

**BUTTONWOODS AVENUE
CLARENCE COURT / ISABEL COURT**

STREET INDEX

NOTE A:

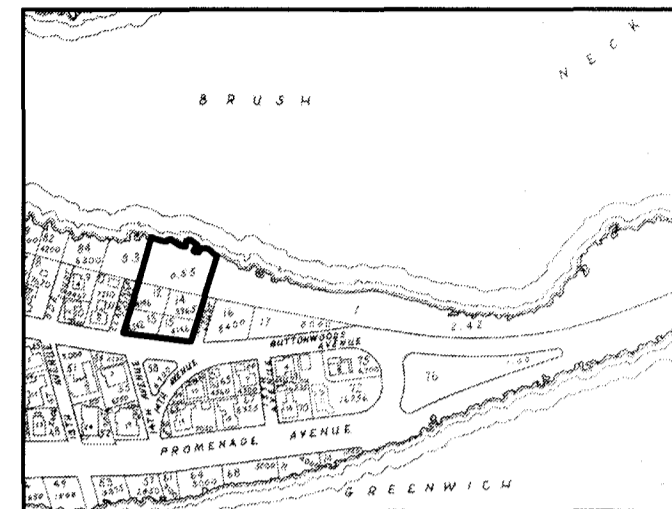
BUTTONWOODS AVENUE, ISABEL COURT AND CLARENCE COURT TO BE EQUIVALENT OF PUBLIC STREETS AS DEFINED IN SUBSECTION 200.136.

ZONING DISTRICT A-40

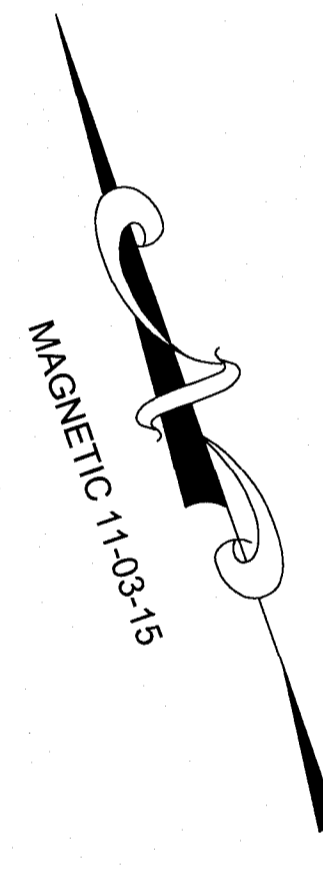
MINIMUM LOT AREA: 40,000 S.F.
MINIMUM LOT FRONTAGE: 150 FT.
MINIMUM SETBACKS: FRONT: 40 FT.
SIDE: 30 FT.
REAR: 40 FT.
MAXIMUM STRUCTURE HEIGHT: 35 FT.
MINIMUM LANDSCAPE: 20%

NOTE:

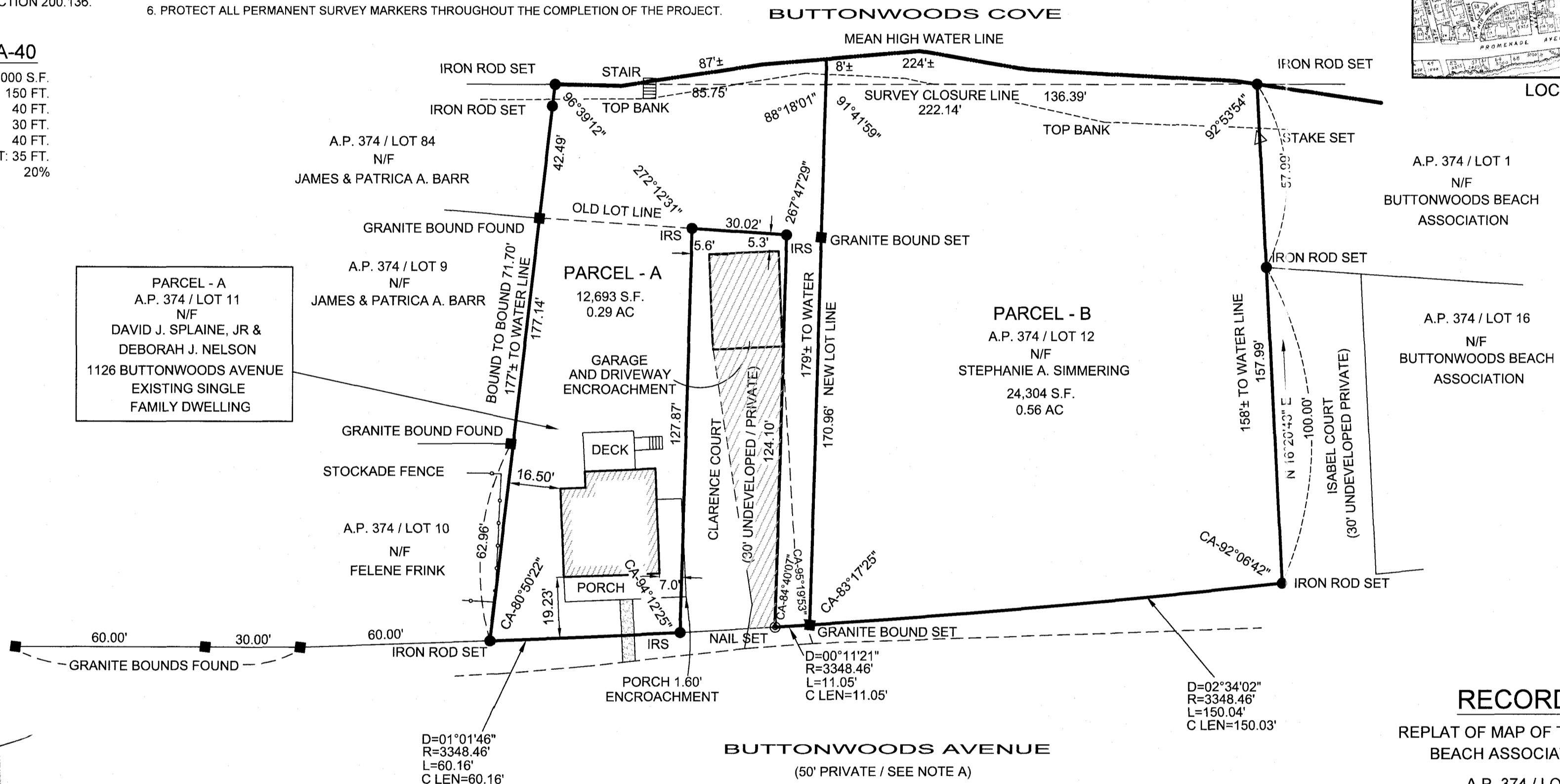
- FEMA MAP 44003C0141H / 09/18/2013 / ZONE X AND A PORTION IS IN ZONE AE13.
- THAT THE SUBDIVISION FRONTS ALONG BUTTONWOODS AVENUE, ISABEL COURT & CLARENCE COURT AND POSSESSES ADEQUATE ACCESS TO A PUBLIC STREET, WHICH READS AS FOLLOWS: FOR THE PURPOSE OF THIS SUBSECTION ONLY, AND NO OTHER PURPOSE, THE FOLLOWING NAMED PRIVATE STREETS SHALL BE CONSIDERED TO BE THE EQUIVALENT OF PUBLIC STREETS AS DEFINED IN SUBSECTION 200.136 IN ORDER TO SATISFY THE FRONTAGE REQUIREMENTS OF THIS SUBSECTION: BUTTONWOODS AVENUE, ISABEL COURT & CLARENCE COURT.
- NO HISTORICAL CEMETERIES OR STONE WALL ON OR IMMEDIATE ADJACENT TO THE SUBDIVISION.
- ADMINISTRATIVE SUBDIVISION PLAN REPEAT OF MAP OF THE BUTTONWOODS BEACH ASSOCIATION GROUNDS A.P. 374 / LOTS 12, 13, 14, 15 & 83 BUTTONWOODS AVENUE WARWICK, R.I. SCALE: 1"= 30' DATE: JUNE 18, 2020 PREPARED FOR: STEPHANIE SIMMERING 1800 PASS a GRILLE WAY UNIT 3 ST PETE BEACH, FL 33706 PREPARED BY: OCEAN STATE PLANNERS, INC. JOB NO. 8743
- BACK FLOW PROTECTION WILL BE REQUIRED ACCORDING TO WSA REGULATIONS.
- PROTECT ALL PERMANENT SURVEY MARKERS THROUGHOUT THE COMPLETION OF THE PROJECT.



