR UNMARKED UTILITIES (AS A RESULT OF FAILING TO CONTACT THE APPROPRIATE UTILITY COMPANY) SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR IS ADVISED THAT WORK UNDER EXISTING OVERHEAD UTILITIES IS REQUIRED, AND THAT MINIMUM CLEARANCES SHALL BE MAINTAINED AT ALL TIMES IN ACCORDANCE WITH UTILITY COMPANY REQUIREMENTS. THIS MAY REQUIRE SPECIAL MEANS AND METHODS IN ORDER TO PROPERLY COMPLETE THE WORK. SHOULD THE CONTRACTOR ELECT TO RELOCATE EXISTING OVERHEAD UTILITIES, THEN THE CONTRACTOR SHALL CONDUCT ALL COORDINATION WITH THE AFFECTED UTILITY COMPANIES AND BEAR ALL COSTS ASSOCIATED WITH UTILITY RELOCATIONS NOT INCLUDED IN THE CONTRACT.
- PRIOR TO DRAINAGE AND UTILITY CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE LOCATION (HORIZONTAL AND VERTICAL) OF ALL EXISTING PIPES AND/OR STRUCTURES WHICH ARE TO BE CONNECTED OR REMOVED. ANY VARIATION FROM THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO DRAINAGE AND UTILITY CONSTRUCTION, WHEREUPON WORK CAN COMMENCE ONLY UPON THE ENGINEER'S AUTHORIZATION.
- ALL EXISTING PIPE, SUBSURFACE STRUCTURES, PAVEMENTS, EXCESS EXCAVATED MATERIALS AND MISCELLANEOUS MATERIALS REMOVED IN THE COURSE OF UTILITY WORK (INSTALLATION OF DRAINAGE, WATER AND SEWER PIPING, ETC.) SHALL BE LEGALLY DISPOSED OF BY THE CONTRACTOR AT AN OFFSITE LOCATION.
- WHERE UNDERGROUND UTILITY CROSSINGS ARE REQUIRED, AT LEAST TWO (2) TEST PITS SHALL BE DUG TO DETERMINE THE LOCATION/DEPTH AND MATERIAL OF THE EXISTING UTILITY.
- UTILITY SERVICES TO EXISTING BUILDINGS AND FACILITIES SHALL BE MAINTAINED AT ALL TIMES FOR THE DURATION OF CONSTRUCTION.
- THE CONTRACTOR SHALL ADJUST ALL UTILITY BOXES, FRAMES, AND COVERS AS REQUIRED TO MATCH FINISH GRADE.
- WITH RESPECT TO UTILITY CONNECTIONS WITHIN THE STATE'S RIGHT-OF-WAY, THE CONTRACTOR IS REMINDED THAT THE PHYSICAL ALTERATION PERMIT APPROVAL IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND DOES NOT CONSTITUTE APPROVAL OF ANY UTILITY WORK, SHOWN OR UN-SHOWN, WITHIN THE STATE'S RIGHT-OF-WAY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING APPROVAL FOR ALL UTILITY WORK WITHIN THE STATE'S RIGHT-OF-WAY.

EROSION AND SEDIMENT CONTROL NOTES

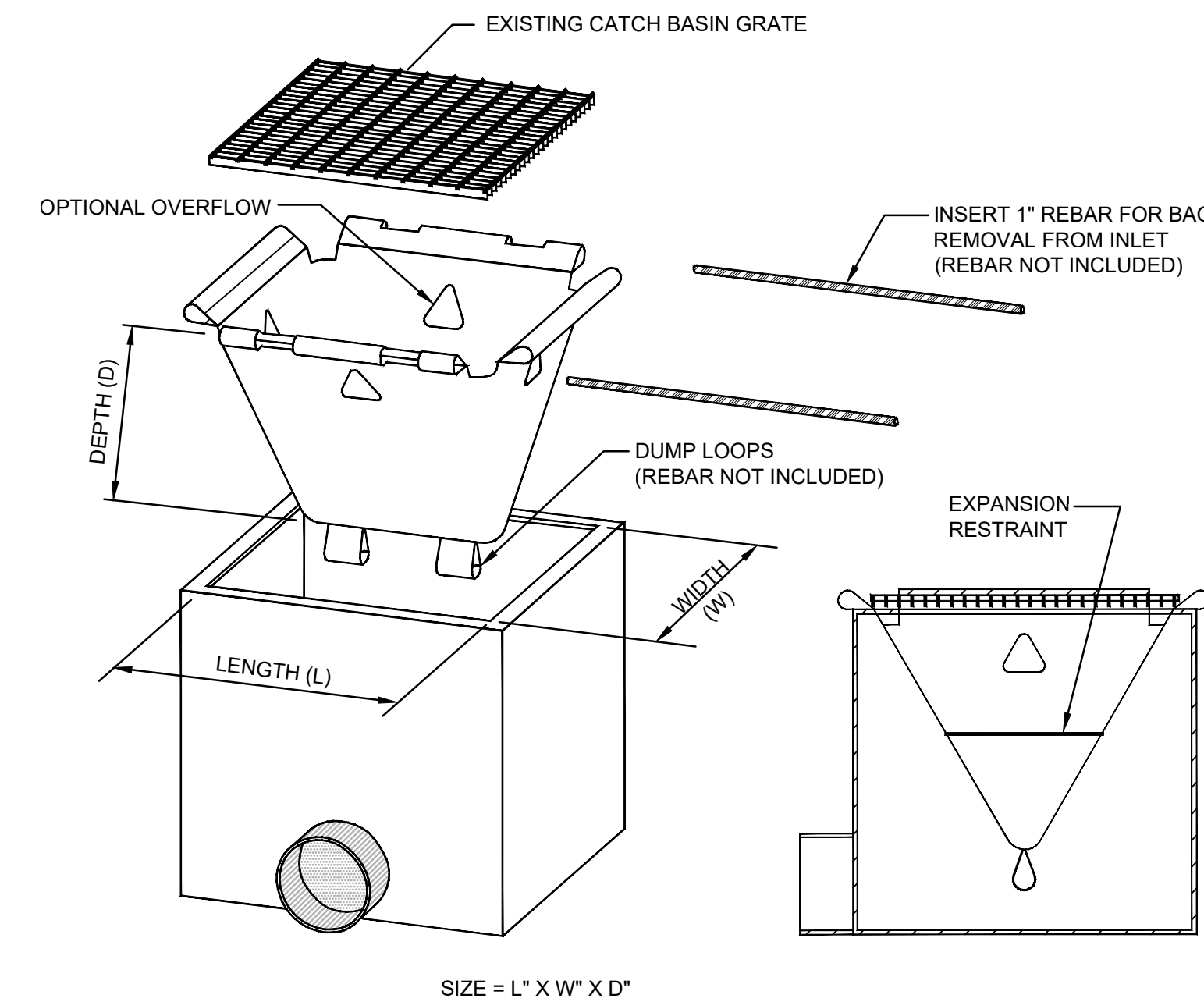
- SOIL EROSION AND SEDIMENTATION CONTROL MEASURES TO BE EMPLOYED ON THE PROJECT ARE INDICATED ON THE PLANS. CONTROL MEASURES SHALL BE FURNISHED, INSTALLED, MAINTAINED FOR THE DURATION OF CONSTRUCTION, AND SUBSEQUENTLY REMOVED, ALL IN ACCORDANCE WITH THE RIDOT STANDARD SPECIFICATIONS, THE LATEST EDITION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" (REVISED 2014), AND ANY SITE-SPECIFIC EROSION AND SEDIMENT CONTROL / POLLUTION PREVENTION PLAN INCLUDED IN THE CONTRACT DOCUMENTS.
 - ALL CLEARING, GRADING AND EARTHWORK ACTIVITIES SHALL REMAIN STRICTLY WITHIN THE LIMITS OF DISTURBANCE (LOD) DEPICTED ON THE PLANS AND SHALL BE RESTRICTED TO ACTIVITIES NECESSARY FOR COMPLETION OF THE WORK. THE CONTRACTOR SHALL ENSURE THAT ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE REMAIN UNDISTURBED AND PROTECTED FROM CONSTRUCTION IMPACTS.
 - ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE ROUTINELY INSPECTED AND MAINTAINED IN ACCORDANCE WITH THE RIDOT STANDARD SPECIFICATIONS, THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK, AND THE APPLICABLE CONDITIONS OF ANY REGULATORY/ENVIRONMENTAL PERMITS ISSUED FOR THE PROJECT.
 - PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION ACTIVITIES, EROSION AND SEDIMENTATION CONTROLS SHALL BE INSTALLED AT LOCATIONS AND AREAS SHOWN ON THE PLANS. CLEARING MAY OCCUR PRIOR TO INSTALLATION OF SUCH CONTROLS; HOWEVER NO GRUBBING, GRADING, FILLING, OR OTHER SOIL DISTURBANCE SHALL OCCUR PRIOR TO INSTALLATION.
 - PERIMETER EROSION CONTROL BARRIERS (STAKED COMPOST FILTER SOCK, SILT FENCE, OR OTHER DEVICES AS INDICATED) SHALL BE INSTALLED IN CONTINUOUS UNINTERRUPTED RUNS AT THE LOCATIONS INDICATED ON THE PLANS AND MAINTAINED IN EFFECTIVE CONDITION UNTIL ALL DISTURBED AREAS HAVE BEEN STABILIZED WITH VEGETATION. FOLLOWING SUCCESSFUL STABILIZATION OF DISTURBED AREAS, ALL PERIMETER EROSION CONTROL BARRIERS SHALL BE REMOVED. PRIOR TO REMOVAL OF THE DEVICES, ALL ACCUMULATED SEDIMENT AND DEBRIS TRAPPED BY THE BARRIERS SHALL BE REMOVED AND DISPOSED OF LEGALLY AT A SUITABLE OFFSITE LOCATION.
 - THE TOE OF ANY FILL SLOPE IS TO REMAIN AT LEAST ONE (1) FOOT INSIDE OF ALL PERIMETER EROSION CONTROL BARRIERS. UNDER NO CIRCUMSTANCES SHALL THE CONTRACTOR COVER ANY PORTION OF THE EROSION CONTROL MEASURES WITH MATERIAL. ANY MATERIAL THAT IS PLACED ON ANY EROSION CONTROLS BY THE CONTRACTOR (OR ANY AGENT OF THE CONTRACTOR) SHALL BE IMMEDIATELY REMOVED, AND ANY NECESSARY REPAIRS TO THE EROSION CONTROLS SUBSEQUENTLY IMPLEMENTED AT NO COST TO THE OWNER.
 - UNTIL VEGETATIVE COVER IS ESTABLISHED AND DISTURBED AREAS ARE FULLY STABILIZED, TRAPPED SEDIMENTS SHALL BE PERIODICALLY REMOVED FROM PERIMETER EROSION CONTROL BARRIERS. AT A MINIMUM, MATERIAL SHALL BE REMOVED ONCE THE DEPTH OF ACCUMULATED SEDIMENT REACHES SIX (6) INCHES OR ONE-HALF THE BARRIER HEIGHT, WHICHEVER IS LESS. ALL REMOVED MATERIAL SHALL BE DISPOSED OF LEGALLY AT A SUITABLE OFFSITE LOCATION.
 - ALL MATERIAL STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE (LOD) DEPICTED ON THE PLANS AND SHALL BE SURROUNDED BY A SECURED PERIMETER OF COMPOST FILTER SOCK.
 - ALL EXISTING AND CONSTRUCTED DRAINAGE SYSTEM INLETS SHALL BE PROVIDED WITH INLET PROTECTION DEVICES (FILTER BAGS/SILT SACKS, SANDBAGS, WATTLES, ETC.) AS INDICATED ON THE PLANS. ALL INLET PROTECTION DEVICES SHALL BE INSTALLED, MAINTAINED, AND CLEANED FOR THE DURATION OF CONSTRUCTION AND UNTIL ALL STORMWATER CONTROLS ARE FULLY STABILIZED AND ONLINE, AT WHICH TIME THEY SHALL BE REMOVED.
 - DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
 - EROSION CONTROL DEVICES SHOULD BE INSPECTED WEEKLY AND AFTER RAINFALL EVENTS EXCEEDING ONE HALF INCH (1/2") IN ANY 24-HOUR PERIOD. WHERE AND WHEN REQUIRED, MAINTENANCE AND REPAIRS SHALL BE COMPLETED WITH 24 HOURS OF THE INSPECTION.
 - DENUDED/UNVEGETATED SLOPES SHALL NOT BE LEFT UNATTENDED OR EXPOSED FOR PERIODS IN EXCESS OF 2 WEEKS OR THROUGH THE INACTIVE WINTER SEASON.
 - ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
 - TEMPORARY SURFACE STABILIZATION TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS FIBER MESH, EROSION CONTROL BLANKETS, OR OTHER MATTING. THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS DIRECTED BY THE ENGINEER. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3,000-4,000 POUNDS PER ACRE (1.9-2.5 POUNDS PER SQUARE YARD). IF NEEDED, TEMPORARY SEEDING (PROVIDED IN ACCORDANCE WITH APPLICABLE SECTIONS OF THE STANDARD SPECIFICATIONS AND EROSION AND SEDIMENT CONTROL GUIDANCE) MAY BE EMPLOYED TO FURTHER MINIMIZE EROSION.
 - TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE, FREE OF SUBSOIL, STONES, ROCKS, ROOTS, BRUSH, REFUSE, CONSTRUCTION DEBRIS AND OTHER DELETERIOUS MATERIALS AND SHALL CONFORM TO SUBSECTION M.18.01 OF THE RIDOT STANDARD SPECIFICATIONS.
 - THE SEEDED MIX SHALL BE INOCULATED WITHIN 24 HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
 - THE DESIGN MIX SHALL BE COMPRISED OF THE FOLLOWING AND BE APPLIED AT A SEEDING RATE OF 100 POUNDS PER ACRE:
- | COMPONENT | % BY WEIGHT |
|--------------------|-------------|
| RED FESCUE70 | |
| KENTUCKY BLUEGRASS | 15 |
| COLONIAL BENTGRASS | 5 |
| PERENNIAL RYEGRASS | 10 |
- THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 - JUNE 1 AND AUGUST 15 - OCTOBER 15.
 - STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 14 DAYS OF FINAL GRADING. PLANTING OF GRASS SHALL BE ACCOMPLISHED BY THE CONTRACTOR AS EARLY AS POSSIBLE UPON COMPLETION OF GRADING AND CONSTRUCTION.
 - THE CONTRACTOR MUST REPAIR AND OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) CALENDAR YEAR AND SHALL DO SO AT NO ADDITIONAL EXPENSE TO THE OWNER.

