

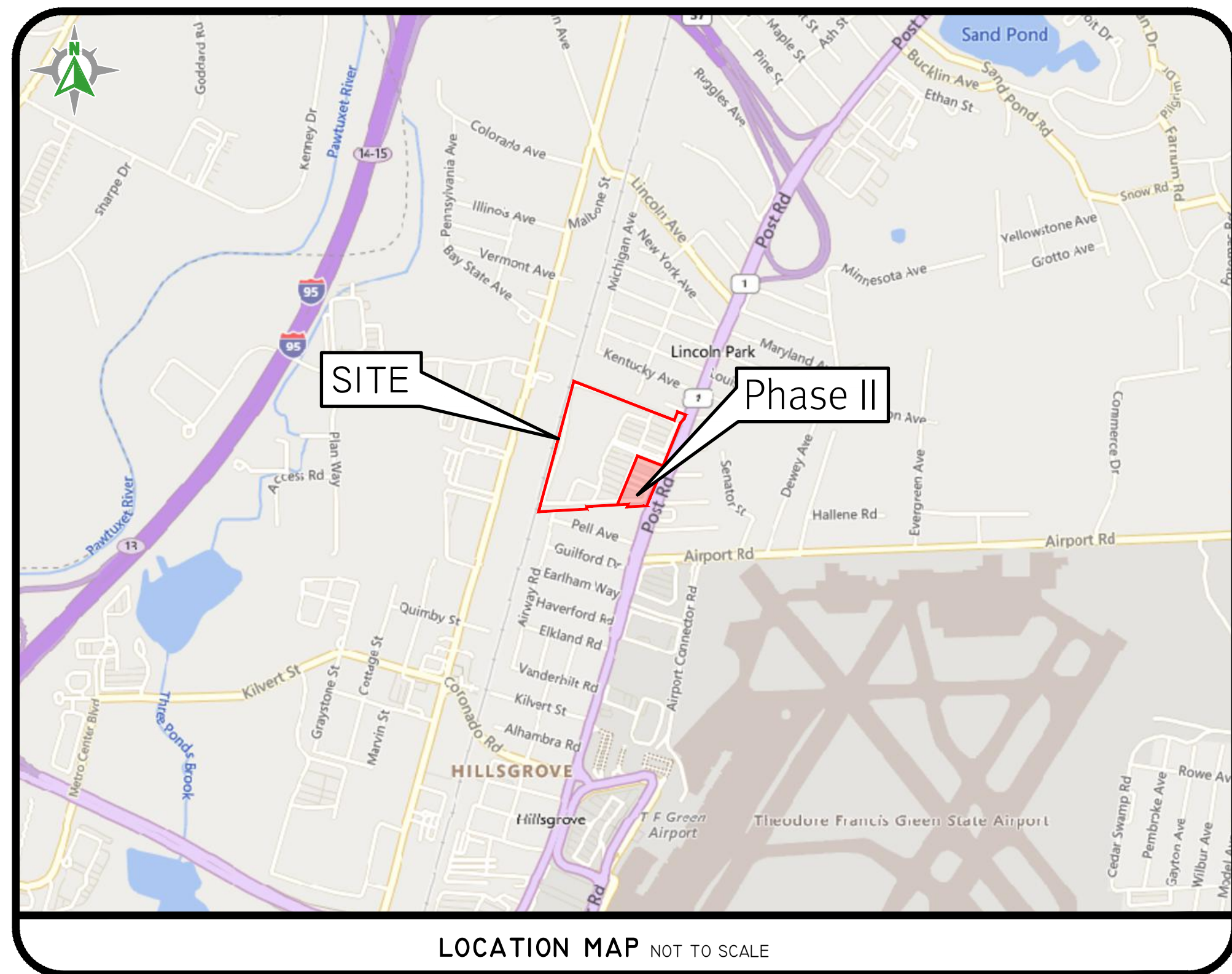
DESIGN DEVELOPMENT PLANS

ANN & HOPE REDEVELOPMENT - PHASE II

1689 POST ROAD

WARWICK, RHODE ISLAND

ASSESSOR'S PLAT 322 LOT 209



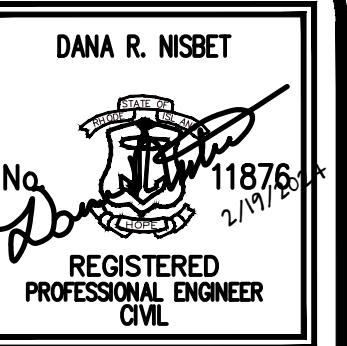
LOCATION MAP NOT TO SCALE

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SESC / O&M
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

RIDOT
 THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE RI STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ONLY A DIPRETE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING HAS PREPARED OR REVIEWED. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY ADJACENT PROPERTIES UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	D.R.N.	B.E.G.	B.T.	DESIGN BY:
02-10-2024		PRELIMINARY PLAN SUBMISSION				D.R.N.
02-23-2024		DESIGN DEVELOPMENT PLANS				D.R.N.
03-01-2024		DESIGN DEVELOPMENT PLANS				D.R.N.
03-01-2024		DESIGN DEVELOPMENT PLANS				D.R.N.

COVER SHEET
ANN & HOPE REDEVELOPMENT - PHASE II
 ASSESSOR'S PLAT 322 LOT 209
 WARWICK, RHODE ISLAND
 PREPARED FOR:
CROSSROADS CAPITAL FUND VI, LLC
 95 SOCRANOSSETT CROSSROADS, SUITE 203
 CRANSTON, RI 02920
 DRAWN BY: J.W.S.

