

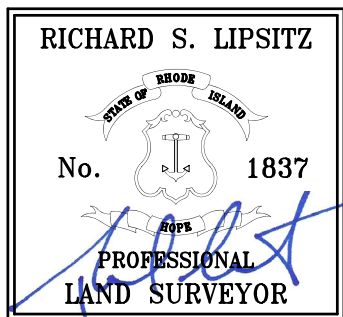
**NOTE:**

THAT THE SUBDIVISION FRONTS ALONG JANICE ROAD & COOPER ROAD AND POSSESSES ADEQUACY ACCESS TO A PUBLIC STREET AS PER THE CITY OF WARWICK ZONING ORDINANCE, SPECIFICALLY 304.6 PUBLIC STREET ACCESS WHICH READS AS FOLLOWS: NO STRUCTURE SHALL BE ERRECTED ON OR MOVED ONTO A LOT WHICH DOES NOT HAVE FRONTAGE ON A PUBLIC STREET EQUAL TO OR GREATER THAN THE REQUIRED MINIMUM FRONTAGE IN TABLE 2, OR ELSEWHERE AS REQUIRED IN THIS ORDINANCE. FOR THE DISTRICT IN WHICH IT IS LOCATED, EXCEPT AS PERMITTED IN SUBSECTIONS 405.4 AND 405.5, FOR THE PURPOSE OF THIS SUBSECTION ONLY, AND NO OTHER PURPOSE, THE FOLLOWING NAMED PRIVATE STREETS SHALL BE CONSIDERED TO BE THE EQUIVALENT OF PUBLIC STREETS AS DEFINED IN SUBSECTION 200.136 IN ORDER TO SATISFY THE FRONTAGE REQUIREMENTS OF THIS SUBSECTION: IVY AVENUE, HAWTHORN AVENUE, HEMLOCK AVENUE, WOODBINE AVENUE, PROMENADE AVENUE, JANICE ROAD, LAUREL AVENUE, AMORE ROAD, LORNA AVENUE, CLAFIN ROAD, COOPER AVENUE, EIGHTH AVENUE, NINTH AVENUE, TENTH AVENUE, BEACH PARK AVENUE, 11TH AVENUE, 12TH AVENUE, 13TH AVENUE, 14TH AVENUE, 15TH AVENUE, "A" AVENUE, EDDY COURT, ADIN COURT, ODE COURT, CLARENCE COURT, ISABEL COURT, EASTERLY SIDE OF ANDREW COMSTOCK ROAD, AND BUTTWOODS AVENUE FROM ANDREW COMSTOCK ROAD IN AN EASTERLY DIRECTION TO ITS END.

RIGL 34-13-1	
ABUTTING STREET INDEX	
1.	COOPER ROAD
2.	JANICE ROAD

**LEGEND & ABBREVIATIONS**

N/F	- NOW OR FORMERLY	---	- PROPERTY LINE
A.P.	- ASSESSORS PLAT	---	- ZONING SETBACK LINE
S.F.	- SQUARE FEET	---	- EXISTING CONTOUR
AC.	- ACRES	---	- NEW CONTOUR
±	- PLUS OR MINUS	---	- STONE WALL
STY	- STORY	---	- FENCE
WF	- WOOD FRAMED	---	- SEWER LINE
SHP	- STATE HIGHWAY PLAT	---	- DRAIN LINE
RET.	- RETAINING WALL	---	- WATER LINE
No.	- NUMBER	---	- GAS LINE
(FND.)	- FOUND	---	- ELECTRIC LINE
R/HB	- RI HIGHWAY BOUND	---	- SANITARY SEWER MANHOLE
PK NAIL	- MASONRY NAIL	---	- CATCH BASIN
FE	- FLARED END	---	- STORM DRAIN MANHOLE
RCP	- REINFORCED CONCRETE PIPE	---	- WATER GATE
CLF	- CHAIN LINK FENCE	---	- GAS VALVE
INV.	- INVERT	---	- ELECTRIC MANHOLE
x 10.80	- EXISTING SPOT GRADE	---	- GRANITE BOUND
x 10.80	- NEW SPOT GRADE	---	- DRILL HOLE
		---	- IRON PIPE