STORMWATER MAINTENANCE NOTES

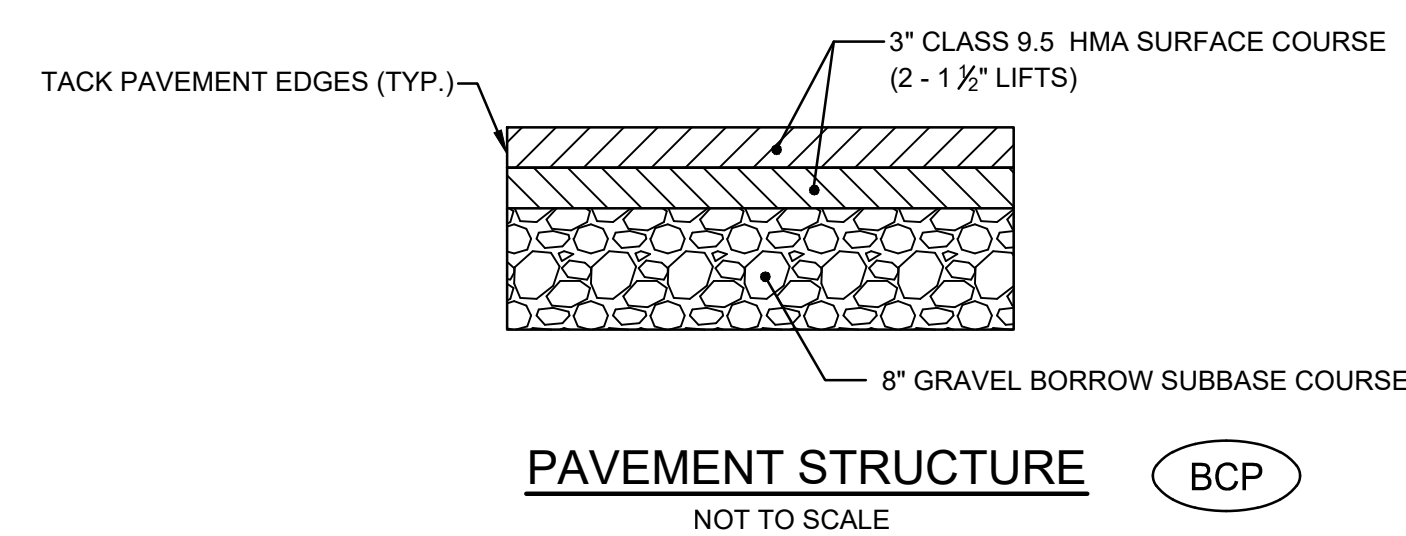
- ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF CONSTRUCTED STORMWATER MANAGEMENT FACILITIES INCLUDING ALL NECESSARY INSPECTION, CLEANING AND REPAIRS TO FACILITY ELEMENTS INCLUDING ALL PIPING, STRUCTURES, FITTINGS AND OTHER APPURTENANCES.
 - INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, AND IN ACCORDANCE WITH THE PROJECTS SOIL EROSION & SEDIMENT CONTROL (SESC) PLAN.
- UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
- AFTER THE COMPLETION OF THE ENTIRE PROJECT TO THE SATISFACTION OF THE ENGINEER, ALL MAINTENANCE OF THE DRAINAGE SYSTEM SHALL THEN BE THE RESPONSIBILITY OF THE OWNER OR THEIR APPOINTED AGENTS. IN ACCORDANCE WITH THE PROJECTS OPERATIONS & MAINTENANCE (OBM) PLAN.
- ALL GRASSED AREAS SHALL BE MOWED AT LEAST ONCE PER GROWING SEASON, WITH GRASS VEGETATION CUT TO A HEIGHT NO SHORTER THAN FOUR (4) INCHES.
- THE OWNER SHALL BE RESPONSIBLE FOR ALL REPAIRS, REPLACEMENTS, AND OTHER WORK NECESSARY TO MAINTAIN THE PROPER FUNCTIONING OF STORMWATER MANAGEMENT FACILITIES. ANY REQUIRED REPAIR AND/OR REPLACEMENT OF DRAINAGE STRUCTURES OR FACILITIES SHALL BE PERFORMED PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE SYSTEM. IN THE EVENT OF A SIGNIFICANT LOSS IN INFILTRATION CAPACITY (BELOW THE ORIGINAL DESIGN CAPACITY) OF SYSTEMS (DUE TO CLOGGING, BLINDING, AND/OR OTHER ISSUES), THE PERTINENT SYSTEMS ELEMENTS SHALL BE REPAIRED OR REPLACED SO AS TO RE-ESTABLISH ORIGINAL DESIGN INFILTRATION RATES.



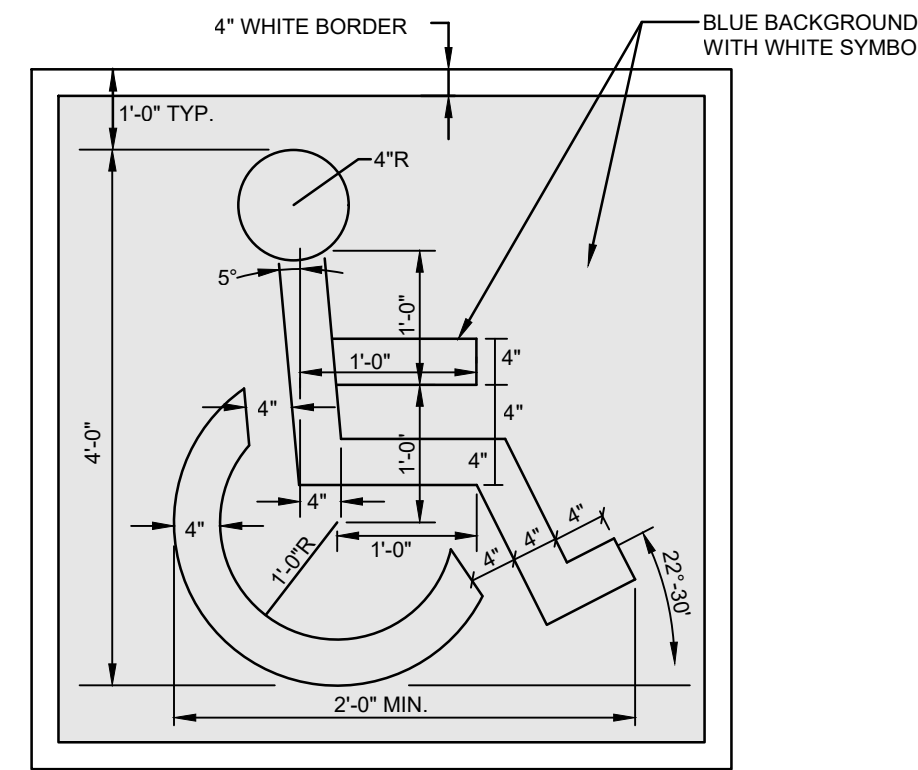
8-INCH COMPOST FILTER SOCK (CFS)
NOT TO SCALE



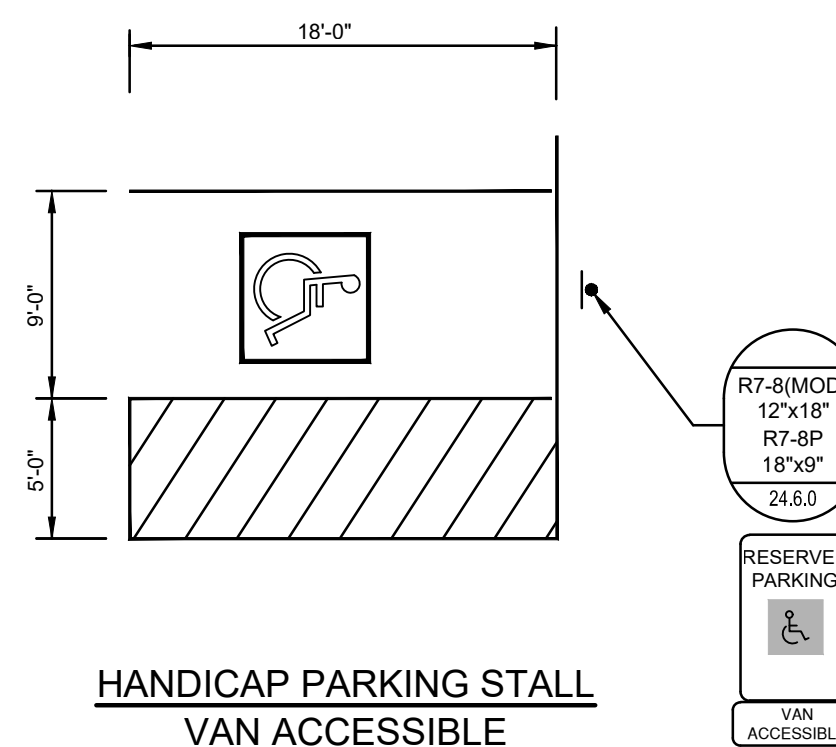
CATCH BASIN INLET PROTECTION TYPE A (CBP)
NOT TO SCALE



PAVEMENT STRUCTURE (BCP)
NOT TO SCALE

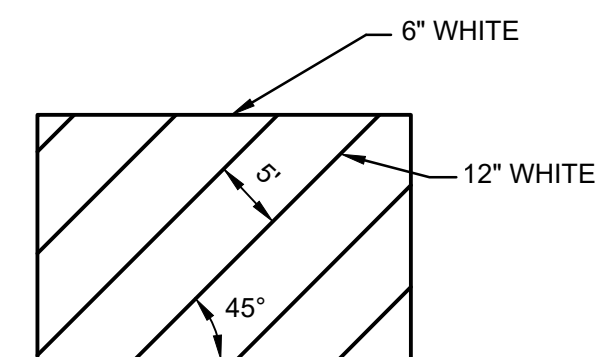


PAINTED HANDICAP SYMBOL
NOT TO SCALE

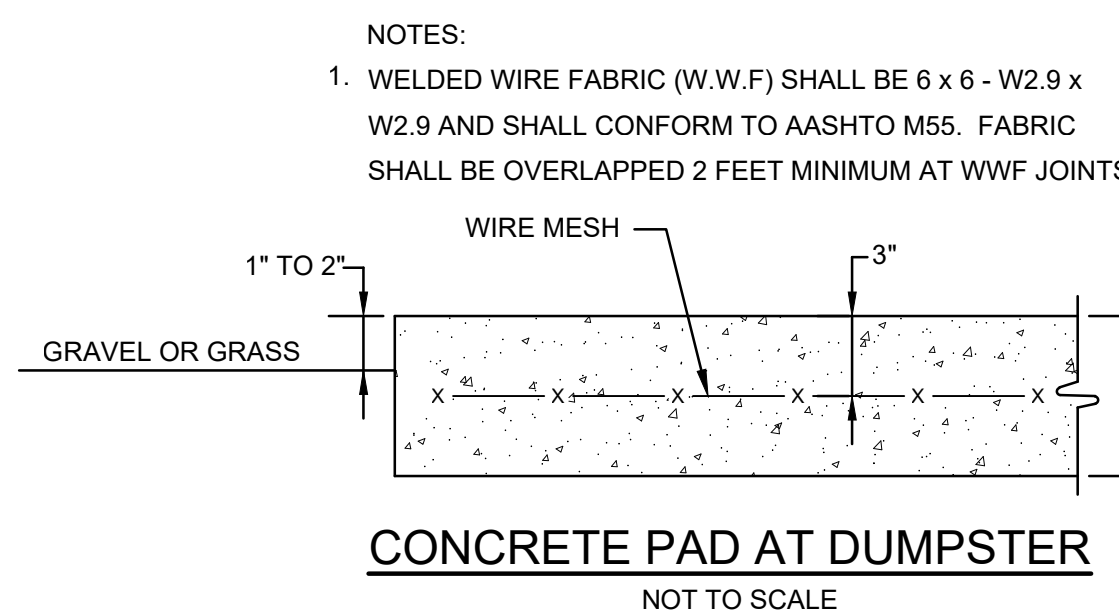


HANDICAP PARKING STALL
VAN ACCESSIBLE
NOT TO SCALE

NOTE:
ALL PARKING AREA STRIPING SHALL BE 4\"/>



NO PARKING STRIPING DETAIL
N.T.S.