Z:\BEN\PROJECTS\0614551-POST ROAD 1689\AUTOCAD DRAWINGS\0614551-CAR-FASE-DWG PLOTTER: 2/19/2024

Z:\DEVELOPMENT\PROJECTS\0610-050-POST ROAD REPAIR\AUTOCAD DRAWINGS\0610-050-CVAR-PHASE DWG PLOTTER: 2/19/2024

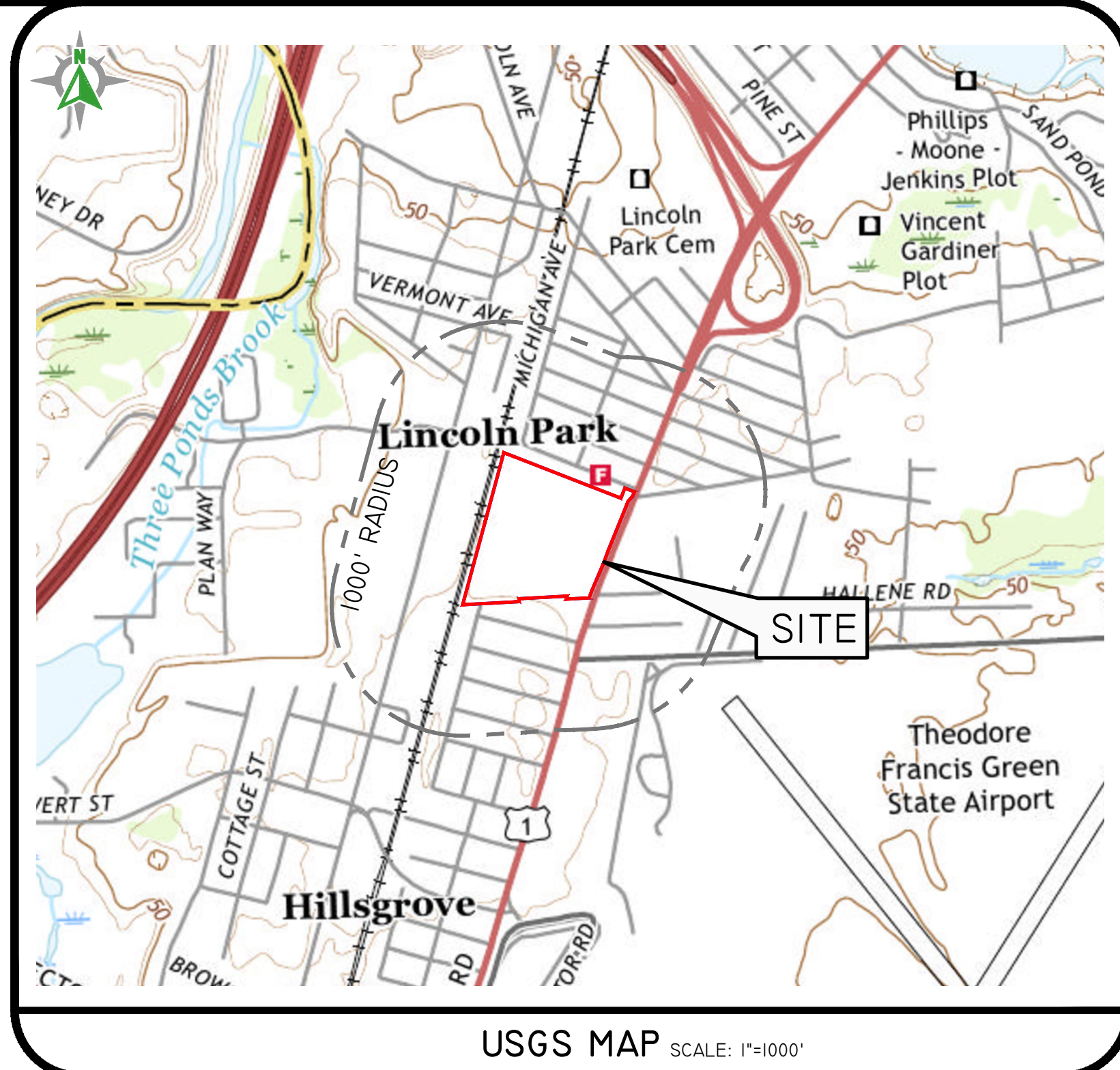


PHOTO OBTAINED FROM NEARMAP.
DATE OF PHOTOGRAPHY 03-27-2023.
SCALE: 1"=400'

NO.	DATE	DESCRIPTION	DRAWN BY	DESIGN BY
02-10-2024	02-23-2024	PRELIMINARY PLAN SUBMISSION	J.W.S.	D.R.N.
02-23-2024	02-23-2024	DESIGN DEVELOPMENT PLANS	J.W.S.	D.R.N.

THESE PLANS MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SHOWN OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARMAP DATA PROGRAMS UTILIZED. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES LOCATIONS. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES LOCATIONS.

DIPRETE ENGINEERING
Two Stafford Court Cranston, RI 02920
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DANA R. NISSET
No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

**AERIAL HALF MILE RADIUS
ANN & HOPE REDEVELOPMENT - PHASE II**
WARWICK, RHODE ISLAND
PREPARED FOR:
CROSSROADS CAPITAL FUND VI, LLC
95 SOCKANOSSETT CROSSROADS, SUITE 203
CRANSTON, RI 02920

DE JOB NO. 0610-050-CVAR. COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **2** OF 10

DiPrete Engineering
Boston • Providence • Newport

DANA R. NISSET
No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

**AERIAL HALF MILE RADIUS
ANN & HOPE REDEVELOPMENT - PHASE II**
WARWICK, RHODE ISLAND
PREPARED FOR:
CROSSROADS CAPITAL FUND VI, LLC
95 SOCKANOSSETT CROSSROADS, SUITE 203
CRANSTON, RI 02920

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SHEET **2** OF 10

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE CITY OF WARWICK ASSESSOR'S PLAT 322 LOT 209.
2. PARCEL B IS APPROXIMATELY 2.44 ACRES AND IS ZONED GB.
3. THE OWNER OF PARCEL B, AP 322 LOT 209 IS:
CROSSROADS CAPITAL FUND IV, LLC
95 SOCKANOSSETT CROSSROADS, SUITE 203
CRANSTON, RHODE ISLAND 02920

- 4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44030301H, MAP REVISED SEPTEMBER 18, 2013 AND FEMA FLOOD INSURANCE RATE MAP 440303127H (REVISED OCTOBER 2, 2015 (FLOOD PLAN DESCRIPTIONS SHOWN BELOW).
ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
5. THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS 1 BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.

