

SITE IMPROVEMENT PLANS for a PROPOSED

MIXED-USE RETAIL AND CONTRACTOR UNITS (PHASE II)

**2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217**

ZONING DISTRICT: GENERAL BUSINESS (GB)



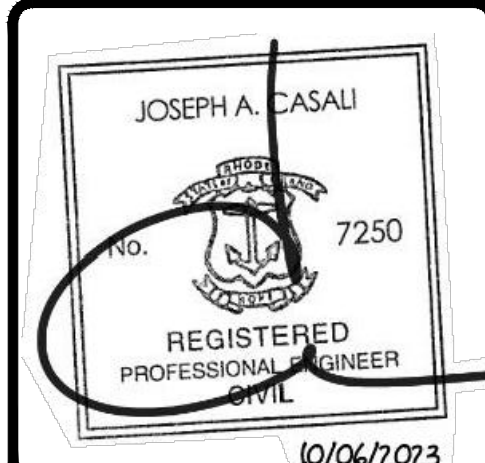
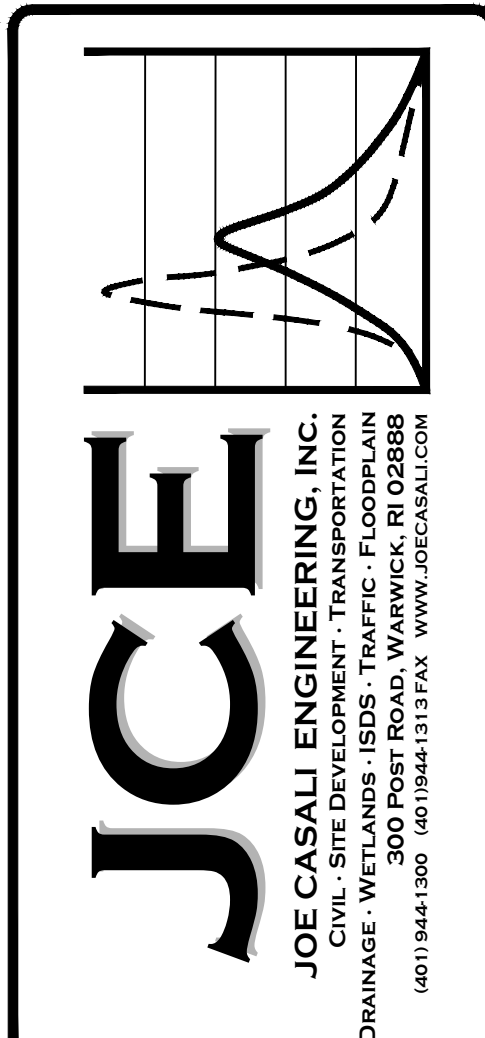
IMAGE COURTESY OF FRANK KARPOWICZ ARCHITECTS, INC.

APPROVALS:

- WARWICK PLANNING BOARD - MASTER PLAN (APRIL 13, 2017)
- WARWICK ZONING BOARD OF REVIEW - SPECIAL USE PERMIT AND DIMENSIONAL RELIEF FOR PHASE I (DECEMBER 20, 2018)
- WARWICK ZONING BOARD OF REVIEW - SPECIAL USE PERMIT AND DIMENSIONAL RELIEF FOR PHASE II (SEPTEMBER 14, 2023)
- WARWICK PLANNING BOARD - PHASE I PRELIMINARY PLAN (DECEMBER 18, 2018)
- WARWICK PLANNING BOARD - PHASE I FINAL PLAN (JULY 2, 2019)
- RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT - PERMITS: RIPDES NO. RIR101718; WQC NO. 18-037; UIC NO.001834 (PHASE II MODIFICATION APPROVED JANUARY 4, 2023)
- RHODE ISLAND DEPARTMENT OF TRANSPORTATION - PHYSICAL ALTERATION PERMIT NO. 18-0314 (PHASE II MODIFICATION APPROVED JANUARY 10, 2023)

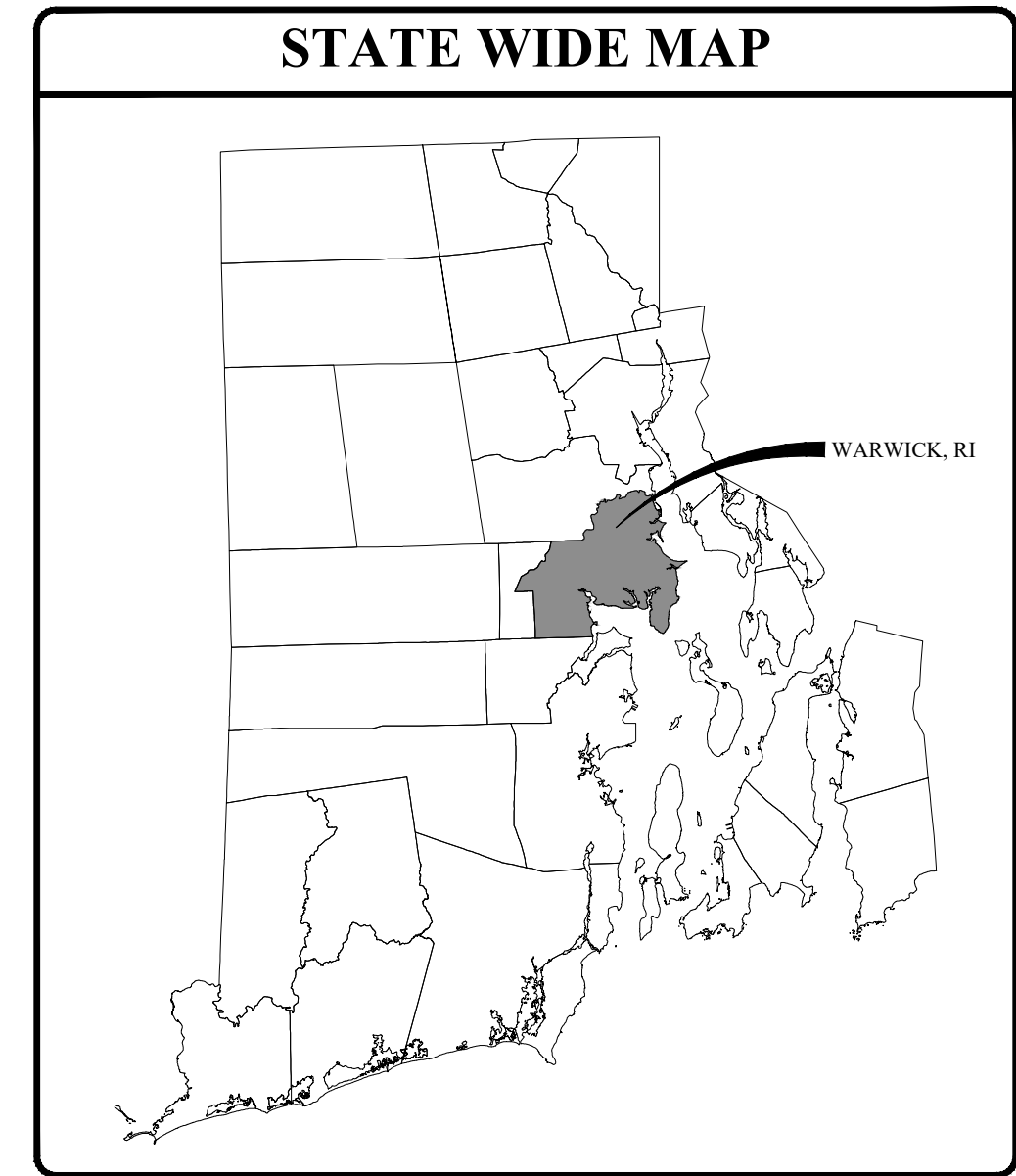
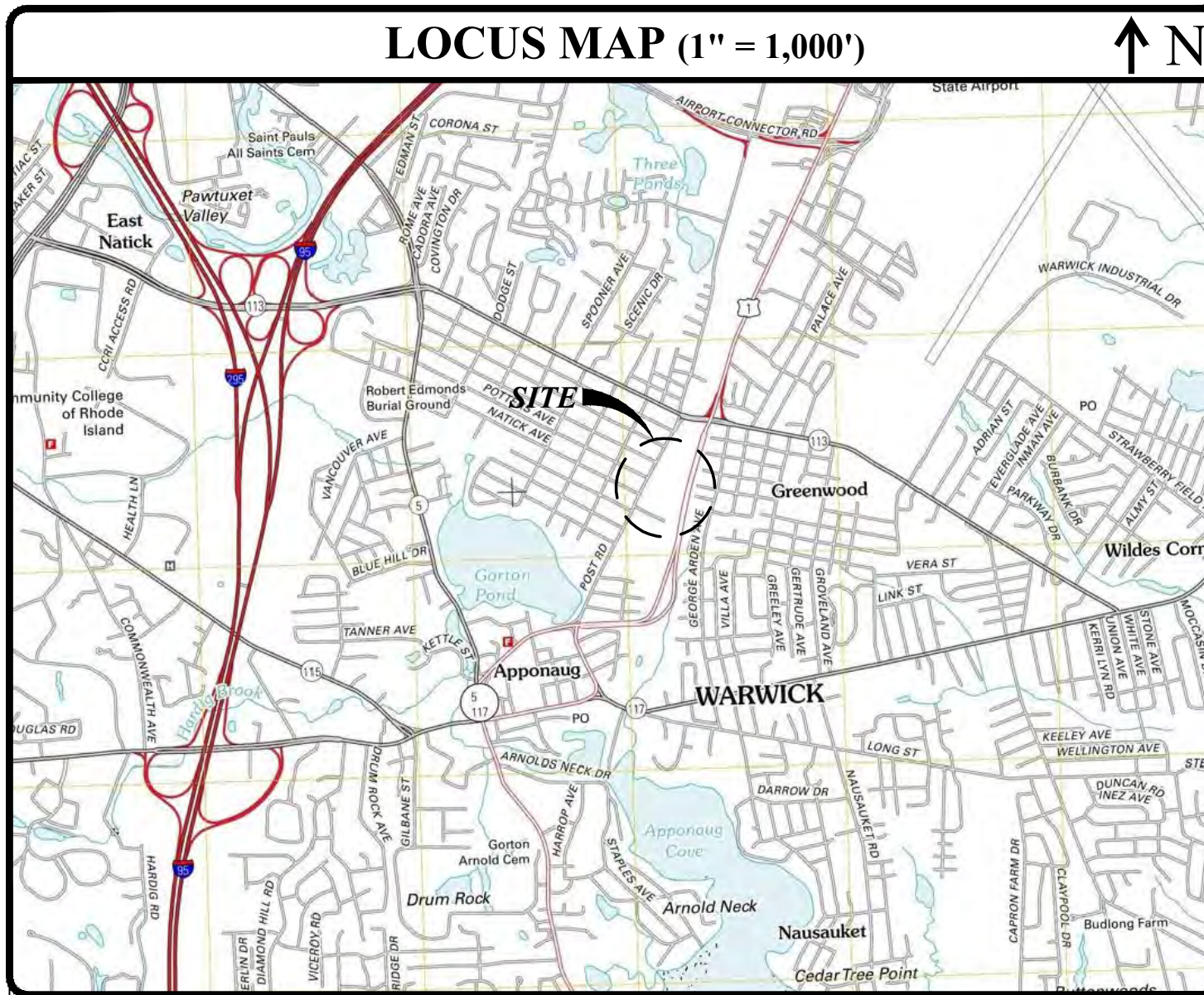
FILINGS:

WARWICK PLANNING BOARD - PHASE 2 PRELIMINARY PLAN



RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

| PROJECT TEAM | | | |
|------------------------------|---|-------------------------------|--|
| OWNER/ APPLICANT: | MALIBU INVESTMENTS, LLC c/o RICK NARDELLA 225 COWESETT AVENUE WEST WARWICK, RI 02893 | ARCHITECT: | FRANK KARPOWICZ ARCHITECTS INC 26 SOUTH COUNTY COMMONS WAY, UNITS A5 WAKEFIELD, RI 02879 PHONE: 401-782-4604 |
| CIVIL ENGINEER: | JOE CASALI ENGINEERING, INC. 300 POST ROAD WARWICK, RI 02888 PHONE: 401-944-1300 FAX: 401-944-1313 JOECASALI.COM | LAND SURVEYOR: | CHERENZIA & ASSOCIATES LTD. 99 MECHANIC STREET PAWCATUCK, CT 06379 |
| | | WETLAND BIOLOGIST: | NATURL RESOURCE SERVICES, INC. P.O. BOX 311 180 TINKHAM LANE HARRISVILLE, RI 02830 PHONE: 401-568-7390 |



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| REVISIONS: | |
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| NO. | DATE DESCRIPTION |
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DESIGNED BY: DRD
DRAWN BY: SD
CHECKED BY: JAC
DATE: OCT. 2023
PROJECT NO: 03-64e

PRELIMINARY, NOT FOR CONSTRUCTION

COVER SHEET

SHEET 1 OF 14

G:\03-64e-Rick-Nardella\03-64e-Post-Road-Storage\AC\03-64e-Post-Road-Alter-Use-Plan\03-64e-2023-11-14.dwg

GENERAL NOTES:

- CLASS I PROPERTY LINE AND CLASS III TOPOGRAPHIC SURVEY COMPLETED BY CHERENZIA & ASSOCIATES LTD., 99 MECHANIC STREET, EAST PAWCATUCK, CT 06379 IN OCTOBER 2021.
- THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
- THIS SITE LIES IN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOOD), AS SHOWN ON THE FIRM MAP FOR THE KENT COUNTY, CITY OF WARWICK RI COMMUNITY PANEL NO. 4454090129J, EFFECTIVE OCTOBER 2, 2015.
- SOILS EXISTING ON THE SITE CONSISTS OF MERRIMAC FINE SANDY LOAM (mMa), 0-3 PERCENT SLOPES, UDORTHERNS-URBAN LAND COMPLEX (UD), URBAN LAND (U1), AND WALPOLE SANDY LOAM, 0-3 PERCENT SLOPES (Wa). SOIL EVALUATION TEST HOLES WERE PERFORMED BY KEVIN FETZER IN MAY 2017.
- THE PROPOSED DEVELOPMENT IS LOCATED WITHIN THE GREENWICH BAY WATERSHED (RIDEM INVENTORY #010900040903). THERE ARE NO EXTRAORDINARY OR UNUSUAL FEATURES ON THE SUBJECT SITE.
- TELEPHONE, ELECTRIC, SEWER, AND WATER SERVICES ARE AVAILABLE FROM WITHIN POST ROAD.

SITE NOTES:

- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
- ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS, AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICAN WITH DISABILITIES ACT AND WITH ALL APPLICABLE STATE AND LOCAL LAWS AND REGULATIONS, WHICHEVER IS MORE STRINGENT.
- STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
- ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
- THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
- ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
- WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AND THE TOWN AT NO ADDITIONAL COST TO THE OWNER.
- ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER.
- THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION, UNLESS OTHERWISE NOTED ON THE SITE PLANS.
- THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
- ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
- WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
- ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
- ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
- ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, AMENDED DECEMBER 2010 (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- THE SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
- THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH SILT SACK SEDIMENT TRAPS AND/OR STRAW WATTLES DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) OUTLET PROTECTION (STAKED HAYBALE OR STAKED HAYBALE WITH SILT FENCE) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND OF VEGETATION IS MAINTAINED.
- ALL SILT FENCE, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- THE SILT FENCE SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. WEEKLY INSPECTION REPORTS SHALL BE PREPARED IN ACCORDANCE WITH THE PROJECT'S SOIL EROSION AND SEDIMENTATION CONTROL PLAN (SESCP). THE CONTRACTOR SHALL REPAIR OR REPLACE ANY SILT FENCE AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE SILT FENCE BECOMES FILLED WITH SEDIMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENT CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE ENGINEER, TOWN ENGINEER, OR OWNER WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", ISSUED 1989 (REVISED 2014, UPDATED 2016).

DRAINAGE SYSTEM NOTES:

- THE PROPOSED DRAINAGE LINES SHALL BE ADS N-12 HDPE PIPE OR AN APPROVED EQUAL UNLESS OTHERWISE NOTED ON THE SITE PLANS.
- ALL RIM ELEVATIONS SHOWN ARE APPROXIMATE AND ARE TO BE SET FLUSH WITH FINAL GRADES.

BMP MAINTENANCE SCHEDULE:

- ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL INCLUDE:
 - A. MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER RUNOFF (DRAINAGE) AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS ALL PIPES, INTAKE AND DISCHARGE STRUCTURES, CATCH BASIN SUMPS, AND MANHOLES.
 - B. INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES FOR STRUCTURAL INTEGRITY/STABILITY AND EVIDENCE OF SOIL EROSION PROCESSES, AND MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BI-MONTHLY IF NO RAINFALL EVENT OCCURS.
- UPON COMPLETION OF THE PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION AND CLEANING OF THE DRAINAGE SYSTEM AND ALL ASSOCIATED STRUCTURES.
- ALL INSTALLATION, CLEANING, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL FOLLOW AT LEAST THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION MINIMUM STANDARDS, SECTION 212 AND SECTION 708. WHERE APPROPRIATE, PROCEDURES REGARDING THE DRAINAGE INSTALLATION, CLEANING, INSPECTION, AND MAINTENANCE OF THE STORMWATER DRAINAGE SYSTEM SHALL BE FOLLOWED AS OUTLINED IN THE "RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL" (RIDEM/RCRMC, 2010).
- AFTER CONSTRUCTION, STORMWATER BMPs SHALL BE INSPECTED AND MAINTAINED BY THE OLD COUNTY VILLAGE CONDOMINIUM ASSOCIATION AS FOLLOWS:

CATCH BASINS

- INSPECTIONS SHALL BE PERFORMED A MINIMUM OF 2 TIMES PER YEAR (SPRING/FALL). UNITS SHALL BE CLEANED WHENEVER THE DEPTH OF SEDIMENT IS GREATER THAN OR EQUAL TO 2-FEET (LESS THAN 2-FEET FROM THE BOTTOM OF PIPE). ALL REMOVED SEDIMENT SHALL BE TESTED TO DETERMINE POLLUTANT CONTENT AND SHALL BE REMOVED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- THE INLET GRATE SHALL NOT BE WELDED TO THE FRAME SO THAT THE SUMP CAN BE EASILY INSPECTED AND MAINTAINED.

ROOF DRAIN LEADERS

- PERFORM ROUTINE ROOF INSPECTIONS QUARTERLY.
- KEEP ROOFS CLEAN AND FREE OF DEBRIS.
- KEEP ROOF DRAINAGE SYSTEMS CLEAR.

UNDERGROUND INFILTRATION SYSTEM

- INFILTRATION SYSTEMS SHALL BE INSPECTED ON A BI-ANNUAL BASIS TO ENSURE PROPER FUNCTIONS. INSPECTION PORTS SHALL BE USED TO VERIFY THAT THE SYSTEMS ARE DRAINING WITHIN 72 HOURS. IF THE SYSTEM FAILS TO DRAIN WITHIN 72-HOURS, THE SYSTEM SHALL BE CLEANED OR REPLACED AS NECESSARY.
- THE INFILTRATION SYSTEM SHALL BE INSPECTED BI-ANNUALLY FOR SEDIMENT ACCUMULATIONS. IF THE SYSTEM HAS ACCUMULATED 3 INCHES OF SEDIMENT, THE SEDIMENT SHALL BE REMOVED BY FLUSHING FROM THE SYSTEM WITH HIGH PRESSURE WATER JETS AND AND VACUUMING THE SEDIMENT AND DEBRIS THROUGH THE ACCESS PORTS. ALL SEDIMENT REMOVED SHALL BE DISPOSED OF IN ACCORDANCE WITH ALL STATE AND FEDERAL REGULATIONS.

LOAMING & SEEDING NOTES:

SEEDING ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH SECTION L.02 SEEDING OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA), AND SHALL ALSO CONFORM TO THE FOLLOWING:

- AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS AND AREAS LABELED AS 'LOAM AND SEED' ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. SCARIFY THE SUBGRADE TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE OR A POWER RAKE TO RESULT IN AN UNCOMPACTED SUBSOIL. 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
- THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF WEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.18.01 OF THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2010 EDITION (WITH LATEST ADDENDA).
- PRIOR TO SEEDING OR SODDING, FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 1-2" OF THE PLANTING SOIL. APPLY AT A RATE OF 8 LBS. PER 1000 SQUARE FEET.
- APPLY LIME AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATE INTO THE TOP 1-2" OF TOPSOIL.
- SEEDING**
AFTER THE SEED BED IS PREPARED, SEED IS TO BE BROADCAST EVENLY OVER THE SURFACE AND WORKED INTO THE TOP 1" OF SOIL. SEED SHALL BE APPROVED URI #2 OR APPROVED EQUAL. APPLY AT A RATE OF 4-5 LBS. PER 1000 SQUARE FEET OR AS OTHERWISE DIRECTED BY THE MANUFACTURER.
URI #2 IMPROVED SEED MIX, % BY WEIGHT:
40% CREEPING RED FESCUE
20% IMPROVED PERENNIAL RYEGRASS
20% IMPROVED KENTUCKY BLUEGRASS
20% KENTUCKY BLUEGRASS

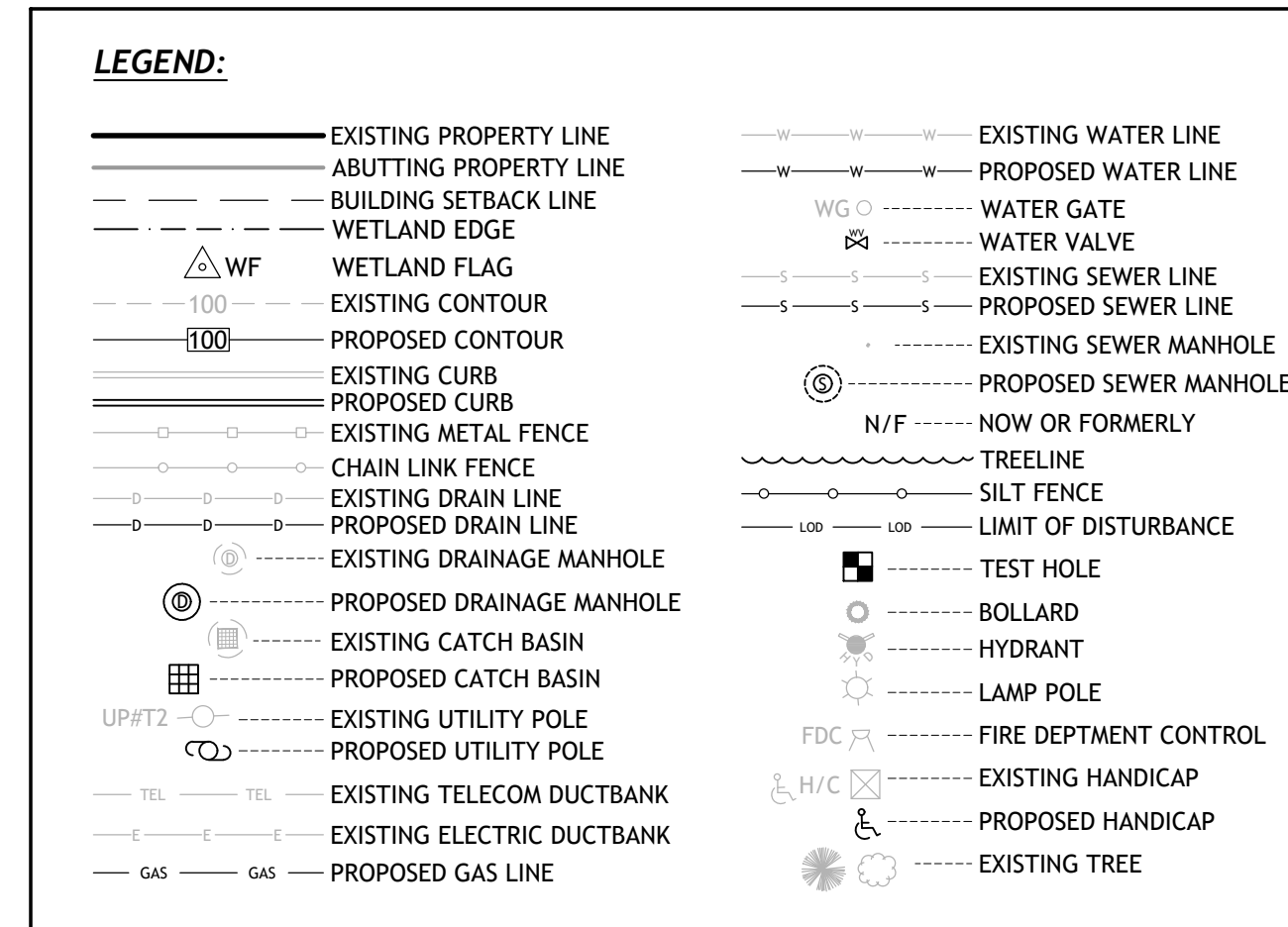
RECOMMENDED SEEDING DATES ARE MARCH 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15. AT THE CONTRACTORS DISCRETION, SEED MAY BE APPLIED BY HYDROSEEDING RATHER THAN THE METHOD DESCRIBED ABOVE.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD), 2009 EDITION.
- TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DEVICES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR TOWN RIGHT-OF-WAY.
- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC, SHALL BE IN ACCORDANCE WITH THE LATEST REVISIONS OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION.
- SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE RIDOT SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

MISCELLANEOUS UTILITY NOTES:

- PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION.
- OVERHEAD AND/OR UNDERGROUND ELECTRIC, GAS AND COMMUNICATIONS SERVICES ARE TO BE COORDINATED BY THE CONTRACTOR WITH THE APPROPRIATE UTILITY COMPANY.
- THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THEIR OPERATIONS.
- THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER AND/OR THE TOWN OF SMITHFIELD.
- EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.
- THE CONTRACTOR SHALL CONFINE HIS CONSTRUCTION OPERATIONS AND ACTIVITIES TO WITHIN THE STREET LINES, EASEMENT AND/OR RIGHT-OF-WAY, AS SHOWN ON THE DRAWINGS.
- ALL CONSTRUCTION MATERIALS, AS WELL AS ALL MATERIAL SHOP DRAWINGS AND MANUFACTURERS DATA SHEETS SHALL BE REVIEWED AND APPROVED BY THE DESIGN ENGINEER, OR HIS/HER REPRESENTATIVE PRIOR TO FABRICATION AND INSTALLATION.



GENERAL LOCATION AND PHASING PLAN
NOT TO SCALE

JCE
JOE CASALI ENGINEERING, INC.
CIVIL ENGINEERING, TRAFFIC ENGINEERING, SURVEYING, LANDSCAPE ARCHITECTURE
DRAINAGE - 300 POST ROAD, WARWICK, RI 02888
(401) 844-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
7250
REGISTERED PROFESSIONAL ENGINEER
10/06/2023

RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

REVISIONS:

| NO. | DATE | DESCRIPTION |
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| | |
|--------------|-----------|
| DESIGNED BY: | DRD |
| DRAWN BY: | SD |
| CHECKED BY: | JAC |
| DATE: | OCT. 2023 |
| PROJECT NO.: | 03-64e |

PRELIMINARY, NOT FOR CONSTRUCTION

GENERAL NOTES & LEGEND

SHEET 2 OF 14

PARKING CALCULATION

Per City of Warwick Zoning Ordinance Section 701.7 Off-Street Parking Requirements:

PHASE I - EXISTING SELF-STORAGE

SELF-STORAGE USE: PER SECTION 701.9 OTHER USES - PARKING REQUIREMENTS SHALL BE DETERMINED BY THE BUILDING OFFICIAL. PER BUILDING OFFICIAL, 1 SPACE PER 500 SQ. FT. REQUIRED.

TOTAL SELF-STORAGE SQUARE FOOTAGE = 113,785 SQ. FT. * 1 SPACE/500 SQ. FT. = 228 SPACES
STORAGE FACILITY OFFICE = 1,600 SQ. FT. * (1 SPACE/250 SF) = 6 SPACES

PHASE II - PROPOSED CONTRACTOR STORAGE and MULTI-USE PLAZA

CONTRACTOR RENTAL USE: PER SECTION 701.9 OTHER USES - PARKING REQUIREMENTS SHALL BE DETERMINED BY THE BUILDING OFFICIAL. PER BUILDING OFFICIAL, 1 SPACE PER 500 SQ. FT. REQUIRED.

TOTAL CONTRACTOR UNIT/MINI-STORAGE SQUARE FOOTAGE = 58,900 SQ. FT. * 1 SPACE/500 SQ. FT. = 110 SPACES
POTENTIAL MEDICAL: (1 SPACE/200 SF) X 1,850 SF = 9 SPACES
POTENTIAL BUSINESS: (1 SPACE/250 SF) X 2,750 SF = 11 SPACES
POTENTIAL OTHER RETAIL: (1 SPACE/200 SF) X 2,500 SF = 13 SPACES
POTENTIAL RESTAURANT: (1 SPACE/100 SF) X 2,400 SF = 24 SPACES

GLOBAL PARKING REQUIREMENT (PHASE I AND II):

TOTAL PARKING SPACES REQUIRED: 401 SPACES (9 ADA)
TOTAL PARKING SPACES PROVIDED: 199 SPACES (8 ADA)

RELIEF REQUESTED = 202 SPACES (49%)

| ZONING CRITERIA | REQUIRED | PRE-EXISTING | PROPOSED |
|---------------------------------|----------|----------------------|------------|
| ZONING DISTRICT | GB | GB | GB |
| MINIMUM LOT AREA | 7,000 SF | 470,520 SF | 470,520 SF |
| MINIMUM FRONTAGE | 70 FT | 438.91 FT | 438.91 FT |
| MINIMUM LOT WIDTH | 70 FT | 439 FT | 439 FT |
| MIN. FRONT AND CORNER SIDE YARD | 25 FT | >25 FT | 84.2 FT |
| MINIMUM SIDE YARD | 15 FT | >15 FT | 34.0 FT |
| MINIMUM REAR YARD | 20 FT | 5.14 FT ¹ | 32.2 FT |
| MAXIMUM STRUCTURE HEIGHT | 35 FT | <35 FT | <35 FT |
| MINIMUM LANDSCAPED OPEN SPACE | 10% | >10% | 14.8% |

NOTE(S):

- EXISTING NON-CONFORMING STRUCTURE TO BE RAZED.
- SPECIAL USE PERMIT REQUIRED PER SECTION 304.5 OF THE WARWICK ZONING ORDINANCE FOR MORE THAN ONE NON-RESIDENTIAL USE OR BUILDING ON A LOT.

VARIANCES / DIMENSIONAL RELIEF REQUESTS:

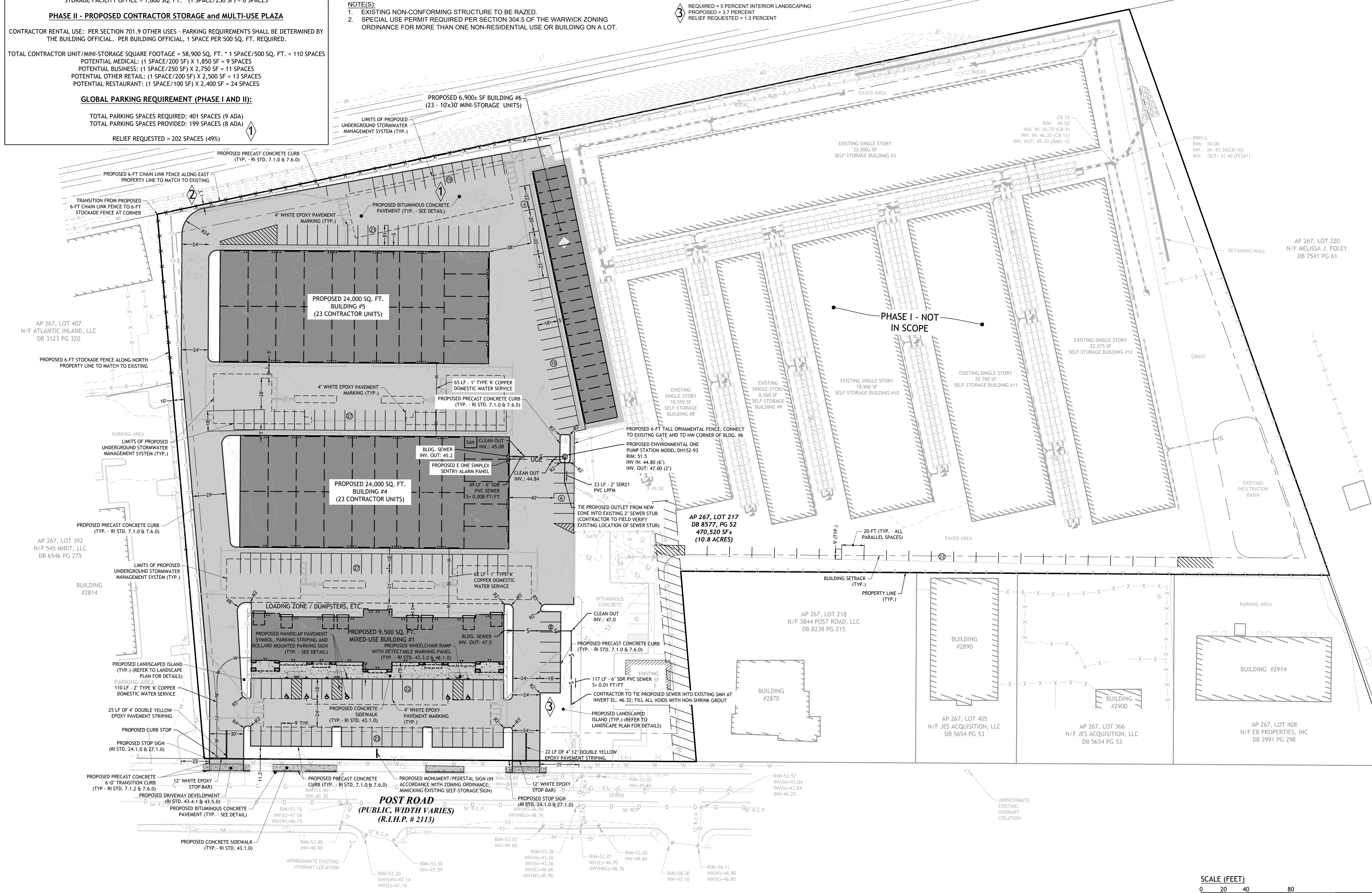
THE FOLLOWING VARIANCES FROM THE CITY OF WARWICK ZONING ORDINANCE ARE REQUESTED:

505.1(B): MIN. 20-FT LANDSCAPED BORDER SHALL BE PROVIDED ALONG ANY PROPERTY LINE THAT ABUTS A RESIDENTIAL DISTRICT.