CONCRETE PAD AT DUMPSTER
NOT TO SCALE

- NOTES:
- WELDED WIRE FABRIC (W.W.F) SHALL BE 6 x 6 - W2.9 x W2.9 AND SHALL CONFORM TO AASHTO M55. FABRIC SHALL BE OVERLAPPED 2 FEET MINIMUM AT WWF JOINTS.

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
2907 POST ROAD
PLAT 267 LOT202

RHODE ISLAND
WARWICK.

TODD A. RAVENHILL
No. 5928
REGISTERED PROFESSIONAL ENGINEER

CLIENT
RWR REAL ESTATE MANAGEMENT GROUP, LLC
a division of **GM2**

DRAWING TITLE
NOTES AND DETAILS 1

NO.	DATE	REVISIONS	BY

PROJECT NO.: 40746

DATE: NOVEMBER 2022

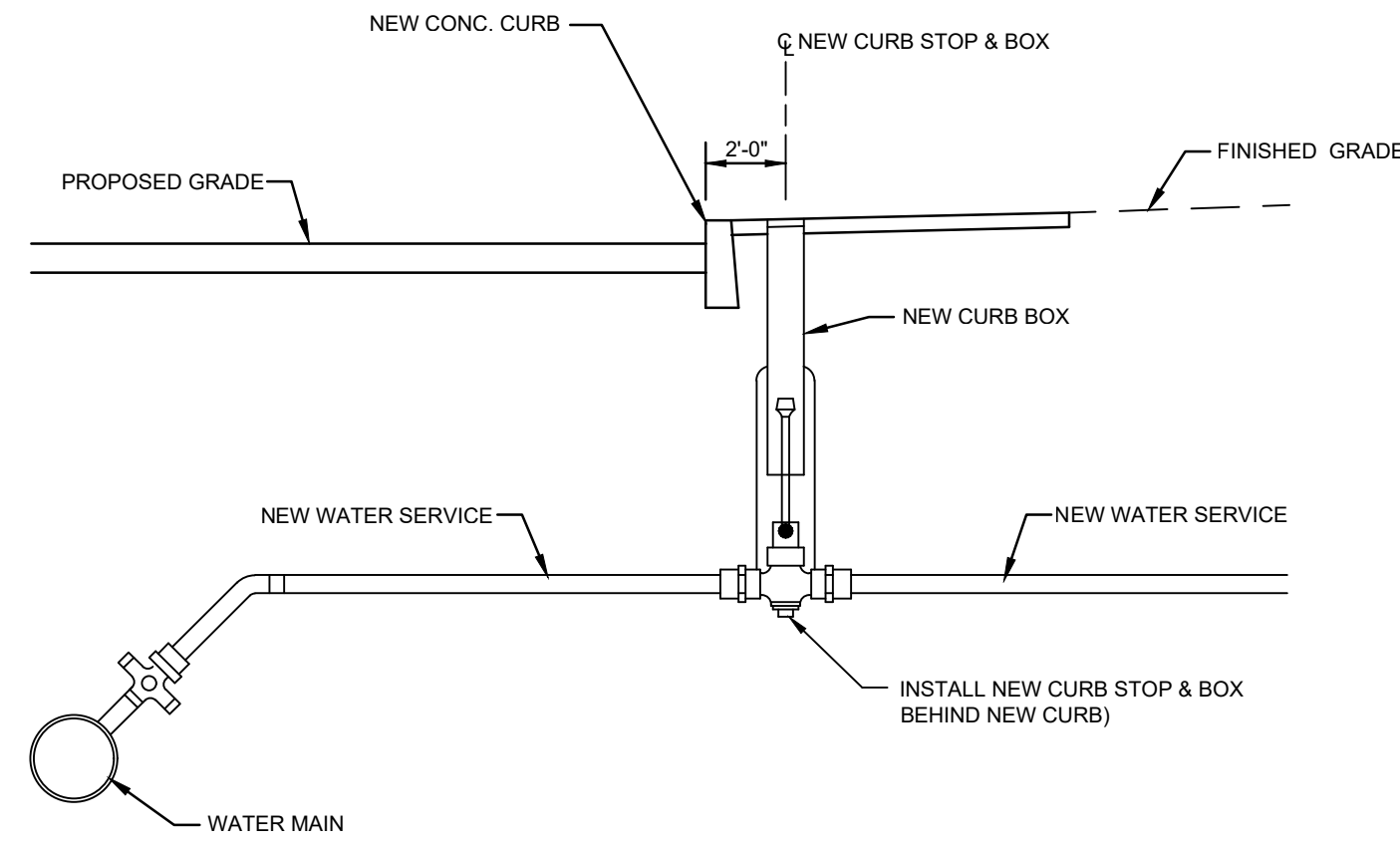
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DRAWN BY: LBD

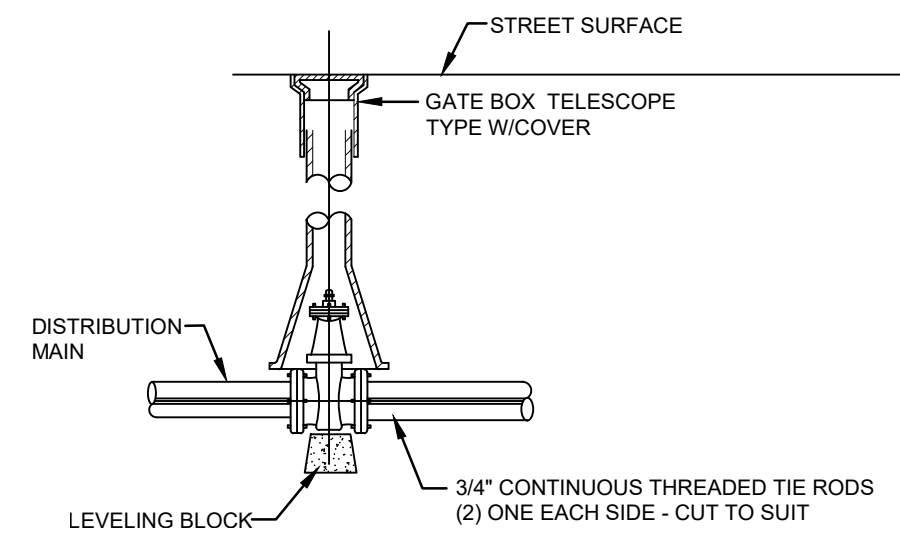
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DRAWING NUMBER
4

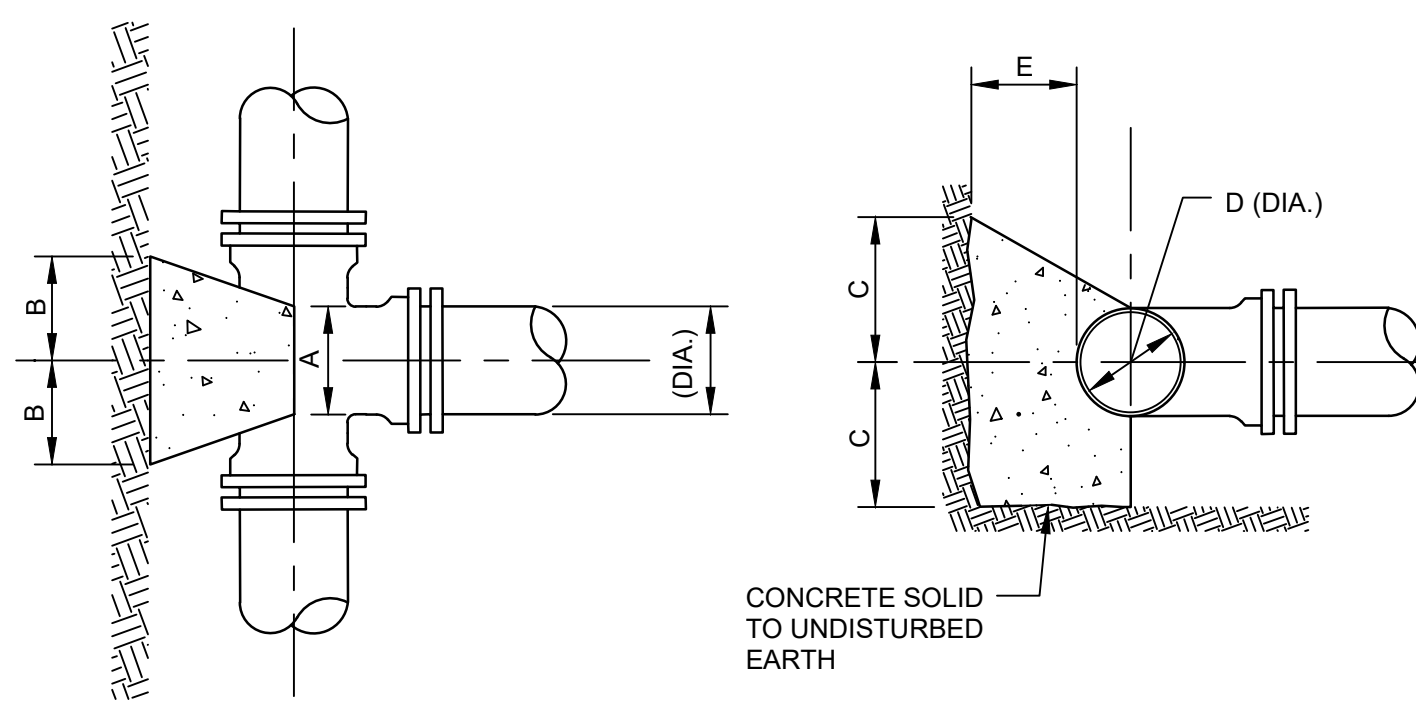
SHEET 4 OF 8



NEW CURB STOP INSTALLATION DETAIL (CS)
N.T.S.



GATE VALVE INSTALLATION
NOT TO SCALE



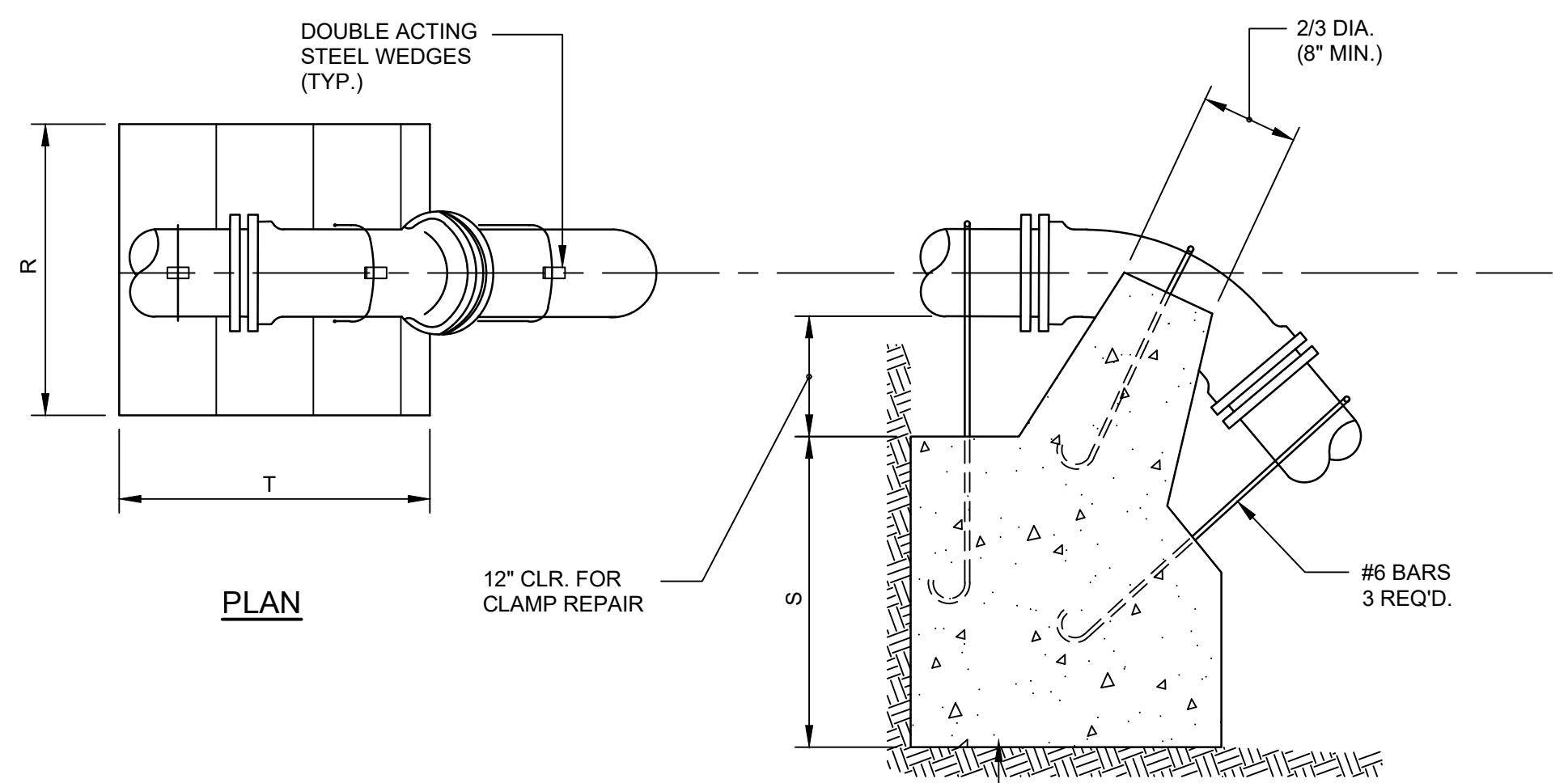
TEES and END CAPS

- NOTES:
- ALL CONCRETE SHALL BE 3000 PSI @ 28 DAYS.
 - CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH.
 - ALL FORCE MAIN BENDS, TEES, MAIN TAPS, AND END CAPS SHALL REQUIRE A CONCRETE THRUST BLOCK.