- 6. CONTOUR DATA SHOWN ON THIS PLAN WITHIN THE PROJECT AREA CONFORMS TO A T-2 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYS.
7. ALL WORK PERFORMED HEREIN IS TO BE COVERED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF WARWICK STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE CEOR WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RDGM)
NATURAL HERITAGE AREA (RDNM)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TDNM)

- 9. THE SITE IS LOCATED WITHIN THE FRESHWATER WETLAND BUFFER URBAN REGION PER THE FRESHWATER WETLANDS BUFFER MAPS (250-RICR-150-5.2A).
10. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
• SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
• EROSION CONTROL MEASURES
• SHORT TERM MAINTENANCE
• ESTABLISHMENT OF VEGETATIVE COVER
• CONSTRUCTION POLLUTION PREVENTION
• SEQUENCE OF CONSTRUCTION
• STORMWATER OPERATION AND MAINTENANCE PLAN (OBM). THE OBM CONTAINS:
• LONG TERM MAINTENANCE
• LONG TERM POLLUTION PREVENTION
11. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT:
HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
12. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
13. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE CITY OF WARWICK SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, MANHOLES AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RDGM BEST MANAGEMENT PRACTICES.
14. THE 'PHASE II' PROJECT AREA SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
15. INFILTROMETER TESTING, TEST PITS, AND SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 4/10/2023.
16. THERE ARE NO WETLANDS OR ASSOCIATED WETLAND BUFFER ZONES ON SITE.
17. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE CEOR FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
18. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS. ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON CEOR PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

SOIL INFORMATION:

(REFERENCE: SOIL MAPPING OBTAINED FROM RISIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

Table with 2 columns: SOIL NAME DESCRIPTION, MU, UD, UR

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE MONOLITHIC CONCRETE WHERE ADJACENT TO SIDEWALK AND BUILDING. PRECAST CONCRETE, BITUMINOUS BERM, OR AS LABELED ON PLANS.
3. SIDEWALK MUST BE CONCRETE OR AS LABELED ON THE PLANS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCD AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN (OR NOT SHOWN) ON THIS PLAN SET. THIS INCLUDES (BUT MAY NOT BE LIMITED TO) SIGN TYPE, NUMBER OF SIGNS, POLE/ MOUNTING TYPE, PAVEMENT MARKING LOCATIONS/ TYPE/ WIDTH, MATERIALS, INSTALLATION METHODS, AND ANY ADDITIONAL SIGNS AND/OR MARKINGS THAT MAY BE REQUIRED. THE CONTRACTOR MUST NOTIFY THE CEOR (DIPRETE ENGINEERING) OF ANY MODIFICATIONS OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/ PAVEMENT MARKINGS.
5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURERS' LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
6. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
7. CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
8. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE CEOR. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE STAMPED PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
9. INFRARED TREATMENT OF PAVEMENT IS REQUIRED AT ALL CURB CUTS. AT ANY DISTURBED PAVEMENT ON ROADWAYS, AND WHERE ANY NEW PAVEMENT MEETS EXISTING PAVEMENT.
10. ALL EXISTING PAVEMENT MARKING REMOVED AS INCIDENTAL DURING CONSTRUCTION MUST BE REPLACED IN-KIND FOLLOWING COMPLETION OF CONSTRUCTION UNLESS OTHERWISE NOTED.
11. NEW PAVEMENT MARKING MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.

SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR MUST NOTIFY THE CEOR, THE DIRECTOR OF PUBLIC WORKS, THE TOWN ENGINEER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
2. ALL EROSION CONTROLS MUST BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION AND SEDIMENT CONTROL PLANS. NOTE THE SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY THE CEOR TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC HANDBOOK BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE 1 ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
3. TEMPORARY SWALES MUST BE USED TO CONTROL RUNOFF DURING CONSTRUCTION OF THE PROPOSED SITE WORK, AND MUST BE VEGETATED AFTER CONSTRUCTION. EROSION CONTROL MATS MUST BE INSTALLED, IF NECESSARY, TO PREVENT EROSION AND SUPPORT VEGETATION. AFTER CONSTRUCTION IS COMPLETE AND TRIBUTARY AREAS TO THE SWALES HAVE BEEN STABILIZED, THE TEMPORARY SWALES MUST BE CLEARED AND FINAL DESIGN, INCLUDING INSTALLATION OF THE GRASS SWALE MUST BE PER THE DESIGN PLANS.
4. INLET PROTECTION MUST BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
5. FOR SEQUENCE OF CONSTRUCTION, PROJECT PHASING AND CONSTRUCTION PHASING SEE SESC PLAN.
6. CONTRACTOR MAY MODIFY SEQUENCE OF CONSTRUCTION WITH APPROVAL FROM THE CEOR AND OWNER.
7. IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE PERFORMED IN THE DESIGNATED CONCRETE WASHOUT AREA.

DEMOLITION NOTES:

- 1. CONTRACTOR MUST NOTIFY 'DIG SAFE' AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
4. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (RSD) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. RSD MATERIALS INCLUDE BUT ARE NOT LIMITED TO: PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
6. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
7. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION CAN BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
8. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
9. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
10. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

REDEVELOPMENT NOTES:

- 1. ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES, TO REMAIN, WITHIN THE LIMIT OF WORK MUST BE RESET TO FINISHED GRADE.
2. THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN. REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION INFORMATION.
3. ALL UTILITY STRUCTURES INDICATED TO BE ABANDONED MUST BE CUT TO FOUR FEET BELOW FINISH GRADE ELEVATION. INLETS AND OUTLETS PLUGGED WITH MORTAR, AND SEALED WITH CONCRETE, UNLESS OTHERWISE NOTED.
4. WHEN ABANDONING INACTIVE UTILITY PIPES NEAR THE PROPERTY LINE, THE CONTRACTOR MUST CAP OR PLUG IN PLACE AT THE PROPERTY LINE. WHEN REMOVING AND DISPOSING OF A PORTION OF EXISTING PIPE, THE CONTRACTOR MUST CAP OR PLUG BOTH ENDS REMAINING IN PLACE.
5. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION CAN BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER.
6. NO GUARANTEE IS MADE THAT THE EXISTING UTILITY SERVICE CONNECTION(S) ARE SUITABLE FOR REUSE. EXISTING UTILITY SERVICE CONNECTIONS WERE NOT FIELD VERIFIED FOR SIZE, MATERIAL, EXACT LOCATION, OR INSPECTED FOR SUITABILITY FOR REUSE. CONTRACTOR MUST EVALUATE THE SIZE, MATERIAL, LOCATION, AND SUITABILITY FOR REUSE, AND IMMEDIATELY PROVIDE WRITTEN DOCUMENTATION OF CONDITIONS TO THE OWNER/DIPRETE ENGINEERING.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES: (ADAAG) (AS THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 8'X5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDINGS, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRIDE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NONCOMPLIANCE, THE CONTRACTOR MUST NOTIFY THE CEOR BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