N/F  
A.P. 373, LOT 156  
JAMES M. & LINDA M.  
JACOBER  
VOLUME 3944, PAGE 282

\*\* SIGNATURES MUST BE IN BLUE INK TO CONSTITUTE AN ORIGINAL PLAN

**CERTIFICATION**

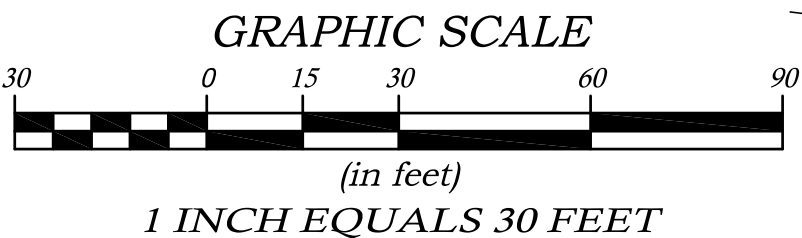
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2018, AS FOLLOWS:

<b>TYPE OF BOUNDARY SURVEY:</b>	<b>MEASUREMENT ACCURACY SPECIFICATION:</b>
COMPREHENSIVE BOUNDARY SURVEY	I
<b>OTHER TYPE OF SURVEY:</b>	III
DATA ACCUMULATION	

