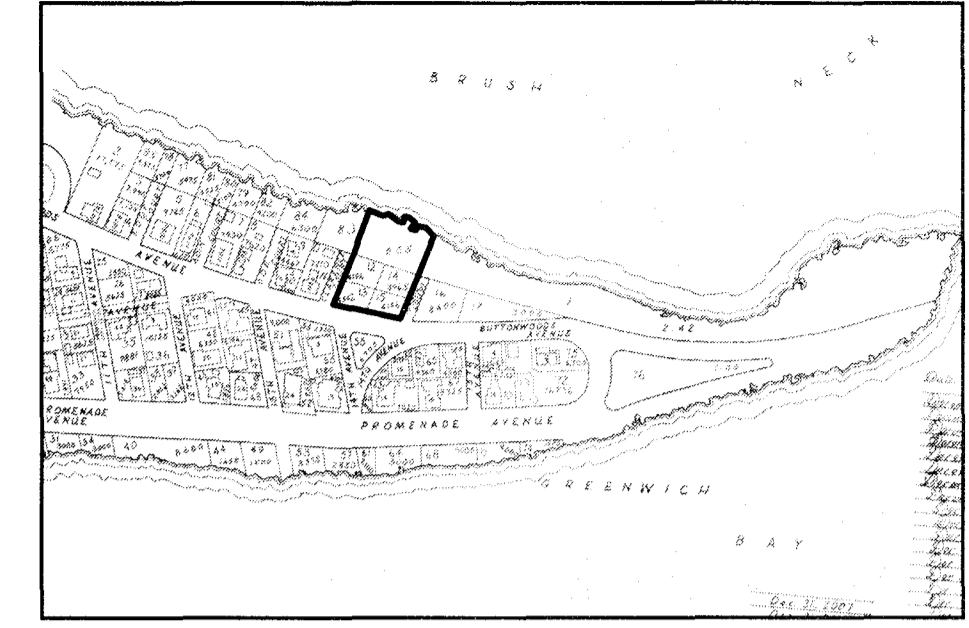
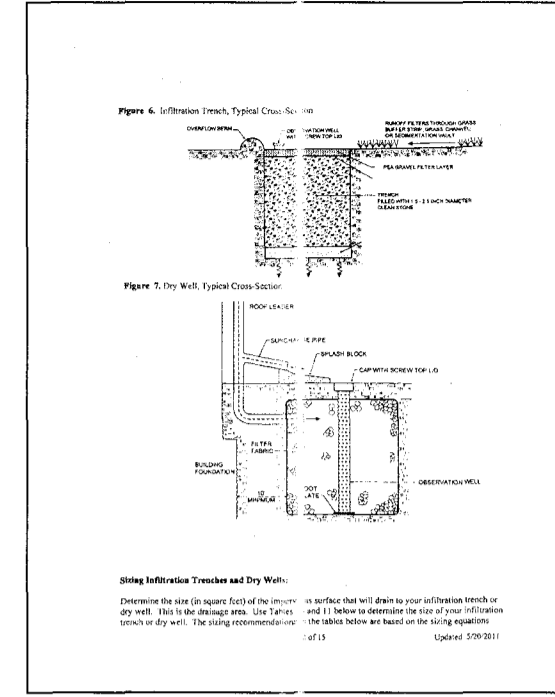
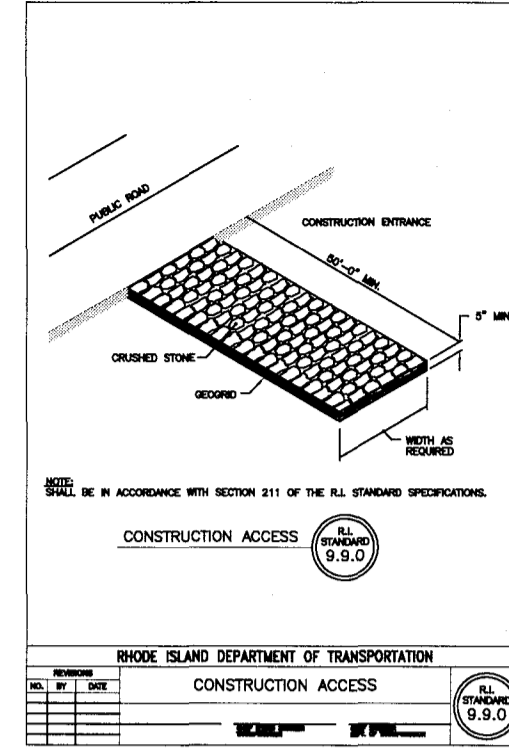
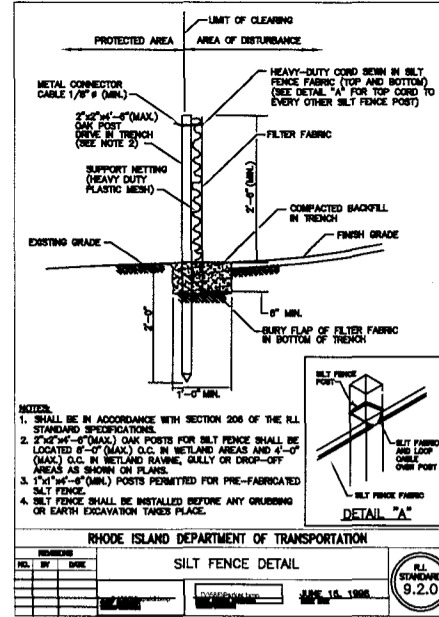