TEES		PIPE SIZE-D (DIA.)				
		6"	8"	12"	16"	20"
A	X	1'-0"	1'-0"	1'-0"	1'-3"	1'-6"
B	Y	1'-0"	1'-6"	2'-0"	2'-6"	3'-0"
C	Z	8"	10"	1'-2"	1'-4"	1'-6"
E	X	1'-0"	1'-0"	1'-0"	1'-3"	1'-6"
	Y	1'-0"	1'-4"	1'-6"	1'-9"	2'-6"
	Z	8"	10"	1'-2"	1'-4"	1'-6"
	X	1'-0"	1'-0"	1'-0"	1'-2"	1'-4"
	Y	1'-0"	1'-0"	1'-2"	1'-4"	1'-6"
	Z	8"	10"	1'-2"	1'-4"	1'-6"

END CAPS		PIPE SIZE-D (DIA.)				
		6"	8"	10"	12"	16"
A	B	6"	8"	10"	12"	16"
B	C	8"	10"	12"	14"	18"
C	D	8"	10"	12"	14"	18"
D	E	8"	10"	12"	14"	18"

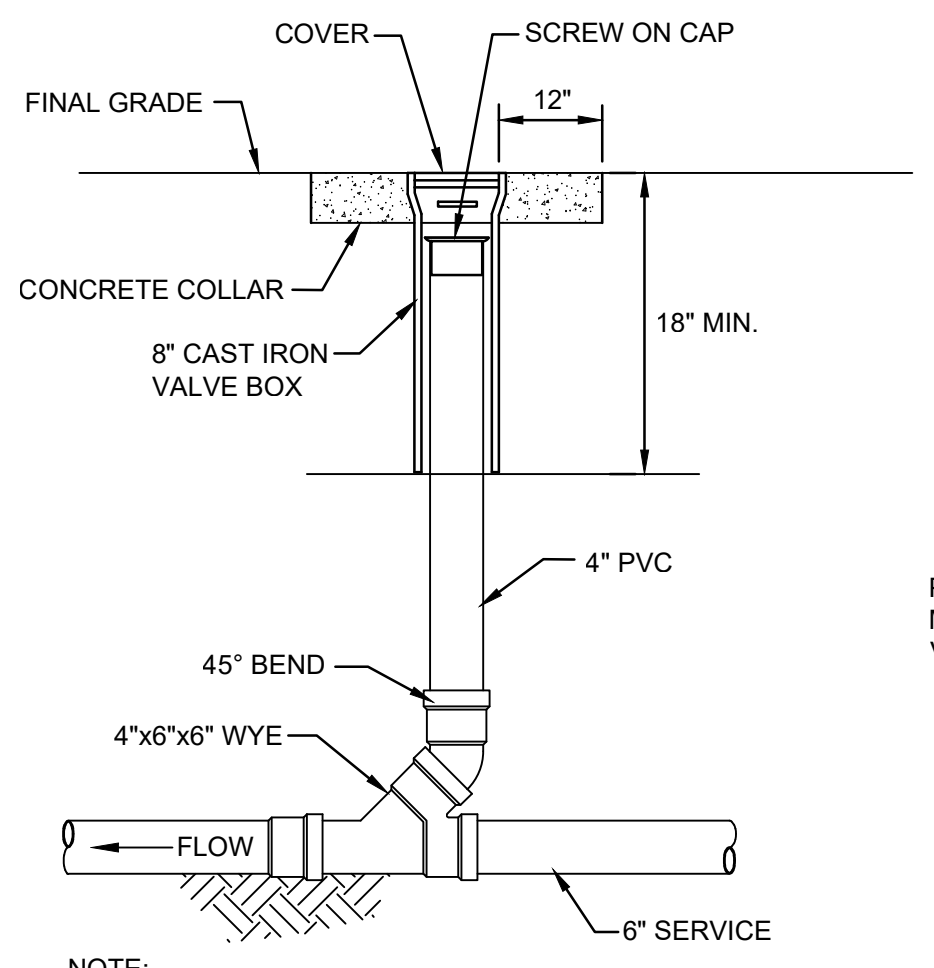
THRUST BLOCKS
NOT TO SCALE



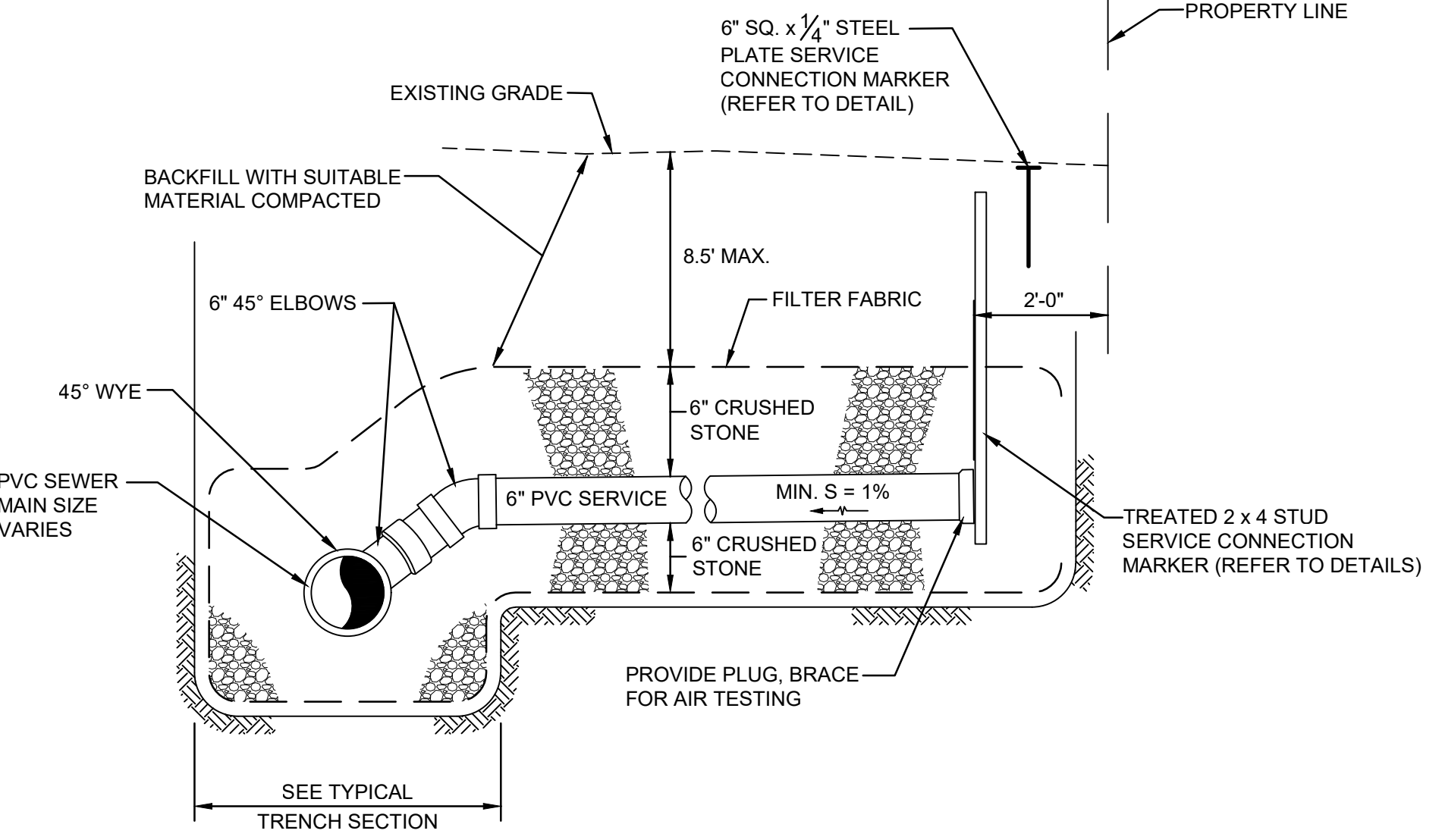
CONCRETE ANCHORAGE

VERTICAL BENDS		PIPE SIZE-D (DIA.)				
BEND		6"	8"	12"	16"	20"
1/8	L	1'-3"	1'-8"	2'-6"	3'-6"	4'-8"
	M	7"	8"	11"	1'-4"	1'-6"
	N	7"	8"	11"	1'-4"	1'-6"
1/16	L	9"	1'-0"	1'-9"	2'-6"	3'-0"
	M	7"	7"	10"	1'-0"	1'-2"
	N	7"	7"	8"	10"	1'-0"
1/32	L	8"	8"	1'-0"	1'-4"	1'-9"
	M	7"	7"	9"	1'-0"	1'-2"
	N	7"	7"	8"	10"	1'-0"

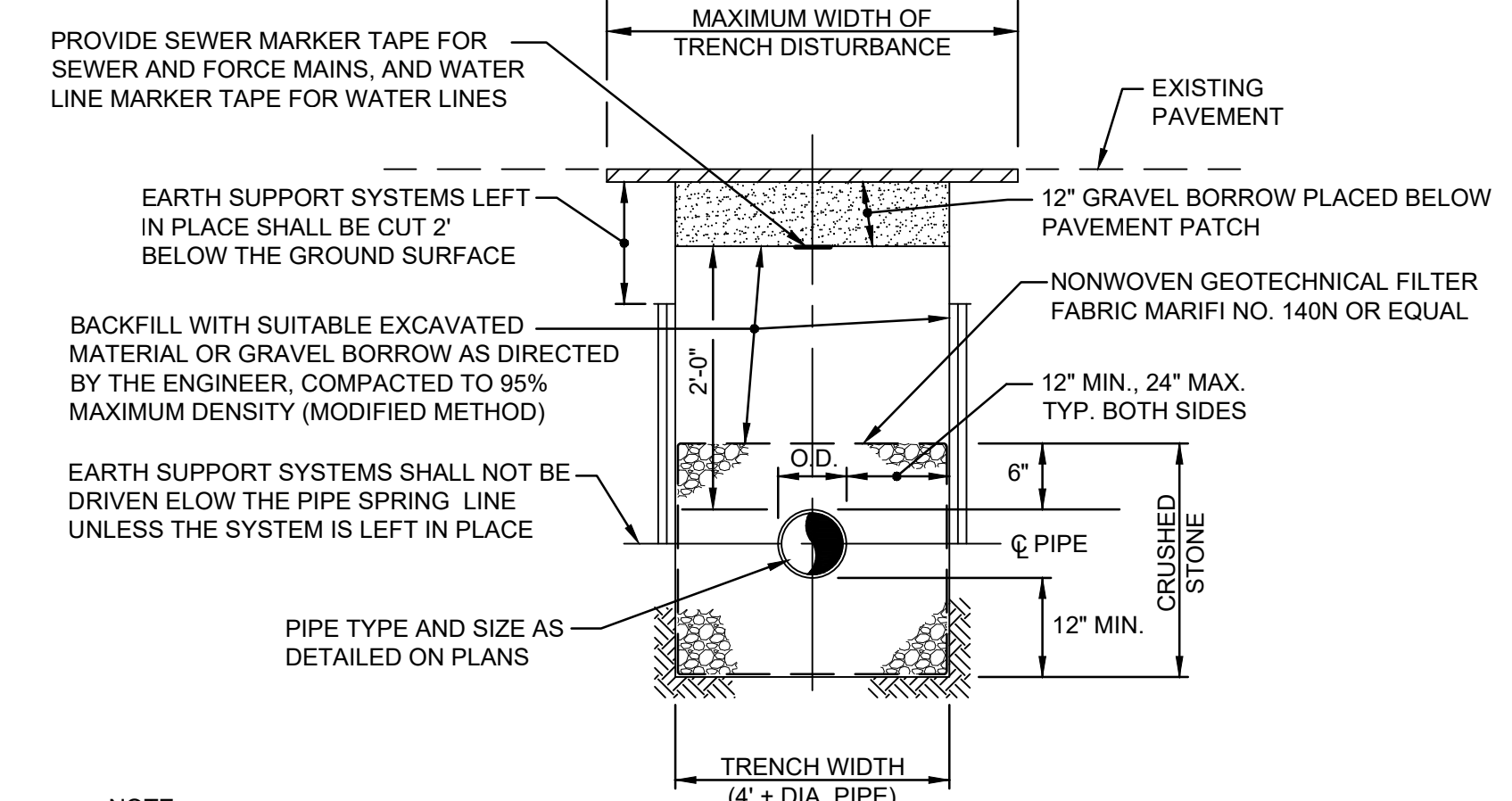
ANCHORAGES		PIPE SIZE-D (DIA.)				
BEND		6"	8"	12"	16"	20"
1/8	R	2'-6"	3'-0"	4'-6"	5'-4"	6'-0"
	S	2'-6"	2'-9"	3'-6"	2'-6"	5'-6"
	T	3'-0"	4'-0"	4'-9"	7'-0"	9'-6"
1/16	R	2'-0"	2'-8"	4'-0"	4'-6"	5'-0"
	S	1'-9"	2'-3"	2'-6"	3'-2"	3'-8"
	T	2'-6"	3'-4"	4'-9"	6'-0"	8'-6"
1/32	R	1'-6"	2'-0"	3'-0"	3'-8"	4'-3"
	S	1'-3"	1'-9"	2'-0"	2'-4"	2'-6"
	T	2'-0"	2'-6"	3'-0"	4'-6"	5'-9"