GRADING, DRAINAGE, AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE SPRING 2024 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERSECTIONS WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY THE CEOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERTIGHT.
9. ALL LOAM IN DISTURBED AREAS MUST BE STOCKPILED FOR FUTURE USE. ALL STOCKPILED LOAM MUST BE REUSED ON SITE.
10. ALL EXCESS SOIL, TREES, ROCKS, BOLLARDS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
11. THE SITE WILL HAVE 3" BITUMINOUS BERM AND 6" CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE BERM/CURBING REVEAL. CONTRACTOR MUST INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
12. NO STUMP DUMPS ARE ALLOWED ON SITE.
13. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY THE CEOR OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND THE CEOR, IS DONE AT THE CONTRACTOR'S RISK.
14. CONTRACTOR MUST PROVIDE SUE CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE ROADWAY SURFACE PAVEMENT IS REMOVED OR ALTERED FOR UTILITY INSTALLATION.
15. IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
16. CONTRACTOR MUST HOLD/ SUPPORT/ RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, MAST ARMS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROPOSED WORKS AND ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURB IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.
DRAINAGE:
ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE) OR EQUAL, WITH WATERTIGHT JOINTS WHEN INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP). DRAINAGE STRUCTURES DO NOT REQUIRE BRICK INVERT AS SHOWN IN DOT DETAILS.
DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
• CATCH BASINS ALONG CURBING: RIDOT STD. 4.4.0, TYPE F, 4' DIAMETER WITH APRON STONE
• CATCH BASINS NOT ALONG CURBING: RIDOT STD. 4.4.0, 4' DIAMETER
• SINGLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
• DRAINAGE MANHOLE COVERS: RIDOT STD 6.2.1
• DROP INLETS: RIDOT STD. 4.5.0, 4.5.1 OR 4.5.2
• MANHOLES: RIDOT STD 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED. SEE NOTES BELOW FOR COVER TYPE
• ALL OUTLET CONTROL STRUCTURES (OCS) AND DRAINAGE MANHOLES WITH INTERNAL WEIRS MUST USE FLAT TOP STRUCTURE COVER
• 4' DIA LOW PROFILE FLAT TOP BY SCIUTTA COMPANIES (OR APPROVED EQUAL)
• JELLYFISH FILTER JF-6-31 BY CONTECH
FOR ALL OTHER DRAINAGE STRUCTURES IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE APPROPRIATE STRUCTURE TOP REQUIRED (E.G. CONE TOP, FLAT TOP ETC) TO MEET THE DESIGN PARAMETERS AS SHOWN ON THESE PLANS, INCLUDING (BUT NOT LIMITED TO) THE RELATIONSHIP BETWEEN FINISH SURFACE ELEVATION/ DEPTH TO PIPE INVERTS AND MEETING MANUFACTURER/ AHJ REQUIREMENTS & SPECIFICATIONS.
DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS AND PIPE SIZES THAT THE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.
SANITARY SEWER:
ALL SANITARY SEWER PIPING MUST BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATION. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE WARWICK SEWER AUTHORITY RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION. ALL FITTINGS, STRUCTURE SEALS AND CONNECTIONS MUST BE WATERTIGHT.
WATER:
ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH THE WARWICK WATER DEPARTMENT REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER WARWICK WATER DIVISION REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY WARWICK WATER DIVISION. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER DIVISION TO ENSURE INSPECTOR IS ON SITE.
IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.
ELECTRIC/TELECOM/GAS:
PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE EMBASEMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH RI ENERGY PRIOR TO CONSTRUCTION.
SITE LIGHTING:
SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ADJUTING LANDS. EXACT LOCATIONS OF LIGHT POLES MUST BE COORDINATED WITH THE APPROPRIATE UTILITIES, AND MUST BE LOCATED WITHIN THE STREET RIGHT-OF-WAY. FINAL LIGHTING AND CONDUIT LOCATIONS BY OTHERS.
UIC NOTES:
PROPOSED UNDERGROUND DRAINAGE SYSTEM MEETS ALL THE FOLLOWING UIC MINIMUM SETBACK REQUIREMENTS:
1. 400 FT FROM ALL PUBLIC WATER WELLS (SAND AND GRAVEL)
2. 200 FT FROM ALL PUBLIC WATER WELLS (BEDROCK)
3. 200 FT FROM SURFACE DRINKING WATER SUPPLY IMPOUNDMENTS
4. 100 FT FROM ALL PRIVATE DRINKING WATER WELLS
5. 100 FT FROM ALL OTHER SURFACE WATERS
6. 25 FT FROM ALL DOWNS AND OTHER GROUNDWATER DISCHARGE SYSTEMS
7. 25 FT FROM ALL BUILDING FOUNDATIONS IF SYSTEM IS ABOVE SLAB ELEVATION. 10 FEET FROM ALL BUILDINGS IF SYSTEM IS BELOW SLAB ELEVATION
8. 10 FT FROM ALL PROPERTY LINES
9. 10 FT FROM ALL BUILDING FOOTINGS

ABBREVIATIONS LEGEND

Table listing abbreviations for materials and methods such as ADU (AMERICANS WITH DISABILITY ACT), AHJ (AUTHORITY HAVING JURISDICTION), PE (POLYETHYLENE), ARCH (ARCHITECT), BT (BOTTOM OF CURB), etc.

SITE CALLOUTS LEGEND

Table listing site callouts such as BB (BITUMINOUS BERM), MCC (MONOLITHIC CONCRETE CURB), ADAS (ADA SPACE PAVEMENT MARKINGS), etc.