REQUIRED = 20-FT
PROPOSED = 3.1-FT
RELIEF REQUESTED = 16.9-FT

505.6.B: MINIMUM 5 PERCENT INTERIOR LANDSCAPING

REQUIRED = 5 PERCENT INTERIOR LANDSCAPING
PROPOSED = 3.7 PERCENT
RELIEF REQUESTED = 1.3 PERCENT



JCE
JOE CASALI ENGINEERING, INC.
CIVIL ENGINEERING, ARCHITECTURE, PLANNING
DRAINAGE - WARWICK, RHODE ISLAND
300 POST ROAD, WARWICK, RI 02886
(401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
10/04/2023

RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

REVISIONS:

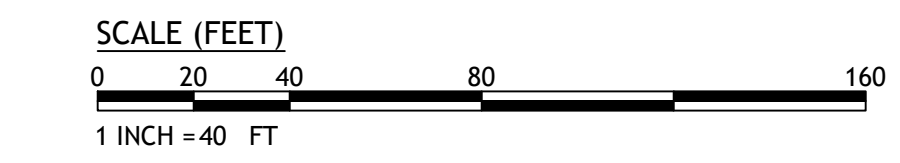
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DESIGNED BY: DRD
DRAWN BY: SD
CHECKED BY: JAC
DATE: OCT. 2023
PROJECT NO: 03-64e

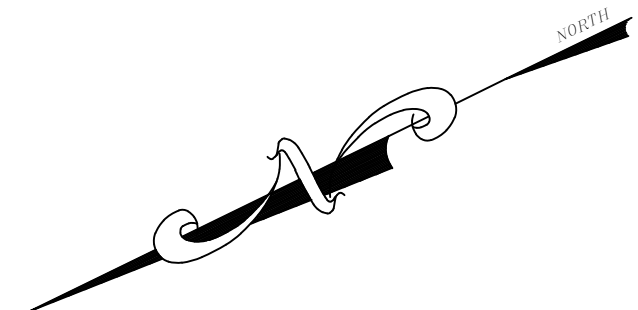
PRELIMINARY, NOT FOR CONSTRUCTION

SITE & UTILITY PLAN

SHEET 4 OF 14



C:\03-64e-Rick_Hardfield\03-64e-Post_Road_Storage\ACAD\2826 Post_Road_Altred_Use [Zoning R1].dwg, Oct. 06, 2023 11:42am



Vehicle Tracking v21.00 - Pool

| Vehicle Tracking Vehicle Details | Ref: |
|----------------------------------|------------------------------|
| Vehicle Name: | E-ONE HP95 Mid Mount |
| Type: | Rigid vehicle |
| Category: | (Unspecified) |
| Classification: | (Unspecified) |
| Source: | |
| Description: | Cyclone II Chassis |
| Notes: | |
| Unit 1 Name: | E-ONE HP95 Mid Mount Tractor |

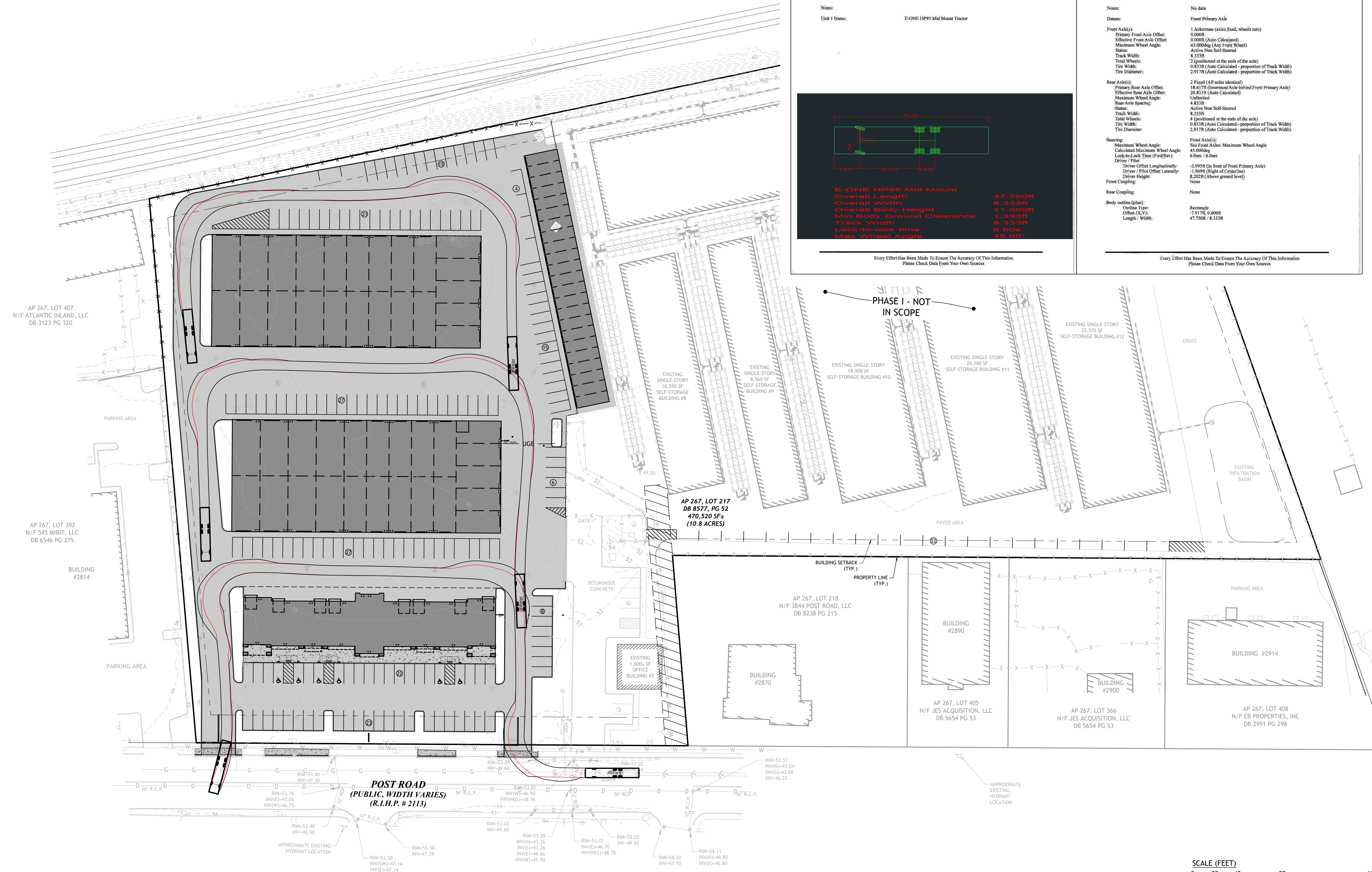
E-ONE HP95 Mid Mount
 Overall Length: 47.750ft
 Overall Width: 8.333ft
 Overall Body Height: 11.000ft
 Min Body Ground Clearance: 1.389ft
 Track Width: 8.333ft
 Lock-to-lock time: 6.00s
 Max Wheel Angle: 45.00°

Every Effort Has Been Made To Ensure The Accuracy Of This Information.
Please Check Data From Your Own Sources

Vehicle Tracking v21.00 - Pool

| Vehicle Tracking Vehicle Details | Ref: |
|----------------------------------|--|
| Unit Name: | E-ONE HP95 Mid Mount Tractor |
| Type: | Tractor (with driver controlled steering) |
| Body style: | Fire Tractor |
| Classification: | (Unspecified) |
| Source: | No data |
| Description: | No data |
| Notes: | No data |
| Datum: | Front Primary Axle |
| Front Axle(s): | 1 Ackerman (axles fixed, wheels turn) |
| Primary Front Axle Offset: | 0.000ft |
| Effective Front Axle Offset: | 0.000ft (Auto Calculated) |
| Maximum Wheel Angle: | 45.000deg (Any Front Wheel) |
| Status: | Active Non Self-Steered |
| Track Width: | 8.333ft |
| Total Wheels: | 2 (positioned at the ends of the axle) |
| Tire Width: | 0.833ft (Auto Calculated - proportion of Track Width) |
| Tire Diameter: | 2.917ft (Auto Calculated - proportion of Track Width) |
| Rear Axle(s): | 2 Fixed (All axles identical) |
| Primary Rear Axle Offset: | 18.417ft (Innermost Axle behind Front Primary Axle) |
| Effective Rear Axle Offset: | 20.833ft (Auto Calculated) |
| Maximum Wheel Angle: | Unlimited |
| Rear Axle Spacing: | 4.833ft |
| Status: | Active Non Self-Steered |
| Track Width: | 8.333ft |
| Total Wheels: | 4 (positioned at the ends of the axle) |
| Tire Width: | 0.833ft (Auto Calculated - proportion of Track Width) |
| Tire Diameter: | 2.917ft (Auto Calculated - proportion of Track Width) |
| Steering: | Front Axle(s): See Front Axles: Maximum Wheel Angle: 45.000deg Calculated Maximum Wheel Angle: 45.000deg Lock-to-lock Time (Fwd/Rwd): 6.00s / 6.00s Driver / Pilot: Driver Offset Longitudinally: -2.995ft (in front of Front Primary Axle) Driver / Pilot Offset Laterally: -1.069ft (Right of Centerline) Driver Height: 8.202ft (Above ground level) None |
| Front Coupling: | None |
| Rear Coupling: | None |
| Body outline (plan): | Rectangle Outline Type: Offset (X,Y): Length / Width: 47.750ft / 8.333ft |

Every Effort Has Been Made To Ensure The Accuracy Of This Information.
Please Check Data From Your Own Sources



JOSEPH A. CASALI
 No. 7250
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 10/06/2023

RETAIL AND CONTRACTOR UNITS
 2826 POST ROAD
 WARWICK, RHODE ISLAND
 AP 267, LOT 217

REVISIONS:

| NO. | DATE | DESCRIPTION |
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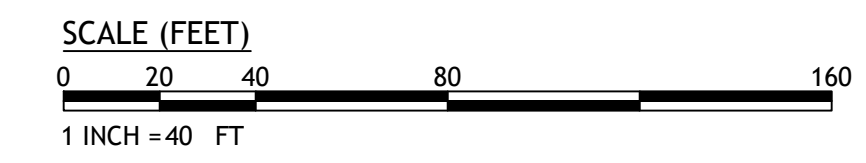
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| DESIGNED BY: | DRD |
| DRAWN BY: | SD |
| CHECKED BY: | JAC |
| DATE: | OCT. 2023 |
| PROJECT NO.: | 03-64c |

PRELIMINARY, NOT FOR CONSTRUCTION

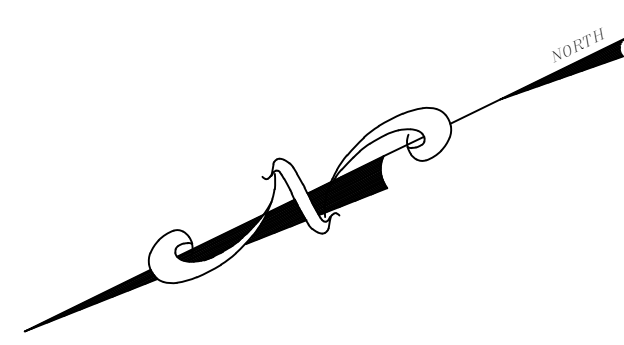
SITE PLAN WITH FIRE TRUCK TURNING TEMPLATE

SHEET 4A OF 14

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C:\03_44_Rick_Hardfield\03-44e Post Road Storage\ACID\2826 Post Road Aligned Use [Zoning R1].dwg, Oct. 06, 2023 11:42am



AP 267, LOT 367
N/F NATIONAL RR
PASSENGER CORP.
DB 1/3 PG 15,612

357 LF - 12" ADS
N-12 HDPE PIPE
S = -0.007 FT/FT

FES #1
INV.: 41.50

CB #10
RIM: 49.50
INV. IN: 45.70 (CB-9)
INV. IN: 46.20 (CB-11)
INV. OUT: 45.30 (DMH-2)

DMH #2
RIM: 50.00
INV. IN: 45.30(CB-10)
INV. OUT: 31.40 (FES#1)

AP 267, LOT 220
N/F MELISSA J. FOLEY
DB 7541 PG 61

AP 267, LOT 407
N/F ATLANTIC INLAND, LLC
DB 3123 PG 320

AP 267, LOT 392
N/F 545 MIBIT, LLC
DB 6546 PG 275

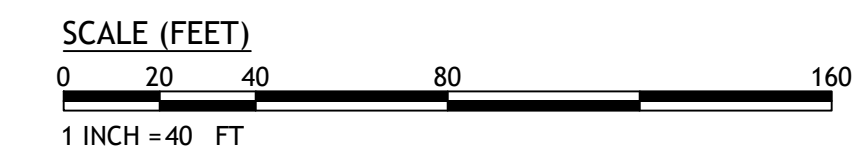
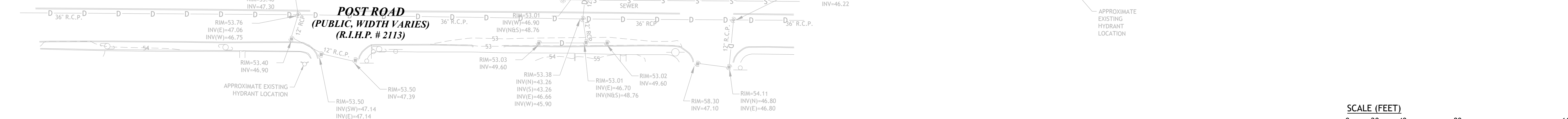
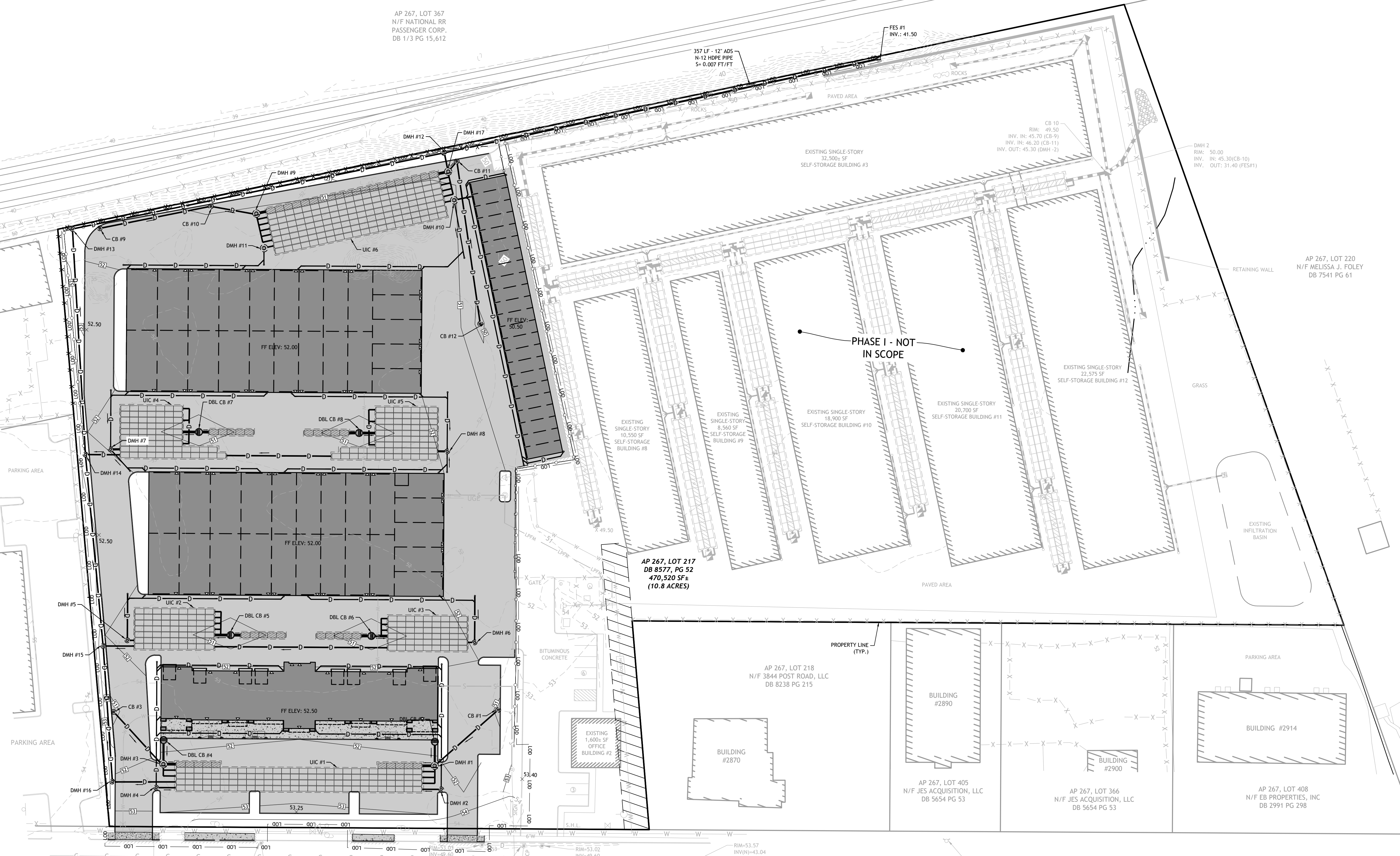
AP 267, LOT 217
DB 8577, PG 52
470,520 SF±
(10.8 ACRES)

AP 267, LOT 218
N/F 3844 POST ROAD, LLC
DB 8238 PG 215

AP 267, LOT 405
N/F JES ACQUISITION, LLC
DB 5654 PG 53

AP 267, LOT 366
N/F JES ACQUISITION, LLC
DB 5654 PG 53

AP 267, LOT 408
N/F EB PROPERTIES, INC
DB 2991 PG 298



JOE CASALI ENGINEERING, INC.
CIVIL ENGINEERING, SITE DESIGN, SURVEYING, PLANNING
DRAINAGE - WATER CONTROL - 300 POST ROAD, WARWICK, RI 02888
(401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
10/06/2023

RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

REVISIONS:

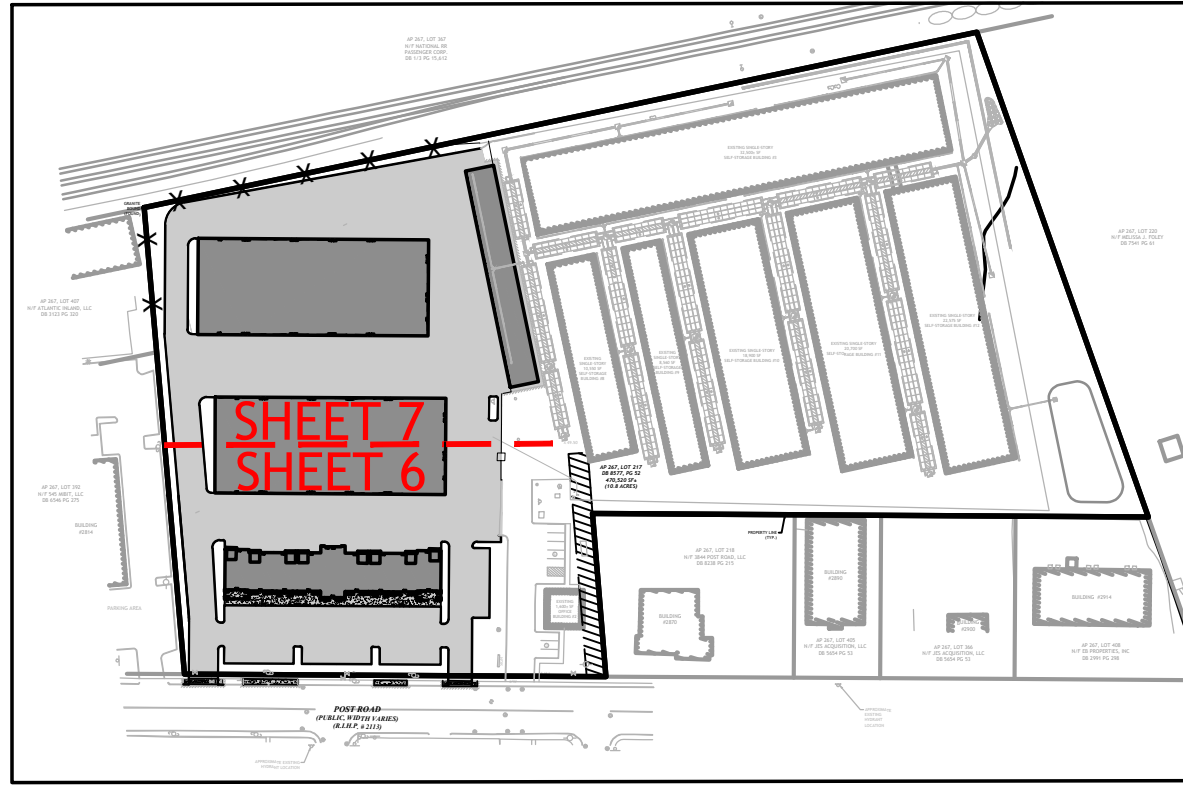
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DESIGNED BY: DRD
DRAWN BY: SD
CHECKED BY: JAC
DATE: OCT. 2023
PROJECT NO: 03-64e

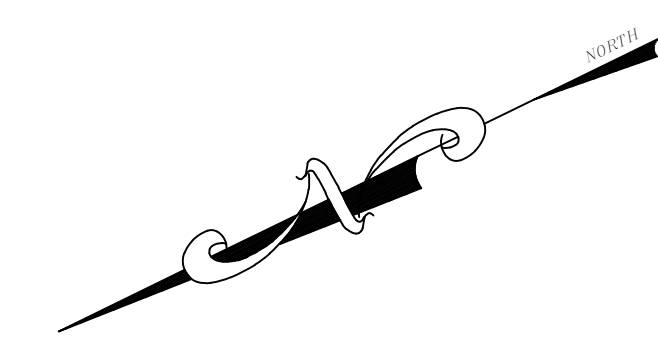
PRELIMINARY, NOT FOR CONSTRUCTION

OVERALL GRADING & DRAINAGE PLAN

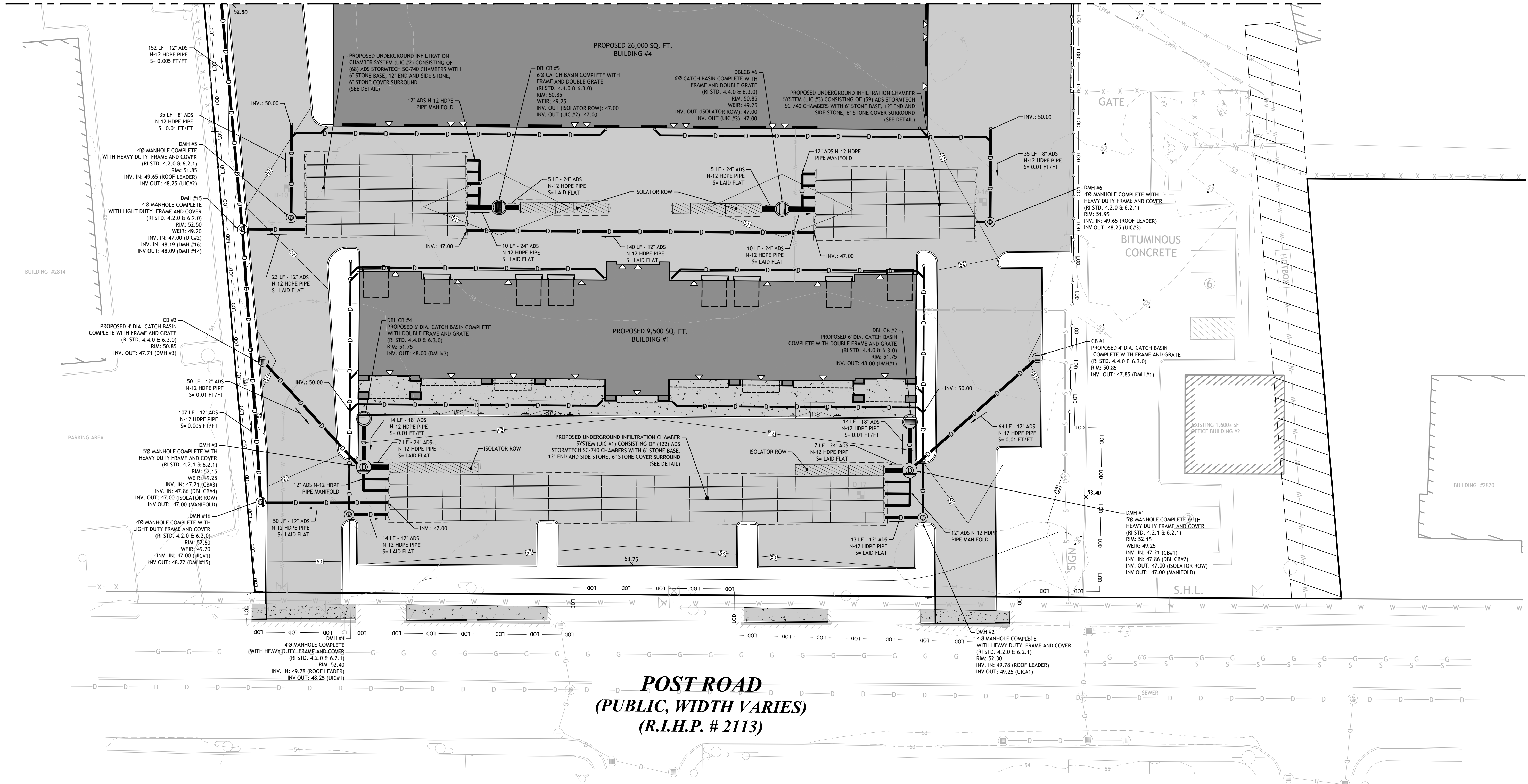
SHEET 5 OF 14



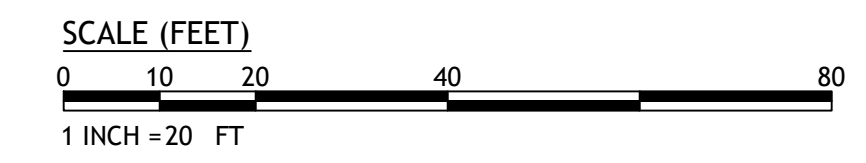
GRADING & DRAINAGE SHEET KEY PLAN
SCALE: 1"=200'



MATCH LINE (TO TOP - SHEET #7)



POST ROAD
(PUBLIC, WIDTH VARIES)
(R.I.H.P. # 2113)



JOE CASALI ENGINEERING, INC.
CIVIL ENGINEERING, SITE DESIGN, SURVEYING, DRAINAGE
300 POST ROAD, WARWICK, RI 02888
(401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
No. 7250
REGISTERED PROFESSIONAL ENGINEER
10/04/2023

RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

| NO. | DATE | DESCRIPTION |
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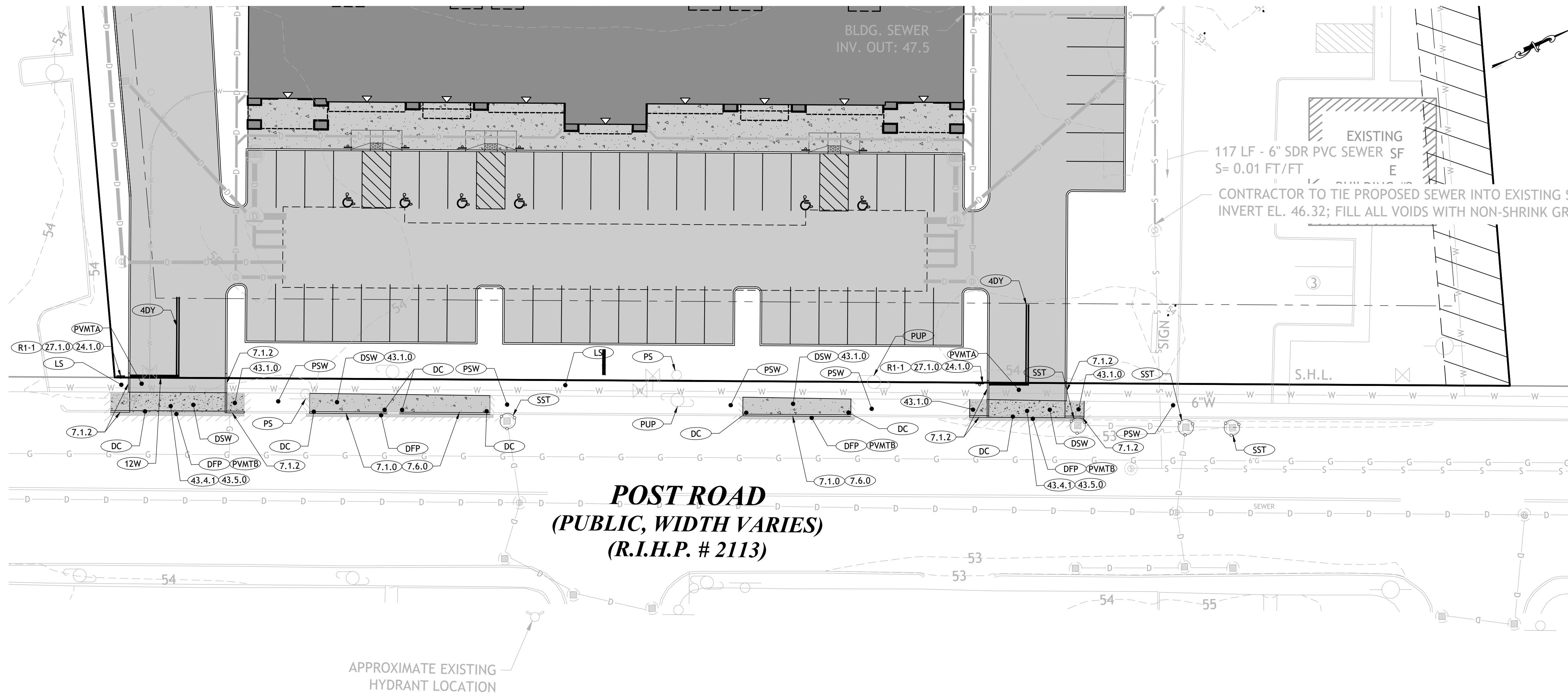
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PROJECT NO: 03-64e

PRELIMINARY, NOT FOR CONSTRUCTION

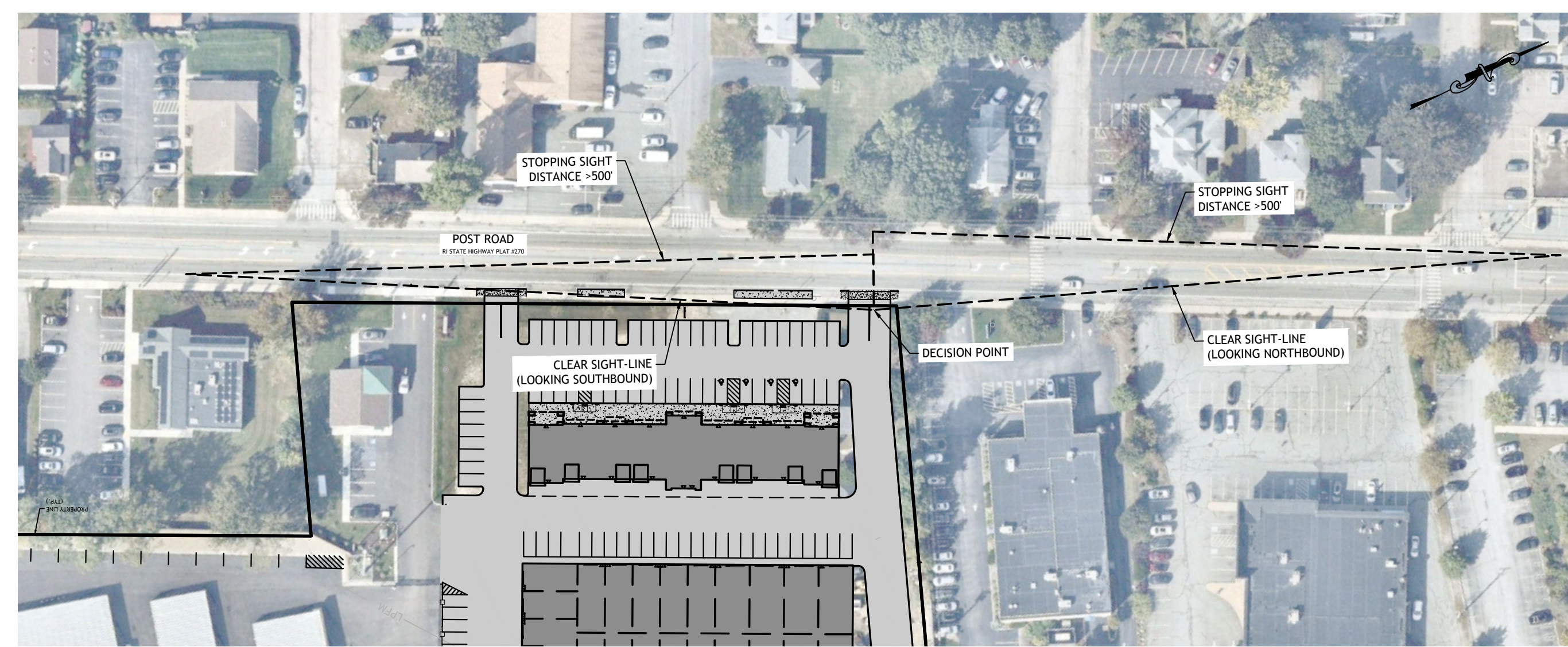
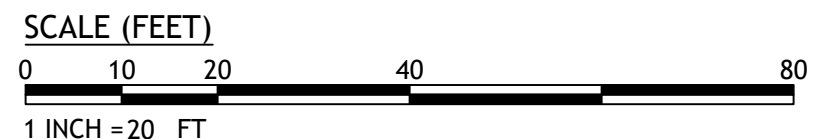
GRADING & DRAINAGE
DETAIL PLAN I

SHEET
6 OF 14

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POST ROAD STATE RIGHT-OF-WAY PLAN
SCALE: 1" = 20'



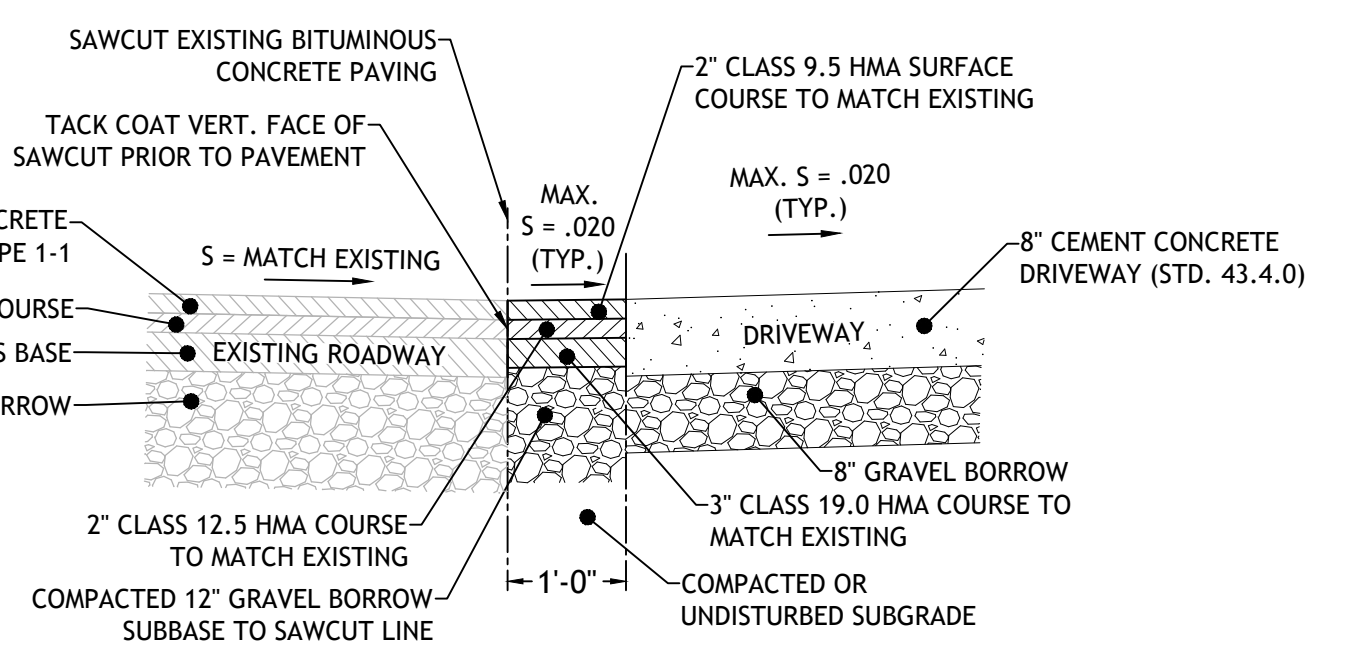
LOCATION KEY PLAN
SCALE: 1" = 80'

POSTED SPEED LIMIT ON POST ROAD: 35 MPH

AASHTO STOPPING SIGHT DISTANCE (SSD) REQUIREMENTS:

| SPEED | DISTANCE |
|-------|------------------|
| 25 | 155 FT. |
| 30 | 200 FT. |
| 35 | 250 FT. (POSTED) |
| 55 | 495 FT. |

SITE MEETS REQUIREMENTS FOR THE POSTED SPEED LIMIT ON POST ROAD BASED ON A TRAFFIC IMPACT STUDY PERFORMED BY BETA GROUP IN MARCH 2017. THE AVAILABLE SIGHT DISTANCES AT THE PROPOSED DRIVEWAY LOCATION ON POST ROAD ARE IN EXCESS OF 500 FEET TO THE NORTH AND SOUTH. THESE VALUES ARE GREATER THAN AASHTO'S RECOMMENDED MINIMUM SIGHT DISTANCE OF 360 FEET BASED ON THE POSTED SPEED LIMIT OF 35 MPH AND THE 30 TO 45 MPH SPEEDS OBSERVED ALONG THIS SECTION OF POST ROAD.



- NOTES:**
- MINIMUM COMPACTION FOR GRAVEL SUB-BASE OR SUBGRADE: 95% MODIFIED PROCTOR.
 - NO WORK SHOULD BE DONE OUTSIDE OF THE PROJECT SITE. PAVEMENT SHOULD MATCH WHERE NOTED ON THE SITE PLANS.
 - WHEN MATCHING EXISTING PAVEMENT, THE LONGITUDINAL CUT AND MATCH SECTION SHOULD NOT EXCEED PAST THE SHOULDER STRIPING.

PVMT B) ROW SAWCUT AND MATCH DETAIL
NOT TO SCALE

RHODE ISLAND STANDARDS:

- DC REMOVE AND DISPOSE CURB
- DFP REMOVE AND DISPOSE FLEXIBLE PAVEMENT
- DSW REMOVE AND DISPOSE SIDEWALK
- LS LOAM & SEED
- PS PROTECT SIGN
- PSW PROTECT SIDEWALK
- PUP PROTECT UTILITY POLE
- SST SILTSACK SEDIMENT TRAP
- 4DY 4" EPOXY RESIN PAVEMENT MARKINGS - DOUBLE YELLOW
- 12W 12" EPOXY RESIN PAVEMENT MARKINGS - WHITE
- 7.1.0 PRECAST CONCRETE CURB
- 7.1.2 6'-0" PRECAST CONCRETE TRANSITION CURB
- 7.6.0 CURB SETTING
- 24.1.0 SIGN POST INSTALLATION SQUARE POST
- 27.1.0 REGULATORY SIGN
- 43.1.0 CEMENT CONCRETE SIDEWALK
- 43.4.1 DRIVEWAY DEVELOPMENT FOR 6' TRANSITION CURBS
- 43.5.0 CEMENT CONCRETE DRIVEWAY
- R1-1 STOP SIGN
- PVMT A) PROPOSED DRIVEWAY ENTRANCE STRUCTURE:
1.5" BITUMINOUS SURFACE COURSE CLASS 9.5
2.25" BITUMINOUS BASE COURSE CLASS 12.5
8" GRAVEL BORROW SUBBASE COURSE (RIDOT M.01.09 TYPE I) PLACED AND COMPACTED IN 8-INCH THICK (MAX.) LOOSE LIFTS
- PVMT B) EXISTING STATE ROADWAY PAVEMENT STRUCTURE PER CONTRACT NO. 9103:
2.0" BITUMINOUS CONCRETE SURFACE COURSE, TYPE 1
2.0" MODIFIED BITUMINOUS CONCRETE BINDER COURSE
3.0" MODIFIED BITUMINOUS CONCRETE BASE COURSE
12" (MIN.) GRAVEL BORROW SUB-BASE COURSE

NOTES:

- ALL WORK WITHIN THE STATES RIGHT-OF-WAY (ROW) SHALL CONFORM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AMENDED AUGUST 2013 AND STANDARD DETAILS, JUNE 15, 1988, AS AMENDED BY REVISION.
- UTILITY WORK SHOWN AS REFERENCE. THIS WORK NEEDS TO BE PERMITTED THROUGH A UTILITY PHYSICAL UTILITY PERMIT (PUP) WITH RIDOT'S DIVISION OF MAINTENANCE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- CONTRACTOR TO PROVIDE TEMPORARY EROSION CONTROLS TO PROTECT THE STATE ROW DURING THE DEMOLITION OF EXISTING DRIVEWAY AND CONSTRUCTION OF NEW DRIVEWAY.

RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

REVISIONS:

| NO. | DATE | DESCRIPTION |
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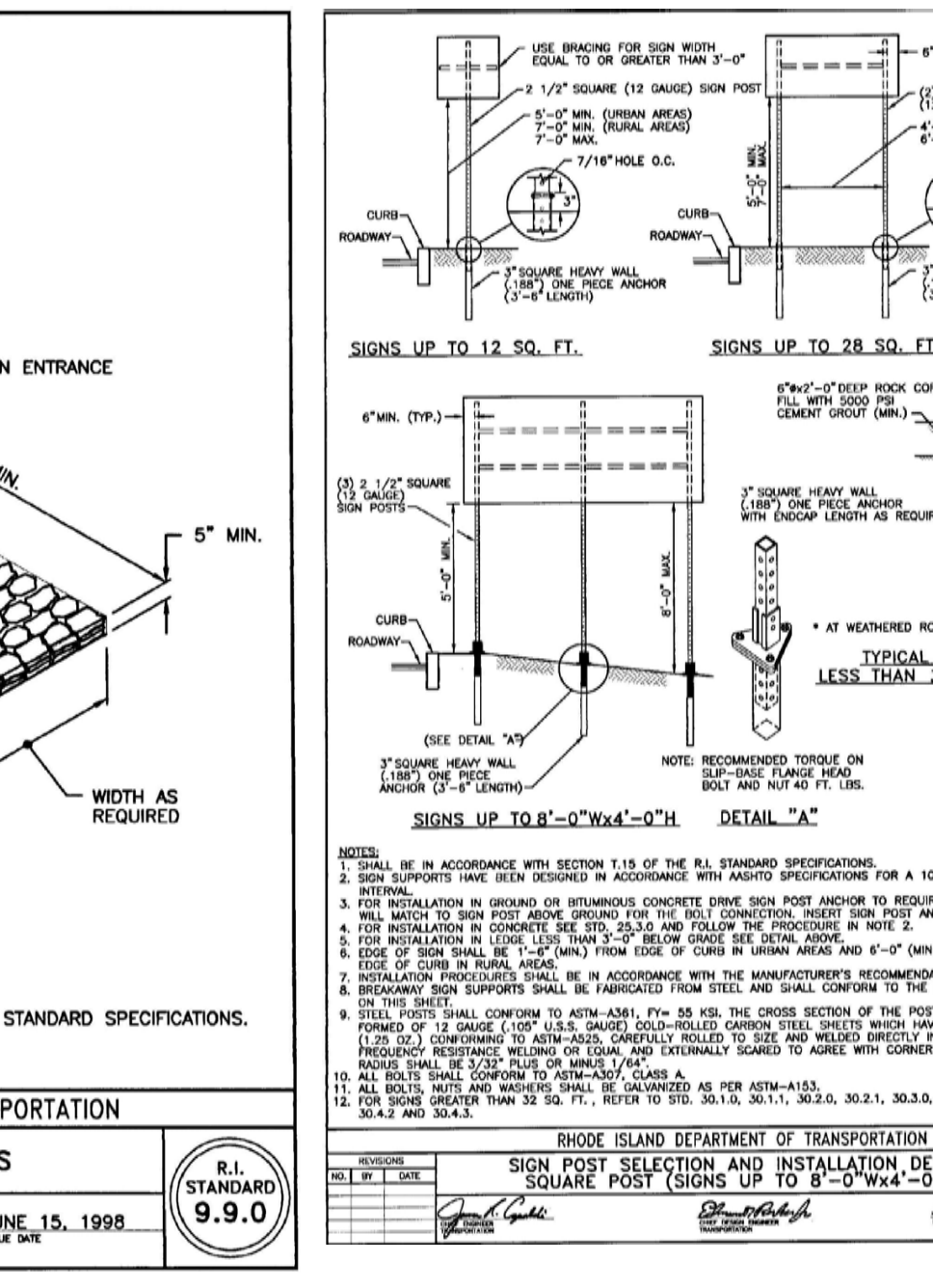
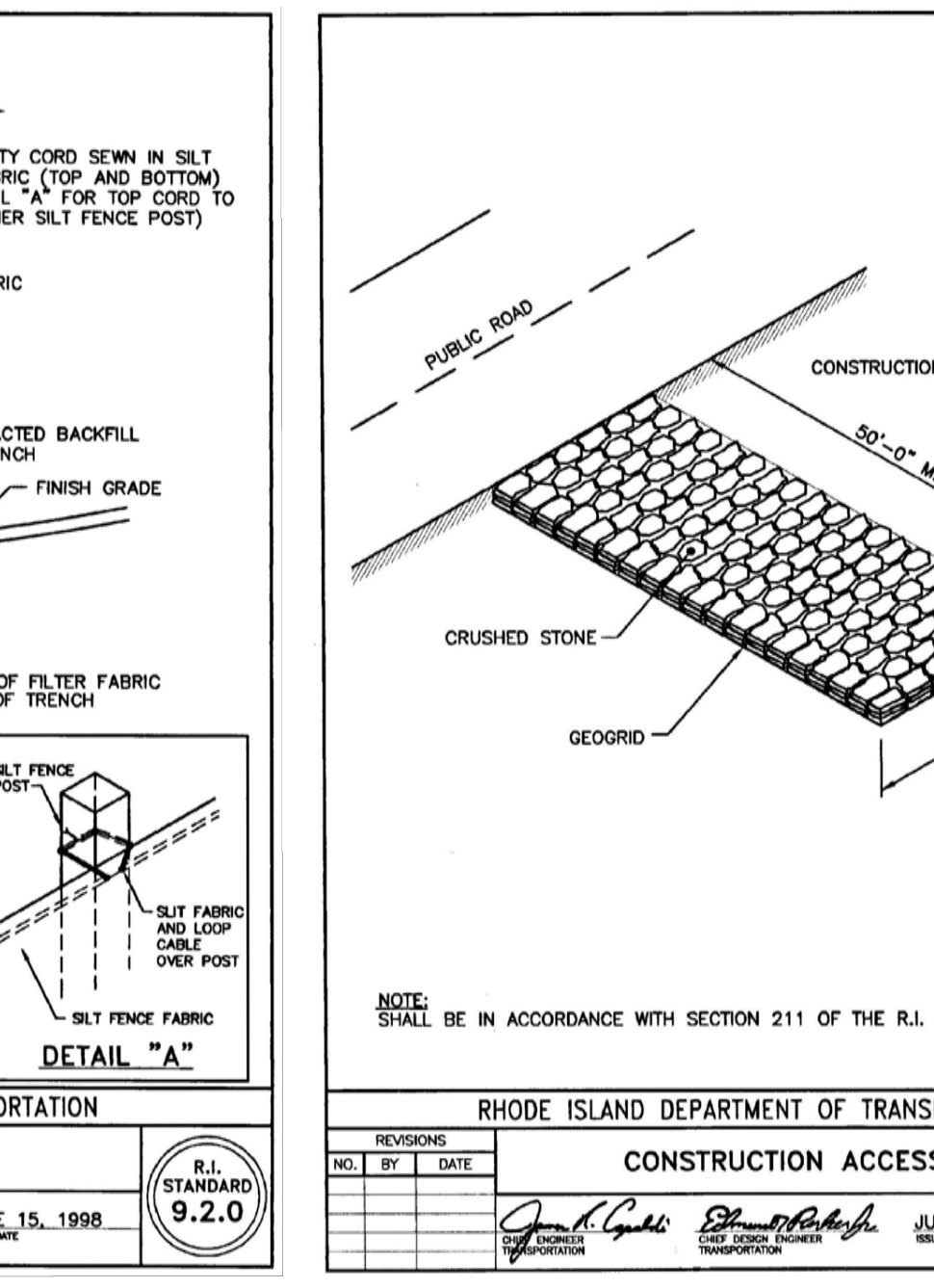
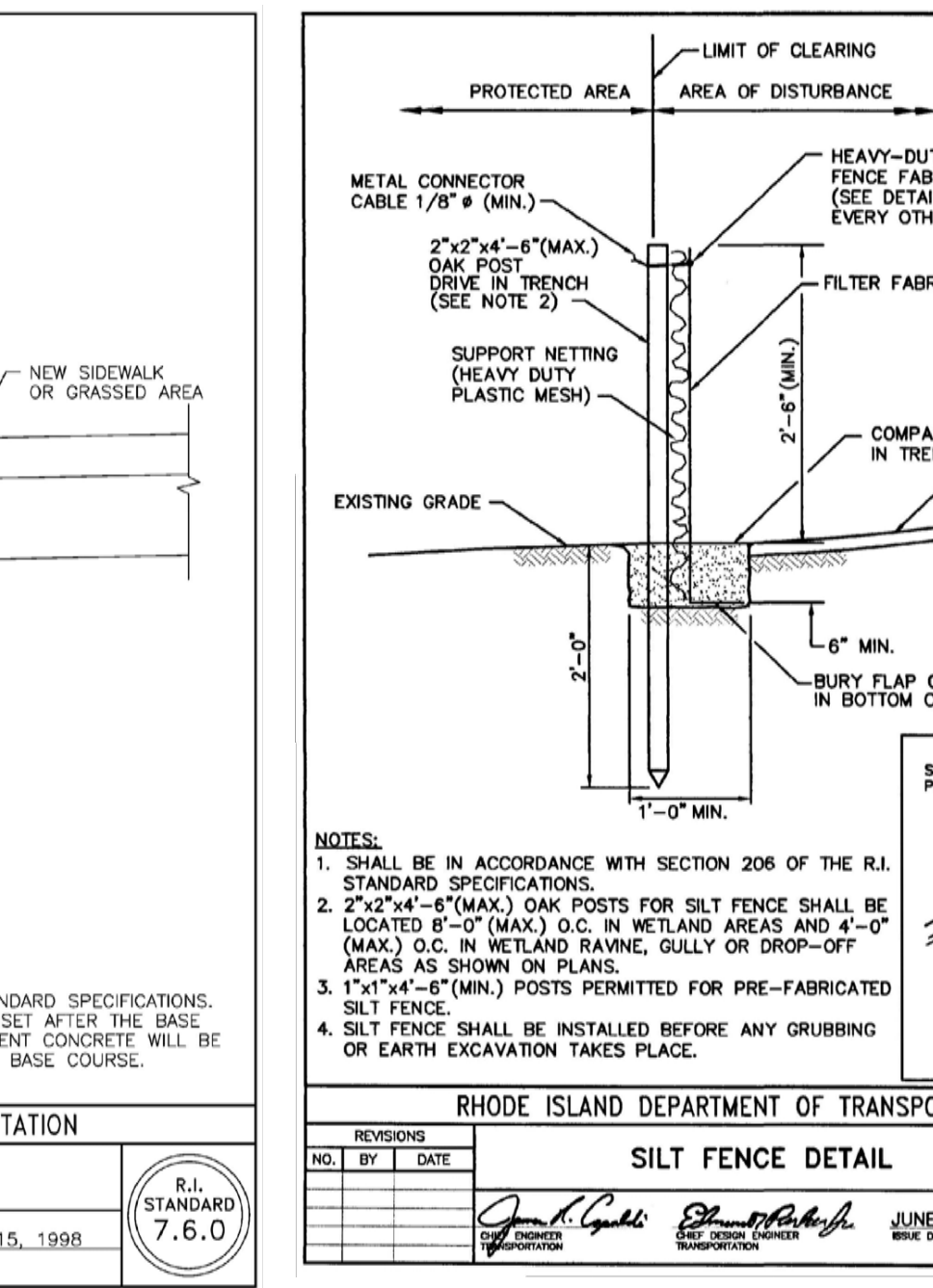
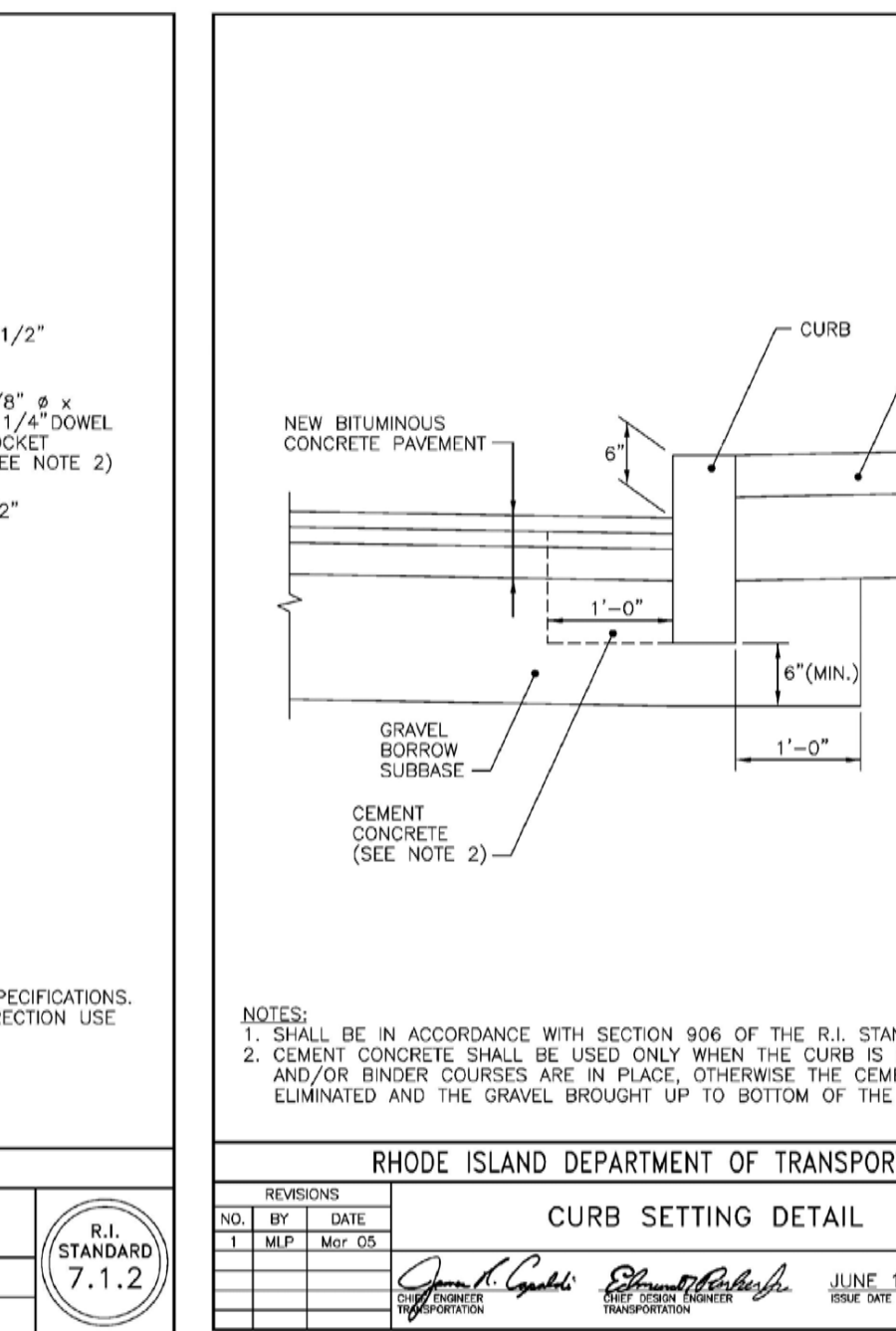
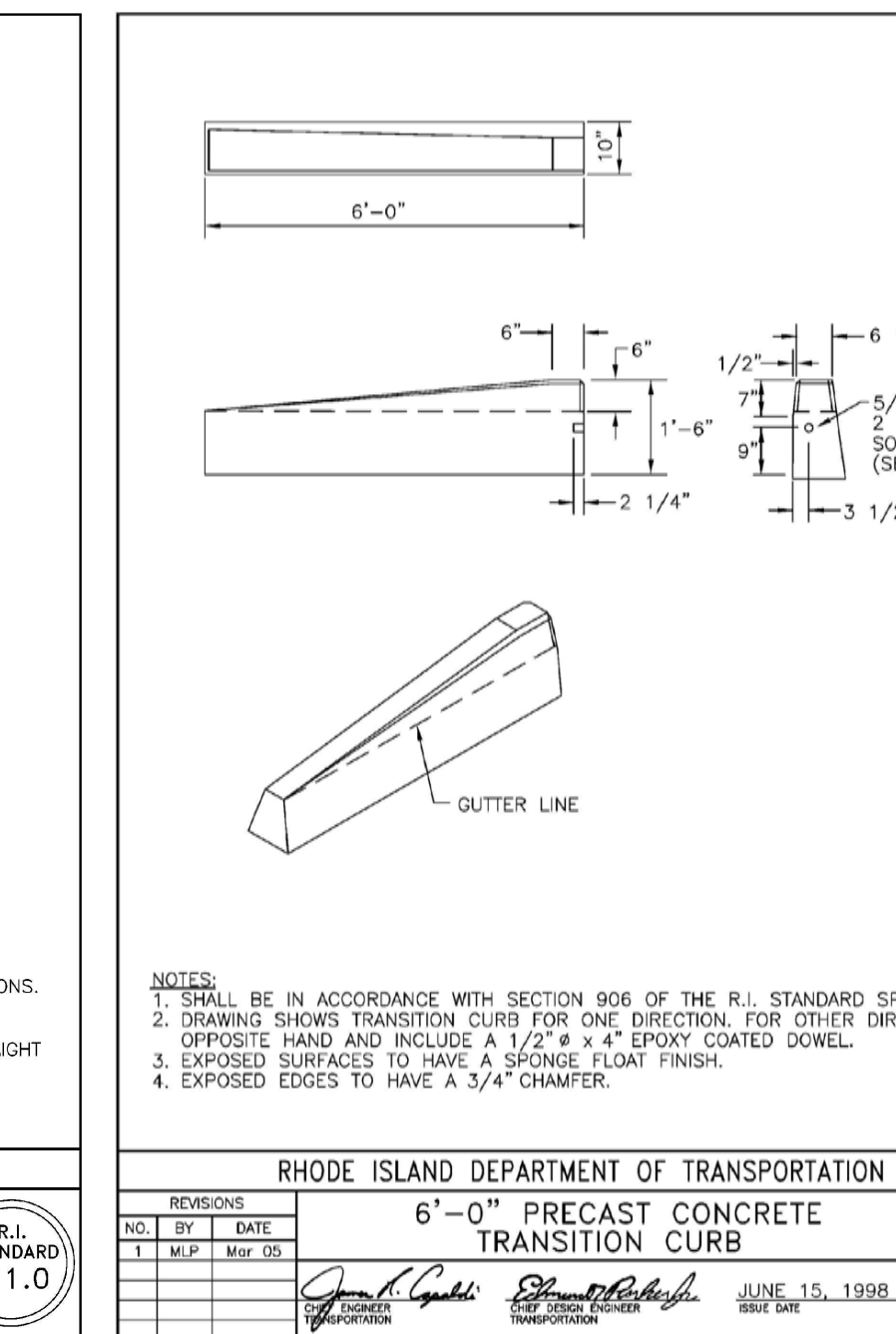
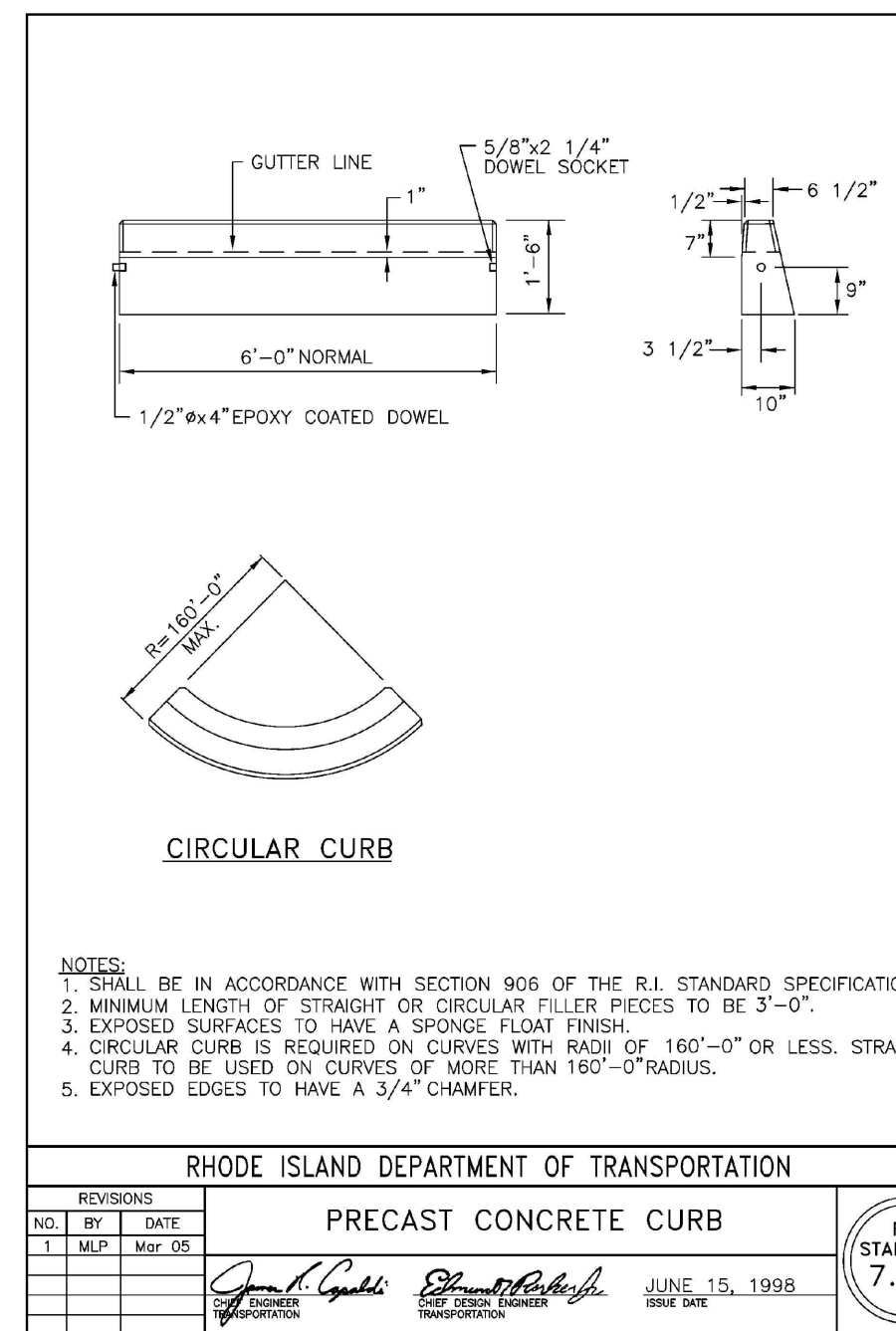
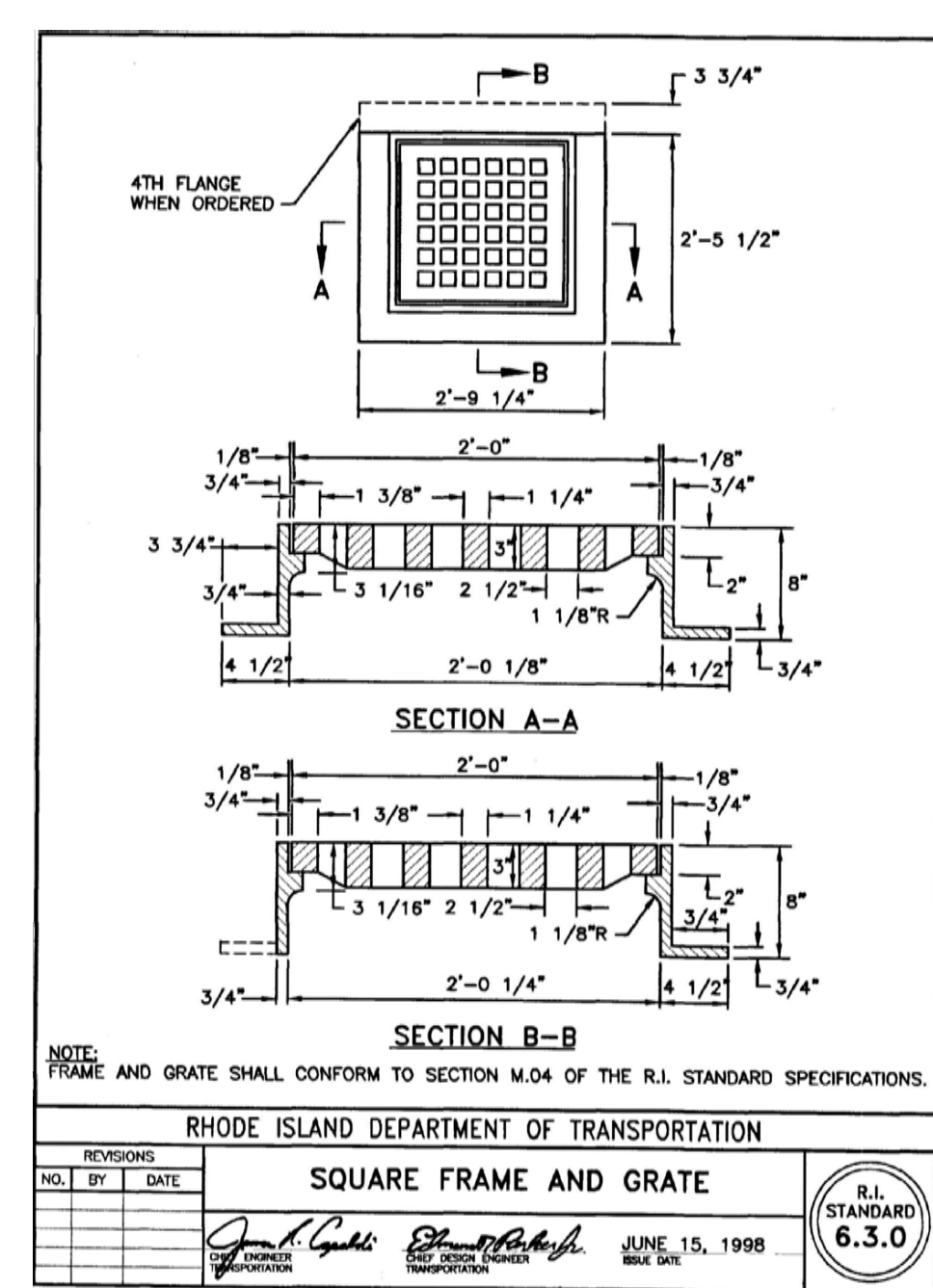
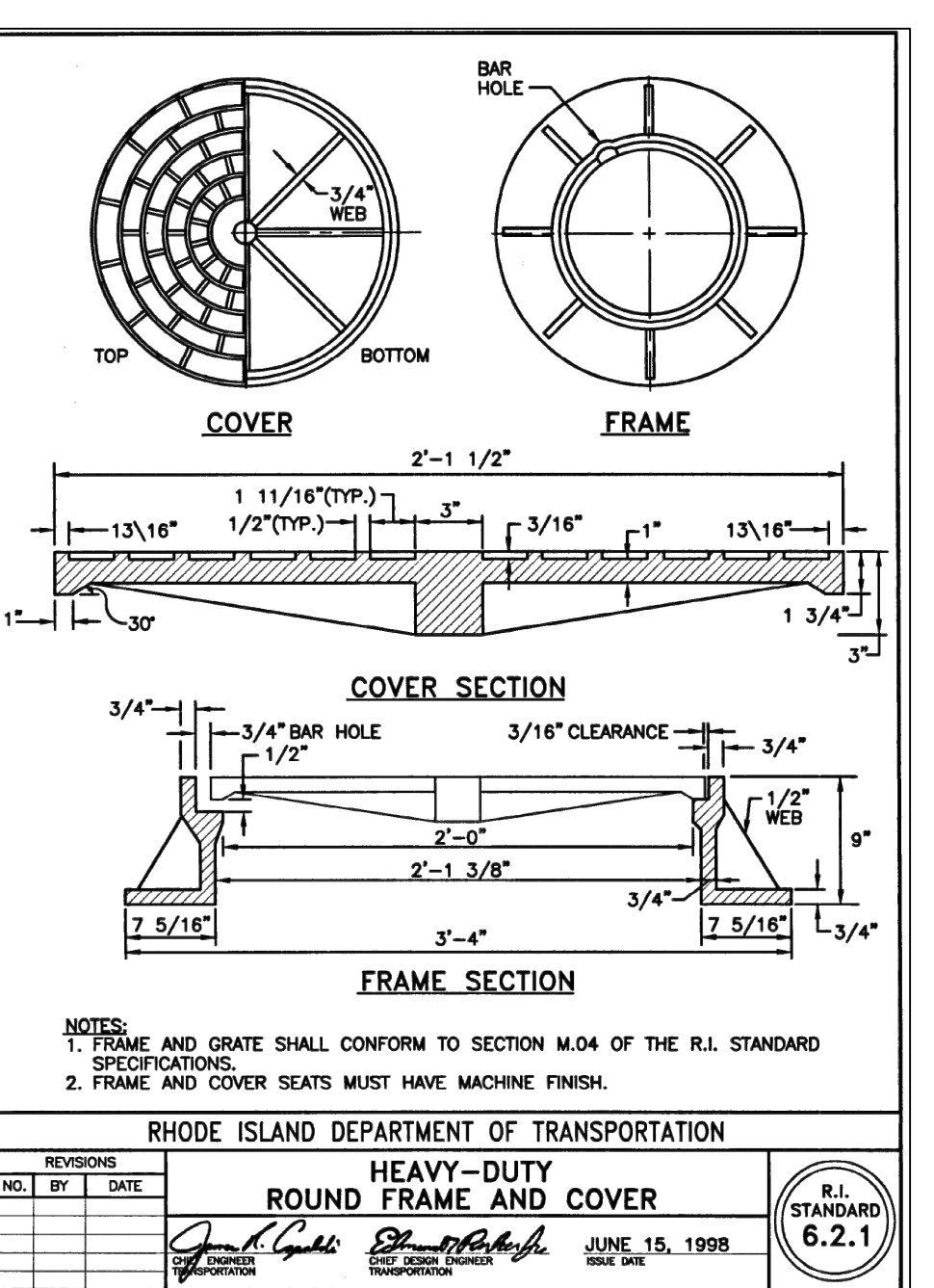
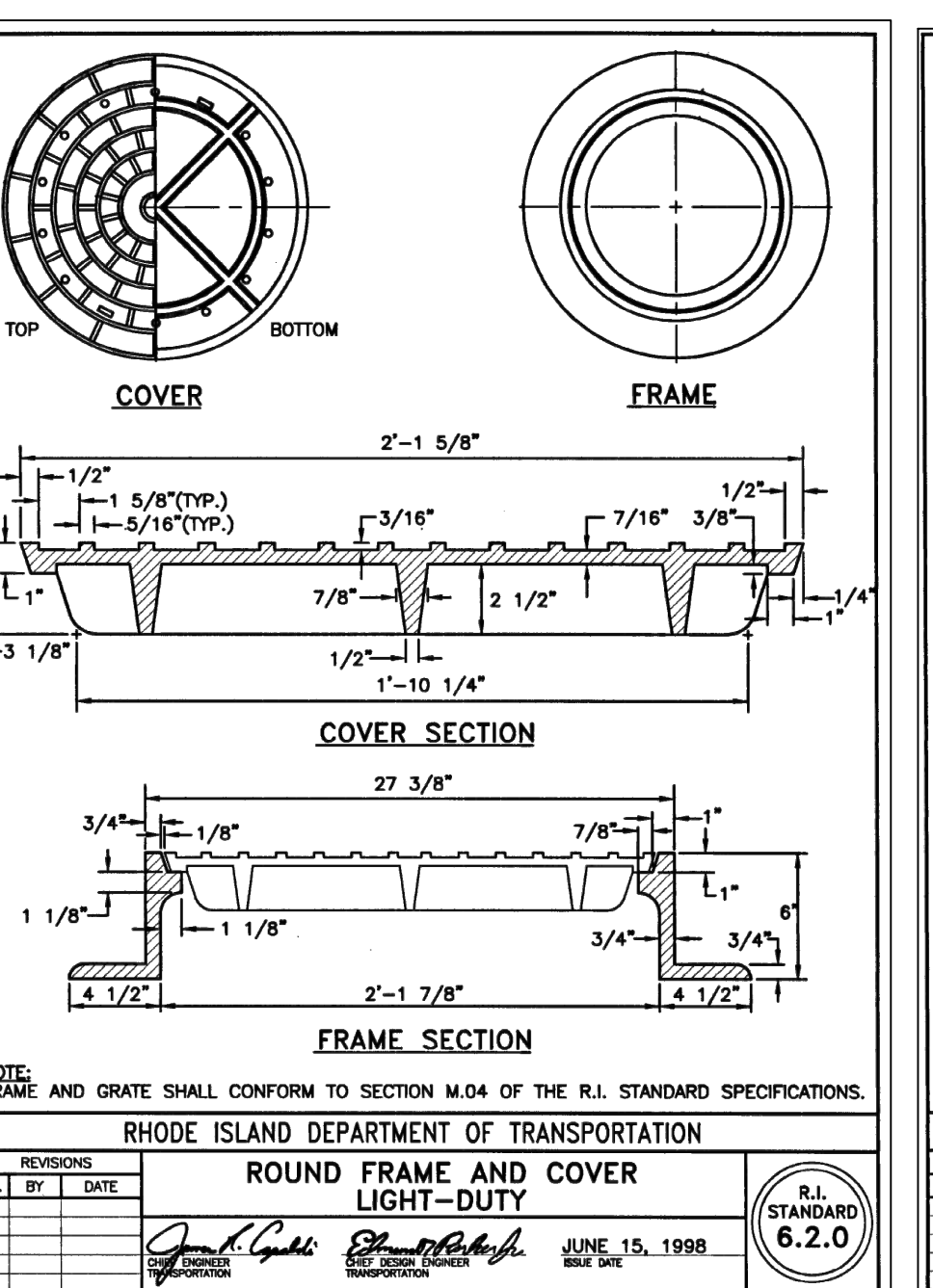
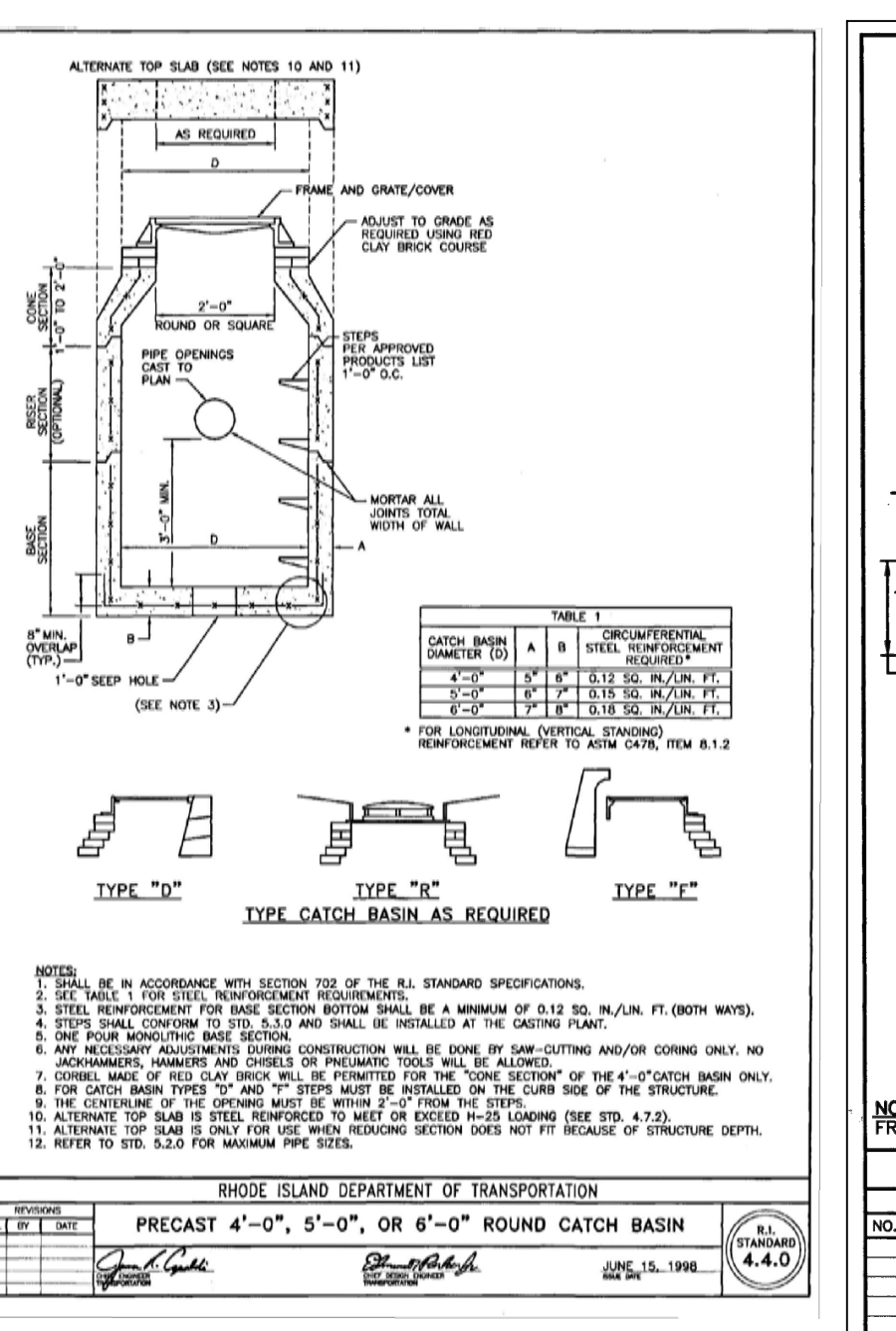
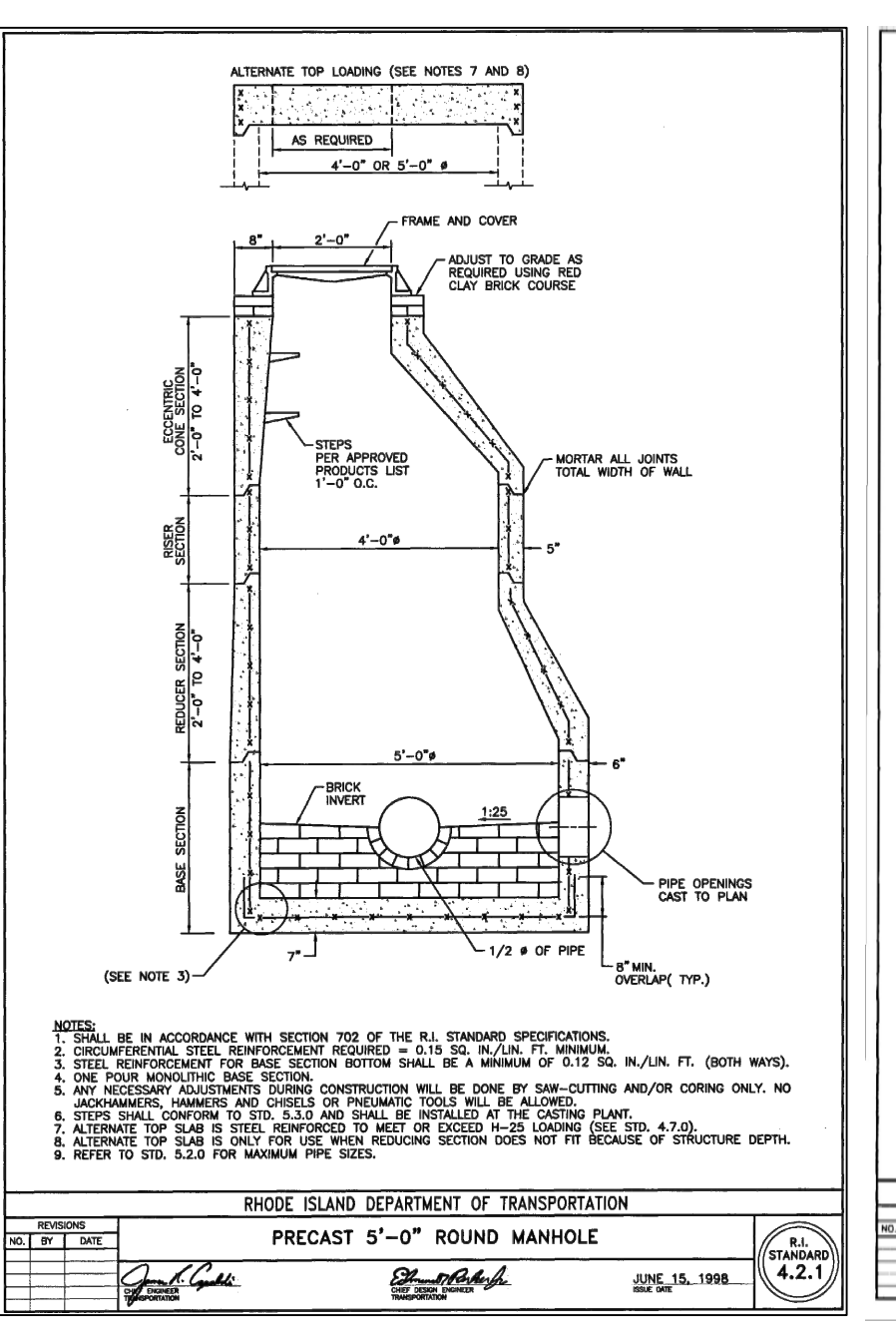
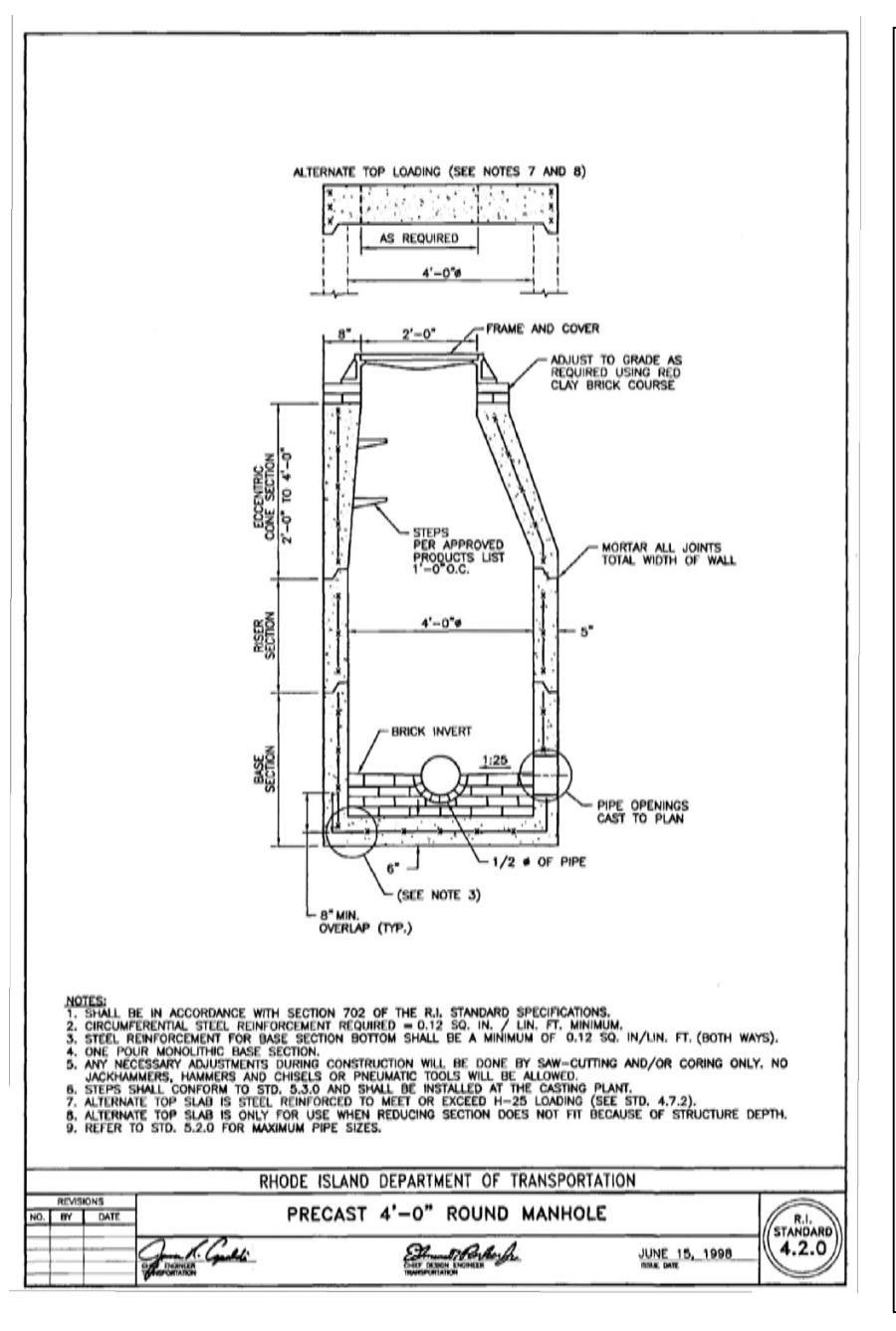
DESIGNED BY: DRD
DRAWN BY: SD
CHECKED BY: JAC
DATE: OCT. 2023
PROJECT NO: 03-64e