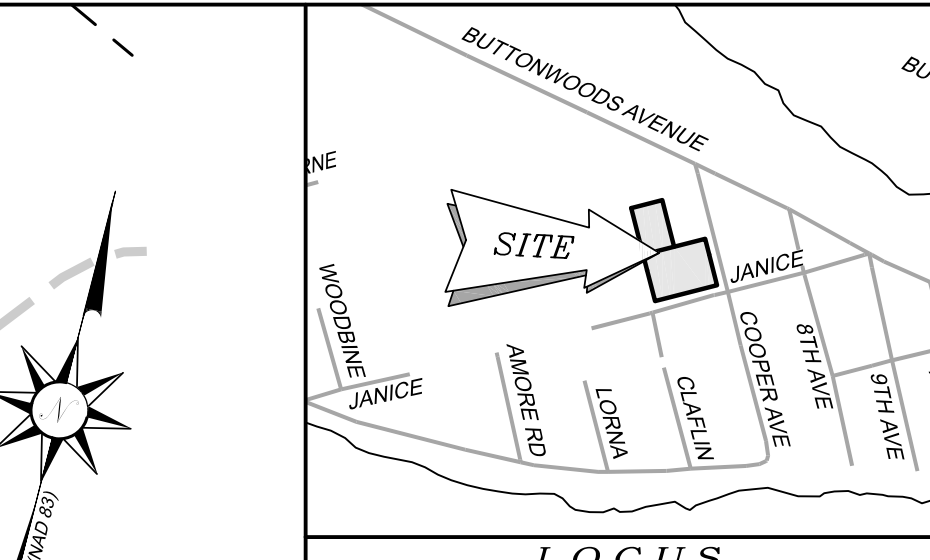
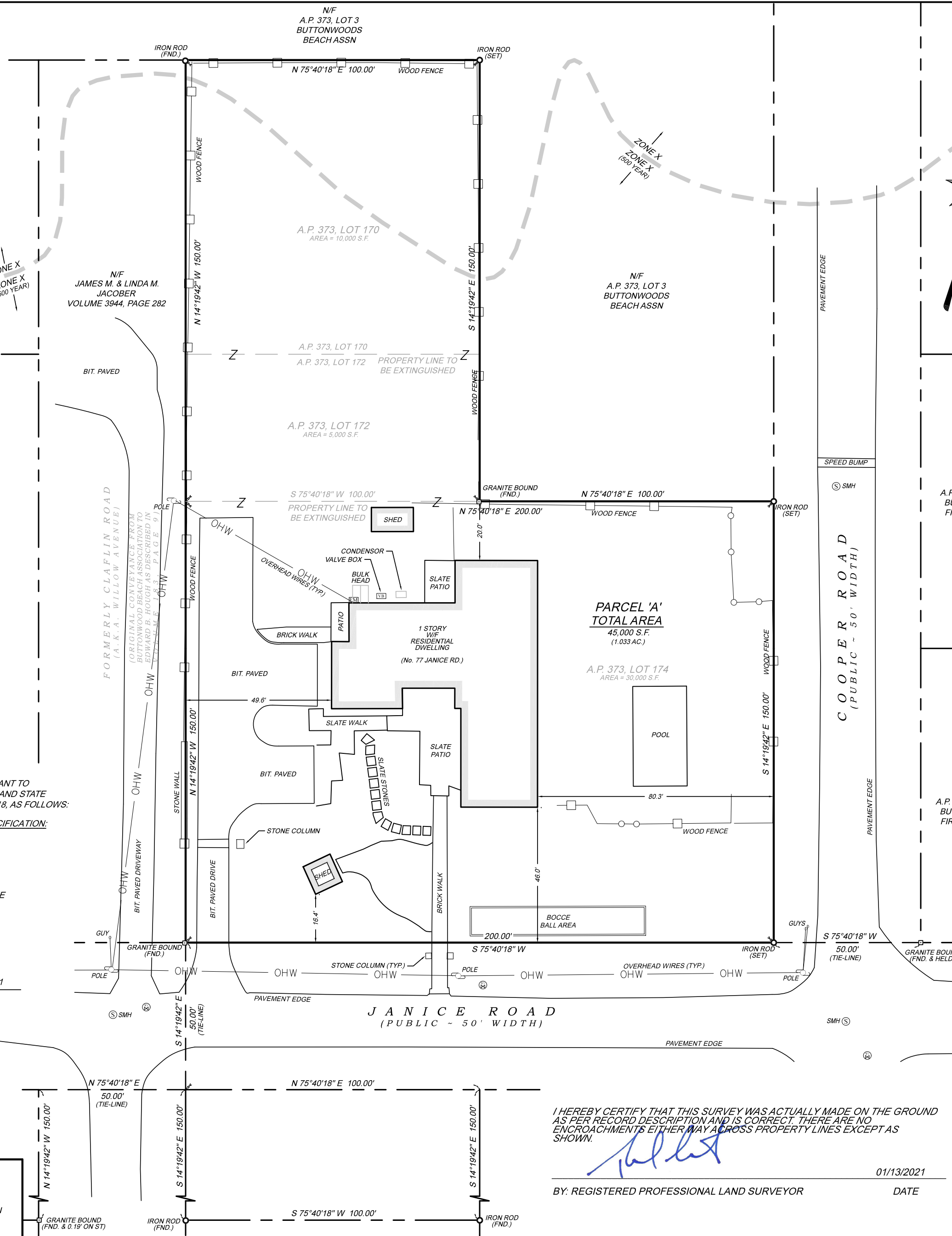
THE PURPOSE FOR CONDUCTING THIS SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

MERGE LOTS 170, 172 & 174 INTO ONE OVERALL PARCEL AS SHOWN.

BY:  1837 01/13/2021  
RICHARD S. LIPSITZ, P.L.S. REG. NO. WATERMAN ENGINEERING COMPANY (COA No. LS.0004483) DATE




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© THESE DRAWINGS ARE THE PROPERTY OF THE ENGINEER/SURVEYOR AND HAVE BEEN PREPARED FOR THE OWNER. FOR THIS PROJECT AT THIS SITE AND ARE NOT TO BE USED FOR ANY OTHER PURPOSE, LOCATION OR OWNER WITHOUT WRITTEN CONSENT OF THIS OWNER OR ONE OF ITS DIRECTORS.