BUTTONWOODS AVENUE

STREET INDEX

REFERENCE:

1. DEED BK. 7829 / PG. 103-107
2. DESIGNATED AS LOTS 279, 280, 281, 282, 283 & 284 ON THAT PLAT ENTITLED: "MAP No. 2 OF THE BUTTONWOODS BEACH ASSOCIATION GROUNDS REPLATTED MARCH 1882 BY N. B. SCHUBARTH" PLAT CARD 106
3. "ADMINISTRATIVE SUBDIVISION PLAN A.P. 374 / LOTS 46 & 45 BUTTONWOODS AVENUE AND 13th AVENUE WARWICK, R.I. OWNER: EVELYN L. WATKINS BY CROSSMAN ENGINEERING, INC." PLAT CARD 522
4. "PLAN OF LAND MCCARTY PLAT FOR WILLIAM J. & BARBARA M. MCCARTY BY DOUGLAS LAND SURVEYING" PLAT CARD 1439
5. ADMINISTRATIVE SUBDIVISION PLAN REPLAT OF MAP OF THE BUTTONWOODS BEACH ASSOCIATION GROUNDS A.P. 374 / LOTS 12, 13, 14, 15 & 83 BUTTONWOODS AVENUE WARWICK, R.I. SCALE: 1"= 30' DATE: JUNE 18, 2020 PREPARED FOR: STEPHANIE SIMMERING 1800 PASS A GRILLE WAY UNIT 3 ST PETE BEACH, FL 33706 PREPARED BY: OCEAN STATE PLANNERS, INC. JOB NO. 8743
5. BACK FLOW PROTECTION WILL BE REQUIRED ACCORDING TO WSA REGULATIONS.
6. PROTECT ALL PERMANENT SURVEY MARKERS THROUGHOUT THE COMPLETION OF THE PROJECT.



GENERAL

1. THIS PLAN IS INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE OWNER AND CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION BOTH ON-SITE AND OFF-SITE. THIS PLAN IS INTENDED TO ALLOW ANY EROSION APPROVALS TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF, UPON ISSUANCE OF ANY ORDER, APPROVAL OR PERMIT BY ANY MUNICIPAL, STATE OR FEDERAL ENTITY, ANY ITEMS SPECIFIED HEREIN ARE IN CONFLICT WHICH SUCH ORDERS, SAID ORDERS SHALL SUPERCEDE THE REQUIREMENTS SPECIFIED ON THIS PLAN.
2. THIS PLAN IS PART OF A SET OF DOCUMENTS THAT ARE TO BE VIEWED AND REVIEWED IN THEIR ENTIRETY. SUCH DOCUMENTS INCLUDE THE CONSTRUCTION SPECIFICATIONS, CONSTRUCTION PLANS AND ANY PERMITS ISSUED BY THE CITY OF WARWICK OR THE STATE OF RHODE ISLAND, THEIR AGENTS, OR OTHER REGULATORY AGENCIES.