RIDOT NOTES:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
2. CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE RIGHT-OF-WAY (ROW) PRIOR TO CONSTRUCTION. THE PHYSICAL ALTERATION PERMIT (PAP) IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAP DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
3. ALL TRAFFIC CONTROL MUST CONFORM TO THE MUTCD, LATEST EDITION, WITH ALL REVISIONS.
4. NO LANE OR SHOULDER CLOSURES ARE ALLOWED TO BE PERFORMED WITHIN THE STATE ROW DURING PEAK TRAFFIC HOURS.
5. SEWER AND WATER CONNECTIONS WITHIN THE STATE ROW WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT, WHICH CONTRACTOR MUST OBTAIN BEFORE CONSTRUCTION.
6. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE, AND STORMWATER RUNOFF VOLUME TO THE STATE ROW FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE SHALL BE NO INCREASE IN RUNOFF TO THE STATE ROW FROM THE PROPOSED DEVELOPMENT.
7. WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). WORK ON-SITE WILL CONFORM TO AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) UNLESS THE WORK IS ON STATE OWNED LAND.
8. AS-BUILTS ARE REQUIRED FOR ALL DRAINAGE CONNECTIONS WITHIN THE STATE ROW. AS-BUILTS MUST BE PROVIDED TO THE RIDOT STORMWATER OFFICE AND INCLUDE: INVERTS, MATERIALS, AND PIPE SIZES.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

EXISTING LEGEND

Table showing existing features like NAIL FOUND/SET, DRILL HOLE FOUND/SET, IRON ROD FOUND/SET, BOUND FOUND/SET, SIGN, BOLLARD, SOIL EVALUATION, CATCH BASIN, DOUBLE CATCH BASIN, DMBH, DRAINAGE MANHOLE, FLARED END SECTION, GUY POLE, ELECTRIC MANHOLE, UTILITY/POWER POLE, LIGHTPOST, SEWER/SEPTIC MANHOLE, SEWER VALVE, CLEANOUT, HYDRANT, IRRIGATION VALVE, WATER VALVE, WELL, MONITORING WELL, UNKNOWN MANHOLE, GAS VALVE, BENCH MARK, and STREAM FLOW DIRECTION.

PROPOSED LEGEND

Table showing proposed features like DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/LIMIT OF CLEARING, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, ASPHALT PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, MILL AND OVERLAY, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS, SINGLE LIGHT, DOUBLE LIGHT, and OVERHANGING LIGHT.

NOTE: THIS PLAN SET MUST BE REPRODUCED IN COLOR

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DRAWINGS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MAKE ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATING EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

PERMIT NOTE:

THE PURPOSE OF THIS PLAN SET IS TO OBTAIN A PERMIT FROM THE REGULATORY AGENCY IT WAS SUBMITTED TO. THIS PLAN SET CONTAINS THE REQUIRED INFORMATION NECESSARY FOR THE SPECIFIC AGENCY IT WAS SUBMITTED TO AND MAY NOT HAVE INFORMATION NECESSARY FOR OTHER REGULATORY AGENCIES. THIS PLAN SET MUST NOT BE CONSTRUED AS A FULL CONSTRUCTION OR BID SET. ADDITIONAL DETAIL IS REQUIRED FOR CONSTRUCTION AND BID DOCUMENTS, SUCH AS (BUT NOT LIMITED TO) FINE GRADING, GRADING BETWEEN THE CONTOUR INTERVAL, ADDITIONAL SURVEY/MAPPING, UNDERSHAPE LOCATION, ADA UTILITY CONNECTIONS, UTILITY CROSSINGS, SOIL STABILITY AND CONSISTENCY, UTILITY GROUND WATER MITIGATION, SOIL STABILITY AND CONSISTENCY, UTILITY END USER NEEDS, CONSTRUCTION SAFETY ISSUES, ETC. ANY USER OF THESE PLANS SHOULD UNDERSTAND THIS LIMITATION.

Diprete Engineering logo and contact information: Two Stafford Court, Cranston, RI 02920, tel: 401-943-1000, fax: 401-464-6000, www.diprete-eng.com

DANA R. NISSET, REGISTERED PROFESSIONAL ENGINEER CIVIL, with professional seal and signature.

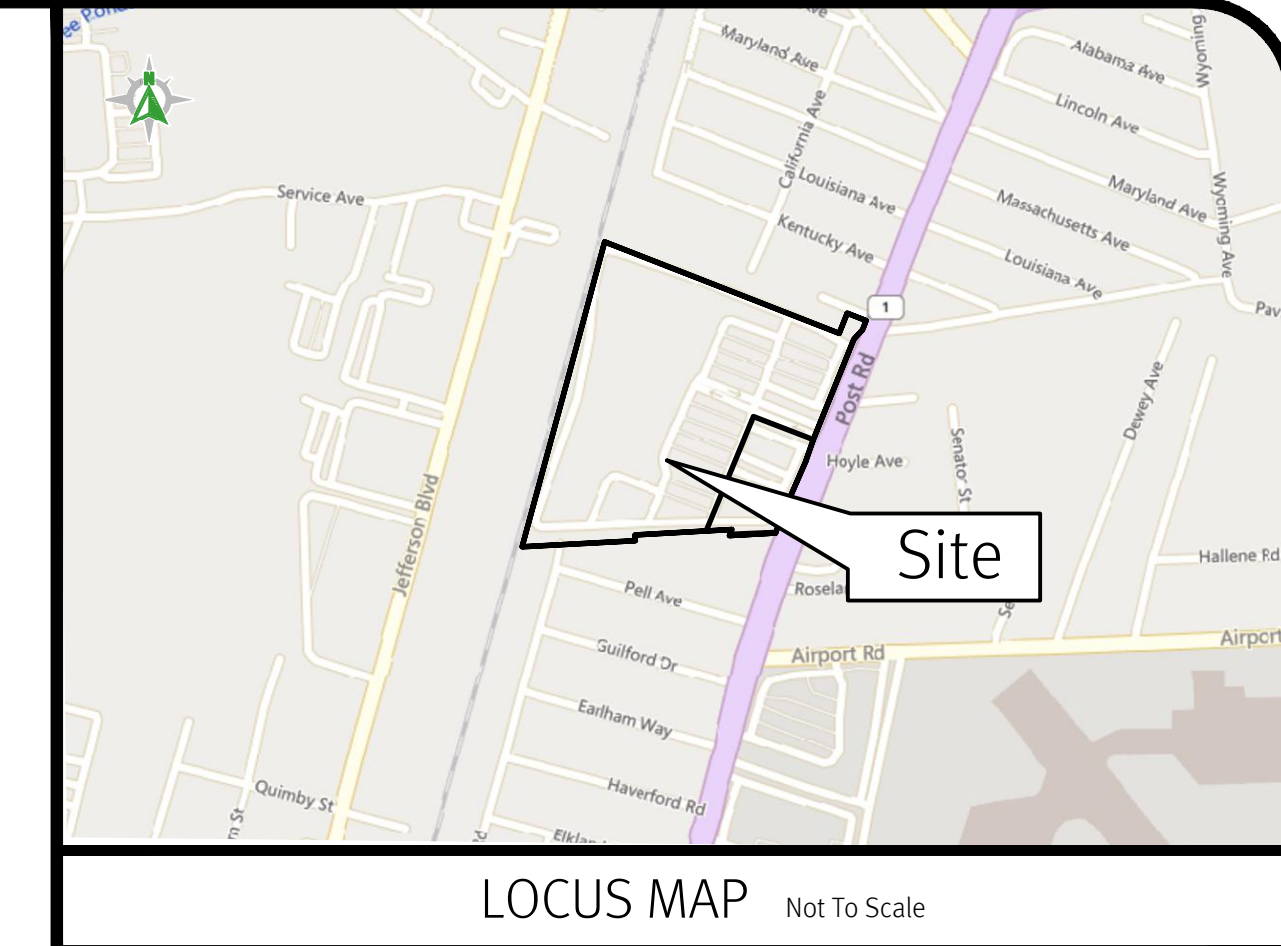
THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SPECIFICALLY NOTED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PLAN SET. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE WORK SHOWN ON THESE PLANS. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND OSHA REGULATIONS UTILIZED SHOWN ON THE PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