- NOTES / REFERENCES**
- REFERENCE IS MADE TO THE FOLLOWING MAPS AND PLANS OF RECORD:
    - A.) PLAN ENTITLED "MAP No. 2 OF THE BUTTWOODS BEACH ASSOCIATION, GROUNDS REPLATED MARCH, 1882, PREPARED BY: N.B. SCHUBARTH." SAID PLAN IS RECORDED IN THE CITY OF WARWICK LAND EVIDENCE RECORDS IN PLAT BOOK 2, PAGE 41 AND ON PLAT CARD No. 106.
    - B.) PLAN ENTITLED "BOUNDARY SURVEY PLAN, A.P. 373, LOTS 185 & 186, PROMENADE AVENUE & COOPER AVENUE, WARWICK, RHODE ISLAND, PREPARED FOR: BUTTWOOD BEACH ASSOCIATION, PROJECT No. 11-088, SCALE: 1"=20', DATED: 11/17/11."
  - REFERENCE IS MADE TO THE FOLLOWING CITY OF WARWICK LAND EVIDENCE RECORDS REGARDING RECORDED TITLE TO THE PREMISES SURVEYED:
    - A.) A.P. 373, PAGE 174 ~ GWENN M. CARBONE REVOCABLE LIVING TRUST ~ VOLUME 5430, PAGE 220
    - B.) A.P. 373, PAGE 170 & 172 ~ JOHN CARBONE ~ VOLUME 3151, PAGE 184
  - THESE PREMISES MAY BE SUBJECT TO THE FOLLOWING EASEMENTS, RIGHTS OF WAY OR AGREEMENTS OF RECORD:
    - A.) SUBJECT TO RESTRICTIONS AS DESCRIBED IN VOLUME 183, PAGE 9.
    - B.) AN EASEMENT MAY EXIST REGARDING THE OVERHEAD ELECTRIC LOCATED WITHIN THAT PORTION OF LAND LABELED "FORMERLY CLAFIN ROAD" AS SHOWN HEREON AND SERVICING THE SUBJECT PROPERTY (NO RECORDS FOUND)
  - THESE PREMISES ARE SITUATED IN A RESIDENCE 'A-15' DISTRICT (SINGLE FAMILY DWELLING)
    - MIN. LOT AREA = 15,000 S.F.
    - MIN. LOT WIDTH & FRONTAGE = 125 FT.
    - MIN. S/B FRONT YARD = 30 FT.
    - MIN. S/B REAR YARD = 30 FT.
    - MIN. S/B SIDE YARD = 20 FT.
    - MAX. BUILDING HEIGHT = 35 FT.
    - MIN. LANDSCAPED OPEN SPACE = 15%
  - NOTE - ZONING INFORMATION IS FROM CURRENT ZONING AND MAY NOT REFLECT THE CONDITIONS AT THE TIME OF CONSTRUCTION OR ANY VARIANCES GRANTED.
  - THESE PREMISES ARE SITUATED IN A ZONE 'X' (AREAS DETERMINED TO BE WITHIN & OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS DESIGNATED ON THE "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 141 OF 251 CITY OF WARWICK, MAP NUMBER 44003C0141H, MAP REVISED: SEPTEMBER 18, 2013, FEDERAL EMERGENCY MANAGEMENT AGENCY".
  - ANY UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING PLANS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM ALL AVAILABLE INFORMATION. (PLEASE CONTACT DIG SAFE 72 4-885-DIG-SAFE AND/OR ALL LOCAL UTILITY COMPANIES.)
  - LOTS DEPICTED ON THIS PLAT (OR PLAN) SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOT LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995.

NO.	DATE	REVISION	CHECKED BY
1	01/13/2021	ADDED BUTTWOOD SUBDIVISION NOTE	BJT
PROJECT TITLE:			PROJECT NO.
CARBONE PLAT ADMINISTRATIVE SUBDIVISION PLAN			20-033
A.P. 373, LOTS 170, 172 & 174			SCALE: 1" = 30'
JANICE ROAD & COOPER ROAD			DATE: 04/13/2020
WARWICK, RHODE ISLAND			DRAWN BY: EBP/BJT
PREPARED FOR:			CHECKED BY: BJT
JOHN CARBONE			FILENAME: 20-033_SU1
77 JANICE ROAD			1 of 1 SHTS
WARWICK, RHODE ISLAND 02886			DRAWING # AS1

I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.  
  
01/13/2021  
DATE  
BY: REGISTERED PROFESSIONAL LAND SURVEYOR

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