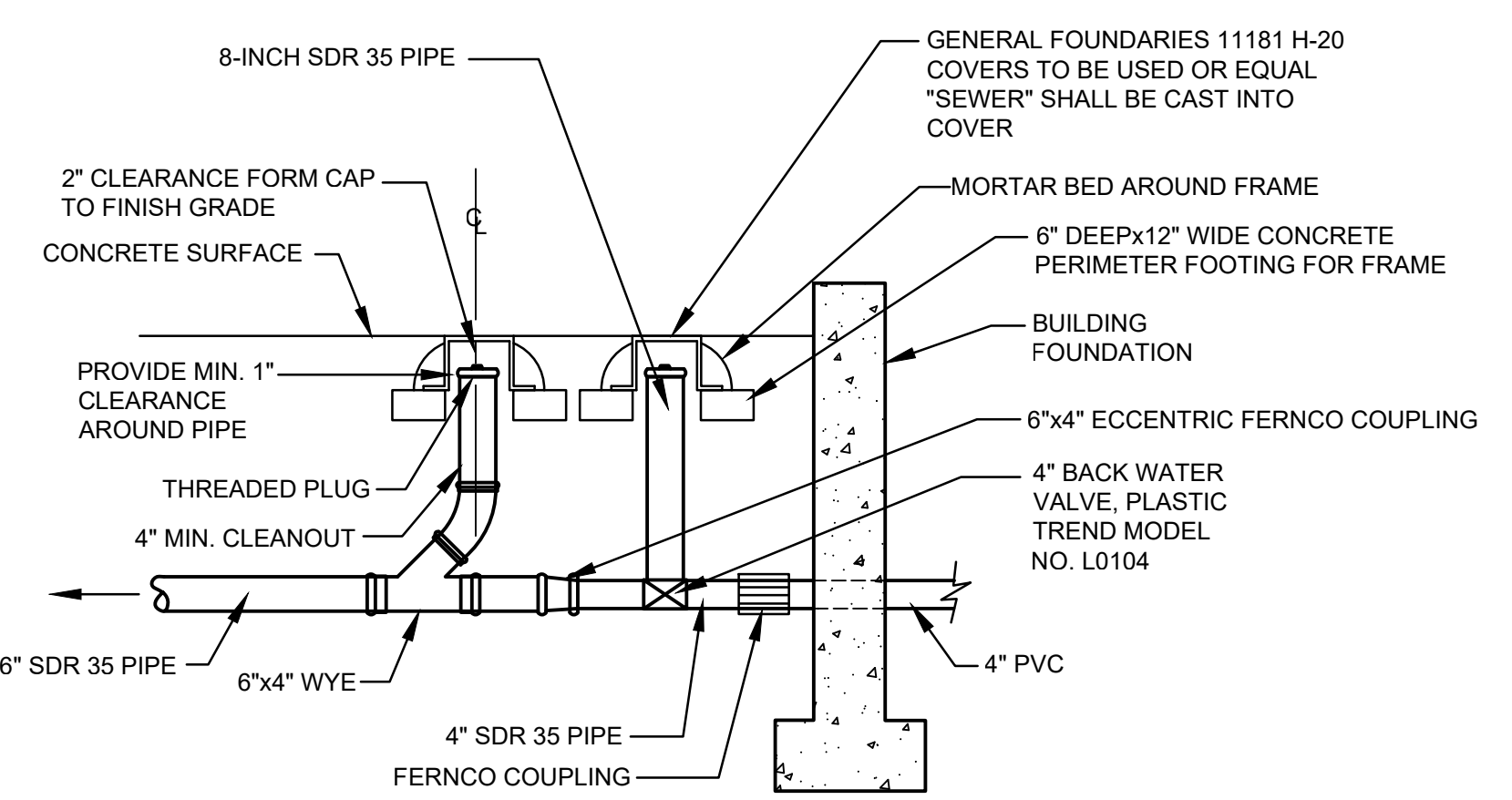
SERVICE CLEAN-OUT DETAIL (SCO)
NOT TO SCALE



TYPICAL SERVICE CONNECTION PROFILE UNDER 10' IN DEPTH
NOT TO SCALE



TYPICAL TRENCH DETAIL
NOT TO SCALE



SEWER CONNECTION DETAIL (TYPE 1)
NOT TO SCALE

PROJECT
PROPOSED MULTI-FAMILY DEVELOPMENT
2907 POST ROAD
PLAT 267 LOT202

RHODE ISLAND
WARWICK.

TODD A. RAVENHILL
No. 5928
REGISTERED PROFESSIONAL ENGINEER

CLIENT
RWR REAL ESTATE MANAGEMENT GROUP, LLC

DRAWING TITLE
WATER & SEWER DETAILS

REVISIONS

NO. DATE

BY

REVISIONS

BY

NO. DATE

PROJECT NO.: 40746

DATE: NOVEMBER 2022

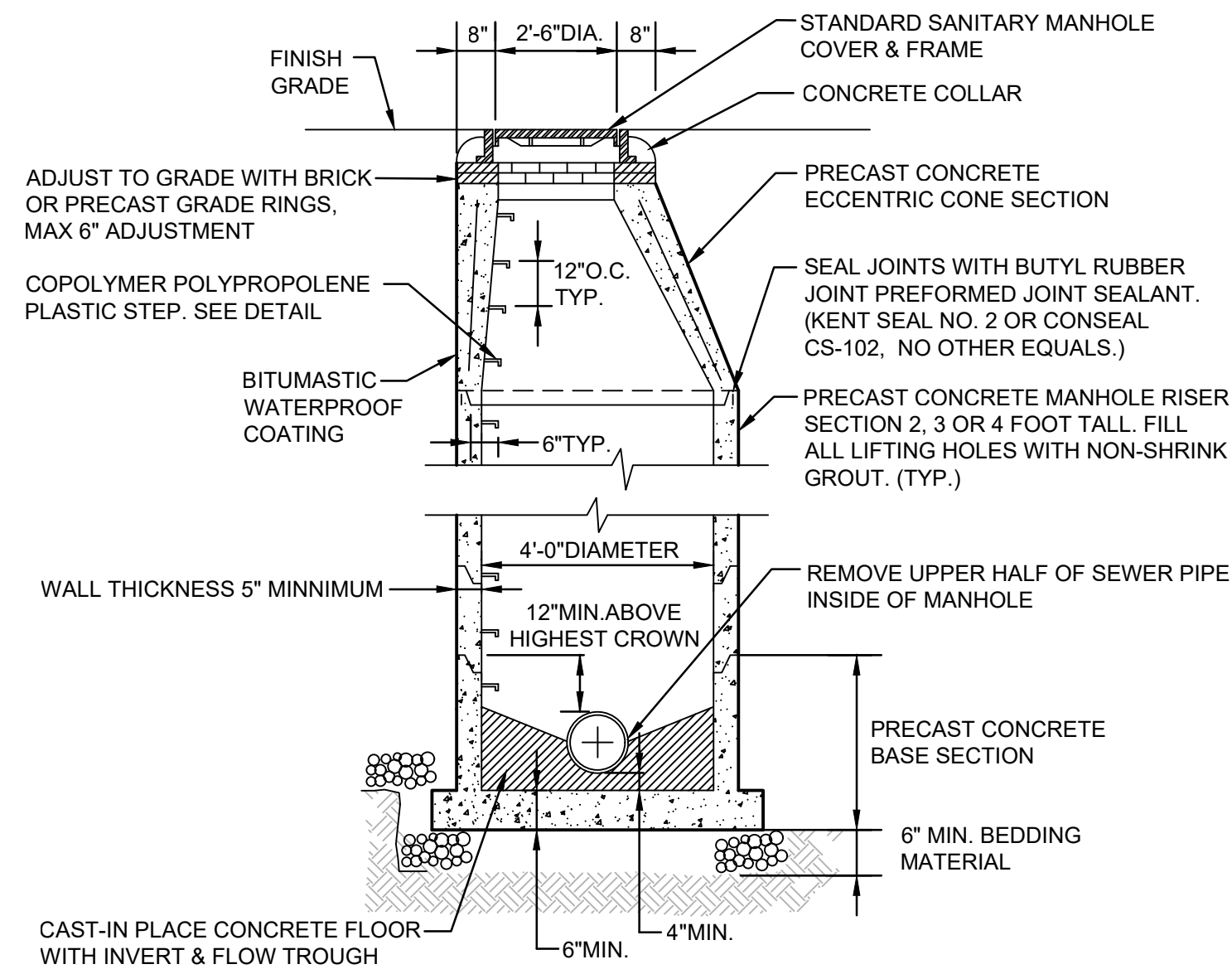
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CHECKED BY: BDN

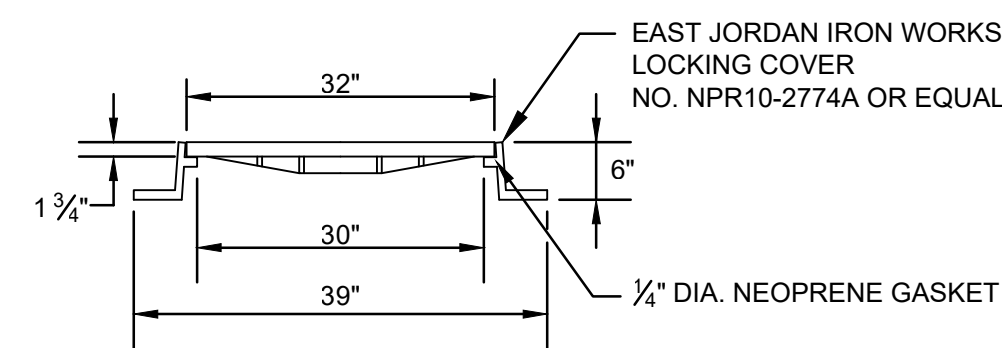
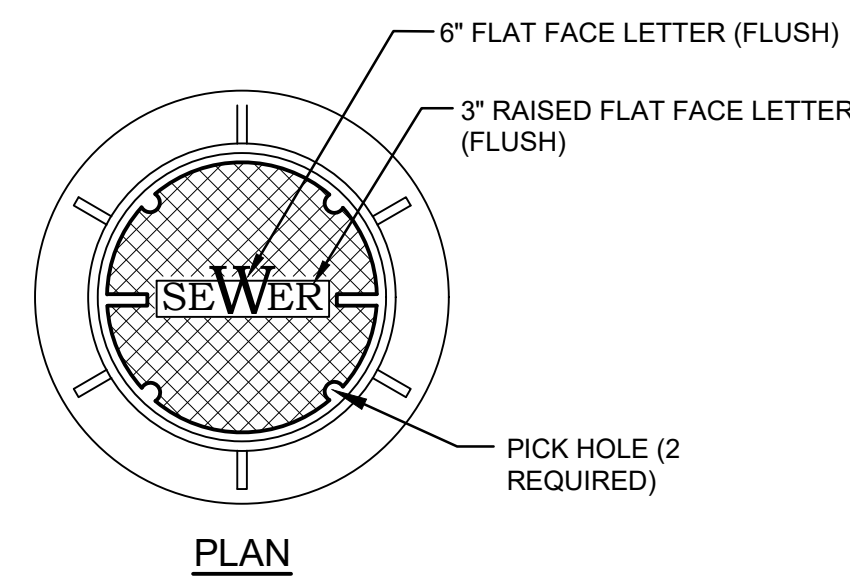
DRAWING NUMBER
5