PRELIMINARY, NOT FOR CONSTRUCTION

RIDOT PAPA PLAN

SHEET 8 OF 14

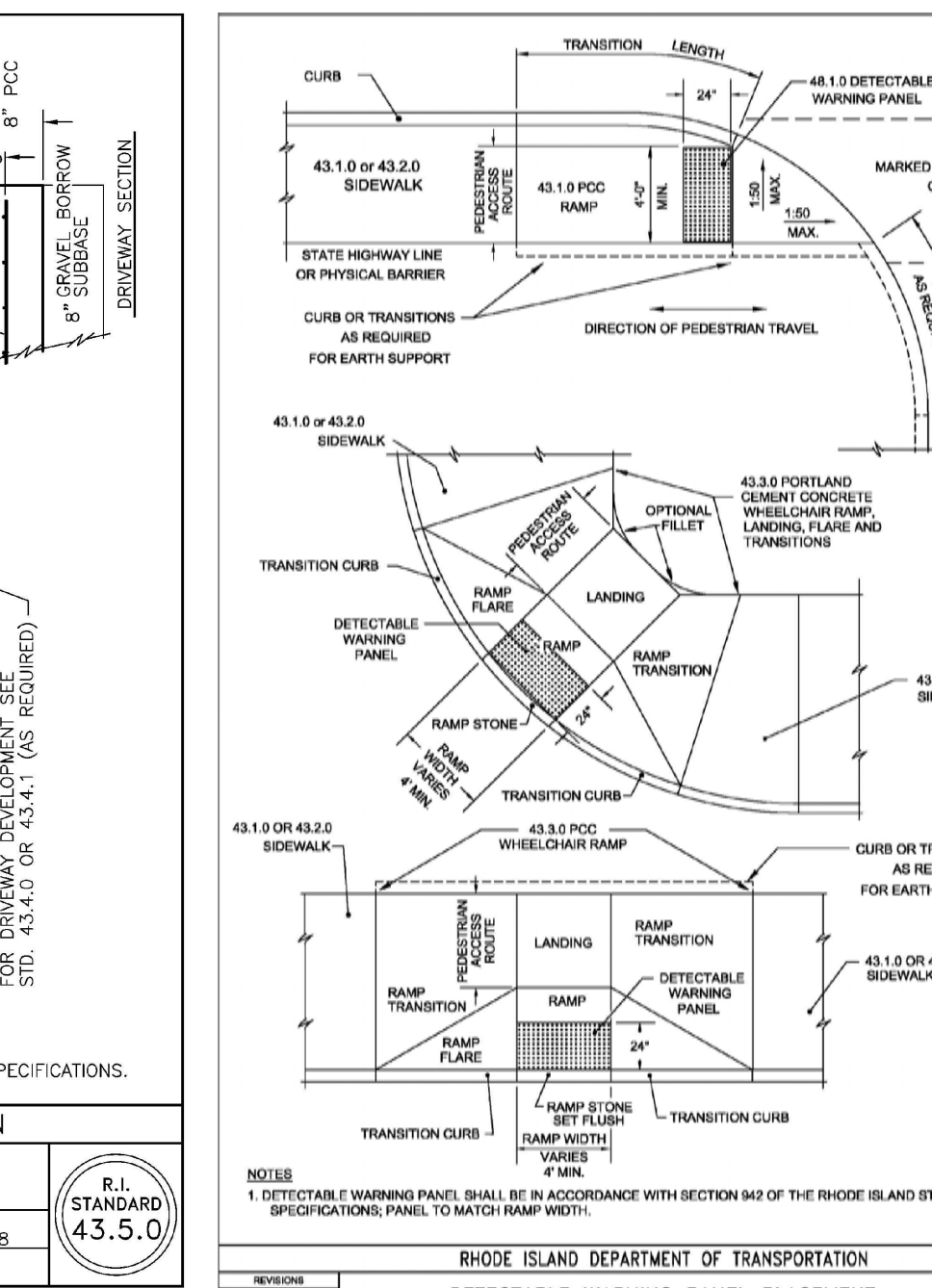
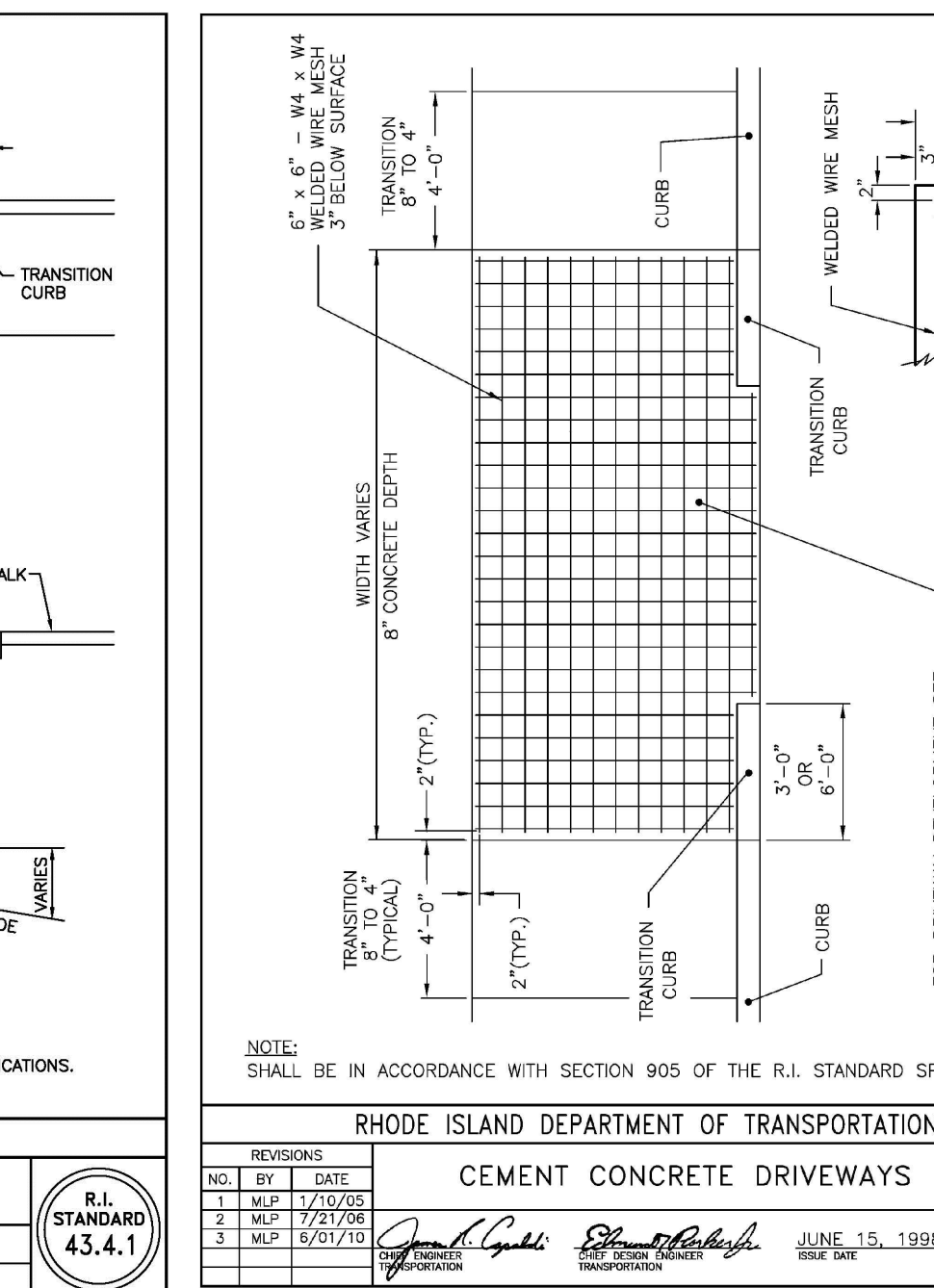
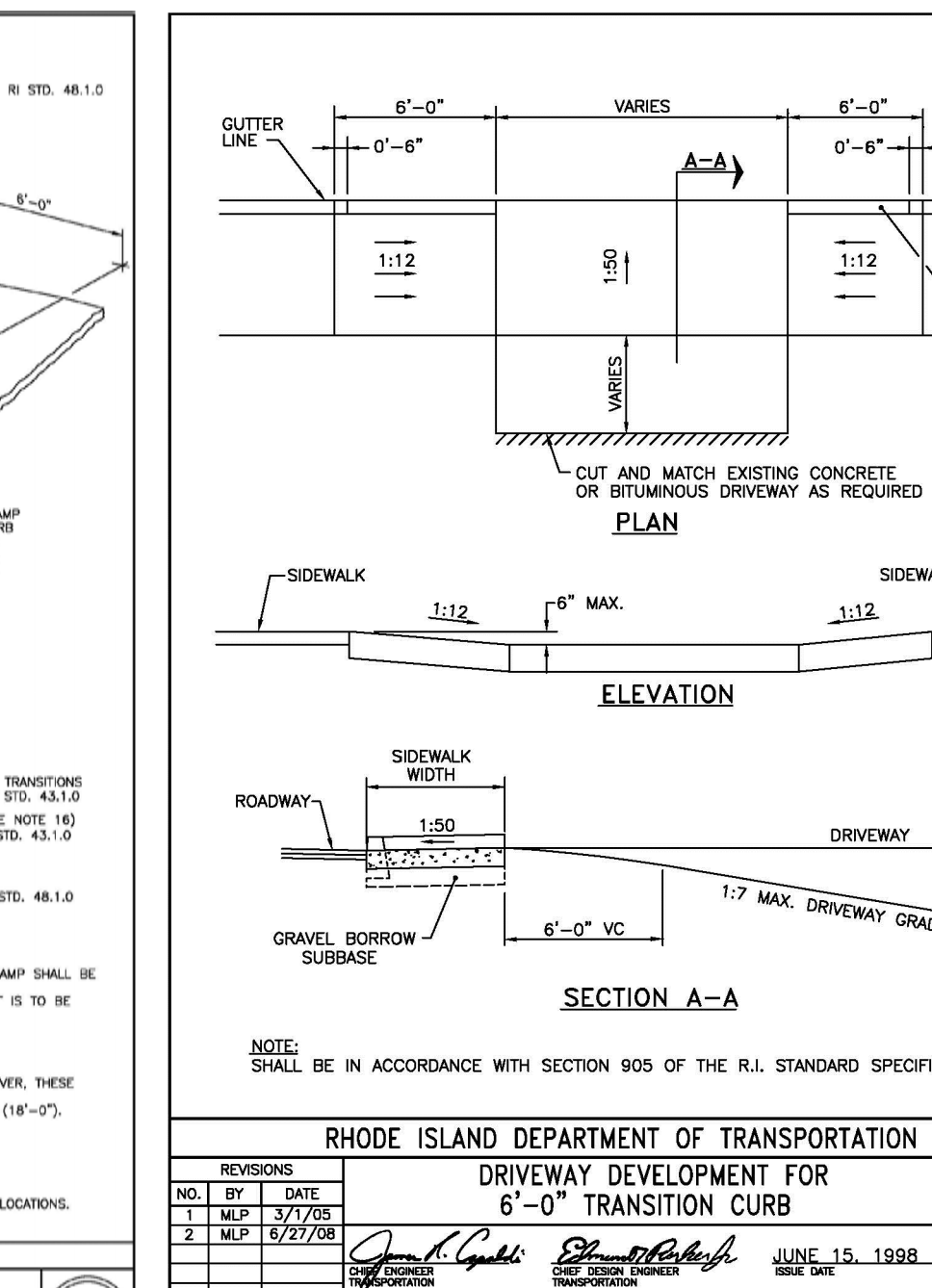
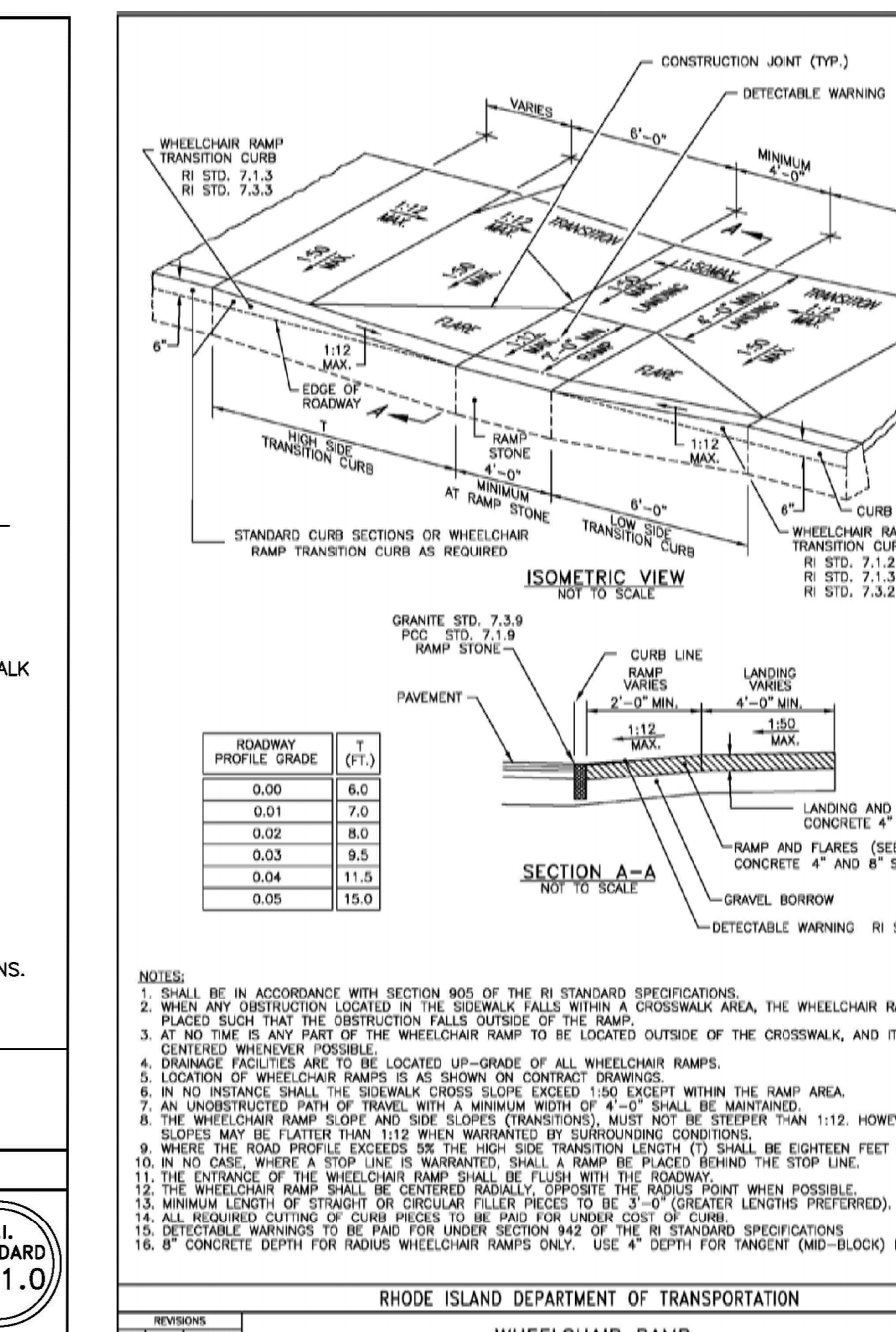
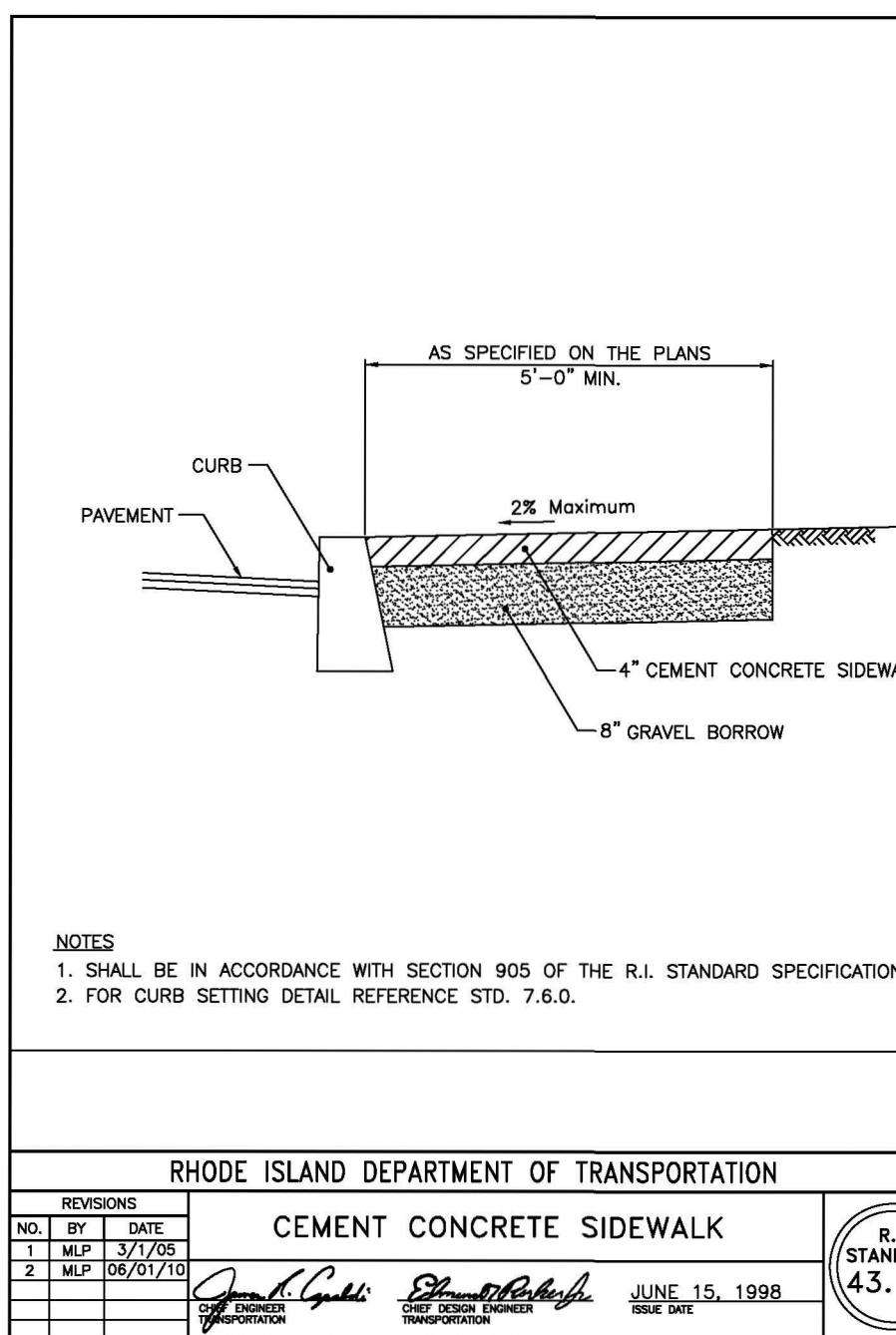
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REGULATORY SIGNS

| NO. | SYMBOL | DESCRIPTION |
|-----|---|---|
| 1 | STOP | STOP |
| 2 | YIELD | YIELD |
| 3 | NO LEFT TURN | NO LEFT TURN |
| 4 | NO RIGHT TURN | NO RIGHT TURN |
| 5 | ONE WAY | ONE WAY |
| 6 | ROAD CLOSED | ROAD CLOSED |
| 7 | PEDESTRIANS AND BICYCLES PROHIBITED | PEDESTRIANS AND BICYCLES PROHIBITED |
| 8 | NO PARKING | NO PARKING |
| 9 | NO STOPPING | NO STOPPING |
| 10 | NO STANDING | NO STANDING |
| 11 | NO TRUCKS | NO TRUCKS |
| 12 | NO TRUCKS OVER 10,000 LBS | NO TRUCKS OVER 10,000 LBS |
| 13 | NO TRUCKS OVER 10,000 LBS AND 8'6" HIGH | NO TRUCKS OVER 10,000 LBS AND 8'6" HIGH |
| 14 | NO TRUCKS OVER 10,000 LBS AND 10' HIGH | NO TRUCKS OVER 10,000 LBS AND 10' HIGH |
| 15 | NO TRUCKS OVER 10,000 LBS AND 12' HIGH | NO TRUCKS OVER 10,000 LBS AND 12' HIGH |
| 16 | NO TRUCKS OVER 10,000 LBS AND 14' HIGH | NO TRUCKS OVER 10,000 LBS AND 14' HIGH |
| 17 | NO TRUCKS OVER 10,000 LBS AND 16' HIGH | NO TRUCKS OVER 10,000 LBS AND 16' HIGH |
| 18 | NO TRUCKS OVER 10,000 LBS AND 18' HIGH | NO TRUCKS OVER 10,000 LBS AND 18' HIGH |
| 19 | NO TRUCKS OVER 10,000 LBS AND 20' HIGH | NO TRUCKS OVER 10,000 LBS AND 20' HIGH |
| 20 | NO TRUCKS OVER 10,000 LBS AND 22' HIGH | NO TRUCKS OVER 10,000 LBS AND 22' HIGH |
| 21 | NO TRUCKS OVER 10,000 LBS AND 24' HIGH | NO TRUCKS OVER 10,000 LBS AND 24' HIGH |
| 22 | NO TRUCKS OVER 10,000 LBS AND 26' HIGH | NO TRUCKS OVER 10,000 LBS AND 26' HIGH |
| 23 | NO TRUCKS OVER 10,000 LBS AND 28' HIGH | NO TRUCKS OVER 10,000 LBS AND 28' HIGH |
| 24 | NO TRUCKS OVER 10,000 LBS AND 30' HIGH | NO TRUCKS OVER 10,000 LBS AND 30' HIGH |
| 25 | NO TRUCKS OVER 10,000 LBS AND 32' HIGH | NO TRUCKS OVER 10,000 LBS AND 32' HIGH |
| 26 | NO TRUCKS OVER 10,000 LBS AND 34' HIGH | NO TRUCKS OVER 10,000 LBS AND 34' HIGH |
| 27 | NO TRUCKS OVER 10,000 LBS AND 36' HIGH | NO TRUCKS OVER 10,000 LBS AND 36' HIGH |
| 28 | NO TRUCKS OVER 10,000 LBS AND 38' HIGH | NO TRUCKS OVER 10,000 LBS AND 38' HIGH |
| 29 | NO TRUCKS OVER 10,000 LBS AND 40' HIGH | NO TRUCKS OVER 10,000 LBS AND 40' HIGH |
| 30 | NO TRUCKS OVER 10,000 LBS AND 42' HIGH | NO TRUCKS OVER 10,000 LBS AND 42' HIGH |
| 31 | NO TRUCKS OVER 10,000 LBS AND 44' HIGH | NO TRUCKS OVER 10,000 LBS AND 44' HIGH |
| 32 | NO TRUCKS OVER 10,000 LBS AND 46' HIGH | NO TRUCKS OVER 10,000 LBS AND 46' HIGH |
| 33 | NO TRUCKS OVER 10,000 LBS AND 48' HIGH | NO TRUCKS OVER 10,000 LBS AND 48' HIGH |
| 34 | NO TRUCKS OVER 10,000 LBS AND 50' HIGH | NO TRUCKS OVER 10,000 LBS AND 50' HIGH |
| 35 | NO TRUCKS OVER 10,000 LBS AND 52' HIGH | NO TRUCKS OVER 10,000 LBS AND 52' HIGH |
| 36 | NO TRUCKS OVER 10,000 LBS AND 54' HIGH | NO TRUCKS OVER 10,000 LBS AND 54' HIGH |
| 37 | NO TRUCKS OVER 10,000 LBS AND 56' HIGH | NO TRUCKS OVER 10,000 LBS AND 56' HIGH |
| 38 | NO TRUCKS OVER 10,000 LBS AND 58' HIGH | NO TRUCKS OVER 10,000 LBS AND 58' HIGH |
| 39 | NO TRUCKS OVER 10,000 LBS AND 60' HIGH | NO TRUCKS OVER 10,000 LBS AND 60' HIGH |
| 40 | NO TRUCKS OVER 10,000 LBS AND 62' HIGH | NO TRUCKS OVER 10,000 LBS AND 62' HIGH |
| 41 | NO TRUCKS OVER 10,000 LBS AND 64' HIGH | NO TRUCKS OVER 10,000 LBS AND 64' HIGH |
| 42 | NO TRUCKS OVER 10,000 LBS AND 66' HIGH | NO TRUCKS OVER 10,000 LBS AND 66' HIGH |
| 43 | NO TRUCKS OVER 10,000 LBS AND 68' HIGH | NO TRUCKS OVER 10,000 LBS AND 68' HIGH |
| 44 | NO TRUCKS OVER 10,000 LBS AND 70' HIGH | NO TRUCKS OVER 10,000 LBS AND 70' HIGH |
| 45 | NO TRUCKS OVER 10,000 LBS AND 72' HIGH | NO TRUCKS OVER 10,000 LBS AND 72' HIGH |
| 46 | NO TRUCKS OVER 10,000 LBS AND 74' HIGH | NO TRUCKS OVER 10,000 LBS AND 74' HIGH |
| 47 | NO TRUCKS OVER 10,000 LBS AND 76' HIGH | NO TRUCKS OVER 10,000 LBS AND 76' HIGH |
| 48 | NO TRUCKS OVER 10,000 LBS AND 78' HIGH | NO TRUCKS OVER 10,000 LBS AND 78' HIGH |
| 49 | NO TRUCKS OVER 10,000 LBS AND 80' HIGH | NO TRUCKS OVER 10,000 LBS AND 80' HIGH |
| 50 | NO TRUCKS OVER 10,000 LBS AND 82' HIGH | NO TRUCKS OVER 10,000 LBS AND 82' HIGH |
| 51 | NO TRUCKS OVER 10,000 LBS AND 84' HIGH | NO TRUCKS OVER 10,000 LBS AND 84' HIGH |
| 52 | NO TRUCKS OVER 10,000 LBS AND 86' HIGH | NO TRUCKS OVER 10,000 LBS AND 86' HIGH |
| 53 | NO TRUCKS OVER 10,000 LBS AND 88' HIGH | NO TRUCKS OVER 10,000 LBS AND 88' HIGH |
| 54 | NO TRUCKS OVER 10,000 LBS AND 90' HIGH | NO TRUCKS OVER 10,000 LBS AND 90' HIGH |
| 55 | NO TRUCKS OVER 10,000 LBS AND 92' HIGH | NO TRUCKS OVER 10,000 LBS AND 92' HIGH |
| 56 | NO TRUCKS OVER 10,000 LBS AND 94' HIGH | NO TRUCKS OVER 10,000 LBS AND 94' HIGH |
| 57 | NO TRUCKS OVER 10,000 LBS AND 96' HIGH | NO TRUCKS OVER 10,000 LBS AND 96' HIGH |
| 58 | NO TRUCKS OVER 10,000 LBS AND 98' HIGH | NO TRUCKS OVER 10,000 LBS AND 98' HIGH |
| 59 | NO TRUCKS OVER 10,000 LBS AND 100' HIGH | NO TRUCKS OVER 10,000 LBS AND 100' HIGH |

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
 NO. 1 BY DATE: JUNE 15, 1998
 R.I. STANDARD 27.1.0



JCE

JOE CASALI ENGINEERING, INC.
 CIVIL ENGINEERING
 300 POST ROAD, WARWICK, RI 02888
 (401) 941-3000

JOSEPH A. CASALI
 REGISTERED PROFESSIONAL ENGINEER
 NO. 7250
 10/04/2023

RETAIL AND CONTRACTOR UNITS
 2826 POST ROAD
 WARWICK, RHODE ISLAND
 AP 267, LOT 217

REVISIONS:

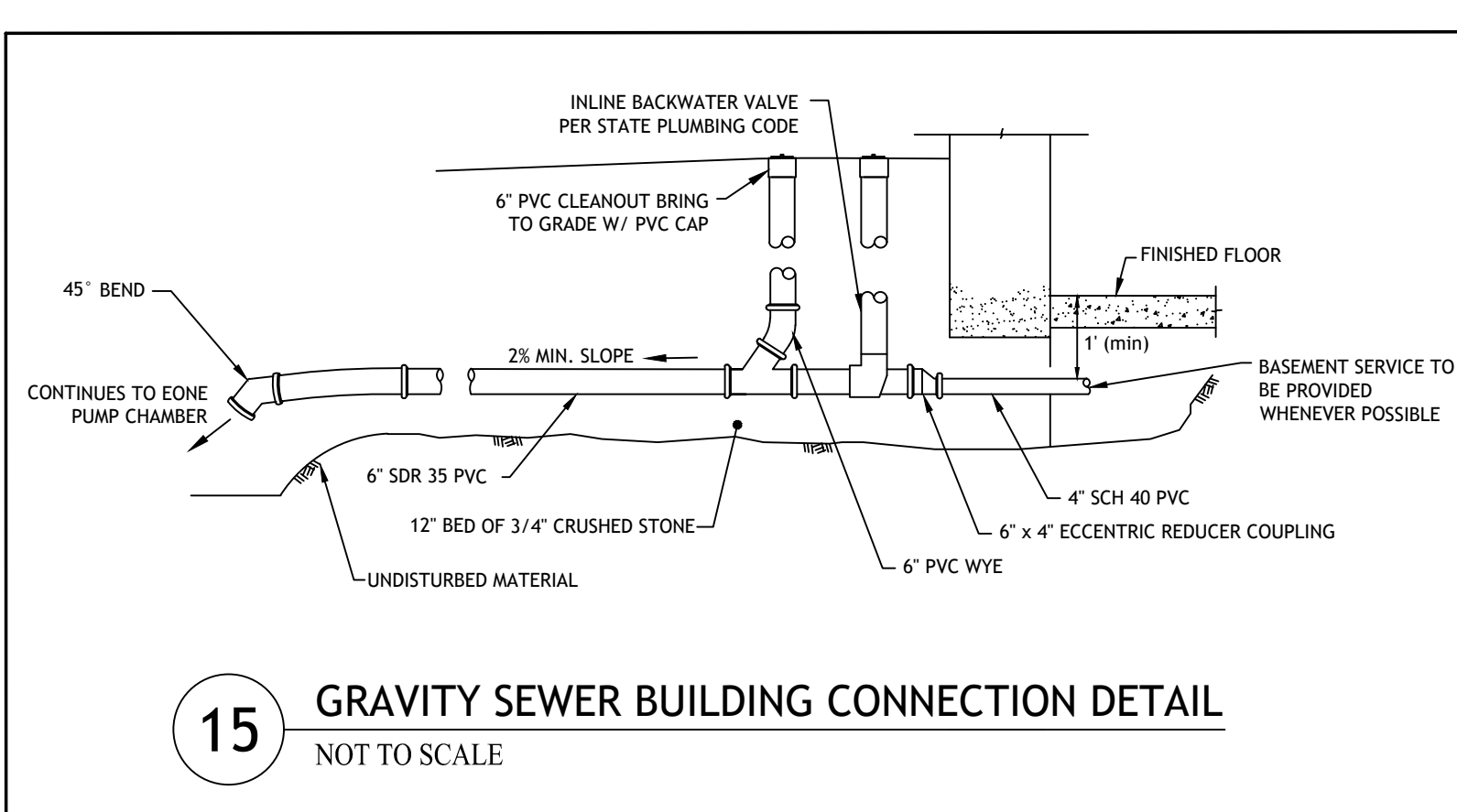
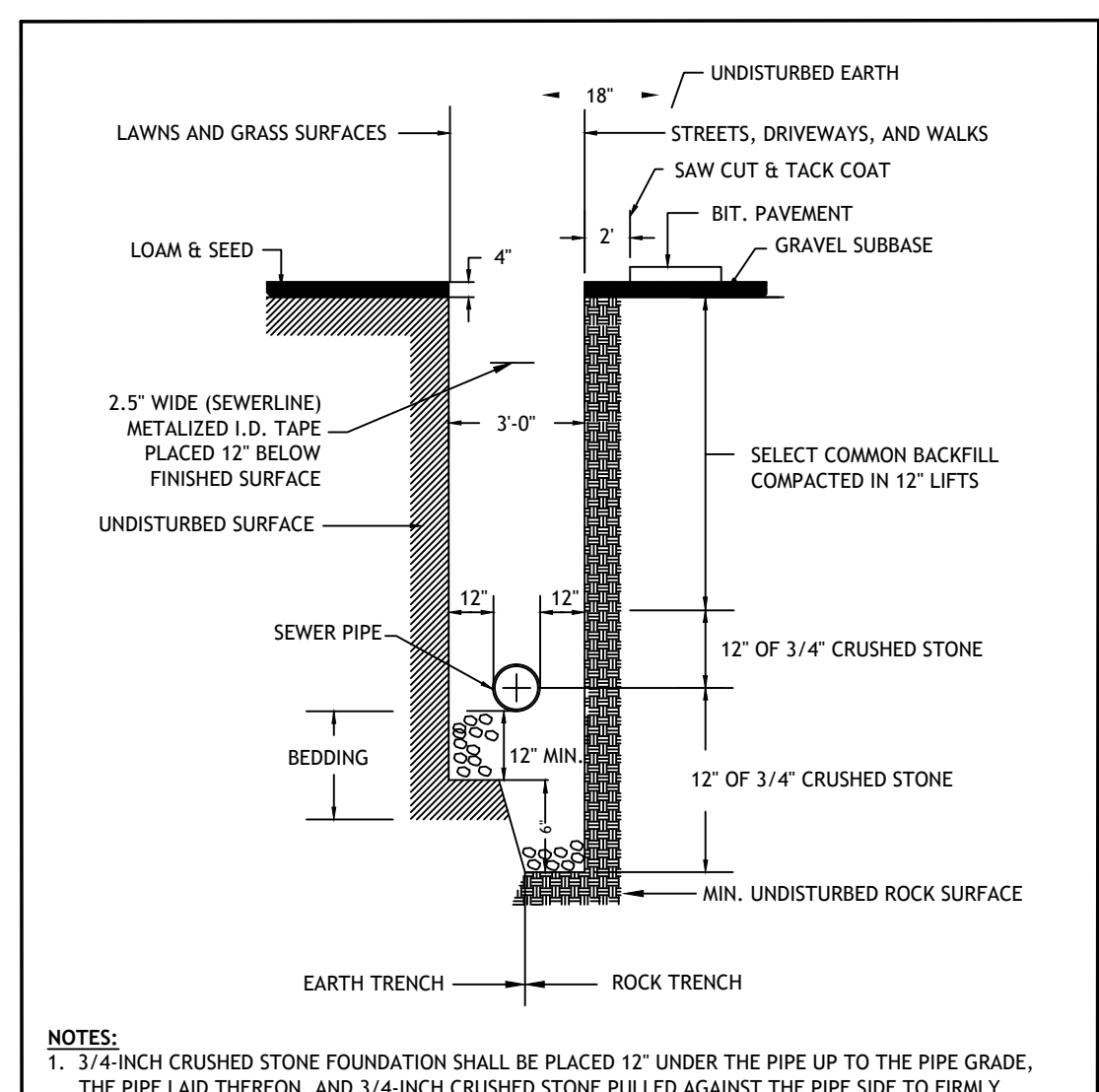
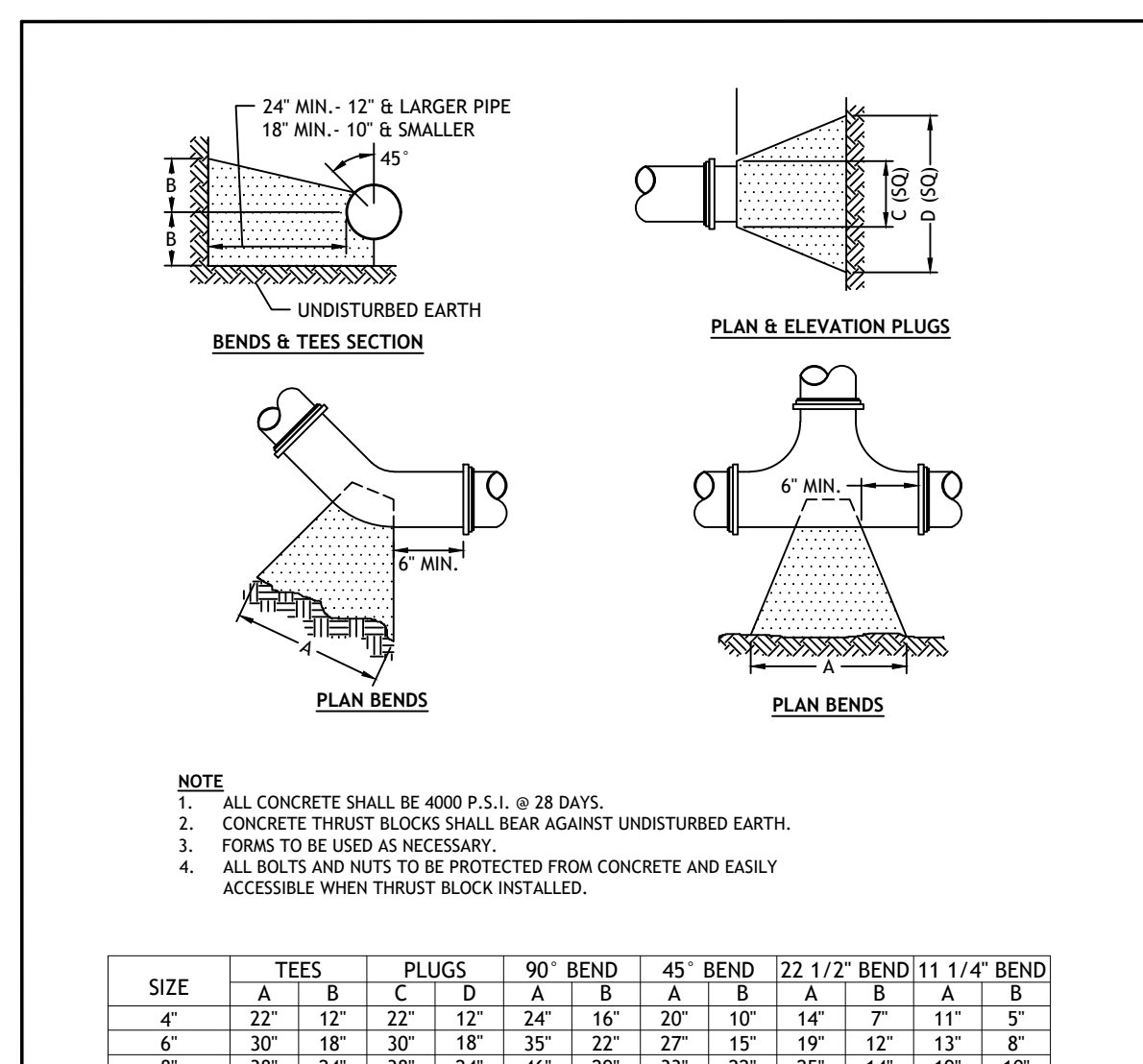
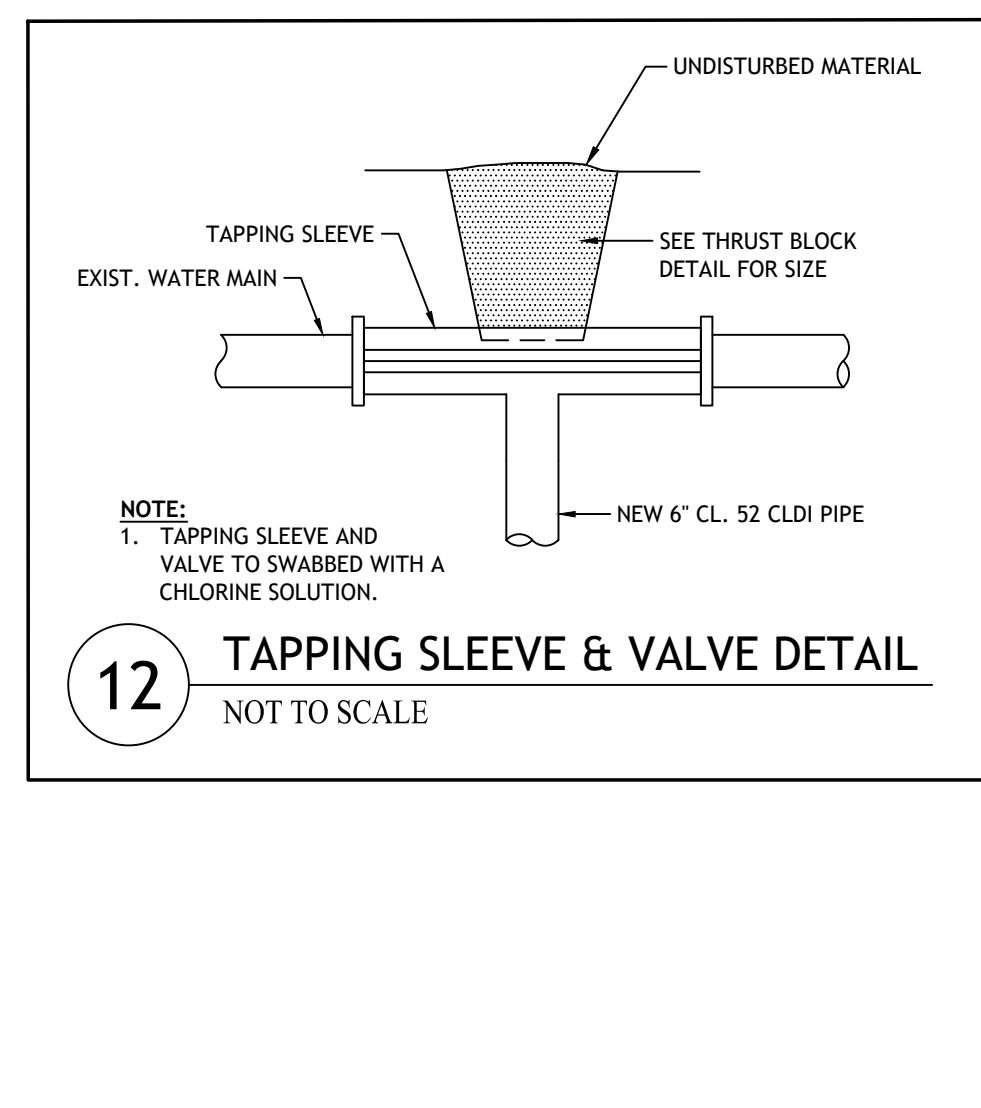
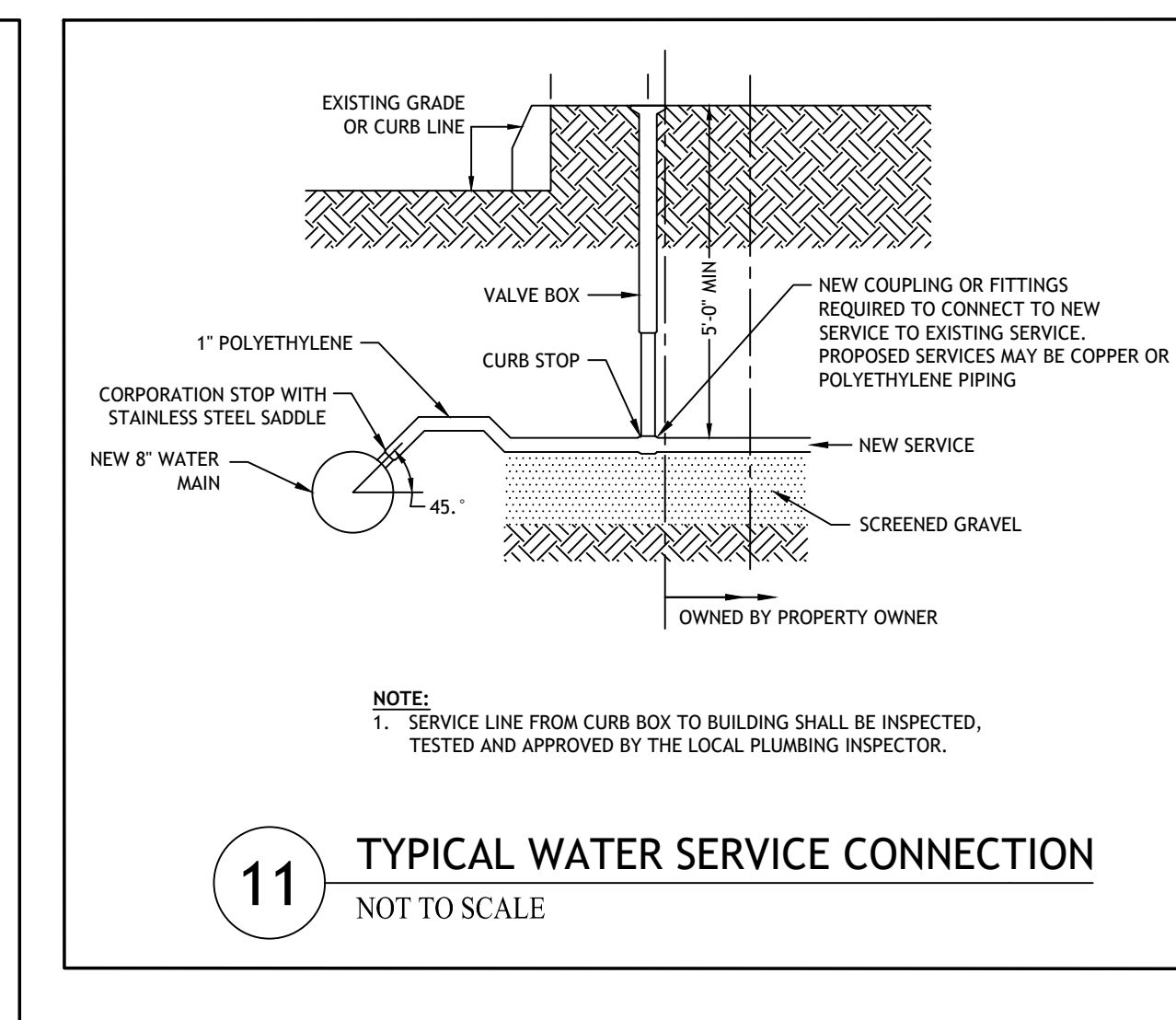
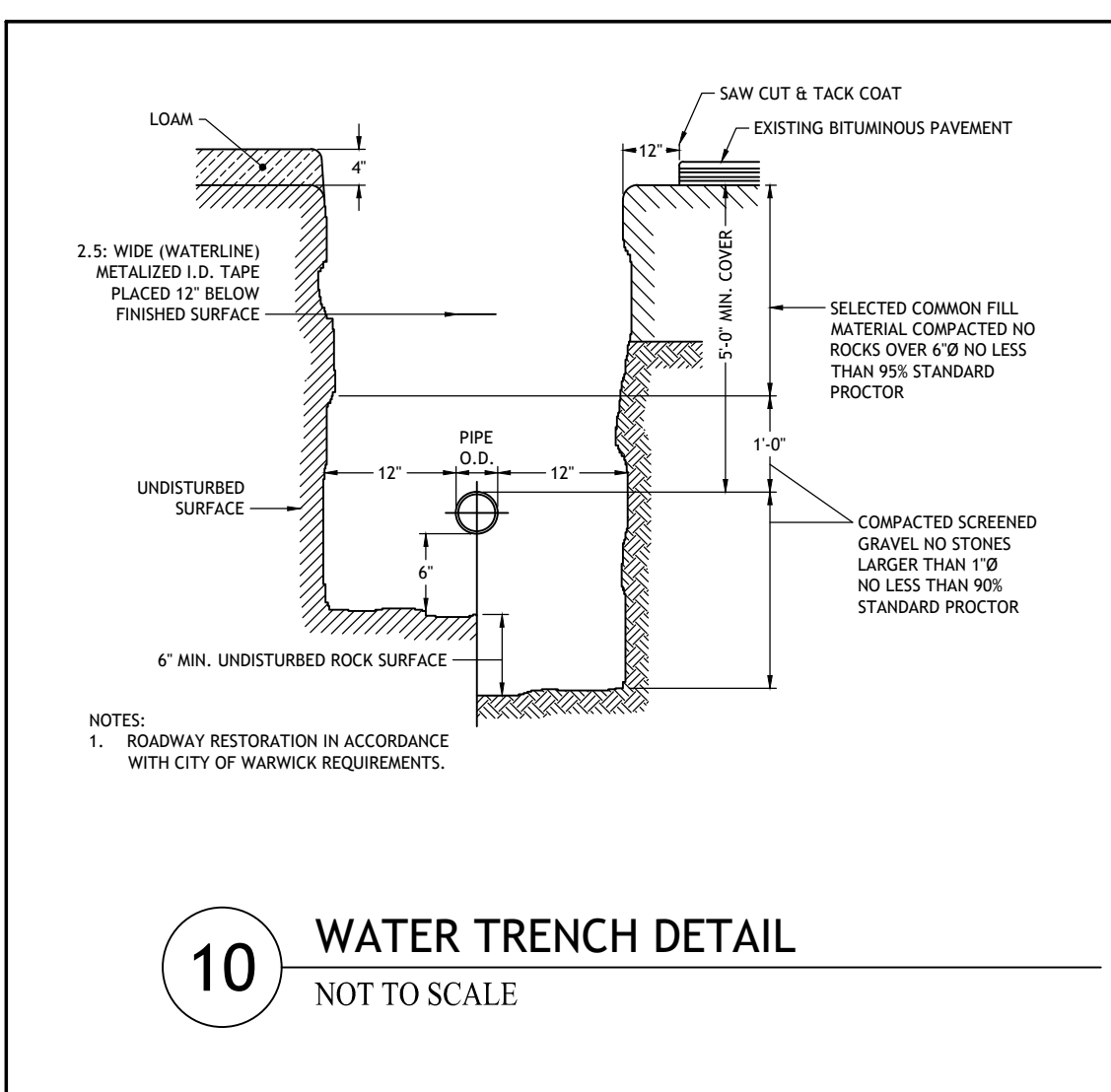
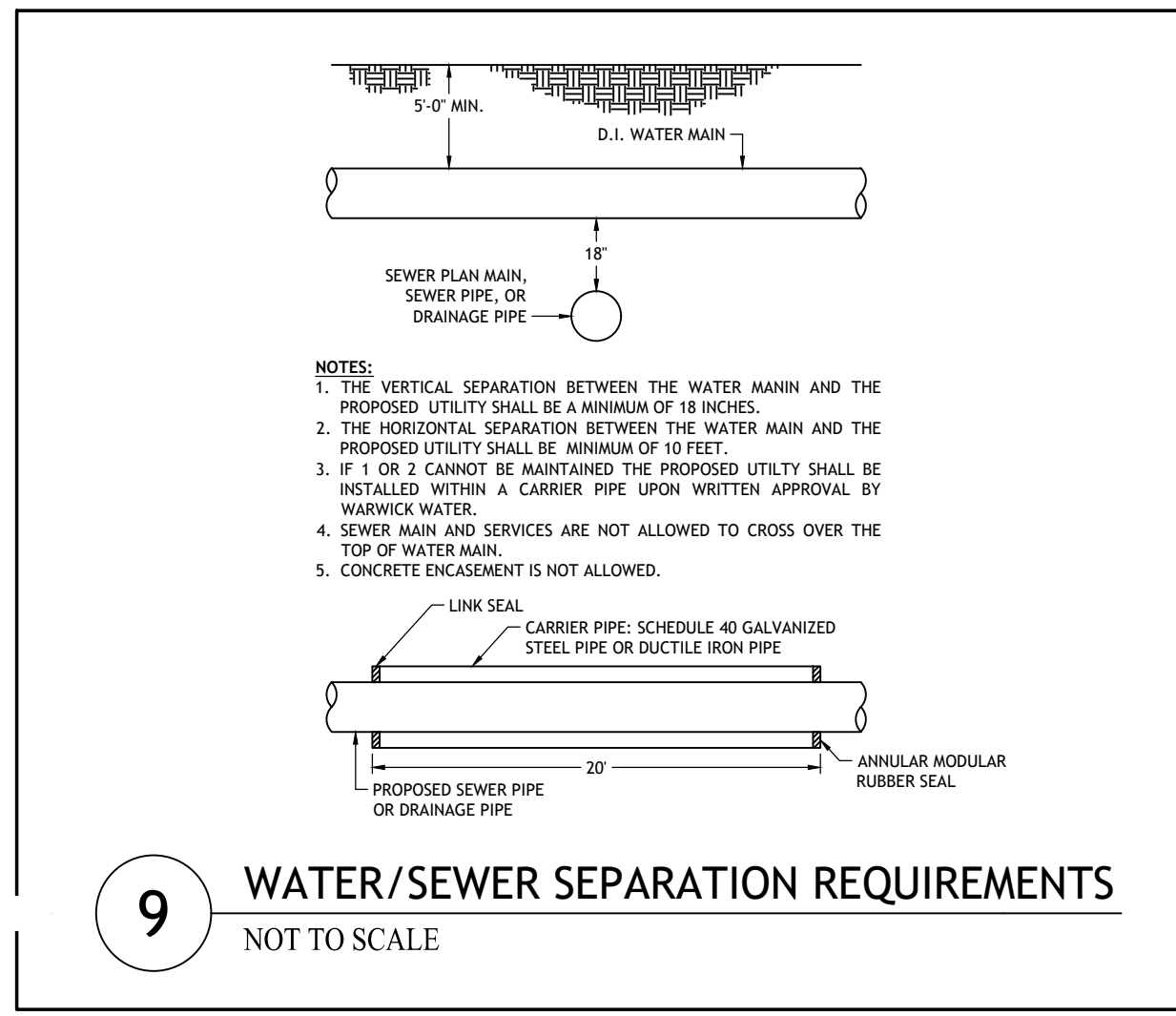
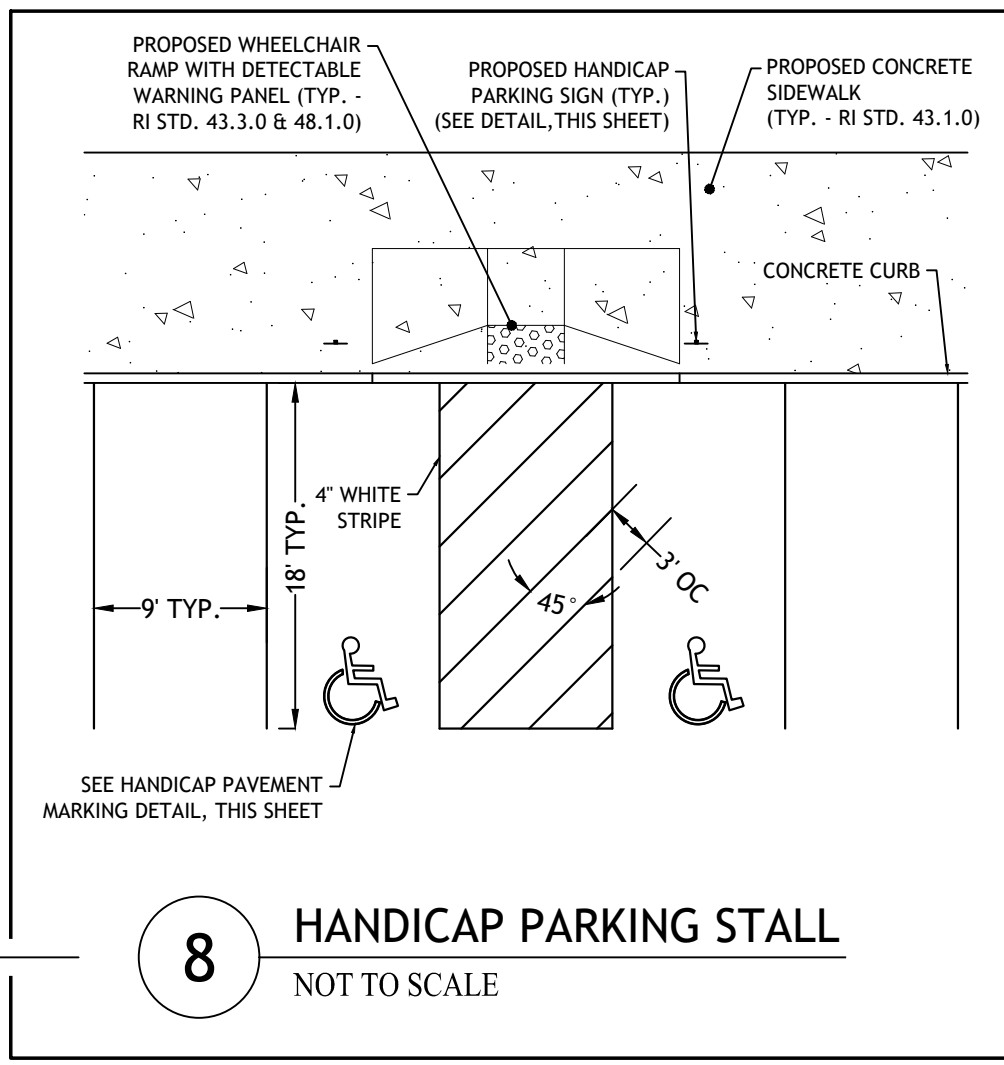
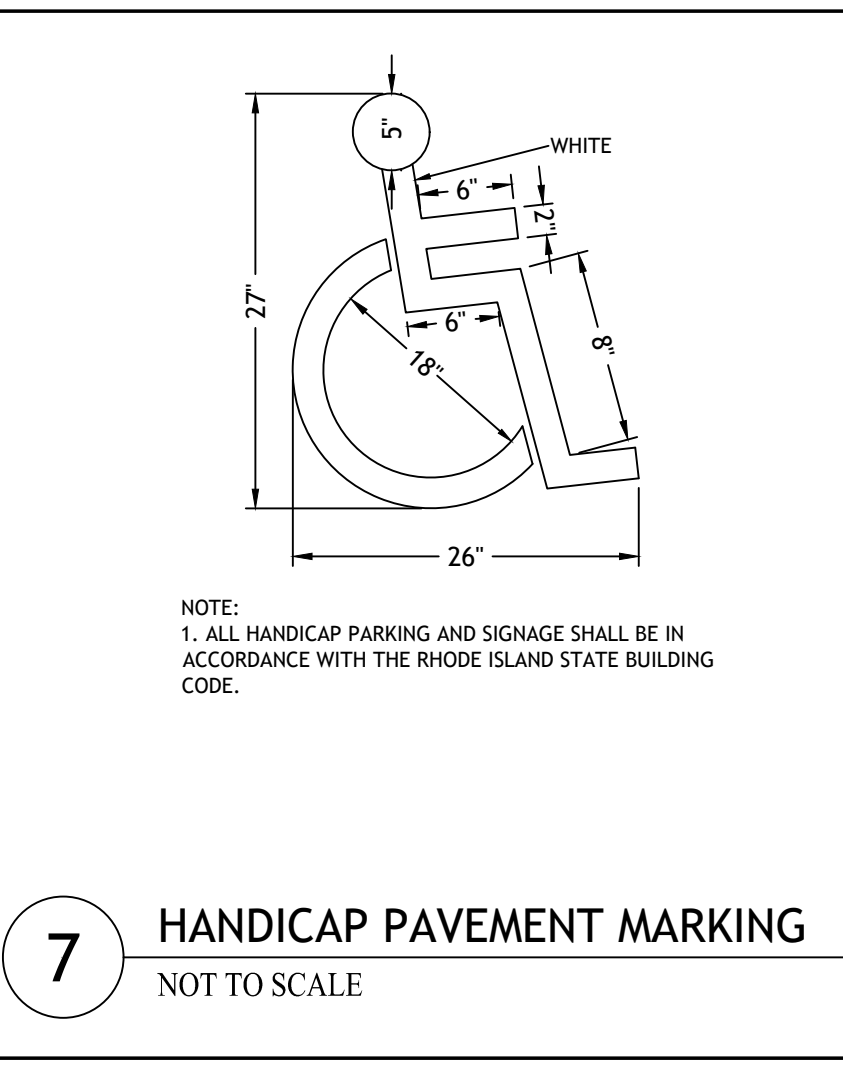
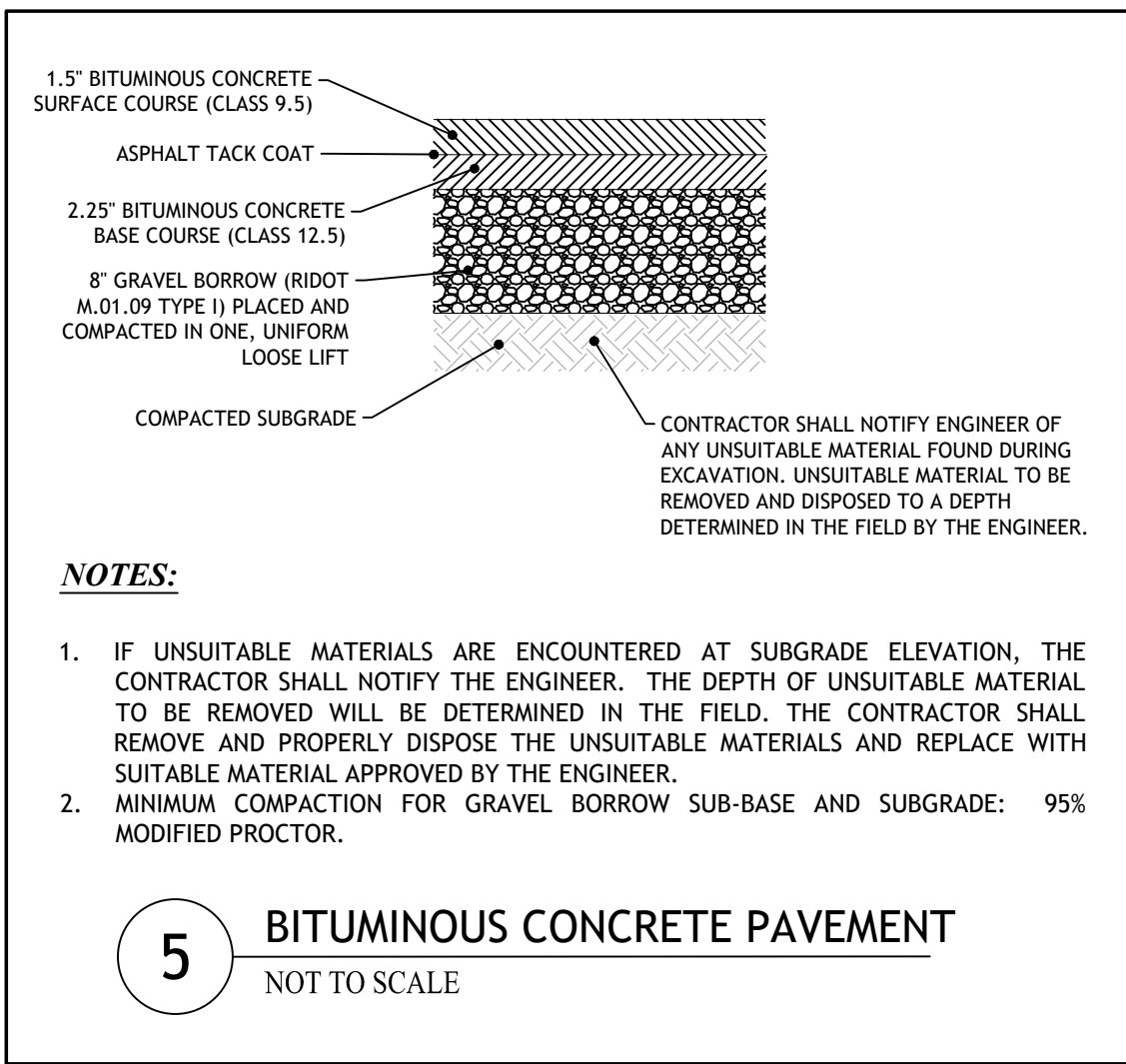
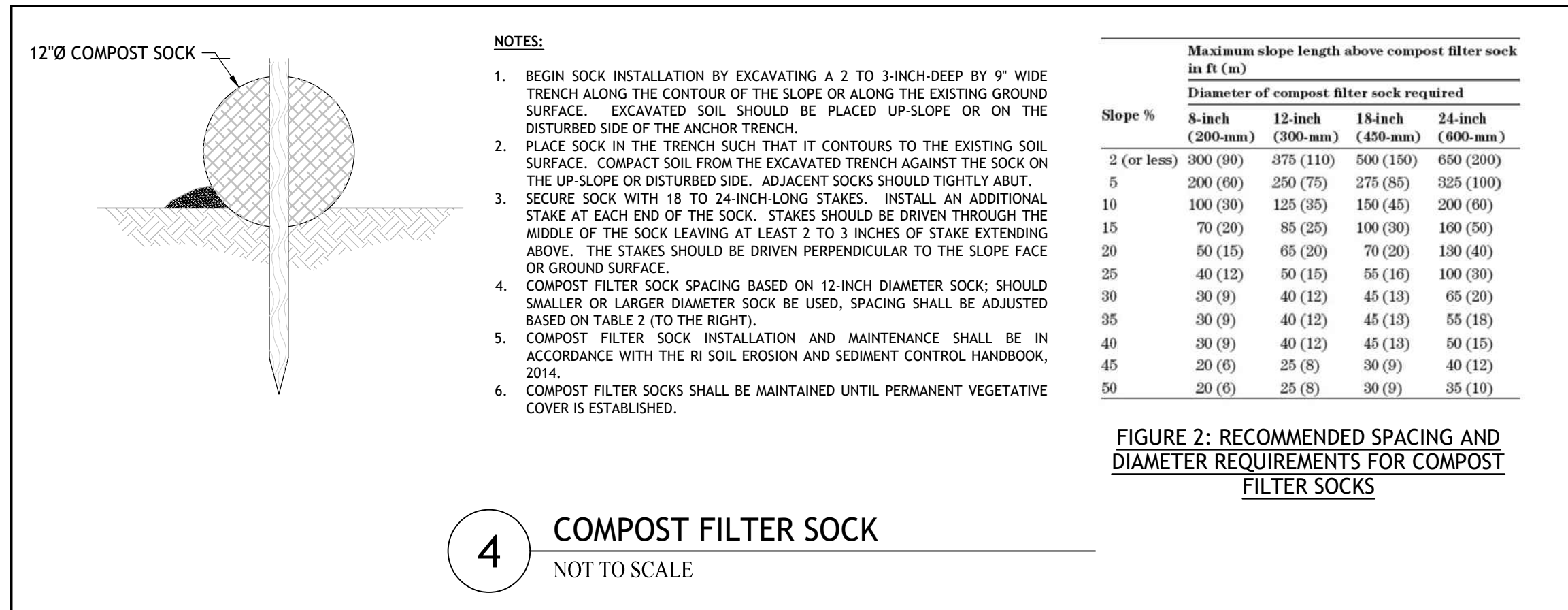
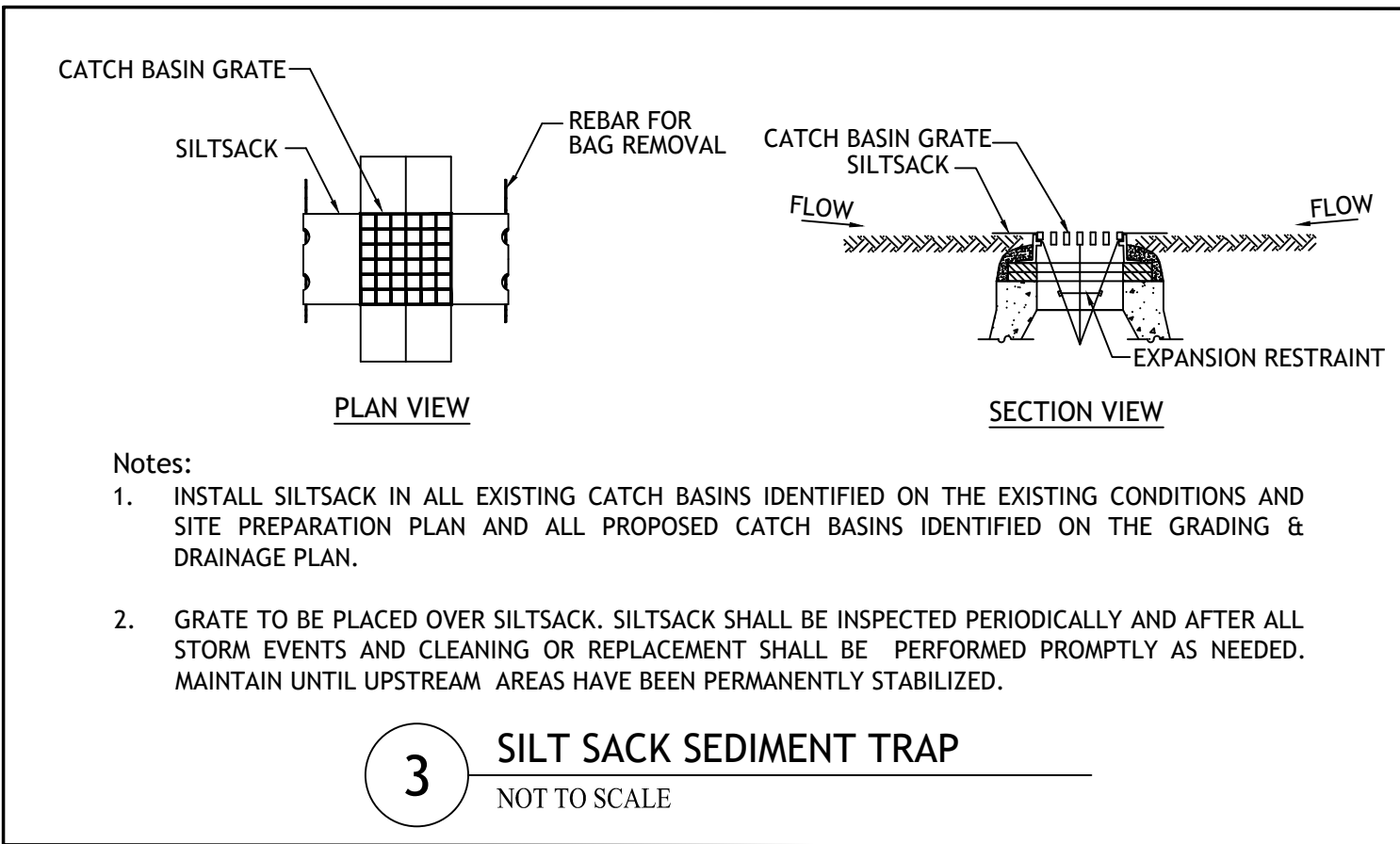
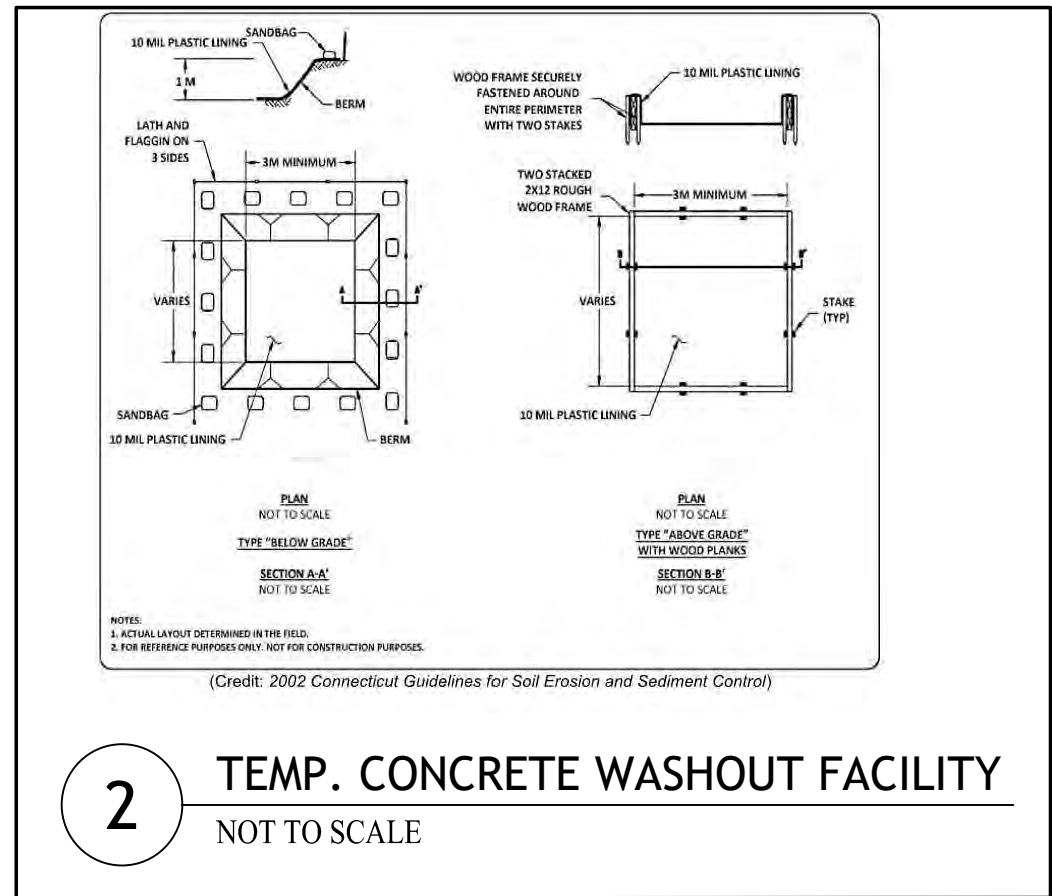
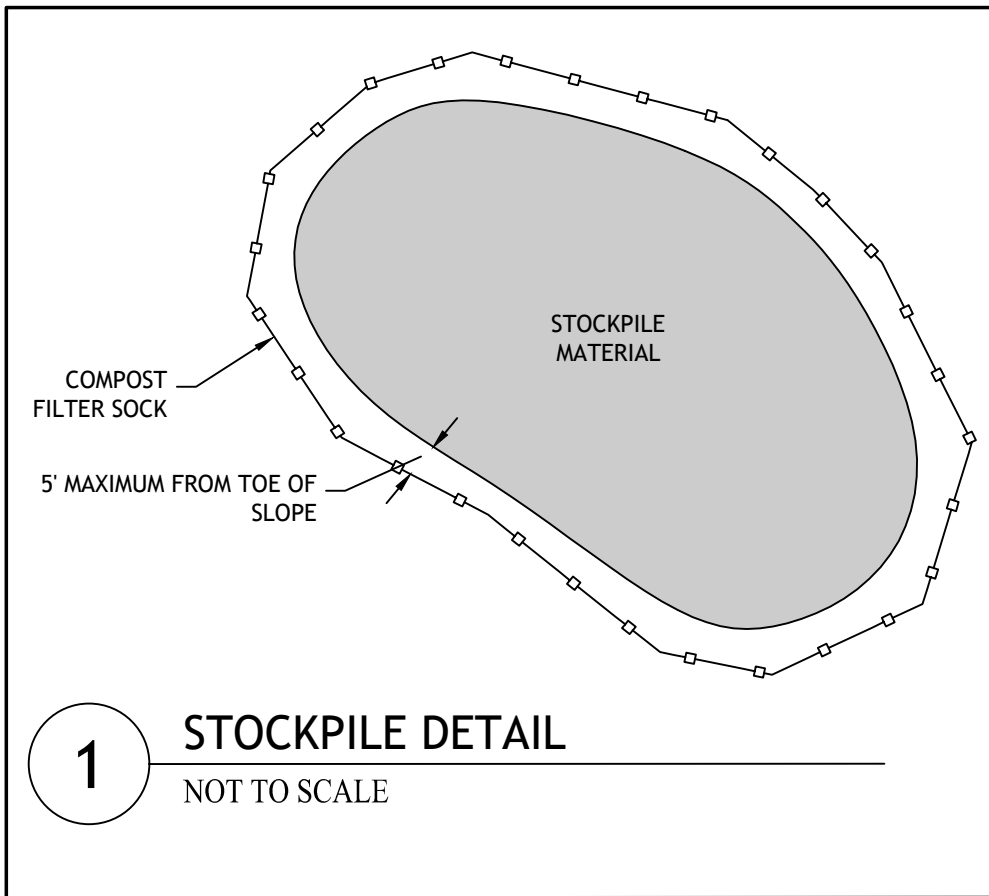
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DESIGNED BY: DRD
 DRAWN BY: SD
 CHECKED BY: JAC
 DATE: OCT. 2023
 PROJECT NO: 03-64c