EROSION CONTROL MEASURES

1. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY ORDERS ISSUED BY THE REGULATORY AGENCY HAVING JURISDICTION OVER THIS PROJECT.
2. THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING OF THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
3. ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 7 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE THAT CONSTRUCTION HAS CEASED OR IS TEMPORARILY HALTED.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES ON SITE. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENT REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF OFF-SITE.
5. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER OFF-SITE AREAS OR EXISTING DRAINAGE SYSTEMS. ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND/OR EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

GENERAL CONSTRUCTION REQUIREMENTS

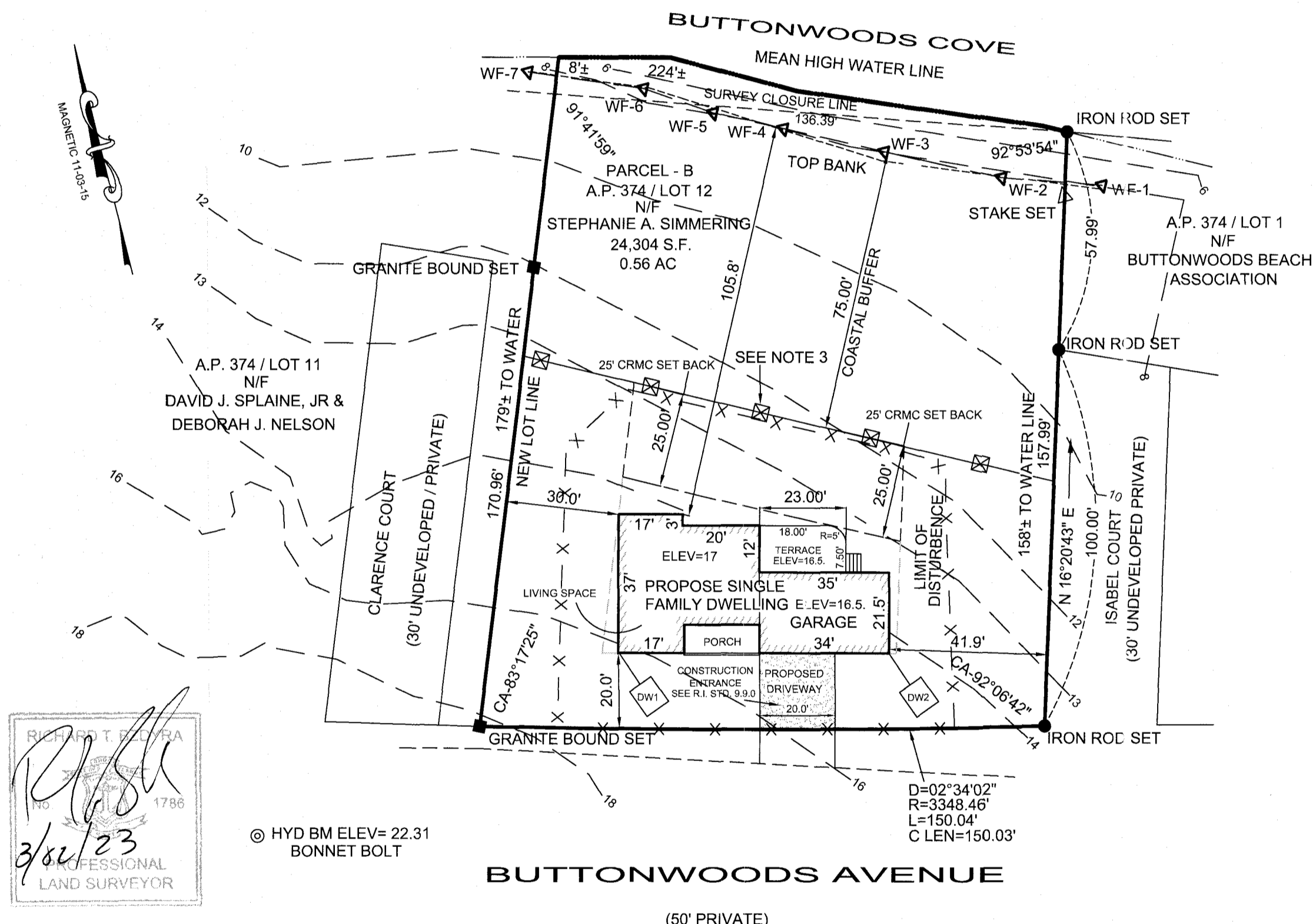
1. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED. THE BURIAL OF STUMPS, DEMOLITION DEBRIS, CONSTRUCTION DEBRIS OR OTHER MATERIALS SHALL NOT BE ALLOWED ANYWHERE ON-SITE.
2. NO MATERIALS SHALL BE DISPOSED OF INTO EXISTING OR PROPOSED SEWER OR DRAINAGE SYSTEMS, EITHER ON-SITE OR OFF-SITE. ALL CONTRACTORS, INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH WATER WILL DRAIN DIRECTLY TO OFF-SITE DRAINAGE SYSTEMS.
3. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL WHICH SHALL INCLUDE SWEEPING OF ALL PAVED SURFACES THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.