SHEET 5 OF 8



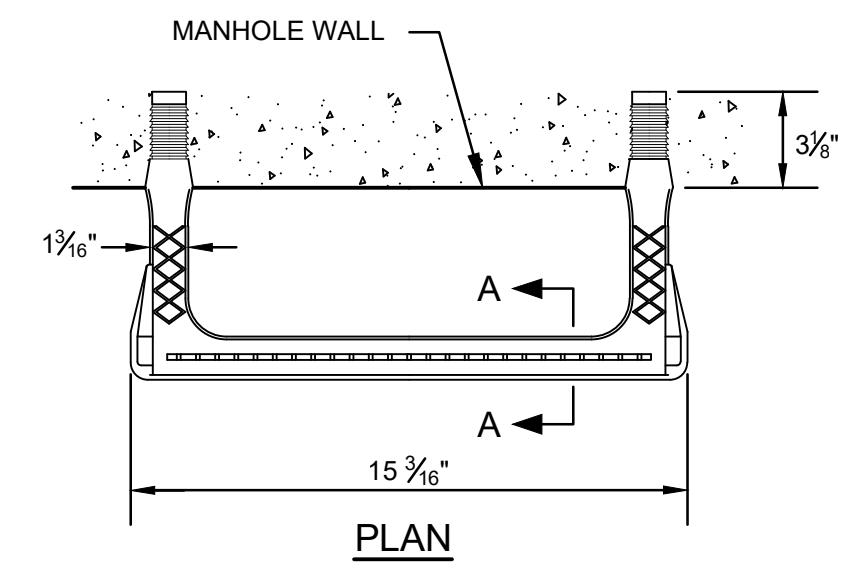
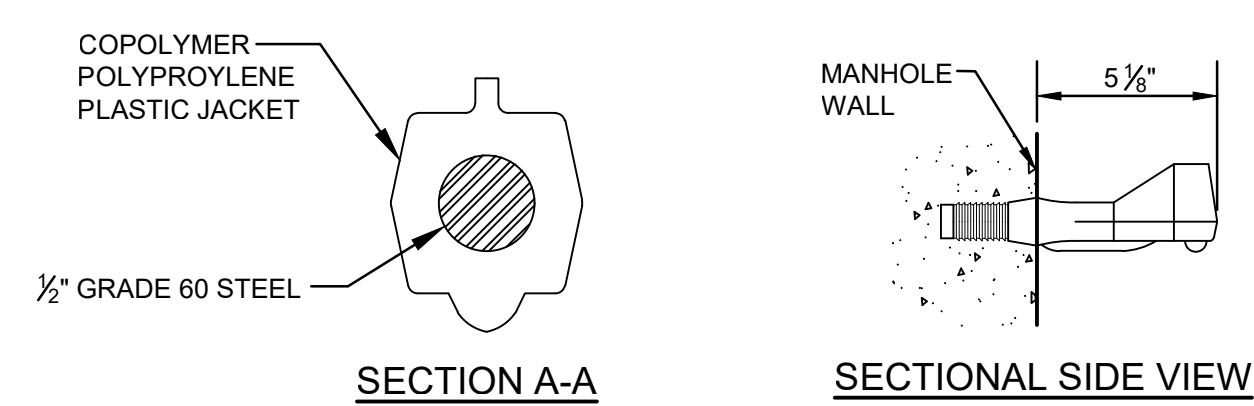
- NOTES:
- ALL JOINTS SHALL BE TONGUE AND GROOVE WITH BUTYL RUBBER JOINT PREFORMED SEALANT.
 - ALL LIFTING HOLES OR IDENTIS ARE TO BE SEALED WITH NON-SHRINKING (HYDRAULIC CEMENT) GROUT.

SANITARY SEWER SAMPLING MANHOLE DETAIL
NOT TO SCALE

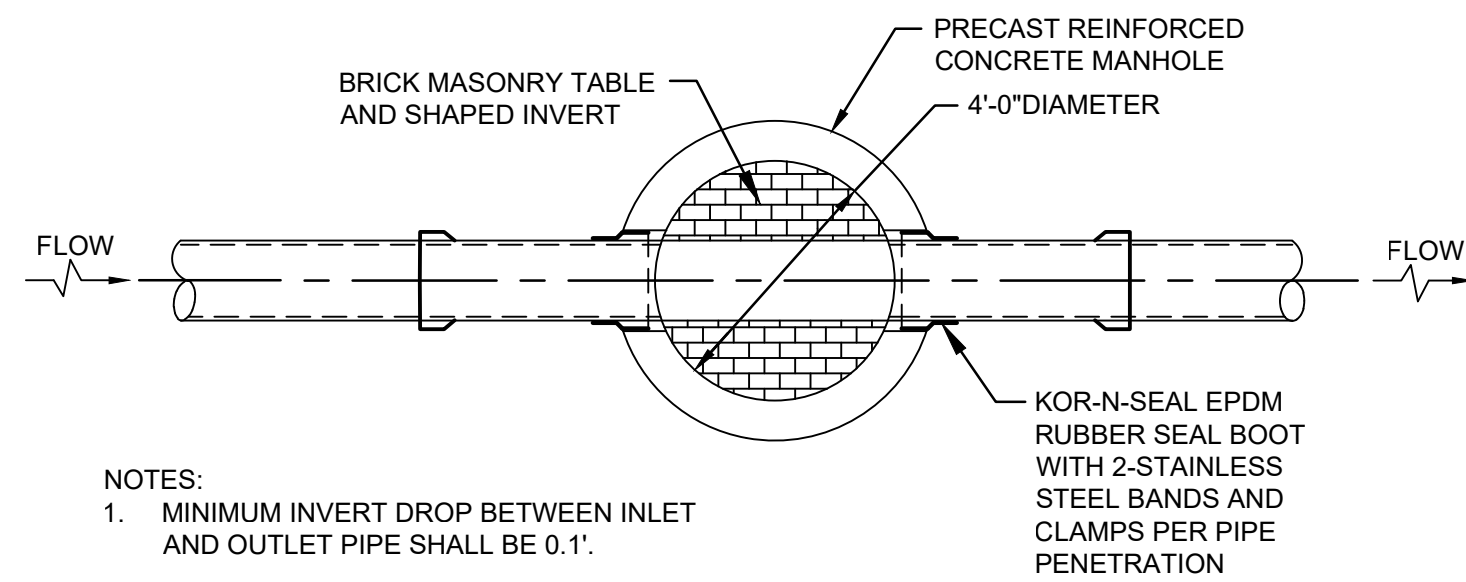


- NOTES:
- ALL MANHOLES SHALL RECEIVE STANDARD COVERS UNLESS OTHERWISE INDICATED ON THE PLANS
 - COVERS TO HAVE NO VENT HOLES.
 - COVER MUST BE SUITABLE FOR H-20 HIGHWAY LOADING.