Table for project metadata: PROJECT NO., PRELIMINARY PLAN SUBMISSION, DESIGN DEVELOPMENT PLANS, DATE, DESCRIPTION, DESIGN BY, D.R.N.

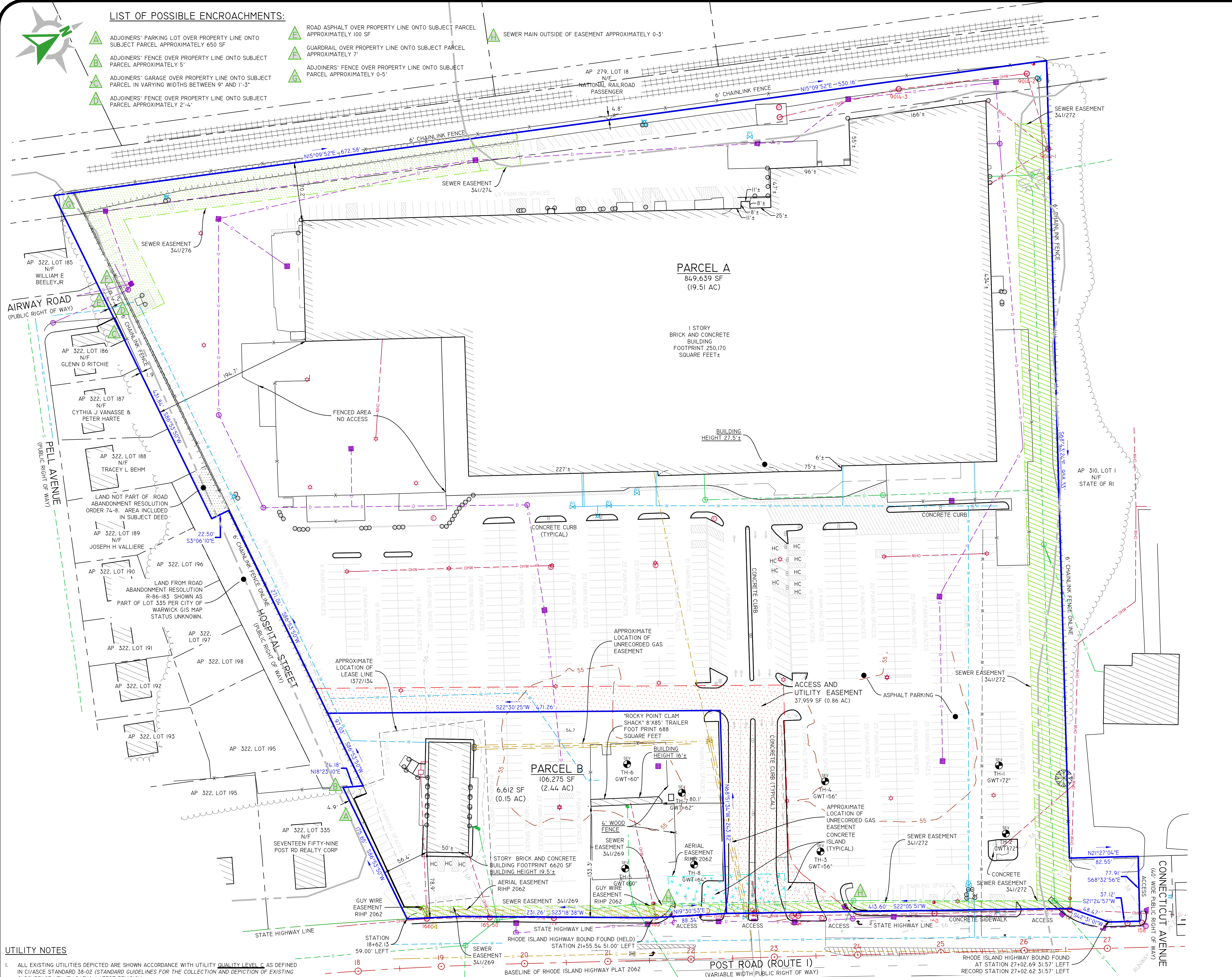
ANN & HOPE REDEVELOPMENT - PHASE II, CROSSROADS CAPITAL FUND VI, LLC, 95 SOCKANOSSETT CROSSROADS, SUITE 203, CRANSTON, RI, 02920

LIST OF POSSIBLE ENCROACHMENTS:

- ADJOINERS' PARKING LOT OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 650 SF
- ADJOINERS' GARAGE OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 5'
- ADJOINERS' GARAGE OVER PROPERTY LINE ONTO SUBJECT PARCEL IN VARYING WIDTHS BETWEEN 9" AND 1'-3"
- ADJOINERS' FENCE OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 2'-4"
- ROAD ASPHALT OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 100 SF
- GUARDRAIL OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 7'
- ADJOINERS' FENCE OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 0-5'
- SEWER MAIN OUTSIDE OF EASEMENT APPROXIMATELY 0-3'