PRELIMINARY, NOT FOR CONSTRUCTION

RI STANDARD DETAILS

SHEET 9 OF 14



JCE
JOE CASALI ENGINEERING, INC.
CIVIL ENGINEERING, SITE DESIGN, EROSION CONTROL, DRAINAGE
300 POST ROAD, WARWICK, RI 02888
(401) 944-1300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI
7250
REGISTERED PROFESSIONAL ENGINEER
10/06/2023

RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

REVISIONS:

| NO. | DATE | DESCRIPTION |
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| | | |
| | | |

DESIGNED BY: DRD
DRAWN BY: SD
CHECKED BY: JAC
DATE: OCT. 2023
PROJECT NO: 03-64e

PRELIMINARY, NOT FOR CONSTRUCTION

CIVIL/SITE DETAILS I

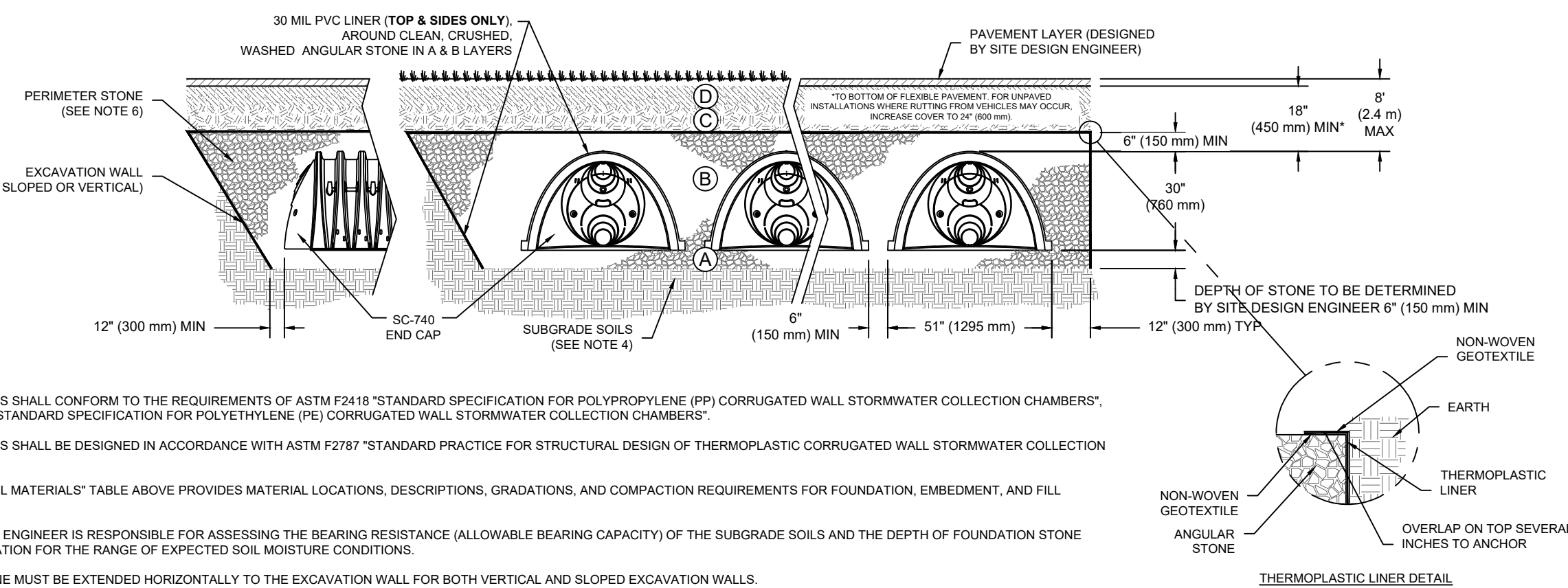
SHEET 10 OF 14

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ACCEPTABLE FILL MATERIALS: STORMTECH SC-740 CHAMBER SYSTEMS

| MATERIAL LOCATION | DESCRIPTION | AASHTO MATERIAL CLASSIFICATIONS | COMPACTION / DENSITY REQUIREMENT |
|-------------------|---|---|--|
| D | FINAL FILL: FILL MATERIAL FOR LAYER 'D' STARTS FROM THE TOP OF THE 'C' LAYER TO THE BOTTOM OF FLEXIBLE PAVEMENT OR UNPAVED FINISHED GRADE ABOVE. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE 'D' LAYER. | N/A | PREPARE PER SITE DESIGN ENGINEER'S PLANS. PAVED INSTALLATIONS MAY HAVE STRONGER MATERIAL AND PREPARATION REQUIREMENTS. |
| C | INITIAL FILL: FILL MATERIAL FOR LAYER 'C' STARTS FROM THE TOP OF THE EMBEDMENT STONE ('B' LAYER) TO 18" (450 mm) ABOVE THE TOP OF THE CHAMBER. NOTE THAT PAVEMENT SUBGRADE MAY BE PART OF THE 'C' LAYER. | AASHTO M145 ¹ A-1, A-2-4, A-3 OR AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57, 6, 67, 68, 7, 78, 8, 89, 9, 10 | BEGIN COMPACTIONS AFTER 12" (300 mm) OF MATERIAL OVER THE CHAMBERS IS REACHED. COMPACT ADDITIONAL LAYERS IN 6" (150 mm) MAX LIFTS TO A MIN. 95% PROCTOR DENSITY FOR WELL GRADED MATERIAL AND 90% RELATIVE DENSITY FOR PROCESSED AGGREGATE MATERIALS. ROLLER CROSS VEHICLE WEIGHT NOT TO EXCEED 12,000 lbs (53 kN). DYNAMIC FORCE NOT TO EXCEED 20,000 lbs (89 kN). |
| B | EMBEDMENT STONE: FILL SURROUNDING THE CHAMBERS FROM THE FOUNDATION STONE ('A' LAYER) TO THE 'C' LAYER ABOVE. | AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57 | NO COMPACTION REQUIRED. |
| A | FOUNDATION STONE: FILL BELOW CHAMBERS FROM THE SUBGRADE UP TO THE FOOT (BOTTOM) OF THE CHAMBER. | AASHTO M43 ² 3, 357, 4, 467, 5, 56, 57 | PLATE COMPACT OR ROLL TO ACHIEVE A FLAT SURFACE. ¹ |

- PLEASE NOTE:
- THE LISTED AASHTO DESIGNATIONS ARE FOR GRADATIONS ONLY. THE STONE MUST ALSO BE CLEAN, WASHED, CRUSHED, ANGULAR. FOR EXAMPLE, A SPECIFICATION FOR #4 STONE WOULD STATE "CLEAN, CRUSHED, ANGULAR NO. 4 (AASHTO M43) STONE".
 - STORMTECH COMPACTION REQUIREMENTS ARE MET FOR 'A' LOCATION MATERIALS WHEN PLACED AND COMPACTED IN 6" (150 mm) MAX LIFTS USING TWO FULL COVERS WITH A VIBRATORY COMPACTOR. WHERE INFILTRATION SURFACES MAY BE COMPROMISED BY COMPACTION, FOR STANDARD DESIGN LOAD CONDITIONS, A FLAT SURFACE MAY BE ACHIEVED BY RAKING OR DRAGGING WITHOUT COMPACTION EQUIPMENT. FOR SPECIAL LOAD DESIGN, CONTACT STORMTECH FOR COMPACTION REQUIREMENTS.



NOTES:

- SC-740 CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F2418 "STANDARD SPECIFICATION FOR POLYPROPYLENE (PP) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS", OR ASTM F2922 "STANDARD SPECIFICATION FOR POLYETHYLENE (PE) CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- SC-740 CHAMBERS SHALL BE DESIGNED IN ACCORDANCE WITH ASTM F2787 "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- "ACCEPTABLE FILL MATERIALS" TABLE ABOVE PROVIDES MATERIAL LOCATIONS, DESCRIPTIONS, GRADATIONS, AND COMPACTION REQUIREMENTS FOR FOUNDATION, EMBEDMENT, AND FILL MATERIALS.
- THE SITE DESIGN ENGINEER IS RESPONSIBLE FOR ASSESSING THE BEARING RESISTANCE (ALLOWABLE BEARING CAPACITY) OF THE SUBGRADE SOILS AND THE DEPTH OF FOUNDATION STONE WITH CONSIDERATION FOR THE RANGE OF EXPECTED SOIL MOISTURE CONDITIONS.
- PERIMETER STONE MUST BE EXTENDED HORIZONTALLY TO THE EXCAVATION WALL FOR BOTH VERTICAL AND SLOPED EXCAVATION WALLS.
- ONCE LAYER 'C' IS PLACED, ANY SOIL MATERIAL CAN BE PLACED IN LAYER 'D' UP TO THE FINISHED GRADE. MOST PAVEMENT SUBGRADE SOILS CAN BE USED TO REPLACE THE MATERIAL REQUIREMENTS OF LAYER 'C' OR 'D' AT THE SITE DESIGN ENGINEER'S DISCRETION.

16 STORMTECH SC-740 CROSS SECTION DETAIL
NOT TO SCALE

SC-740 STANDARD CROSS SECTION

DATE: 11/18/15 DRAWN: JLM CHECKED: JLM

PROJECT #:

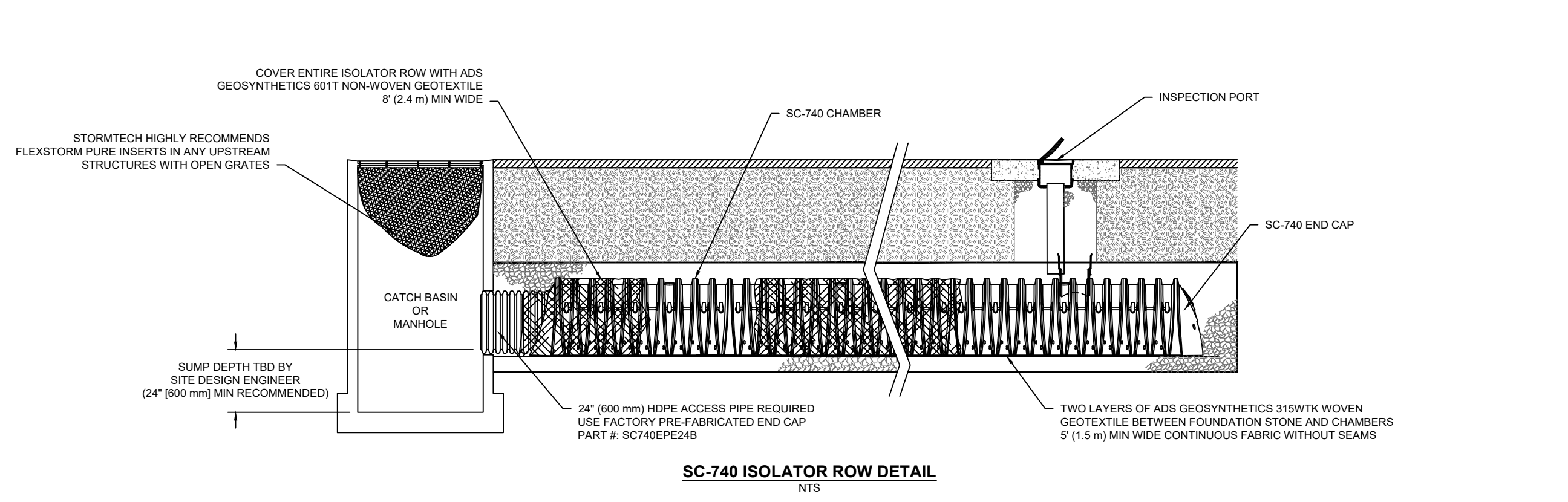
DESCRIPTION:

REV: [] DATE: [] BY: []

4640 TREHMAN BLVD
HILLIARD, OH 43008
614-892-2894

ADS

SHEET 1 OF 1

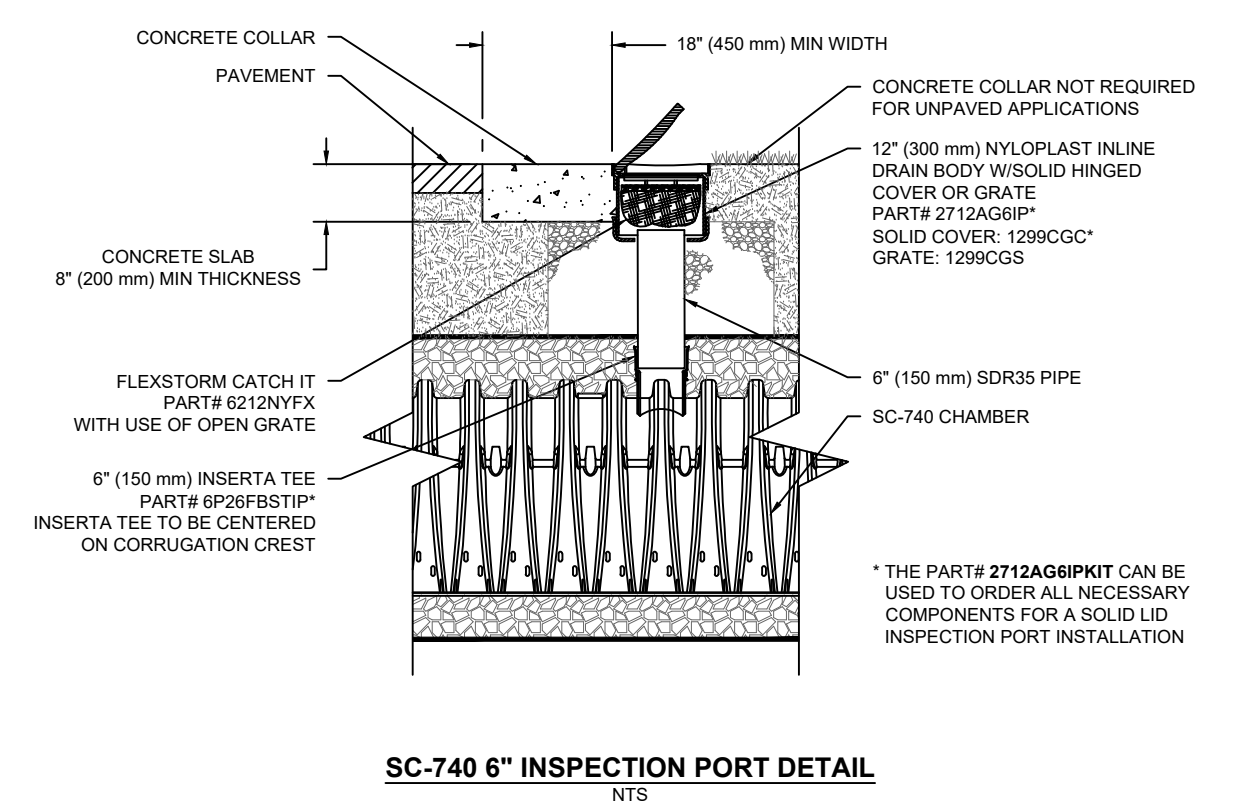


INSPECTION & MAINTENANCE

- STEP 1) INSPECT ISOLATOR ROW FOR SEDIMENT
- INSPECTION PORTS (IF PRESENT)
 - REMOVE/OPEN LID ON NYLOPLAST INLINE DRAIN
 - REMOVE AND CLEAN FLEXSTORM FILTER IF INSTALLED
 - USING A FLASHLIGHT AND STADIUM ROD, MEASURE DEPTH OF SEDIMENT AND RECORD ON MAINTENANCE LOG
 - LOWER A CAMERA INTO ISOLATOR ROW FOR VISUAL INSPECTION OF SEDIMENT LEVELS (OPTIONAL)
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
 - ALL ISOLATOR ROWS
 - REMOVE COVER FROM STRUCTURE AT UPSTREAM END OF ISOLATOR ROW USING A FLASHLIGHT, INSPECT DOWN THE ISOLATOR ROW THROUGH OUTLET PIPE
 - MIRRORS ON POLES OR CAMERAS MAY BE USED TO AVOID A CONFINED SPACE ENTRY
 - FOLLOW OSHA REGULATIONS FOR CONFINED SPACE ENTRY IF ENTERING MANHOLE
 - IF SEDIMENT IS AT, OR ABOVE, 3" (80 mm) PROCEED TO STEP 2. IF NOT, PROCEED TO STEP 3.
- STEP 2) CLEAN OUT ISOLATOR ROW USING THE JETVAC PROCESS
- A FIXED CULVERT CLEANING NOZZLE WITH REAR FACING SPREAD OF 45" (1.1 m) OR MORE IS PREFERRED
 - APPLY MULTIPLE PASSES OF JETVAC UNTIL BACKFLUSH WATER IS CLEAR
 - VACUUM STRUCTURE SUMP AS REQUIRED
- STEP 3) REPLACE ALL COVERS, GRATES, FILTERS, AND LIDS; RECORD OBSERVATIONS AND ACTIONS.
- STEP 4) INSPECT AND CLEAN BASINS AND MANHOLES UPSTREAM OF THE STORMTECH SYSTEM.

NOTES:

- INSPECT EVERY 6 MONTHS DURING THE FIRST YEAR OF OPERATION. ADJUST THE INSPECTION INTERVAL BASED ON PREVIOUS OBSERVATIONS OF SEDIMENT ACCUMULATION AND HIGH WATER ELEVATIONS.
- CONDUCT JETTING AND VACTORING ANNUALLY OR WHEN INSPECTION SHOWS THAT MAINTENANCE IS NECESSARY.



17 STORMTECH SC-740 ISOLATOR ROW DETAIL
NOT TO SCALE

ISOLATOR ROW DETAILS

DATE: 08/28/17 DRAWN: JLM CHECKED: JLM

PROJECT #:

DESCRIPTION:

REV: [] DATE: [] BY: []

4640 TREHMAN BLVD
HILLIARD, OH 43008
614-892-2894

ADS

SHEET 1 OF 1

JCE

JOE CASALI ENGINEERING, INC.

CIVIL ENGINEERING, SITE DESIGN, CONSTRUCTION MANAGEMENT, SURVEYING, EROSION CONTROL, DRAINAGE

300 POST ROAD, WARWICK, RI 02888

(401) 944-3300 (401) 944-1313 FAX WWW.JOECASALI.COM

JOSEPH A. CASALI

7250

REGISTERED PROFESSIONAL ENGINEER

10/06/2023

RETAIL AND CONTRACTOR UNITS

2826 POST ROAD

WARWICK, RHODE ISLAND

AP 267, LOT 217

REVISIONS:

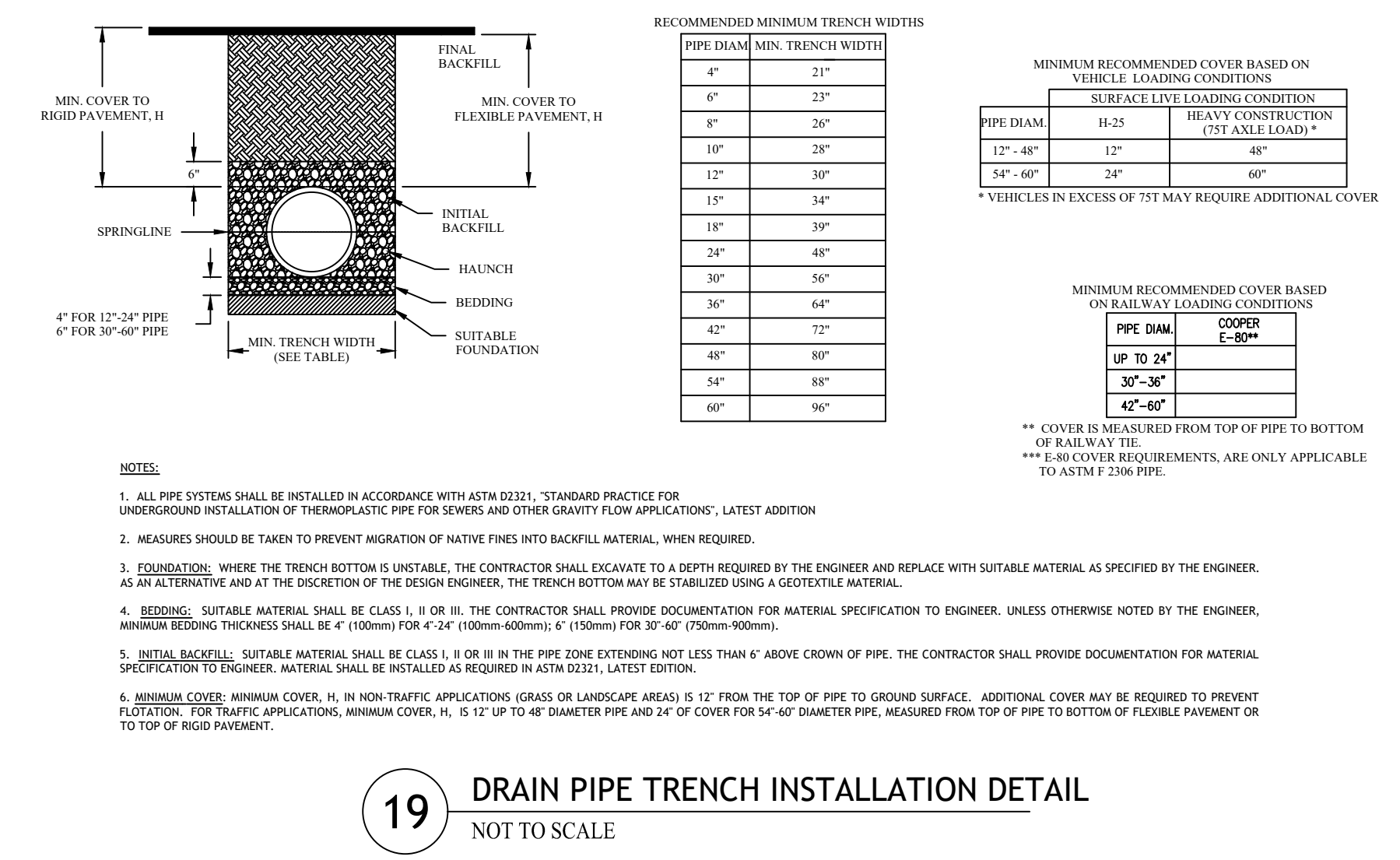
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DESIGNED BY: DRD
DRAWN BY: SD
CHECKED BY: JAC
DATE: OCT. 2023
PROJECT NO: 03-64c

PRELIMINARY, NOT FOR CONSTRUCTION

CIVIL/SITE DETAILS II

SHEET 11 OF 14



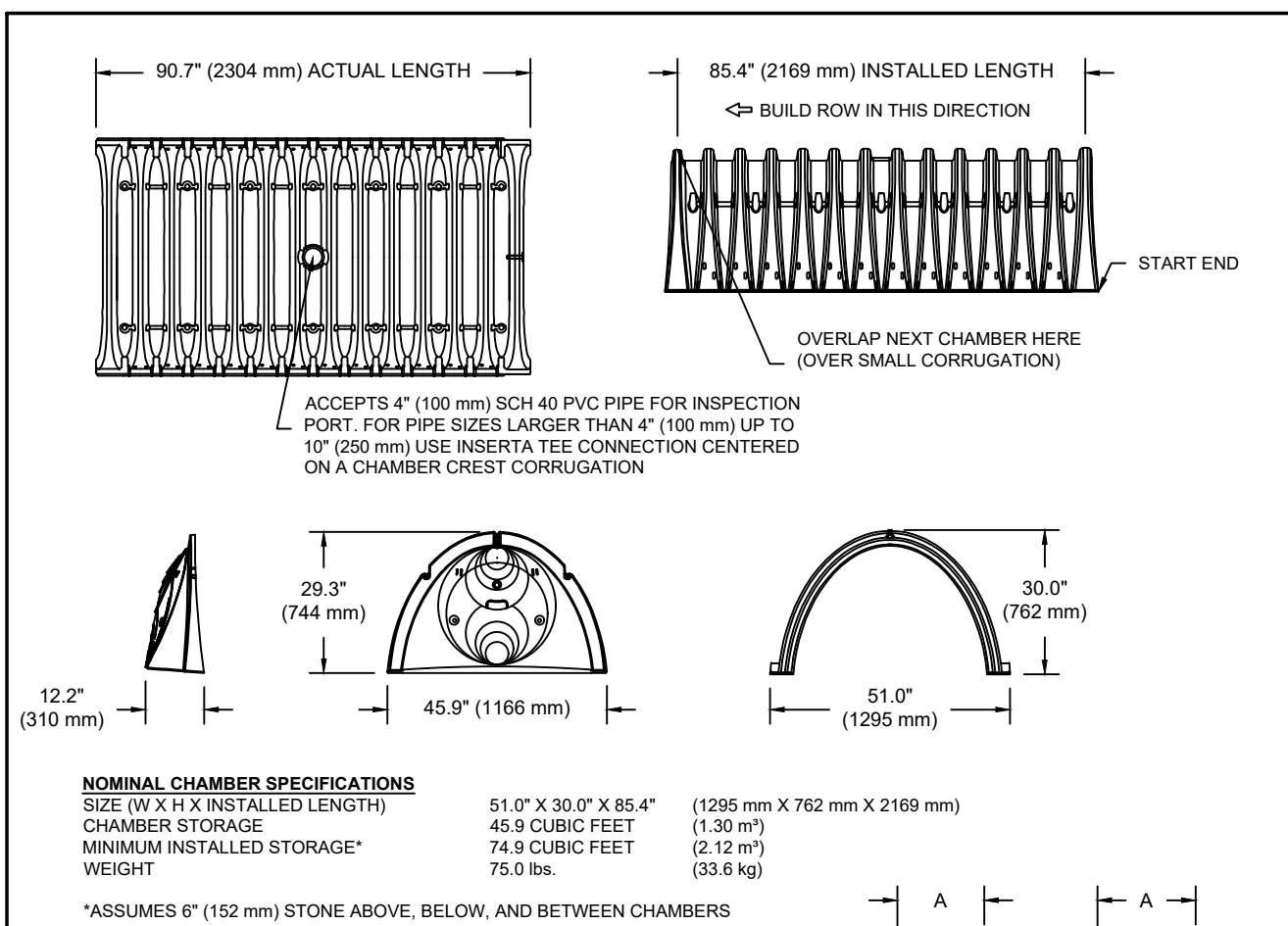
19 DRAIN PIPE TRENCH INSTALLATION DETAIL
NOT TO SCALE

NOTES FOR THE INSTALLATION OF THE SC-740 SYSTEM

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL NOT BE INSTALLED UNTIL THE MANUFACTURER'S REPRESENTATIVE HAS COMPLETED A PRE-CONSTRUCTION MEETING WITH THE INSTALLERS.
- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
- CHAMBERS ARE NOT TO BE BACKFILLED WITH A DOZER OR AN EXCAVATOR SITUATED OVER THE CHAMBERS. STORMTECH RECOMMENDS 3 BACKFILL METHODS:
 - STONESHOOTER LOCATED OFF THE CHAMBER BED.
 - BACKFILL AS ROWS ARE BUILT USING AN EXCAVATOR ON THE FOUNDATION STONE OR SUBGRADE.
 - BACKFILL FROM OUTSIDE THE EXCAVATION USING A LONG BOOM HOE OR EXCAVATOR.
- THE FOUNDATION STONE SHALL BE LEVELED AND COMPACTED PRIOR TO PLACING CHAMBERS.
- JOINTS BETWEEN CHAMBERS SHALL BE PROPERLY SEATED PRIOR TO PLACING STONE.
- MAINTAIN MINIMUM 6" SPACING BETWEEN THE CHAMBER ROWS.
- THE CONTRACTOR MUST REPORT ANY DISCREPANCIES WITH CHAMBER FOUNDATION MATERIALS BEARING CAPACITIES TO THE SITE DESIGN ENGINEER.
- ADS RECOMMENDS THE USE OF "FLEXSTORM CATCH IT" INSERTS DURING CONSTRUCTION FOR ALL INLETS TO PROTECT THE SUBSURFACE STORMWATER MANAGEMENT SYSTEM FROM CONSTRUCTION SITE RUNOFF.