LOCUS MAP



PARCEL - A
A.P. 374 / LOT 11
N/F
DAVID J. SPLAINE, JR &
DEBORAH J. NELSON
1126 BUTTONWOODS AVENUE
EXISTING SINGLE
FAMILY DWELLING



RECORD PLAN

REPEAT OF MAP OF THE BUTTONWOODS BEACH ASSOCIATION GROUNDS
A.P. 374 / LOTS 11 & 12
1126 BUTTONWOODS AVENUE
WARWICK, R.I.

SCALE: 1"= 30' DATE: DECEMBER 21, 2022
REVISION: DATE: MARCH 1, 2023

PREPARED FOR:

STEPHANIE SIMMERING

1800 PASS a GRILLE WAY UNIT 3
ST PETE BEACH, FL 33706

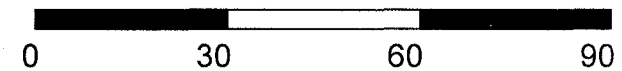
PREPARED BY:

OCEAN STATE PLANNERS, INC.

1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 FAX: (401) 463-9039

JOB NO. 8743 / DWG. NO. 8743 - (JNP)

GRAPHIC SCALE / 1" = 30'



SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: MEASUREMENT SPECIFICATION:

LIMITED CONTENT BOUNDARY SURVEY CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH AND STAKE RECORD BOUNDARY LINES AND TO INCREASE THE AREA OF A LOT BY REDUCING THE AREA OF AN ABUTTING LOT.

BY: *[Signature]* DATE: 3/02/23

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA #LS-A60

REFERENCE:

- DEED BK. 7829 / PG. 103-107
- DESIGNATED AS LOTS 279, 280, 281, 282, 283 & 284 ON THAT PLAT ENTITLED: "MAP No. 2 OF THE BUTTONWOODS BEACH ASSOCIATION GROUNDS REPLATTED MARCH 1882 BY N. B. SCHUBARTH" PLAT CARD 106
- "ADMINISTRATIVE SUBDIVISION PLAN A.P. 374 / LOTS 46 & 45 BUTTONWOODS AVENUE AND 13th AVENUE WARWICK, R.I. OWNER: EVELYN L. WATKINS BY CROSSMAN ENGINEERING, INC." PLAT CARD 522
- "PLAN OF LAND MCCARTY PLAT FOR WILLIAM J. & BARBARA M. MCCARTY BY DOUGLAS LAND SURVEYING" PLAT CARD 1439
- DEED BK. 9571 / PG. 33 AUTHORIZATION OF ADMINISTRATIVE SUBDIVISION PLAN DATED: JUNE 18, 2020
- DEED BK. 9981 / PG. 334 ZONING BOARD AUTHORIZATION FOR PETITION #10725 / SEPTEMBER 17, 2021.
- DEED BK. 9908 / PG. 254 DECISION FOR APPLICATION FOR A CONDITIONAL MASTER PLAN APPROVAL, JULY 28, 2021.

OWNERS:

DAVID J. SPLAINE, JR & DEBORAH J. NELSON
1126 BUTTONWOODS AVENUE
WARWICK, R.I. 02886

STEPHANIE SIMMERING
1800 PASS A GRILLE WAY UNIT 3
ST PETE BEACH, FL 33706

LOTS DEPICTED ON THIS PLAT SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOT LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995.

I HERBY CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.