SANITARY MANHOLE COVER DETAILS
NOT TO SCALE

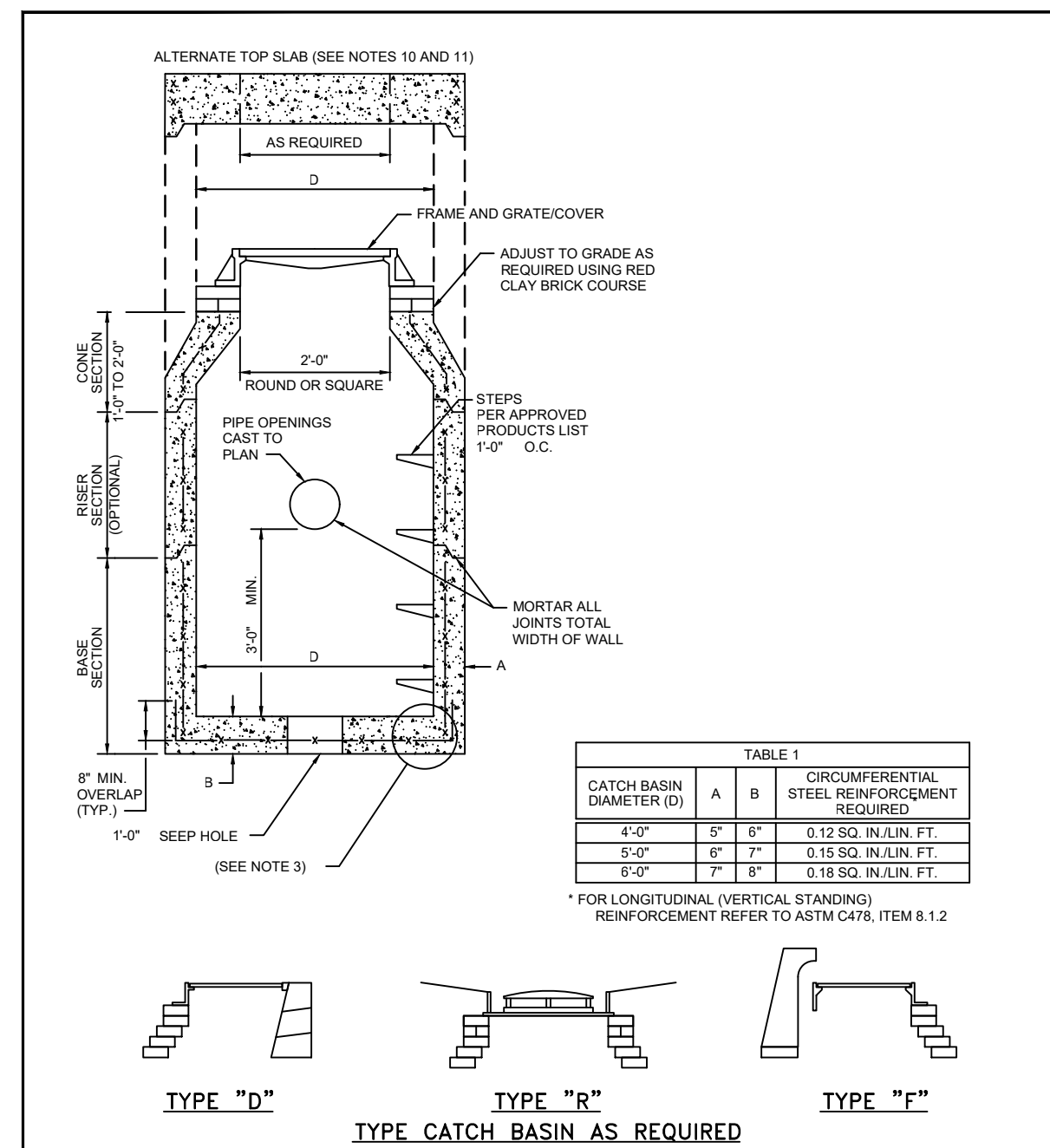


MANHOLE STEP DETAIL
NOT TO SCALE



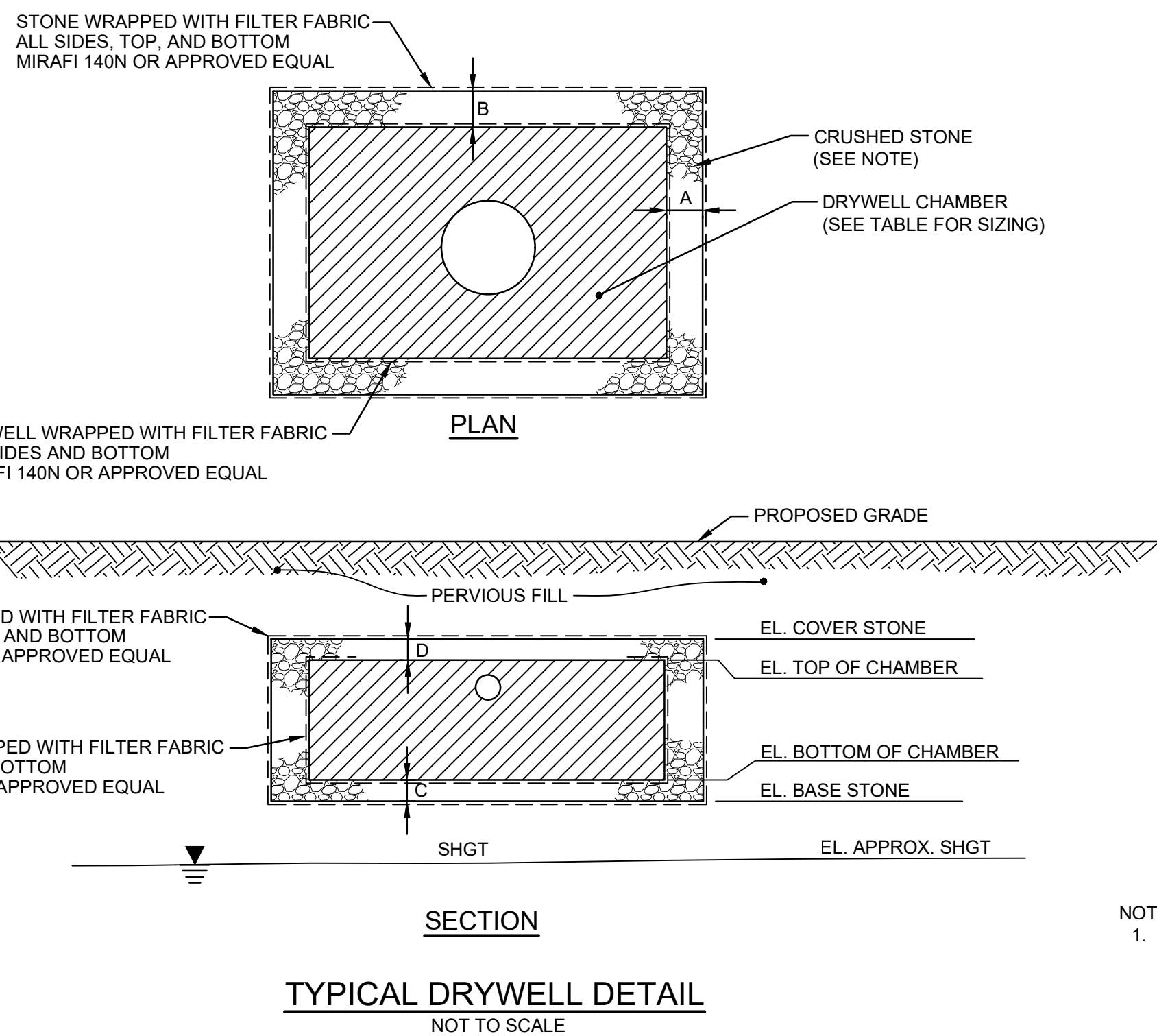
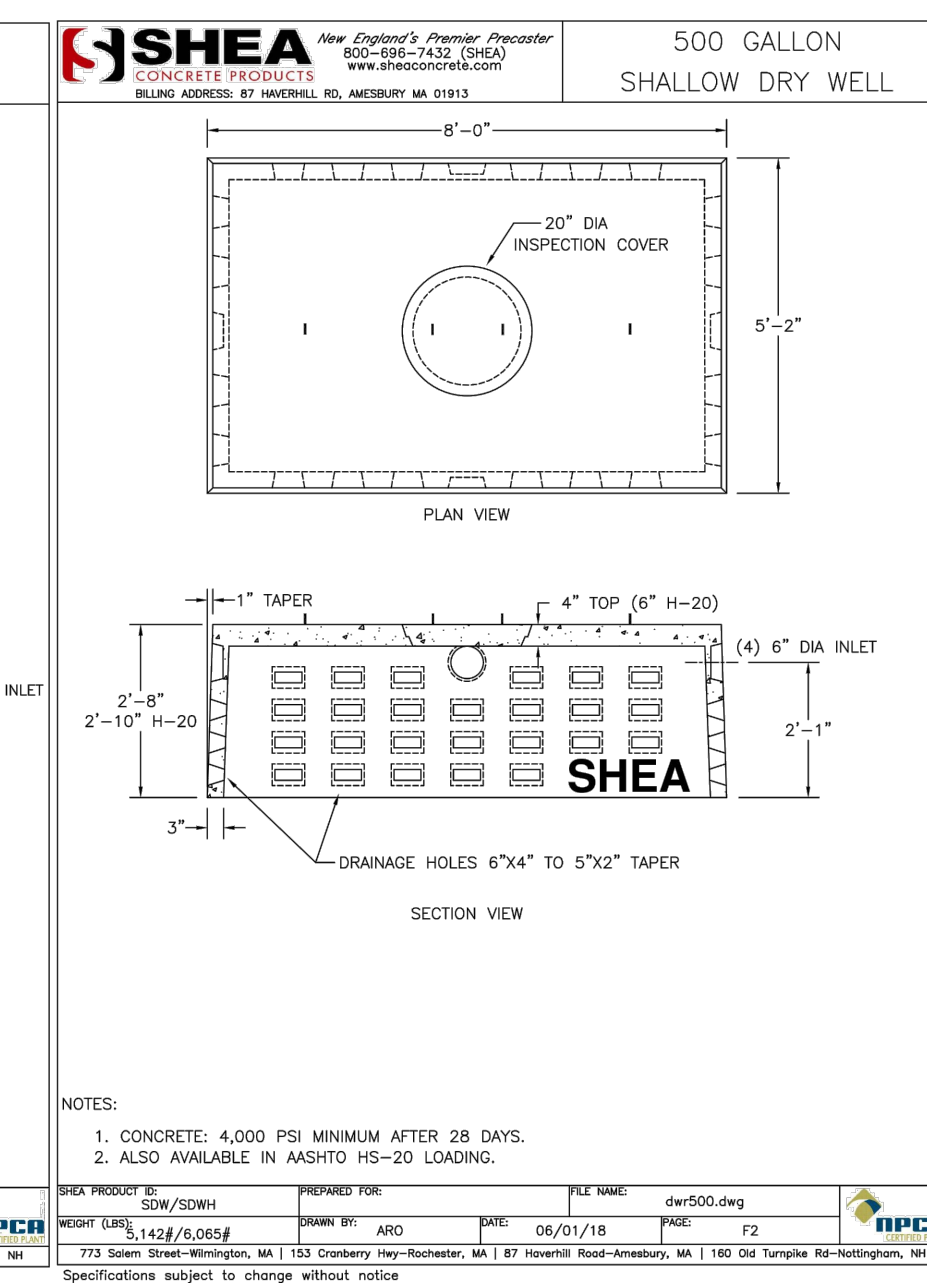
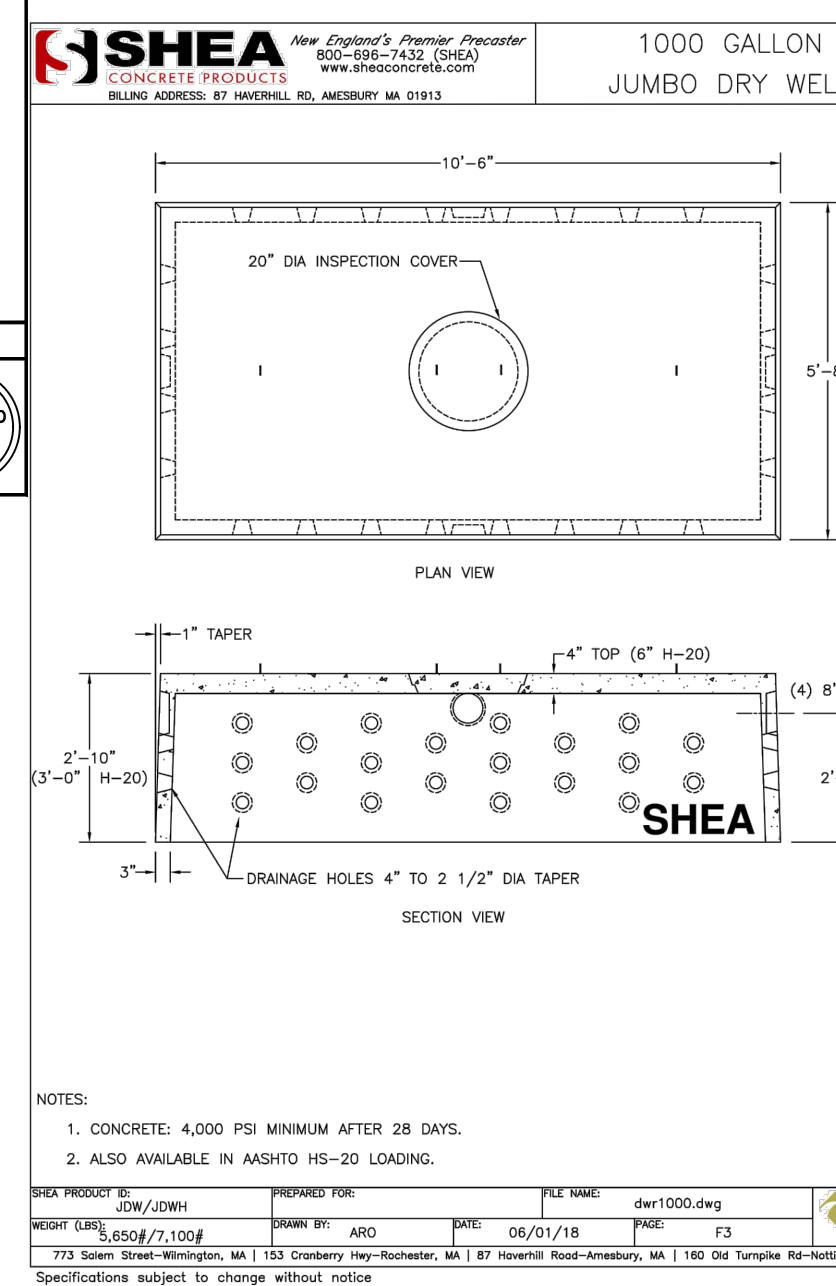
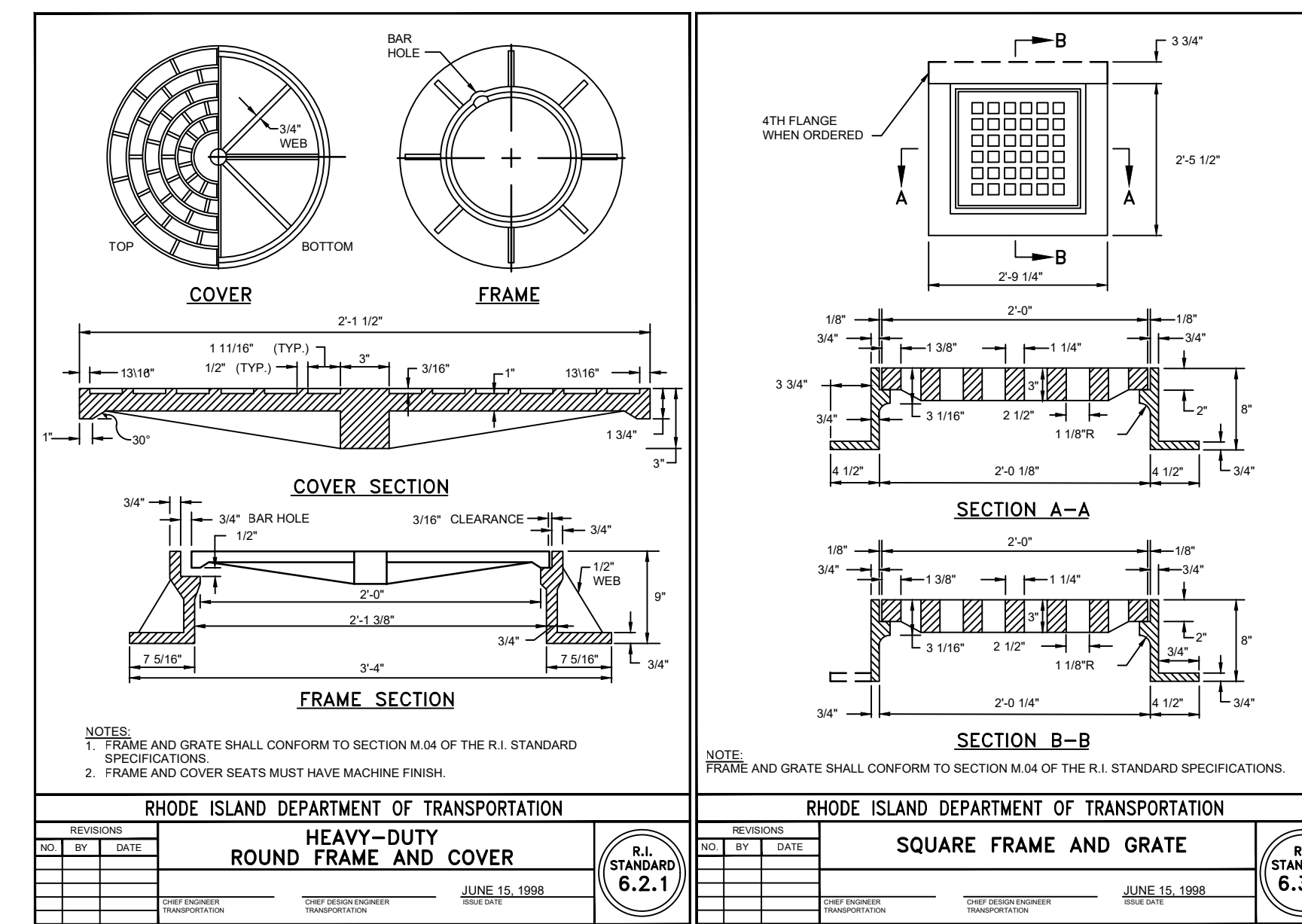
- NOTES:
- MINIMUM INVERT DROP BETWEEN INLET AND OUTLET PIPE SHALL BE 0.1'.
 - MAXIMUM INVERT DROP BETWEEN INLET AND OUTLET SHALL BE 24".