LOCUS MAP Not To Scale



LEGEND

Water Line	123/1234	DEED BOOK/PAGE	BOLLARD
Sewer Line	AP	ASSESSOR'S PLAT	SOIL EVALUATION
Sewer Force Main	HC	HANDICAPPED	CATCH BASIN
Gas Line	N/F	NOW OR FORMERLY	DOUBLE CATCH BASIN
Electric Line	LC	LANDSCAPING	WATER VALVE
Overhead Wires	(R)	RECORD	GAS VALVE
Drainage Line	(CA)	CHORD ANGLE	WETLAND FLAG
Minor Contour Line	▲	NAIL/SPIKE	DRAINAGE MANHOLE
Major Contour Line	●	DRILL HOLE	FLARED END SECTION
Property Line	○	IRON ROD/PIPE	GUY POLE
Assessors Line	□	BOUND	ELECTRIC MANHOLE
Treeline	○	SIGN POST	UTILITY/POWER POLE
Guardrail	○	SEWER MANHOLE	WELL
Fence	○	HYDRANT	MONITORING WELL
Retaining Wall	○	IRRIGATION VALVE	BENCH MARK
Stone Wall	○	UNKNOWN MANHOLE	TREE
Soil Boundary	○		

GENERAL NOTES

- THE PARCELS ARE FOUND IN THE CITY OF WARWICK, KENT COUNTY, RHODE ISLAND.
- THE OWNER OF PARCEL A PER DEED BOOK 10266, PAGE 222 AND DEED BOOK 10270, PAGE 126 IS AMERCO REAL ESTATE COMPANY.
- THE OWNER OF PARCEL B PER DEED BOOK 10270, PAGE 140 IS CROSSROADS CAPITAL FUND VI, LLC, A RHODE ISLAND LIMITED LIABILITY COMPANY.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44003C013H, MAP REVISED 09/18/2013 AND FEMA FLOOD INSURANCE RATE MAP 44003C012H, MAP REVISED 10/02/2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED GB BASED ON THE CITY OF WARWICK'S GIS MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON NOVEMBER 19, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

PLAN REFERENCES:

- 1689 BOSTON POST ROAD CONDOMINIUM U.S. ROUTE 1 WARWICK, RHODE ISLAND; CONDOMINIUM PLATS & PLAN - A.P. 310 LOT 17 A.P. 322 LOTS 209 & 210; ISSUED FOR DECLARATION OF CONDOMINIUM; BY VANASSE HANGEN BRUSTLIN, INC. 530 BROADWAY PROVIDENCE, R.I. 02909; SHEETS 1-4, DATED: MAY 29, 2001; SCALE 1"=50'; REFERENCED IN DEED BOOK 3628 PAGES 56-59 AND FOUND AT THE CONDOMINIUM HANGING FILES, CONDO MAP FILE NOS. 1065, 1066, 1067 & 1068.
- BROAD LAWN, HILLSGROVE WARWICK, RI BELONGING TO WILLIS H. WHITE AND SONS CO. PLAN BY JOSEPH WOOD ENGINEER, DATED MARCH 1930. HOW EVER REVISED AND RECORDED IN THE CITY OF WARWICK LAND'S EVIDENCE RECORDS.
- MINOR SUBDIVISION, THE CROSSROADS POST ROAD PLAT, 1689 POST ROAD, WARWICK, RHODE ISLAND, AP 322, LOT 209, SCALE 1"=100', DATED APRIL 28, 2022, PLAN BY DIPRETE ENGINEERING, RECORDED 1/12, 2023 IN PAGE 1767, OF THE CITY OF WARWICK LAND EVIDENCE RECORDS

SURVEYOR'S CERTIFICATE

TO: AMERCO REAL ESTATE COMPANY, CROSSROADS CAPITAL FUND VI, LLC, FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 13, 14, 16, & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED BETWEEN NOVEMBER 19, 2021, DATE OF PLAT OR MAP; MAY 17, 2023

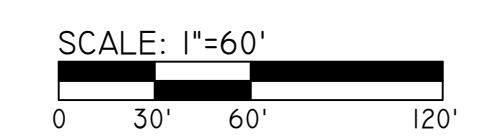
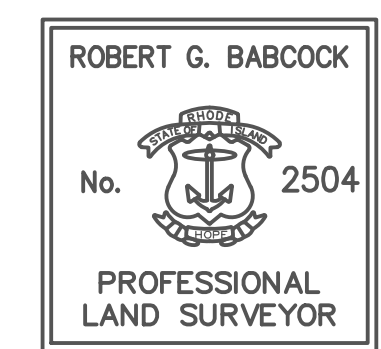
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- COMPREHENSIVE BOUNDARY SURVEY CLASS I
- DATA ACCUMULATION SURVEY CLASS III
- TOPOGRAPHIC SURVEY CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ALTA SURVEY.

UTILITY NOTES

- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL 4 AS DEFINED IN CIVILS STANDARD 38-02 (STANDARD) GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA, LATEST REVISION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES. LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.



PREPARED FOR:
ANN & HOPE REDEVELOPMENT
ASSESSOR'S PLAT 322 LOT 209
WARWICK, RHODE ISLAND

U-HAUL
266 MERRIAN AVENUE
LEWISTON, MA 01855

ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160

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Boston • Providence • Newport

DANA R. NISSET
No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

DATE	10/22/2023	REVISION	CONDITIONS PLAN	D.R.N.
NO.	1	DATE	DESCRIPTION	BY:
				DESIGN BY: D.R.N.