NOTES FOR CONSTRUCTION EQUIPMENT

- STORMTECH SC-310 & SC-740 CHAMBERS SHALL BE INSTALLED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - THE USE OF CONSTRUCTION EQUIPMENT OVER SC-310 & SC-740 CHAMBERS IS LIMITED:
 - NO EQUIPMENT IS ALLOWED ON BARE CHAMBERS.
 - NO RUBBER Tired LOADERS, DUMP TRUCKS, OR EXCAVATORS ARE ALLOWED UNTIL PROPER FILL DEPTHS ARE REACHED IN ACCORDANCE WITH THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT CAN BE FOUND IN THE "STORMTECH SC-310/SC-740/DC-780 CONSTRUCTION GUIDE".
 - FULL 36" (900 mm) OF STABILIZED COVER MATERIALS OVER THE CHAMBERS IS REQUIRED FOR DUMP TRUCK TRAVEL OR DUMPING.
- USE OF A DOZER TO PUSH EMBEDMENT STONE BETWEEN THE ROWS OF CHAMBERS MAY CAUSE DAMAGE TO THE CHAMBERS AND IS NOT AN ACCEPTABLE BACKFILL METHOD. ANY CHAMBERS DAMAGED BY THE "DUMP AND PUSH" METHOD ARE NOT COVERED UNDER THE STORMTECH STANDARD WARRANTY.
- CONTACT STORMTECH AT 1-888-892-2894 WITH ANY QUESTIONS ON INSTALLATION REQUIREMENTS OR WEIGHT LIMITS FOR CONSTRUCTION EQUIPMENT.



NOMINAL CHAMBER SPECIFICATIONS

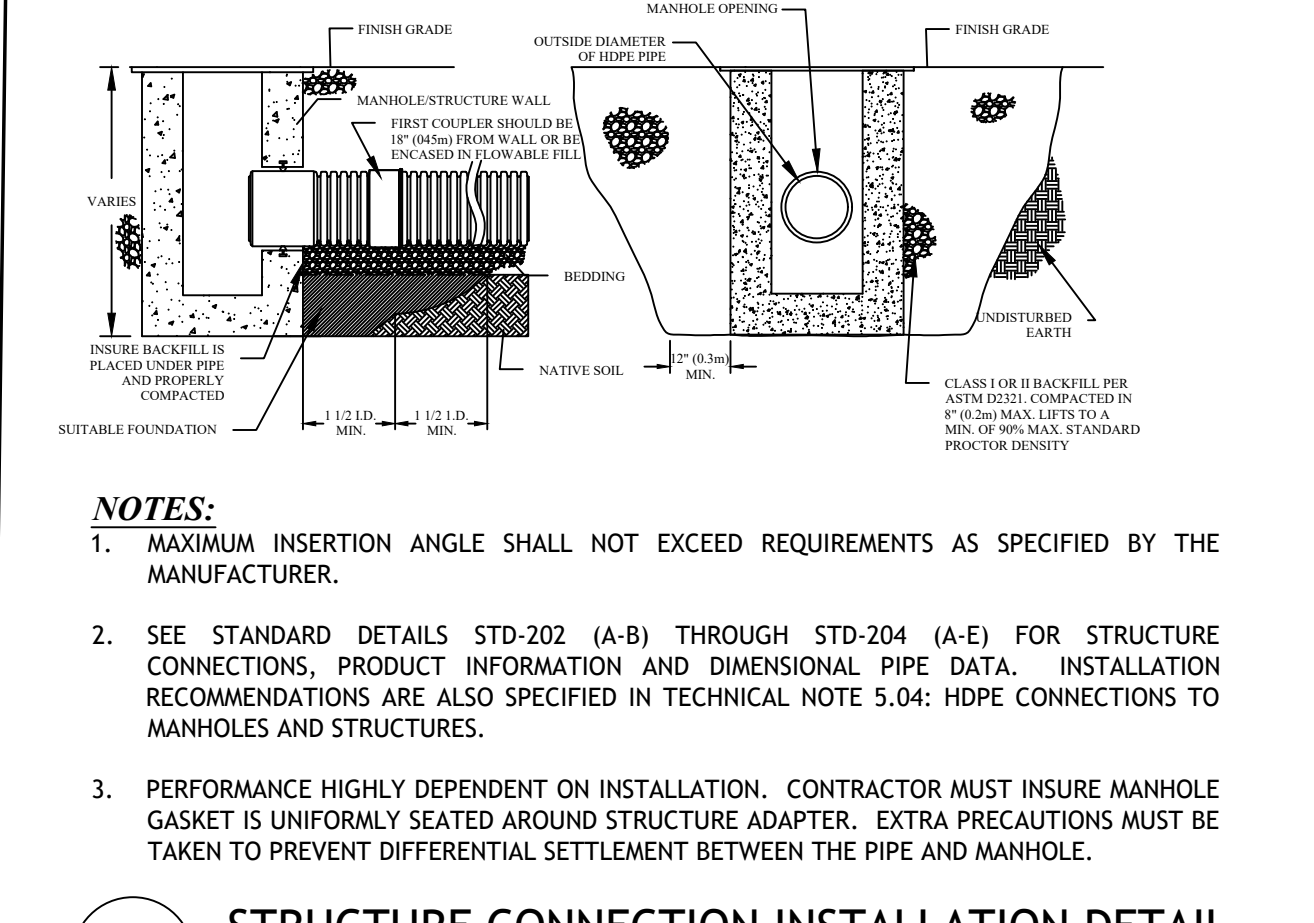
| SIZE (W X H X INSTALLED LENGTH) | 51.0" X 30.0" X 85.4" | (1295 mm X 762 mm X 2169 mm) |
|---------------------------------|-----------------------|------------------------------|
| CHAMBER STORAGE | 45.9 CUBIC FEET | (1.30 m ³) |
| MINIMUM INSTALLED STORAGE* | 74.9 CUBIC FEET | (2.12 m ³) |
| WEIGHT | 75.0 lbs. | (33.6 kg) |

*ASSUMES 6" (152 mm) STONE ABOVE, BELOW, AND BETWEEN CHAMBERS

STUBS AT BOTTOM OF END CAP FOR PART NUMBERS ENDING WITH "B"

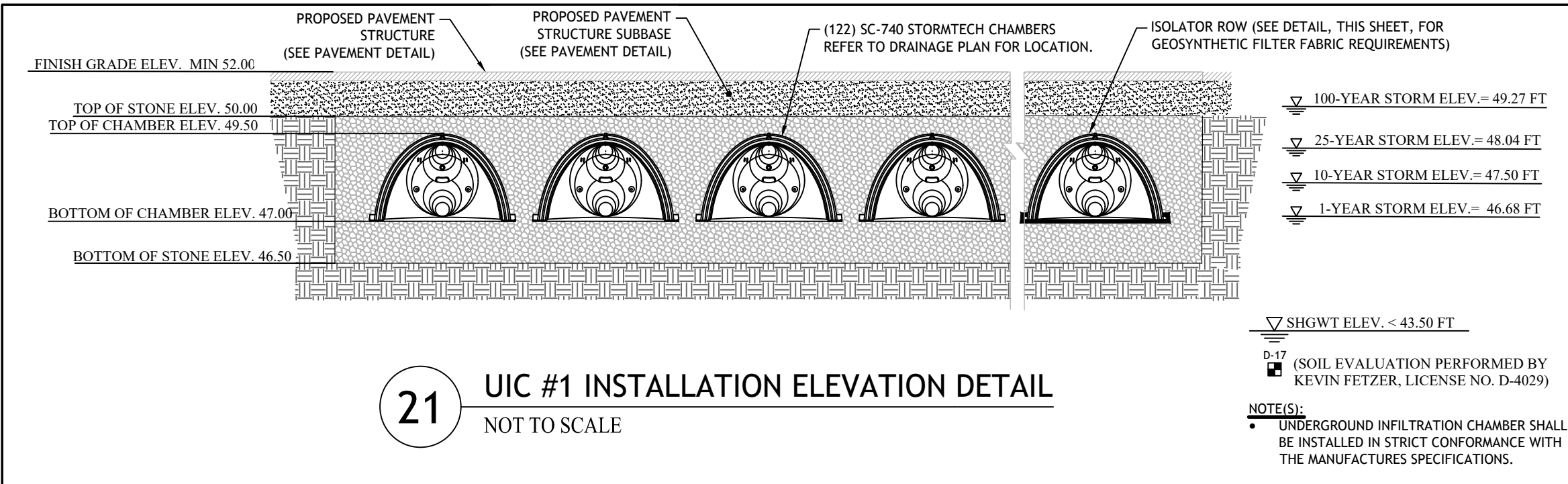
| PART # | STUB | A | B | C |
|-----------------------------|--------------|----------------|----------------|--------------|
| SC740EPE06T / SC740EPE06TPC | 6" (150 mm) | 10.9" (277 mm) | 16.5" (419 mm) | — |
| SC740EPE08B / SC740EPE08BPC | 8" (200 mm) | 12.2" (310 mm) | 16.5" (419 mm) | 0.5" (13 mm) |
| SC740EPE08T / SC740EPE08TPC | 8" (200 mm) | 12.2" (310 mm) | 14.5" (368 mm) | 0.6" (15 mm) |
| SC740EPE10T / SC740EPE10TPC | 10" (250 mm) | 13.4" (340 mm) | 14.5" (368 mm) | — |
| SC740EPE10B / SC740EPE10BPC | 10" (250 mm) | 13.4" (340 mm) | 12.5" (318 mm) | 0.7" (18 mm) |
| SC740EPE12T / SC740EPE12TPC | 12" (300 mm) | 14.7" (373 mm) | 12.5" (318 mm) | 1.2" (30 mm) |
| SC740EPE12B / SC740EPE12BPC | 12" (300 mm) | 14.7" (373 mm) | 9.0" (229 mm) | — |
| SC740EPE15T / SC740EPE15TPC | 15" (375 mm) | 18.4" (467 mm) | 5.0" (127 mm) | 1.3" (33 mm) |
| SC740EPE15B / SC740EPE15BPC | 15" (375 mm) | 18.4" (467 mm) | — | — |
| SC740EPE18T / SC740EPE18TPC | 18" (450 mm) | 19.7" (500 mm) | — | 1.6" (41 mm) |
| SC740EPE18B / SC740EPE18BPC | 18" (450 mm) | 19.7" (500 mm) | — | — |
| SC740EPE24B | 24" (600 mm) | 18.5" (470 mm) | — | 0.1" (3 mm) |

18 SC-740 TECHNICAL SPECIFICATION
NOT TO SCALE

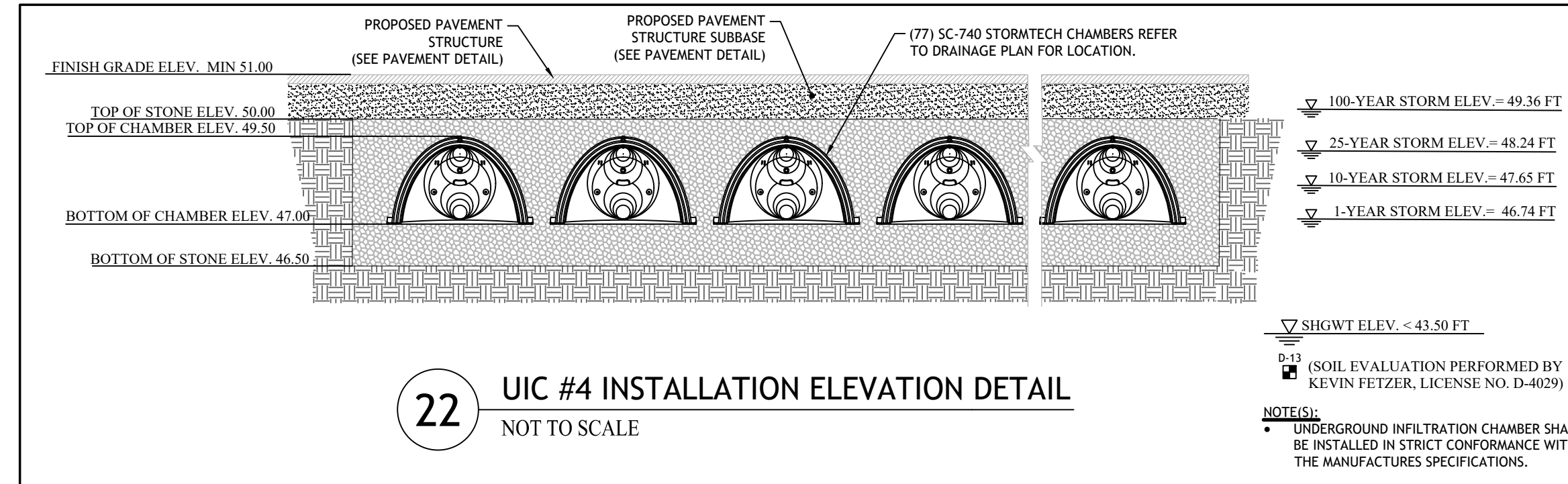


20 STRUCTURE CONNECTION INSTALLATION DETAIL
NOT TO SCALE

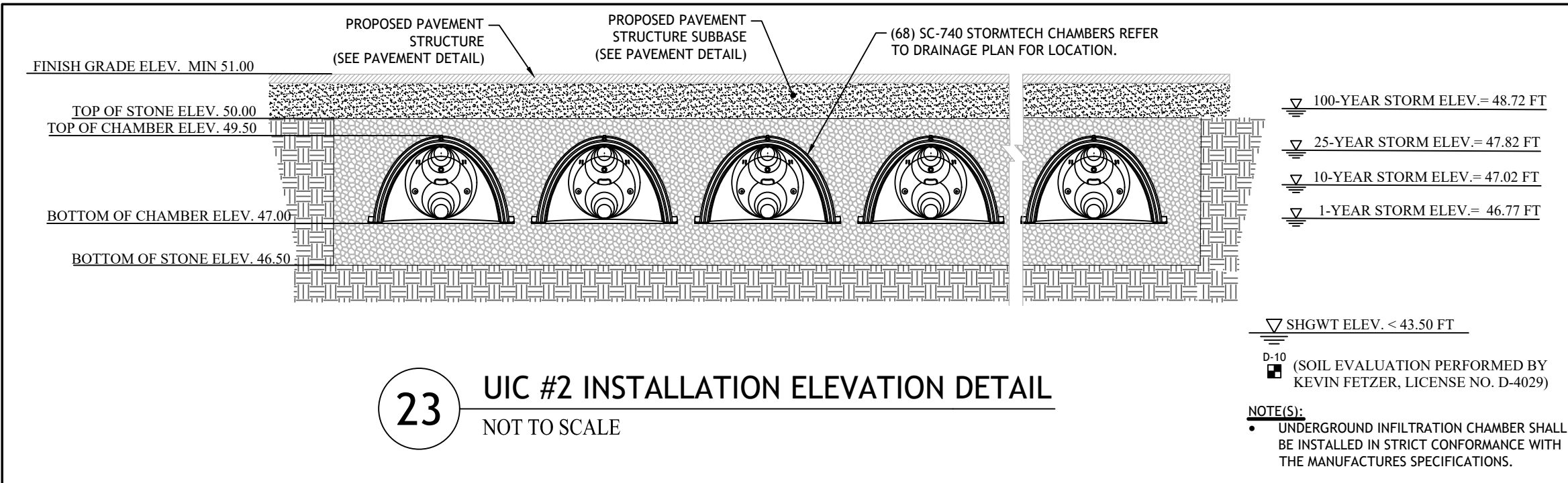
- NOTES:**
- MAXIMUM INSERTION ANGLE SHALL NOT EXCEED REQUIREMENTS AS SPECIFIED BY THE MANUFACTURER.
 - SEE STANDARD DETAILS STD-202 (A-B) THROUGH STD-204 (A-E) FOR STRUCTURE CONNECTIONS, PRODUCT INFORMATION AND DIMENSIONAL PIPE DATA. INSTALLATION RECOMMENDATIONS ARE ALSO SPECIFIED IN TECHNICAL NOTE 5.04: HDPE CONNECTIONS TO MANHOLES AND STRUCTURES.
 - PERFORMANCE HIGHLY DEPENDENT ON INSTALLATION. CONTRACTOR MUST INSURE MANHOLE GASKET IS UNIFORMLY SEATED AROUND STRUCTURE ADAPTER. EXTRA PRECAUTIONS MUST BE TAKEN TO PREVENT DIFFERENTIAL SETTLEMENT BETWEEN THE PIPE AND MANHOLE.



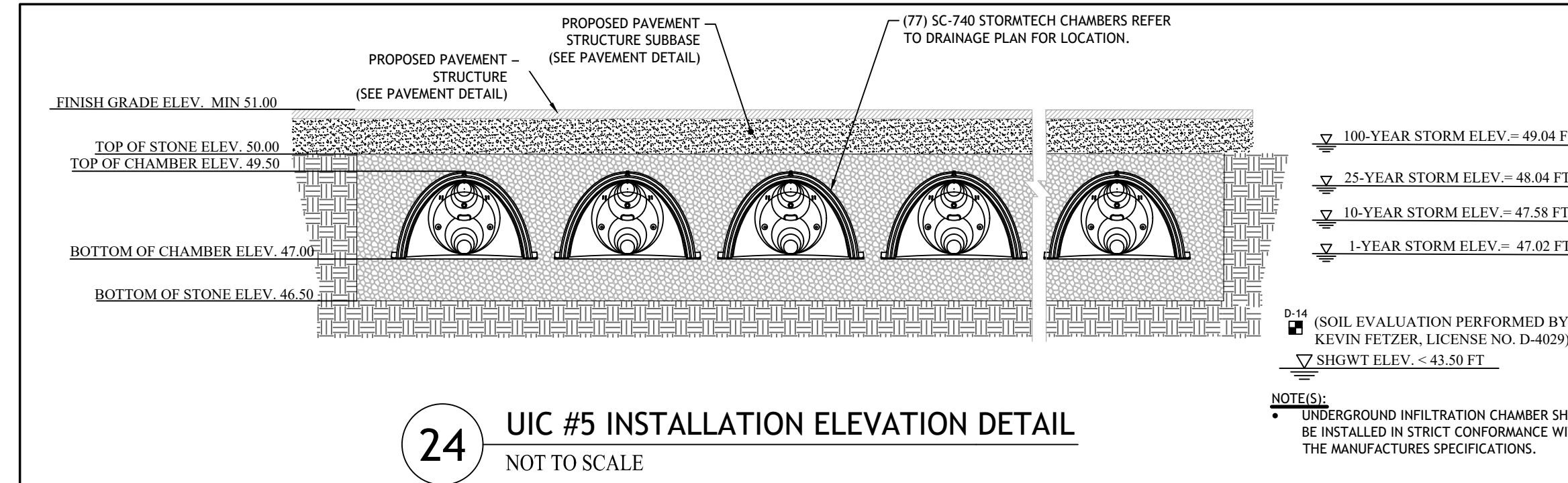
21 UIC #1 INSTALLATION ELEVATION DETAIL
NOT TO SCALE



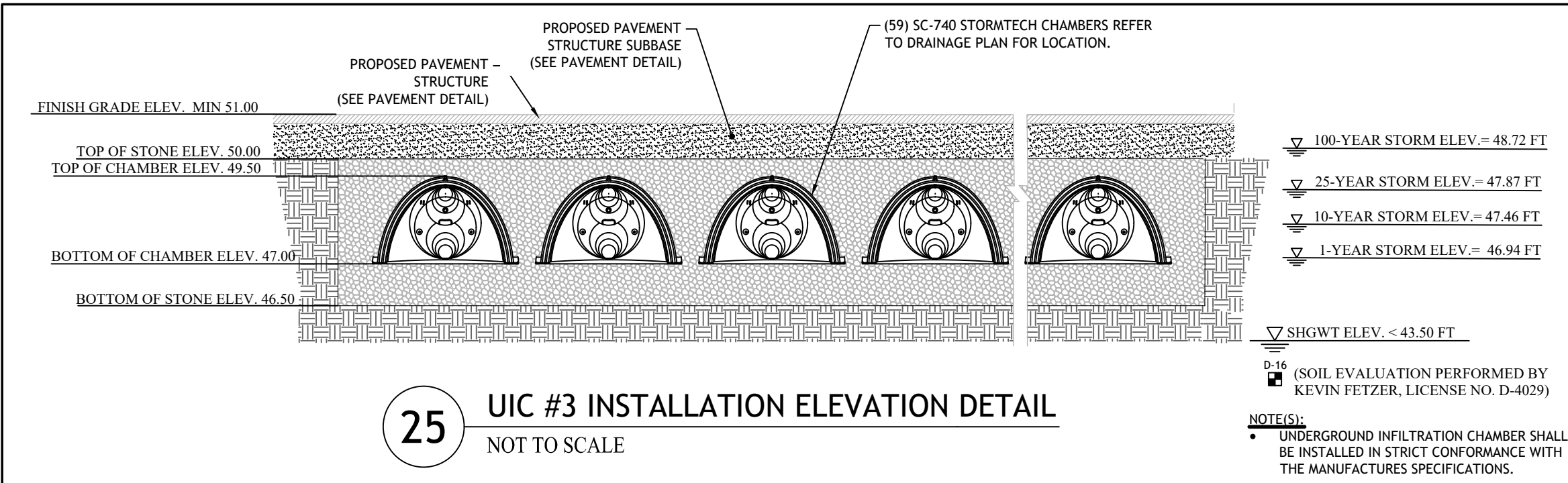
22 UIC #4 INSTALLATION ELEVATION DETAIL
NOT TO SCALE



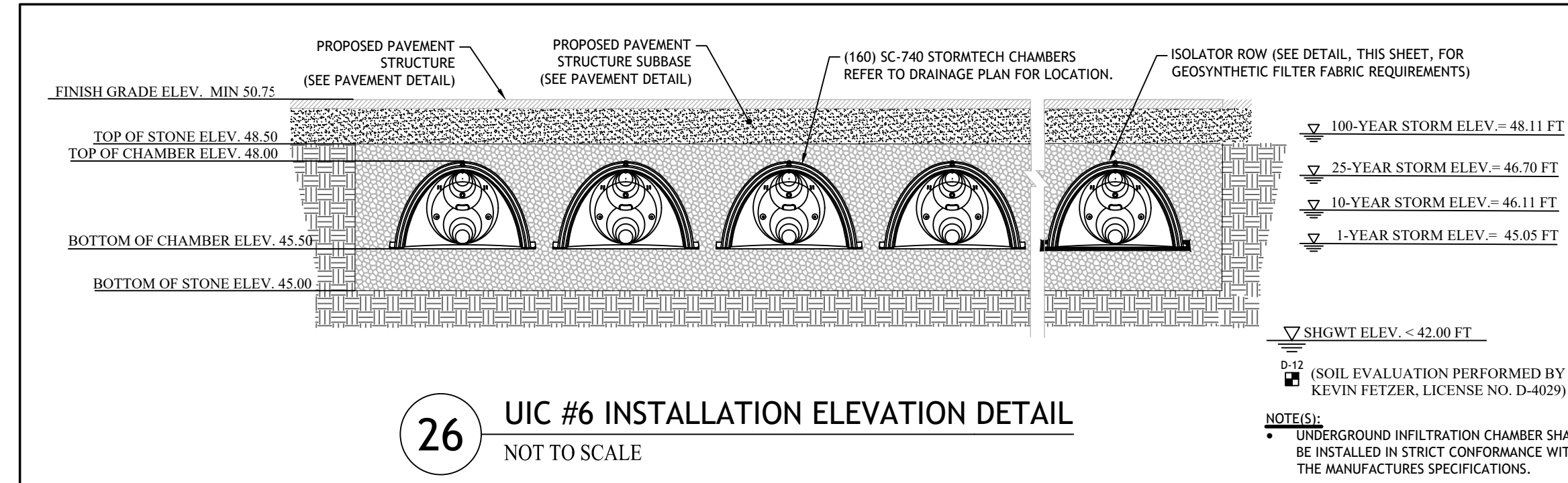
23 UIC #2 INSTALLATION ELEVATION DETAIL
NOT TO SCALE



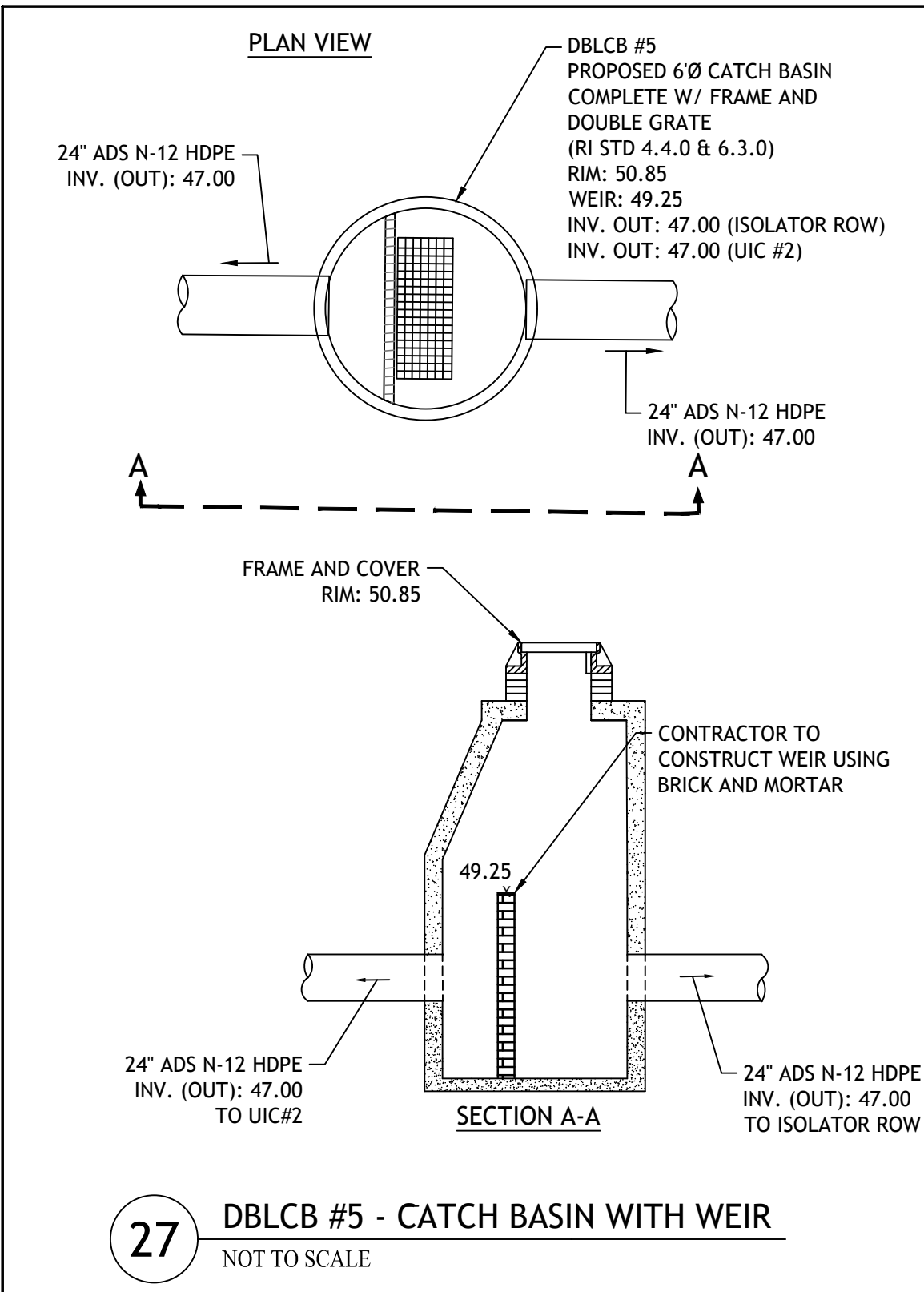
24 UIC #5 INSTALLATION ELEVATION DETAIL
NOT TO SCALE



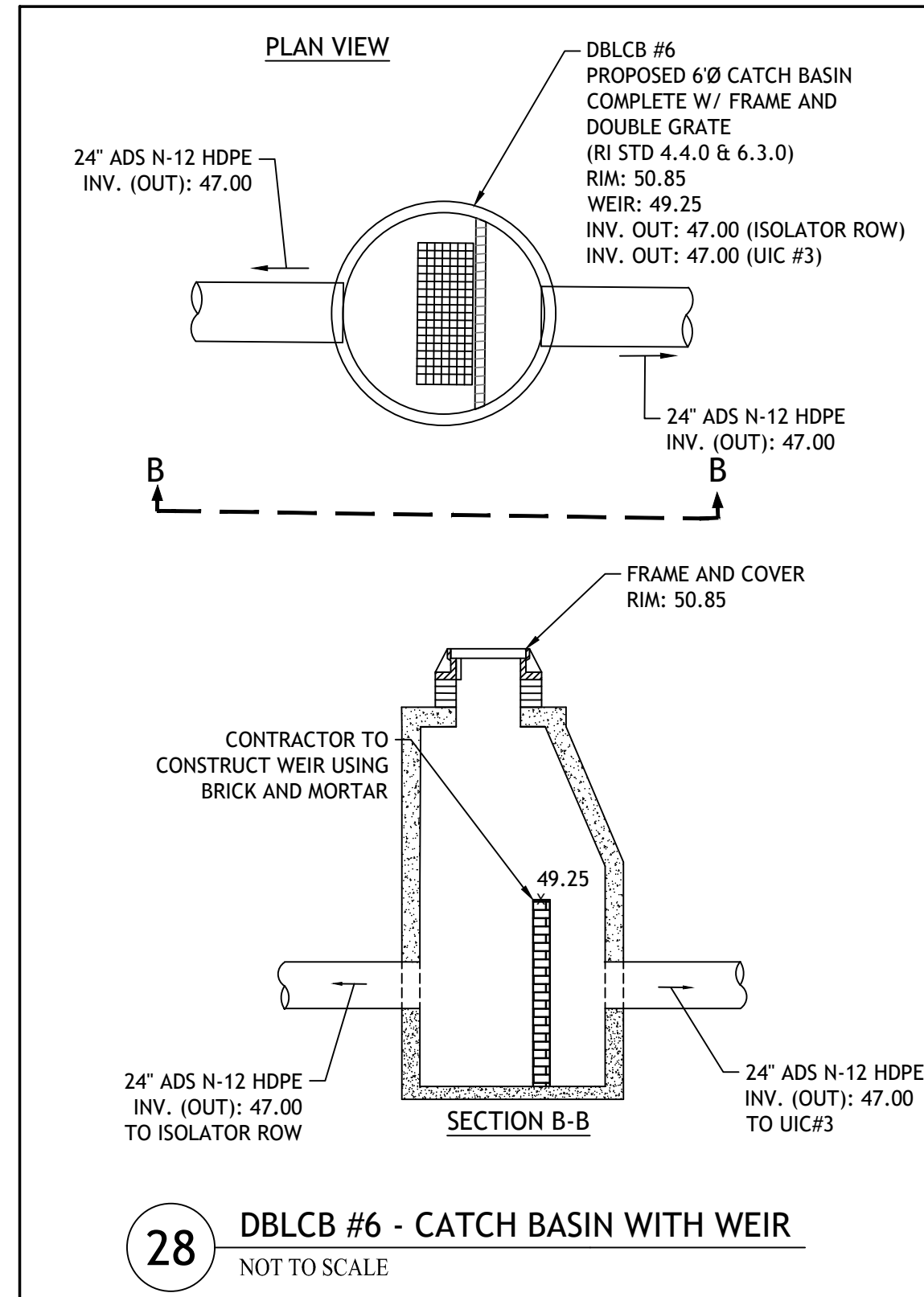
25 UIC #3 INSTALLATION ELEVATION DETAIL
NOT TO SCALE



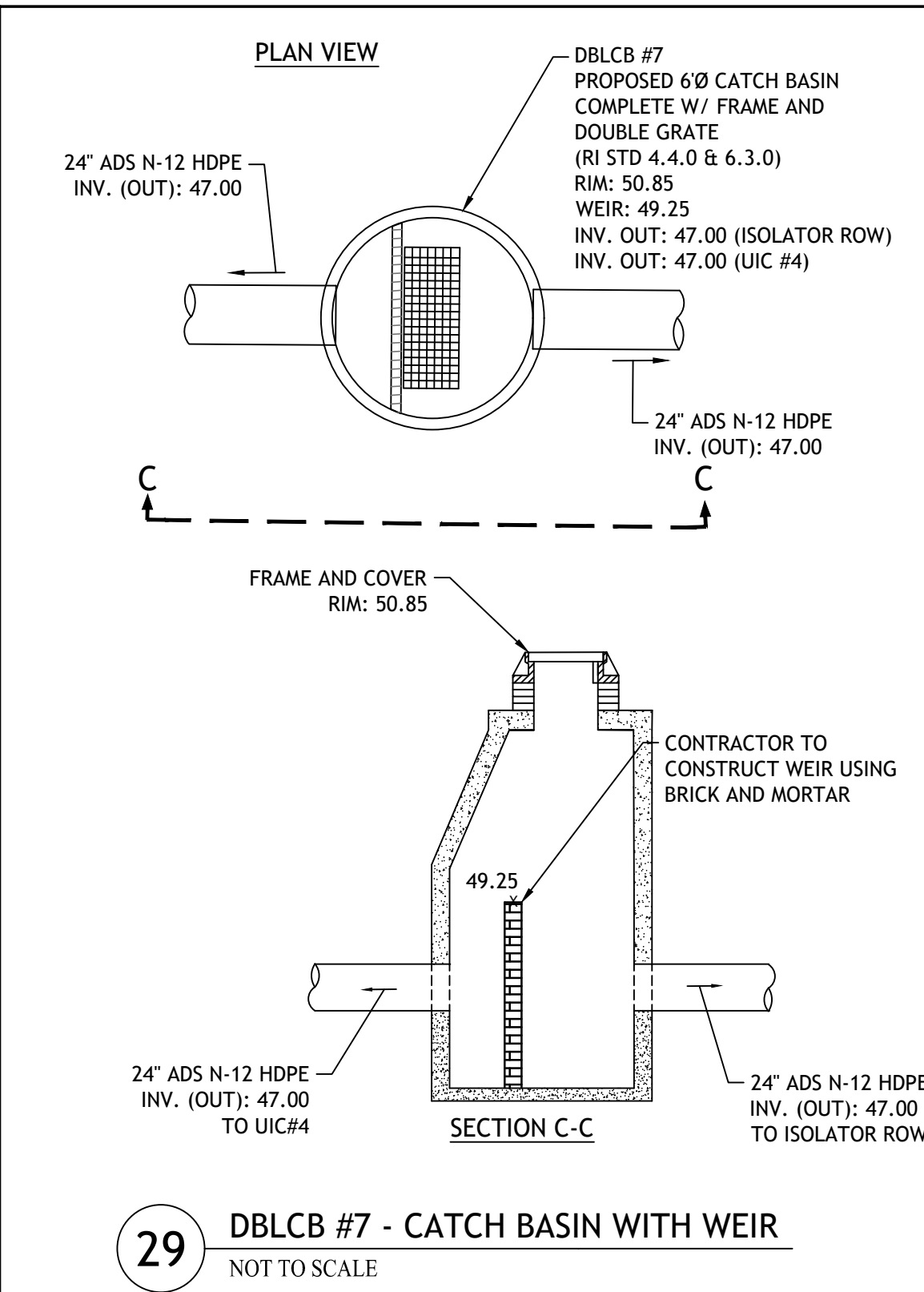
26 UIC #6 INSTALLATION ELEVATION DETAIL
NOT TO SCALE



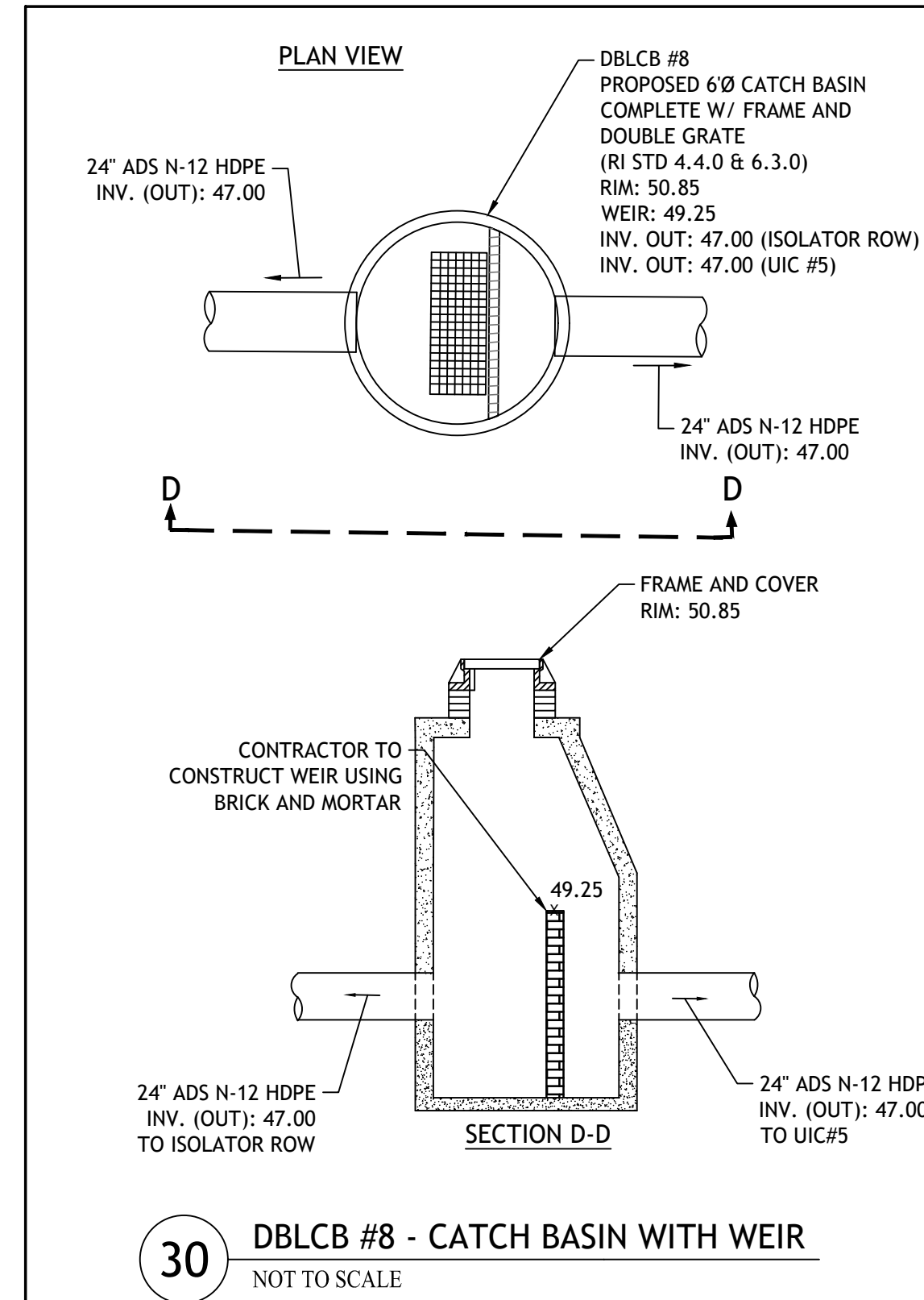
27 DBLCB #5 - CATCH BASIN WITH WEIR
NOT TO SCALE



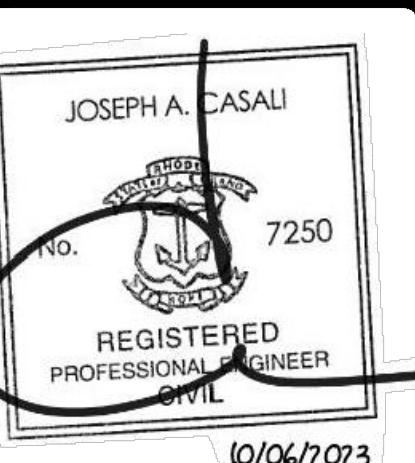
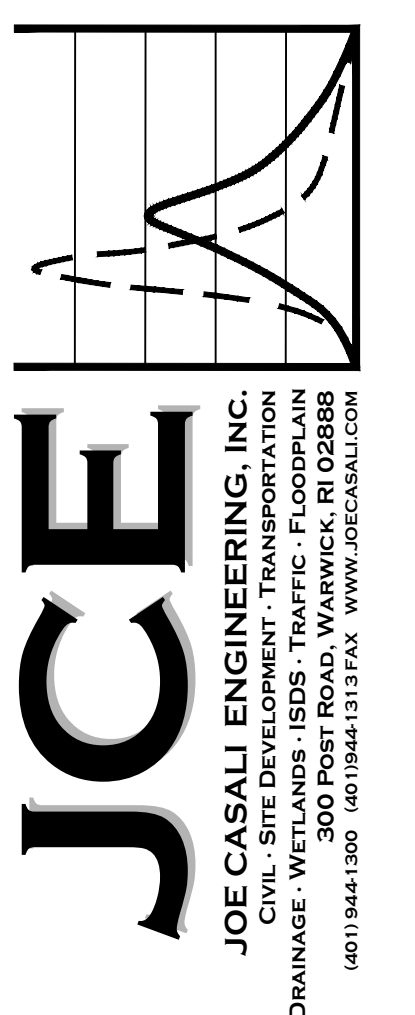
28 DBLCB #6 - CATCH BASIN WITH WEIR
NOT TO SCALE