MANHOLE INVERT TABLE
NOT TO SCALE



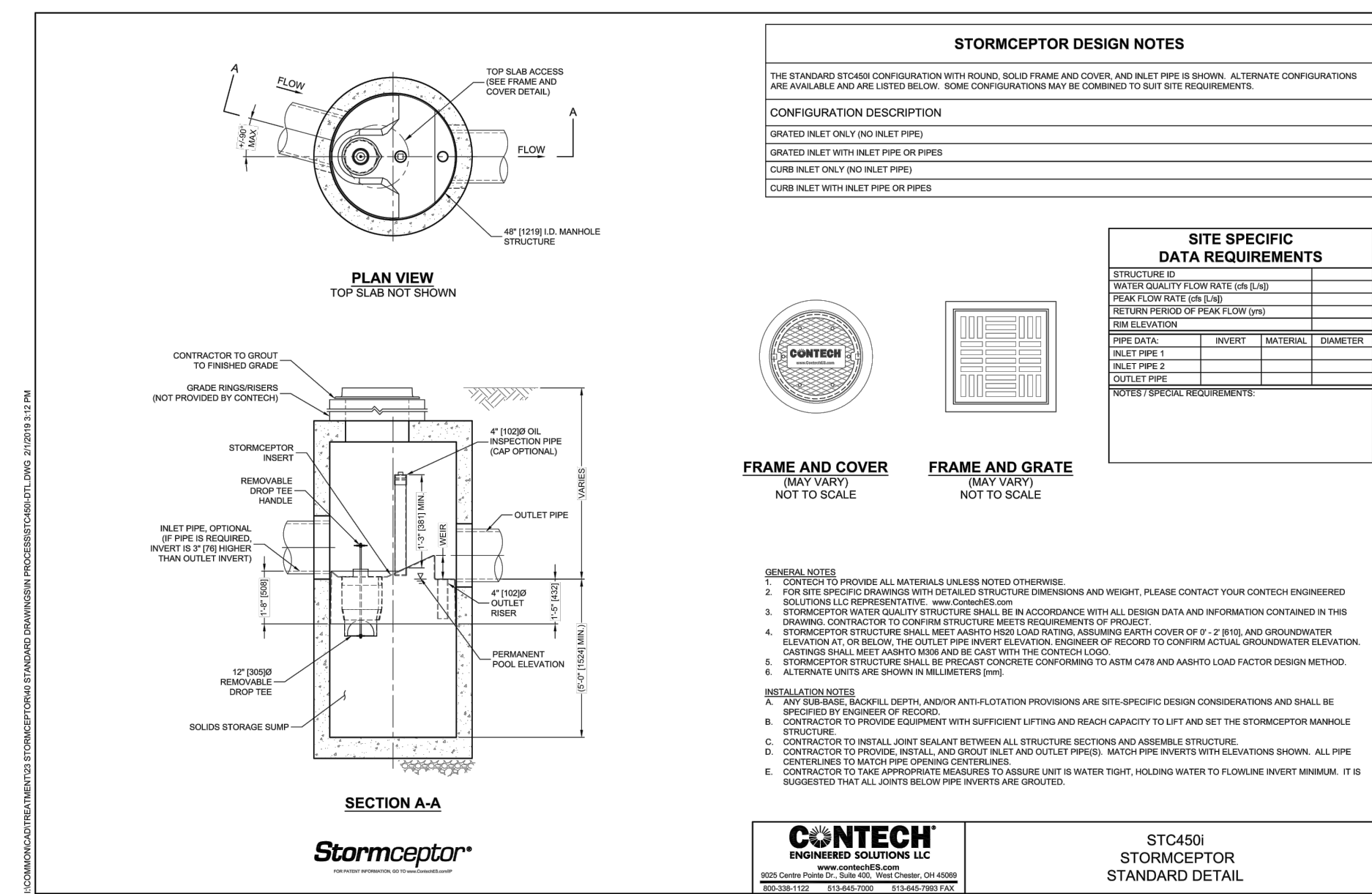
- NOTES:
- SHALL BE IN ACCORDANCE WITH SECTION R12 OF THE R.I. STANDARD SPECIFICATIONS.
 - SEE TABLE 1 FOR STEEL REINFORCEMENT REQUIREMENTS.
 - STEEL REINFORCEMENT FOR BASE SECTION BOTTOM SHALL BE A MINIMUM OF #4 @ 12" O.C.
 - STEPS SHALL CONFORM TO STD. 13.3.0 AND SHALL BE INSTALLED AT THE CASTING PLANT.
 - ONE FOUR MONOLITHIC BASE SECTION.
 - ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAWN-CUTTING AND/OR CORING ONLY. NO JACKHAMMERS, HAMMERS AND CHISELS OR PNEUMATIC TOOLS WILL BE ALLOWED.
 - CORREL BASE OF RED CLAY BRICK WILL BE PERMITTED FOR THE "CONE SECTION" OF THE CATCH BASIN ONLY.
 - FOR CATCH BASIN TYPES "D" AND "F" STEPS MUST BE INSTALLED ON THE CURB SIDE OF THE STRUCTURE.
 - THE CENTERLINE OF THE OPENING MUST BE WITHIN 1" FROM THE STEPS.
 - ALTERNATE TOP SLAB IS STEEL REINFORCED TO MEET OR EXCEED H-20 LOADING (SEE STD. 4.7.2).
 - ALTERNATE TOP SLAB IS ONLY FOR USE WHEN REDUCING SECTION DOES NOT FIT BECAUSE OF STRUCTURE DEPTH.
 - REFER TO STD. 4.2.2 FOR MAXIMUM PIPE SIZES.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN
R.I. STANDARD 4.4.0
JUNE 15, 1998



DRYWELL SYSTEM SUMMARY		
BMP ID:	BMP-1	BMP-2
CHAMBER SIZE (GAL.)	1,000	500
LENGTH (FT)	14.5	11.5
WIDTH (FT)	10.0	9.0
TOTAL AREA (SF)	145.0	103.5
(A) SIDE STONE (IN.)	24.0	24.0
(B) END STONE (IN.)	24.0	20.0
(C) BASE STONE (IN.)	6.0	15.0
(D) COVER STONE (IN.)	6.0	-
EL. BASE STONE	95.0	95.0
EL. BOTTOM OF CHAMBER	95.5	96.25
EL. TOP OF CHAMBER	98.5	99.0
EL. TOP OF SYSTEM	99.0	99.0
(E) TOTAL SYSTEM DEPTH (FT)	4.0	4.0
EL. DRYWELL RIM	101.0	101.0
EL. PROPOSED GRADE	101.0	101.0
EL. APPROX. SHGT	93.0	93.0
REQ. SHGT SEPARATION (FT)	2.0	2.0

- NOTES:
- STONE SHALL BE WASHED CRUSHED STONE MEETING THE REQUIREMENTS OF THE "RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION" SECTION M.01.09 TABLE I.



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2907 POST ROAD
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RHODE ISLAND
WARWICK.

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REGISTERED PROFESSIONAL ENGINEER

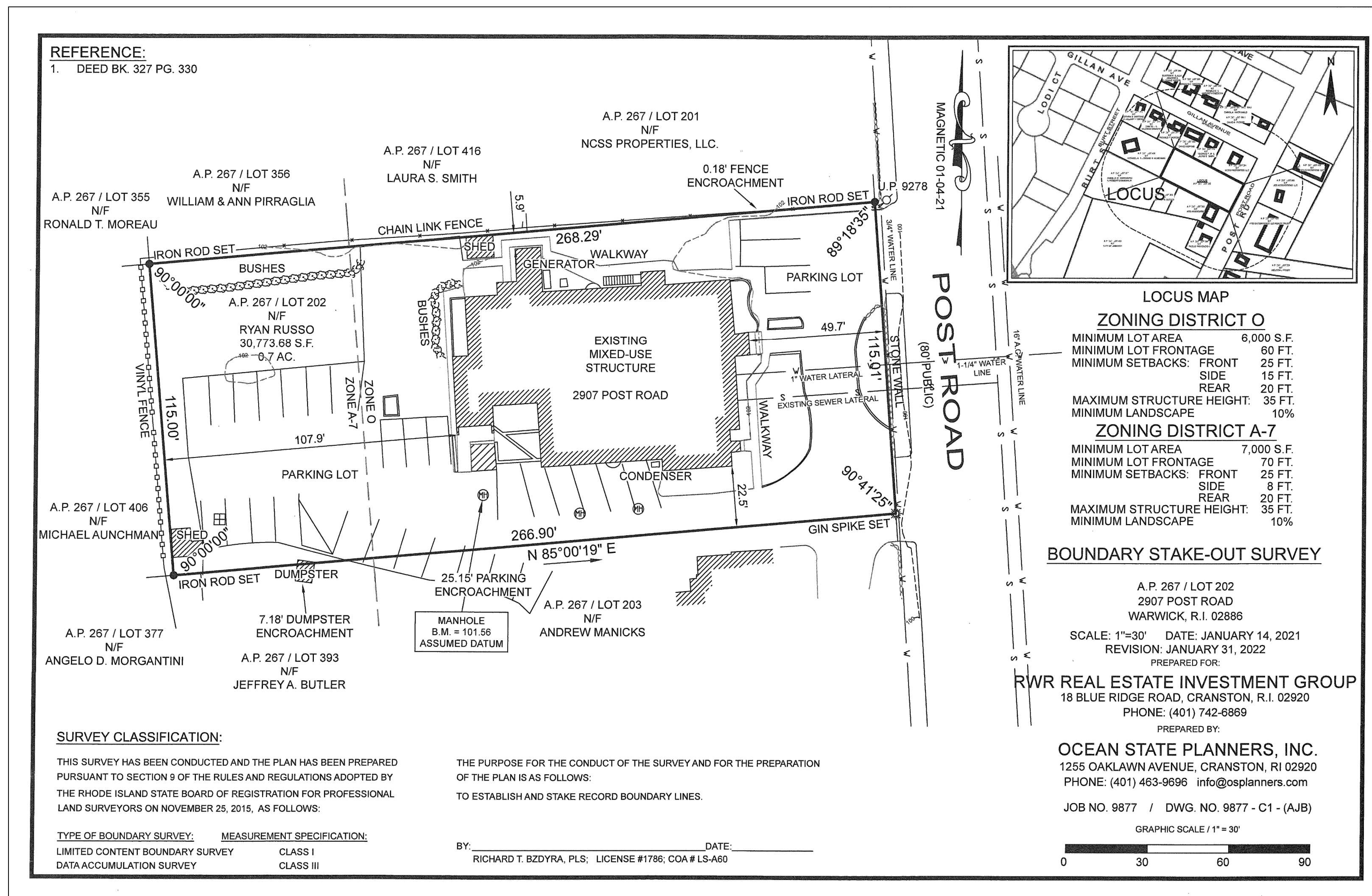
CLIENT
RWR REAL ESTATE MANAGEMENT GROUP, LLC
a division of GM2

DRAWING TITLE
DETAILS 2

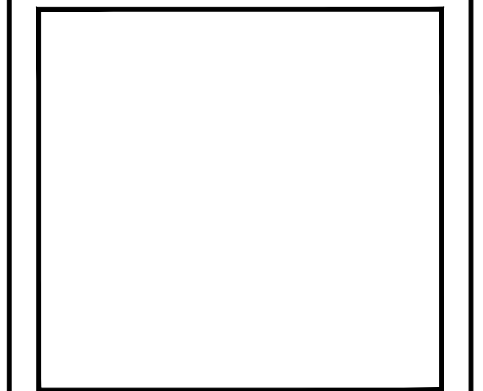
NO. DATE

REVISIONS

PROJECT NO.: 40746
DATE: NOVEMBER 2022
SCALE: AS NOTED
DRAWN BY: LBD
CHECKED BY: BDN
DRAWING NUMBER
6
SHEET 6 OF 8



PROJECT
PROPOSED MULTI-FAMILY
DEVELOPMENT
2907 POST ROAD
PLAT 267 LOT202
WARWICK, RHODE ISLAND



CLIENT
RWR REAL ESTATE MANAGEMENT
GROUP, LLC
a division of GM2

DRAWING TITLE
BOUNDARY STAKE-OUT SURVEY

NO.	DATE	REVISIONS	BY

PROJECT NO.: 40746
DATE: NOVEMBER 2022
SCALE: AS NOTED
DRAWN BY:
CHECKED BY:
DRAWING NUMBER
8
SHEET 8 OF 8