PRE-CONSTRUCTION

1. AN EROSION CONTROL BARRIER SHALL BE INSTALLED AT ANY LOCATION WHERE AREAS TO BE DISTURBED COULD CAUSE EROSION TO OTHER AREAS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED.
2. THE CONTRACTOR SHALL ESTABLISH A STAGING AREA ON A PORTION OF THE AREA TO BE DISTURBED FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPILING OF MATERIALS.
3. IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE, TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: HAYBALES, SILT FENCE AND CRUSHED STONE
4. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON-SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDERS.

PRELIMINARY SITE WORK

1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROL SHALL BE UTILIZED ALONG THE DOWNSLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN 3 WEEKS.
2. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT. IF A STOCKPILE IS LOCATED ON A SLOPE, THE RUNOFF SHALL BE DIRECTED AWAY FROM THE PILE
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAYBALE



Professional Land Surveyor seal for Richard T. Bzdura, dated 3/02/23.

© HYD BM ELEV= 22.31 BONNET BOLT

BUTTONWOODS AVENUE
(50' PRIVATE)

SURVEY CLASSIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY **MEASUREMENT SPECIFICATION:** CLASS 1

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AVERAGE ALIGNMENT AND WETLANE DELINEATION.

BY: *Richard T. Bzdura* DATE: 3/02/23

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

NOTE:

1. FEMA MAP 44003C0141H / 09/18/2013 / ZONE X AND A PORTION IS IN ZONE AE13.
2. SOIL SURVEY OF R.I. MU - MERRIMAC-URBAN LAND COMPLEX
3. COASTAL BUFFER MARKER 4" x 4" PT LUMBER SET 24" GRADE / SPACED 30' APART.
4. CRMC NOTICE OF ASSENT No. A2022-06-013 / DATE: DECEMBER 5, 2022 / CERTIFIES THAT STEPHANIE SIMMERING HAS PERMISSION TO CONSTRUCT DWELLING WITH ATTACHED GARAGE WITH PATIO/TERRACE, PERMEABLE DRIVEWAY AND STORMWATER SYSTEM SITUATED AT 1134 BUTTONWOODS AVENUE A.P. 374 / LOT 12, CITY OF WARWICK, R.I.

DRY WELL CALCULATIONS:

SOILS AT SITE ARE MU - MERRIMAC-URBAN LAND COMPLEX PER RI SOIL SURVEY. FROM TABLE 10 IN RI STORMWATER DESIGN AND INSTALLATION MANUAL PROPOSED BUILDING FOOTPRINT IS 2,068 S.F. OVERDESIGN, USE 2,100 S.F.

USE 1- 1,000 S.F. DRYWELL
USE 1- 1,100 S.F. DRYWELL

1- 1,000 S.F. & 1- 1,100 S.F. DRY WELL 48" DEEP BY 113 S.F. AREA
TOTAL AREA REQUIRED = 111.2 S.F.
TOTAL AREA PROVIDED = 113.0 S.F.

ZONING DISTRICT A-40

MINIMUM LOT AREA: 40,000 S.F.
MINIMUM LOT FRONTAGE: 150 FT.
MINIMUM SETBACKS: FRONT: 40 FT.
SIDE: 30 FT.
REAR: 40 FT.
MAXIMUM STRUCTURE HEIGHT: 35 FT.
MINIMUM LANDSCAPE: 20%

LEGEND:

- IRON ROD SET
- GRANITE BOUND SET
- △ STAKE SET
- ▽ --WF
- X — LIMIT OF DISTURBANCE
- ⊠ COASTAL BUFFER MARKERS

**DEVELOPMENT PLAN
SOIL EROSION &
SEDIMENT CONTROL PLAN**

A.P. 374 / LOTS 11 & 12
1126 BUTTONWOODS AVENUE
WARWICK, R.I.

SCALE: 1"= 30' DATE: DECEMBER 21, 2022
REVISION: DATE: MARCH 1, 2023

PREPARED FOR:
STEPHANIE SIMMERING
65 CAYMAN ISLES BLVD.
ENGLEWOOD, FL 34223

PREPARED BY:
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 8743 / DWG. NO. 8743 - (JNP)
GRAPHIC SCALE / 1" = 30'
0 30 60 90