29 DBLCB #7 - CATCH BASIN WITH WEIR
NOT TO SCALE



30 DBLCB #8 - CATCH BASIN WITH WEIR
NOT TO SCALE



RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

| NO. | DATE | DESCRIPTION |
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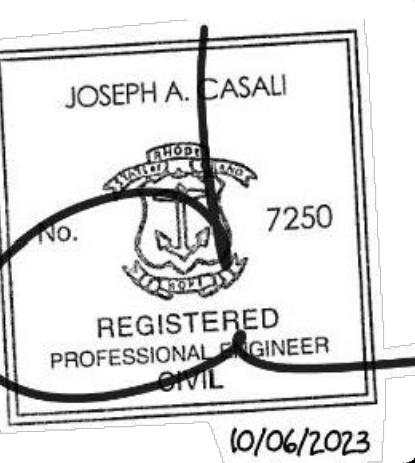
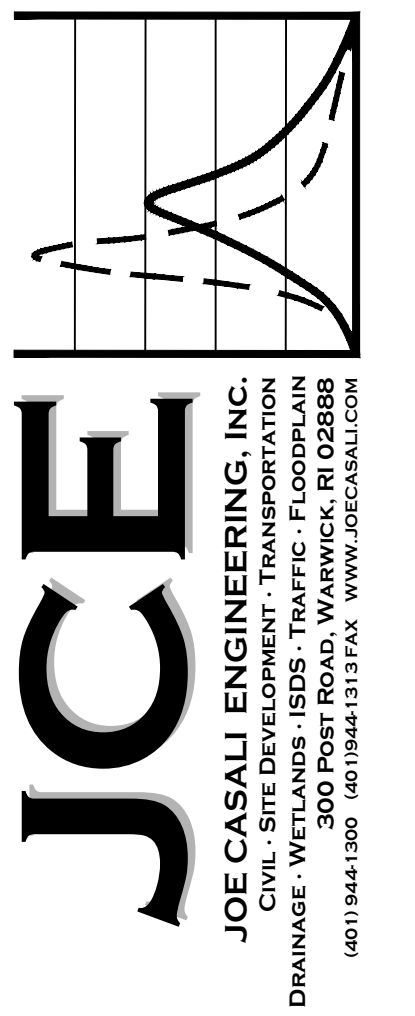
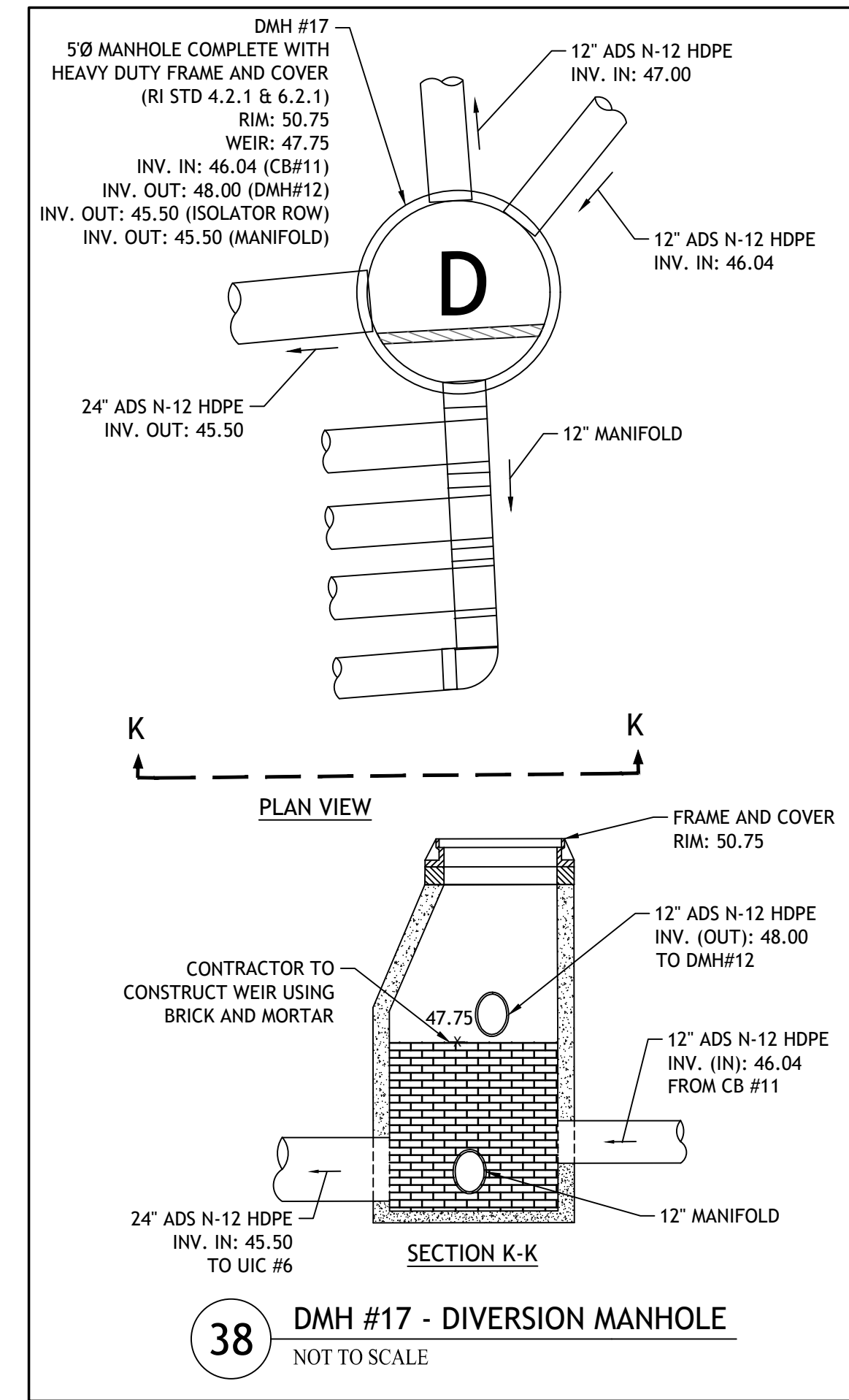
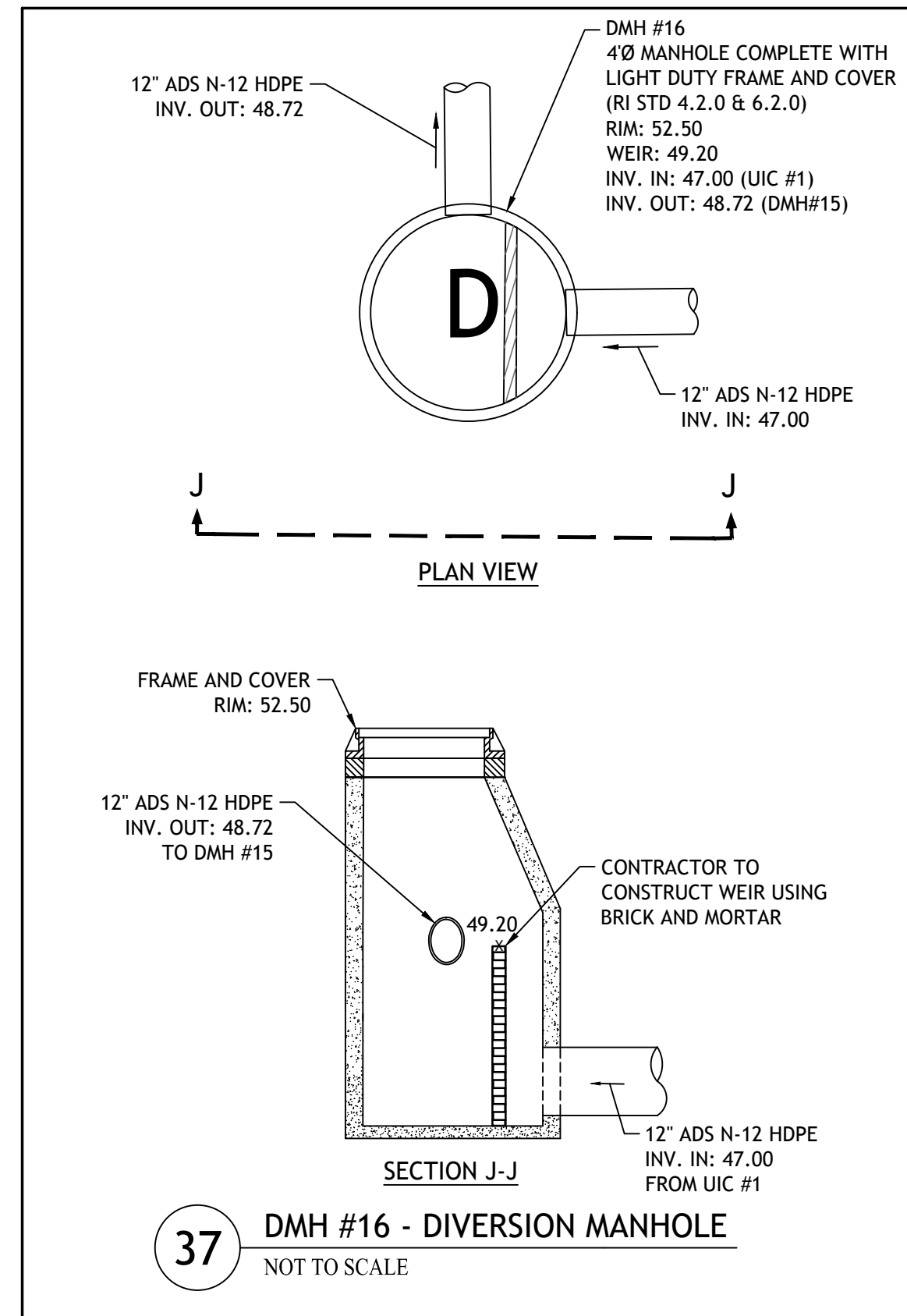
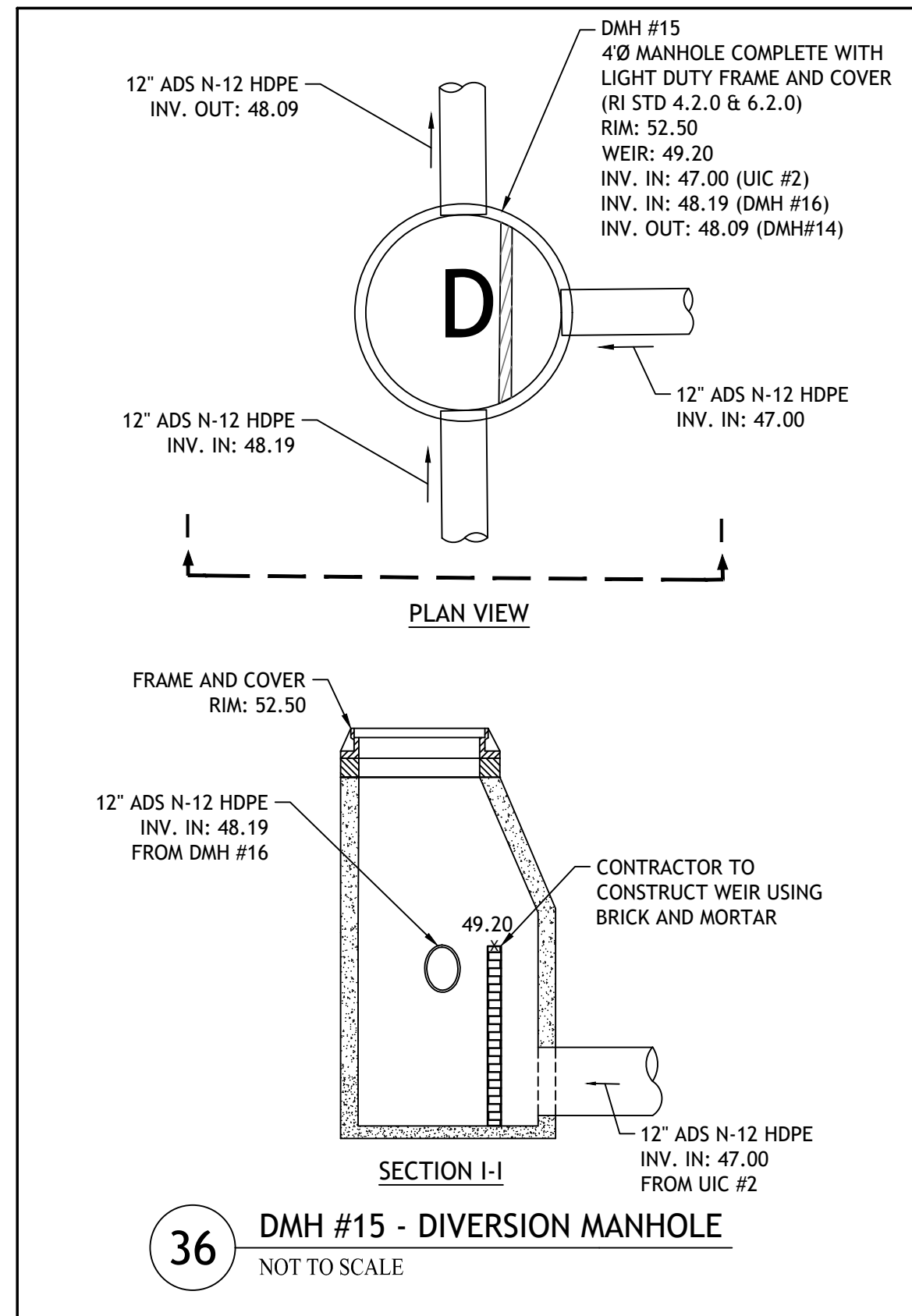
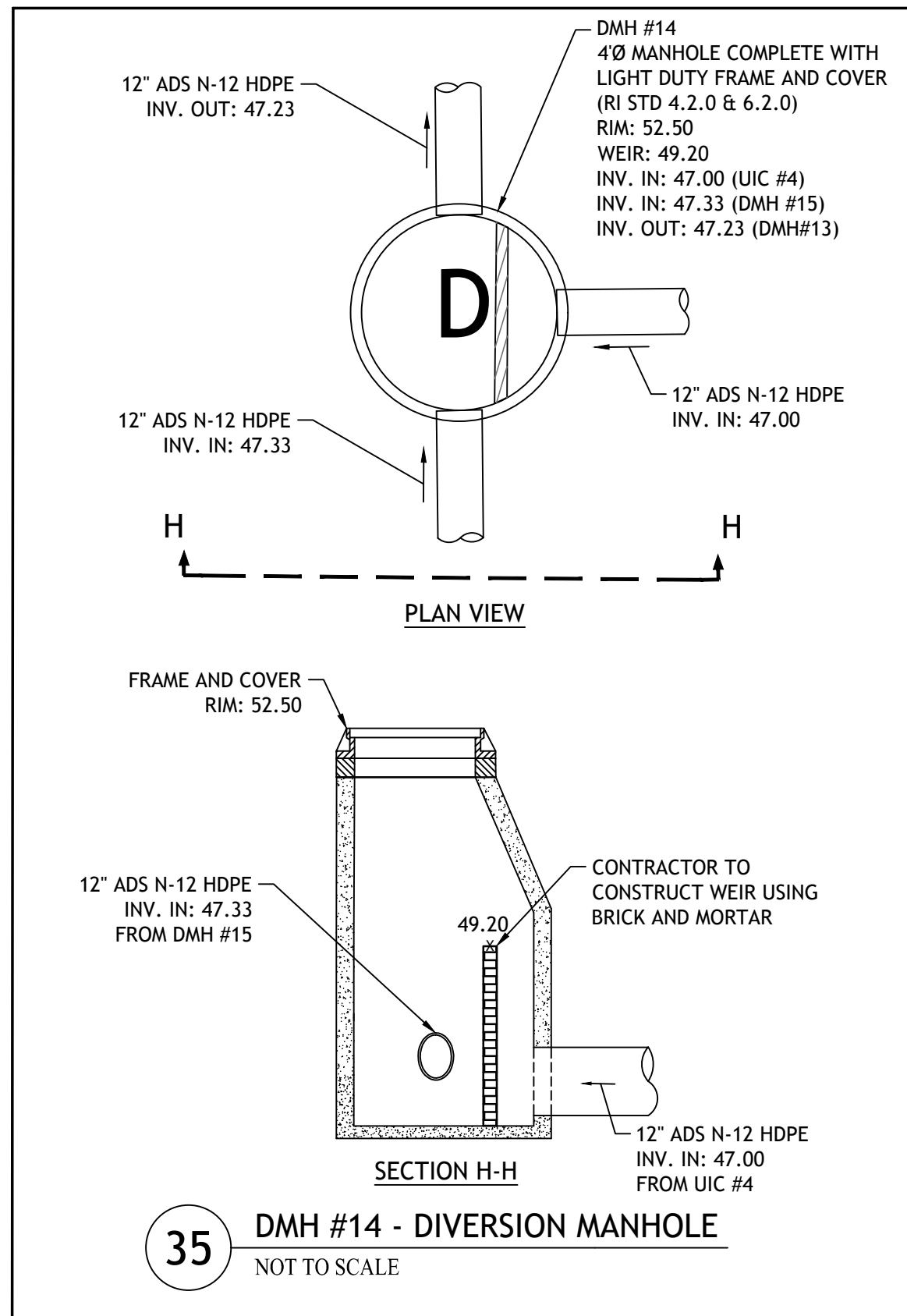
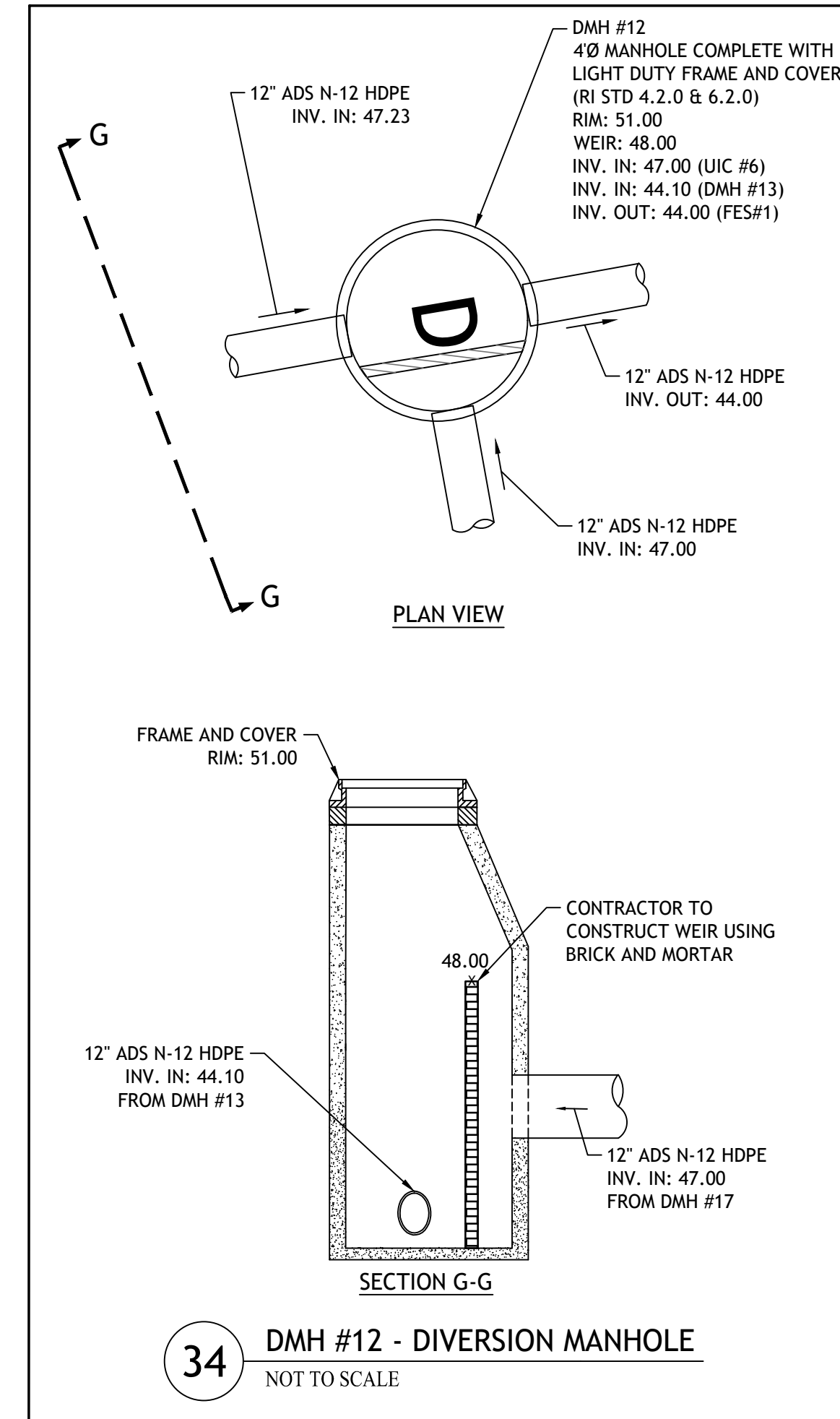
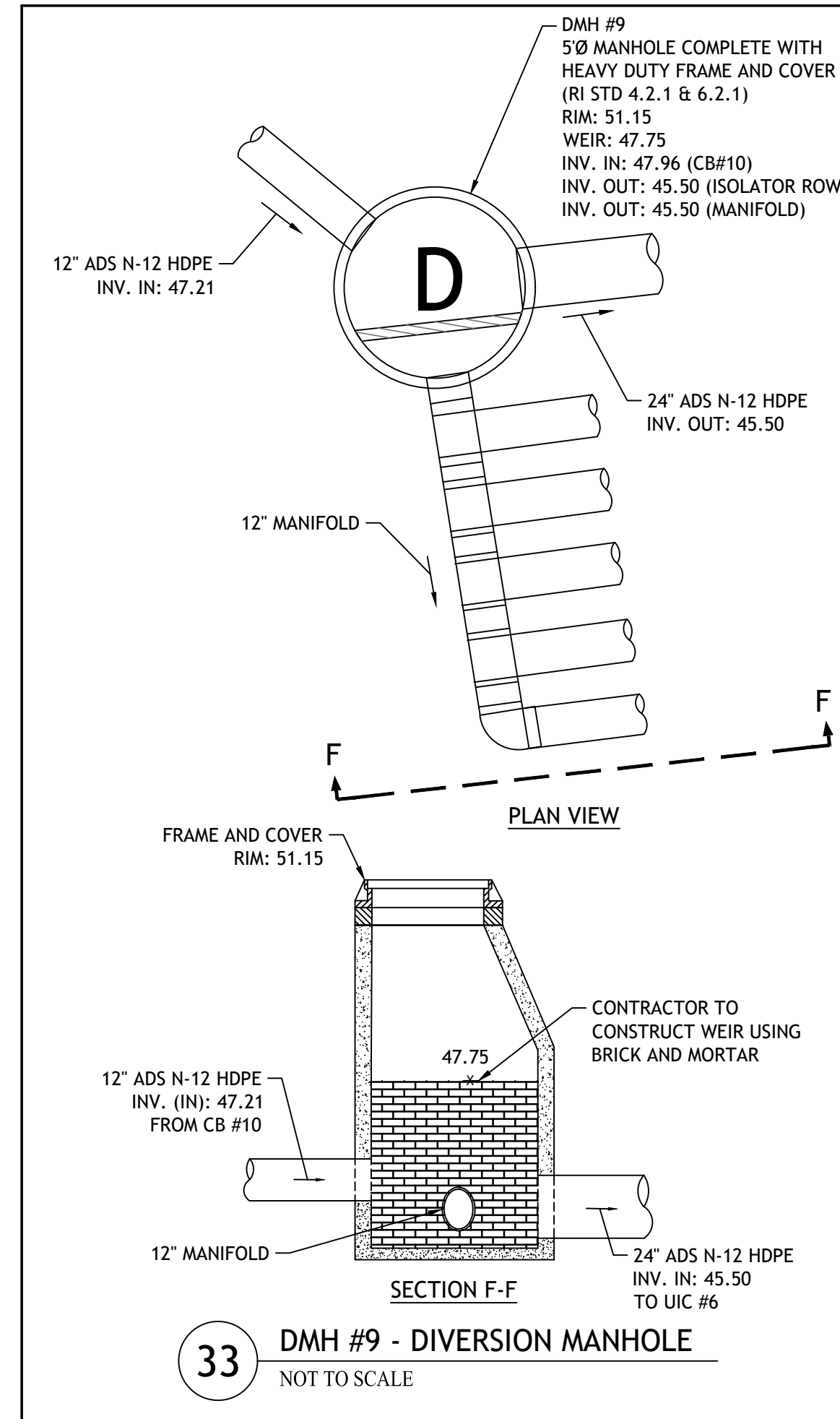
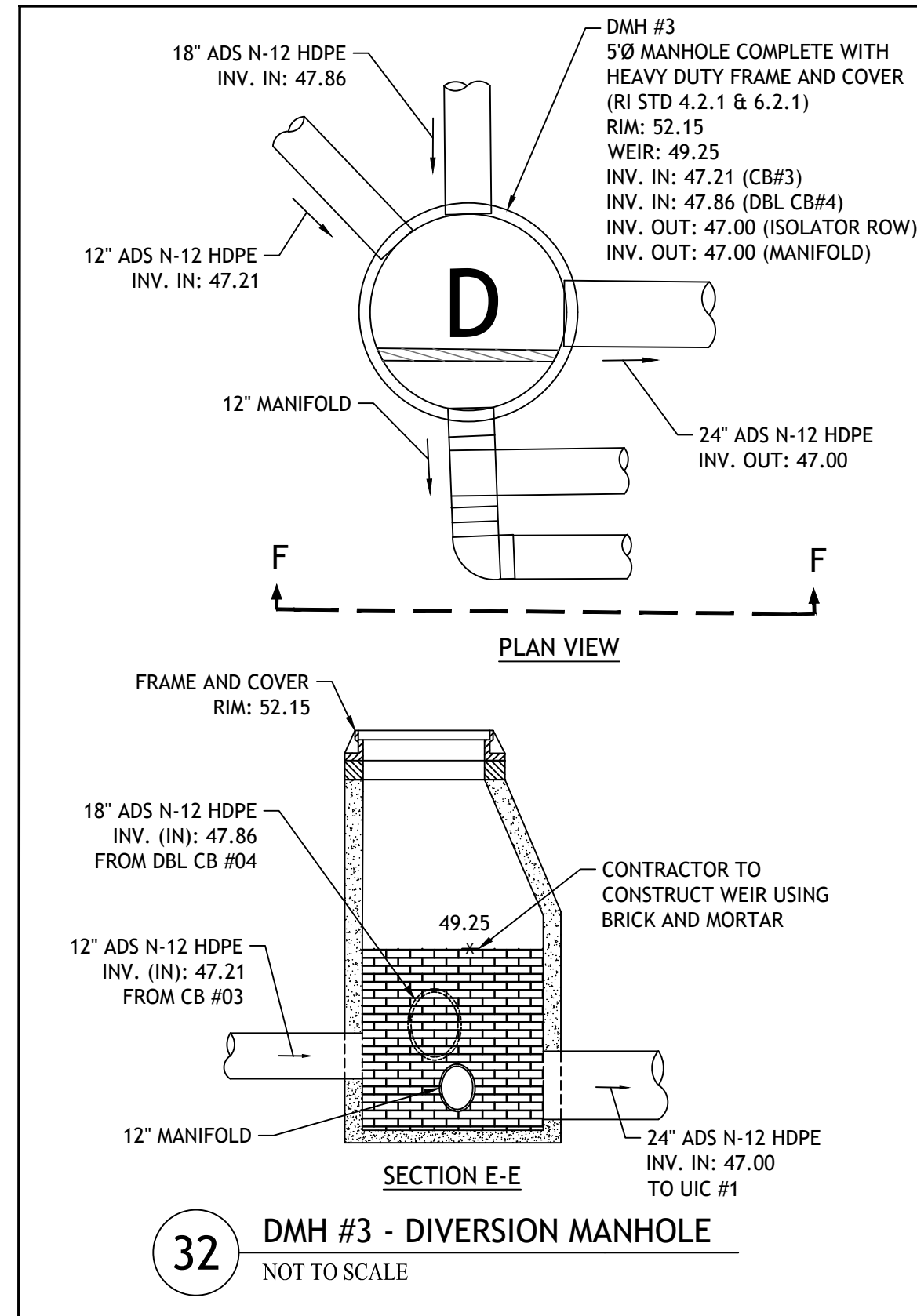
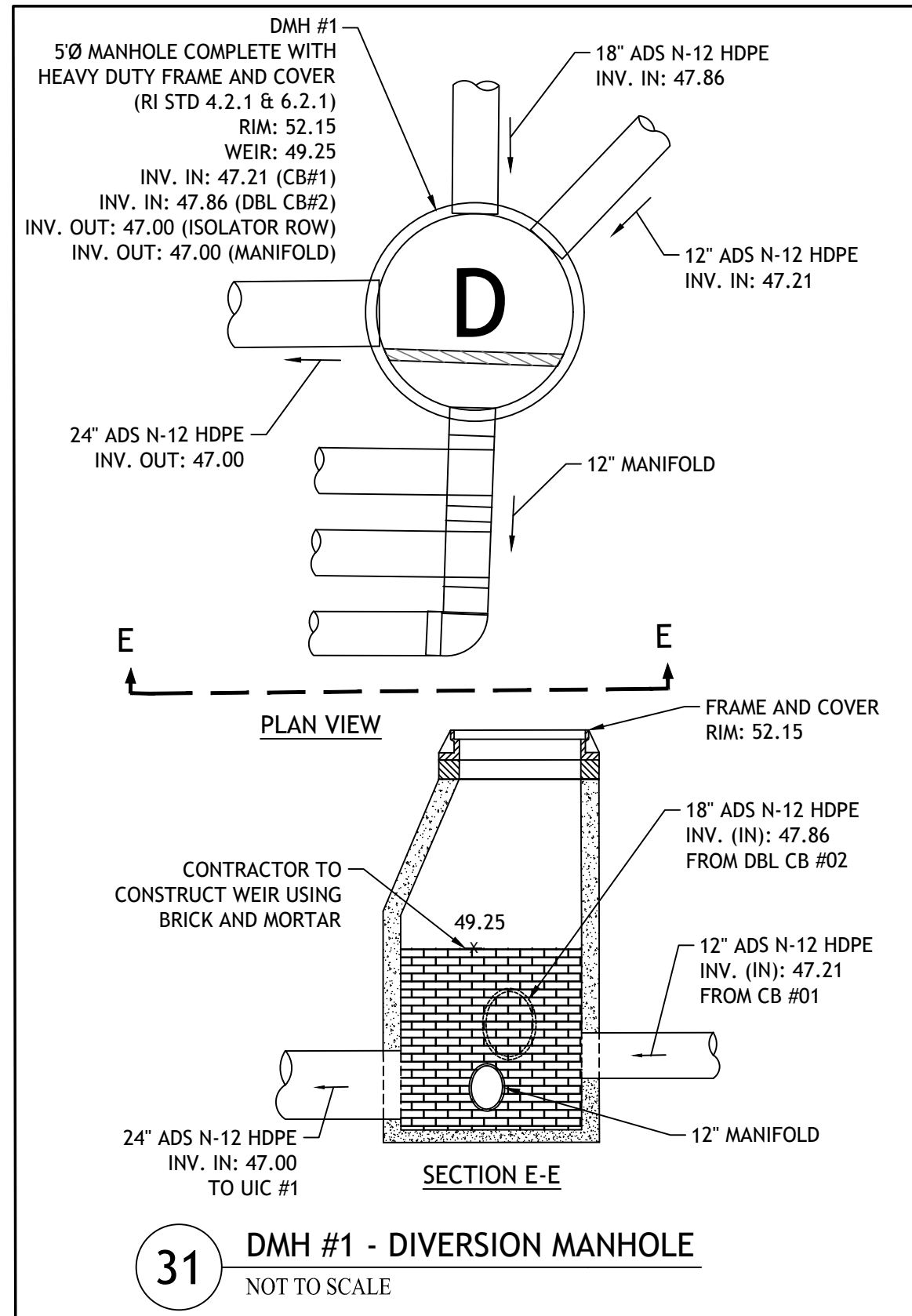
DESIGNED BY: DRD
DRAWN BY: SD
CHECKED BY: JAC
DATE: OCT. 2023
PROJECT NO: 03-64e

PRELIMINARY, NOT FOR CONSTRUCTION

CIVIL/SITE DETAILS III

SHEET 12 OF 14

G:\03-64e-Rick-Norfolk\03-64e-Rick-Norfolk-Post-Road-Strategic-AC\03-64e-Rick-Norfolk-Post-Road-Aligned-Use-Plan\03-64e-Rick-Norfolk-Post-Road-Aligned-Use-Plan-2023-11-03.dwg



RETAIL AND CONTRACTOR UNITS
2826 POST ROAD
WARWICK, RHODE ISLAND
AP 267, LOT 217

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
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| | | |

DESIGNED BY: DRD
DRAWN BY: SD
CHECKED BY: JAC
DATE: OCT. 2023
PROJECT NO: 03-64e

PRELIMINARY, NOT FOR CONSTRUCTION

CIVIL/SITE DETAILS IV

SHEET 13 OF 14