EXISTING CONDITIONS PLAN

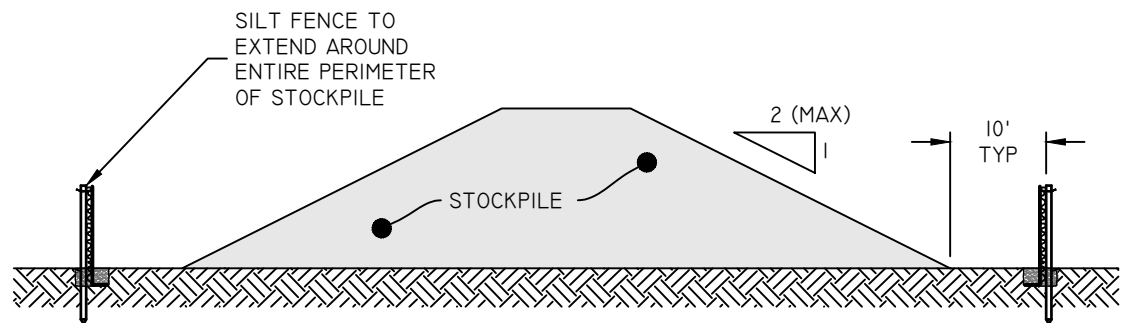
ANN & HOPE REDEVELOPMENT
ASSESSOR'S PLAT 322 LOT 209
WARWICK, RHODE ISLAND

U-HAUL
266 MERRIAN AVENUE
LEWISTON, MA 01855

ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160

7/26/23

SHEET 4 OF 10

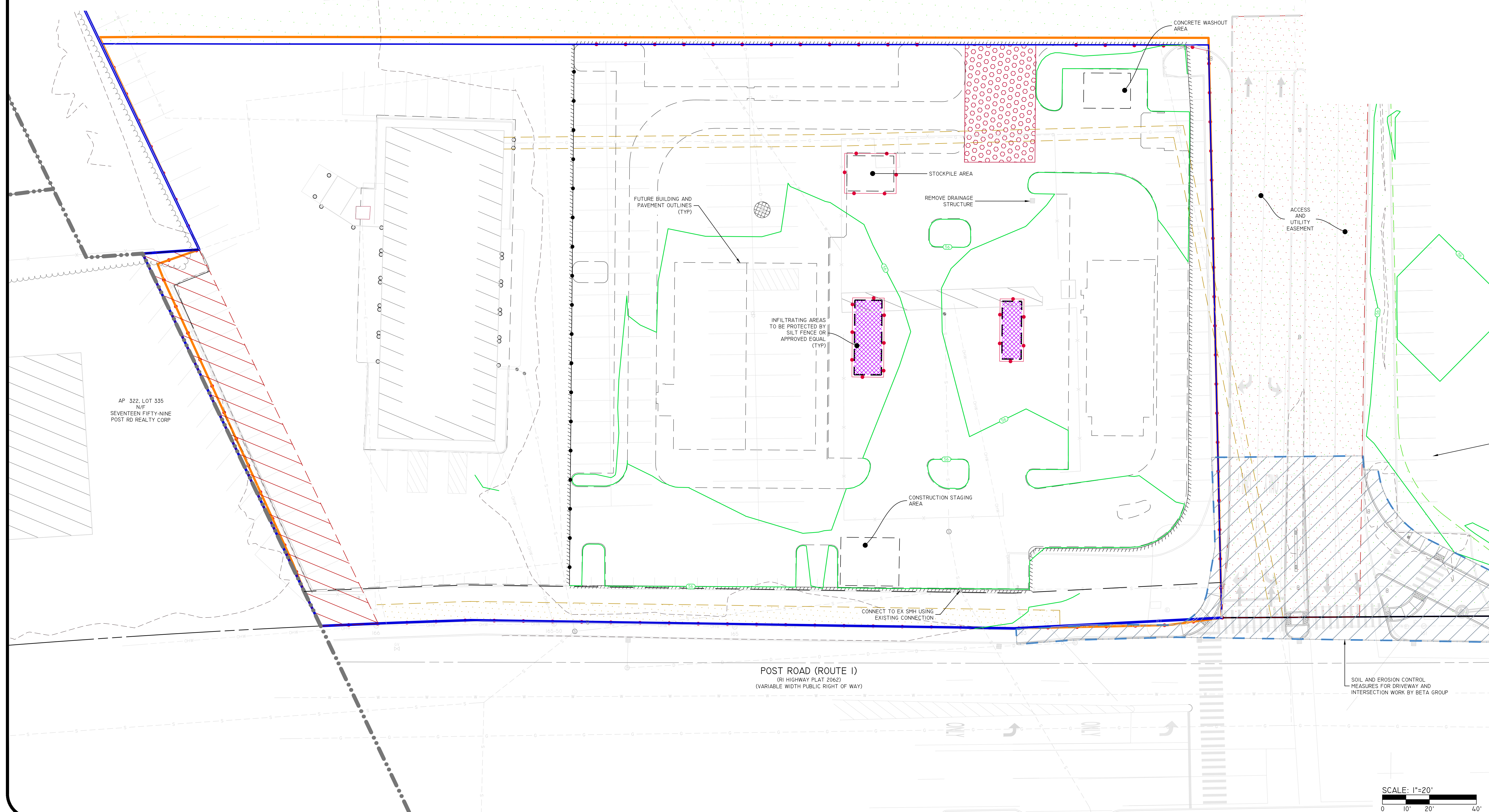


- NOTES:**
1. ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 "STOCKPILE AND STAGING AREA MANAGEMENT" OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
 2. DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
 3. SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
 4. STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1" OF RAINFALL. REPAIR/REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
 5. SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.

STOCKPILE PROTECTION
NOT TO SCALE

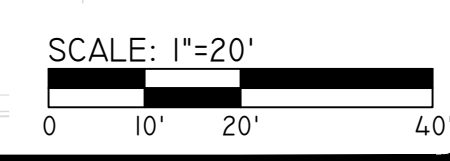
SOIL EROSION CONTROL LEGEND

- EROSION CONTROL (COMPOST SOCK, FILTREX, OR APPROVED EQUAL) [Symbol]
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL) [Symbol]
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL) [Symbol]
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.9) [Symbol]
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE) [Symbol]
- FINAL CONTOUR GRADE [Symbol]
- INLET SEDIMENT CONTROL [Symbol]
- TEMPORARY BARRIER, CONES, OR CONSTRUCTION FENCE [Symbol]



AP 322, LOT 335
N/F
SEVENTEEN FIFTY-NINE
POST RD REALTY CORP

POST ROAD (ROUTE 1)
(RI HIGHWAY PLAT 2062)
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-464-6000 www.diprete-eng.com

Boston • Providence • Newport

DANA R. NISBET
No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEAR AND ADJACENT PROPERTIES UTILIZED TO OBTAIN THE NEAR AND ADJACENT CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILIZED. CLAIMS ON THIS PLAN ARE APPROPRIATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY
02-12-2024		PRELIMINARY PLAN SUBMISSION	D.R.N.
07-23-2024		DESIGN DEVELOPMENT PLANS	B.E.G.
			B.T.
			DESIGN BY: J.W.S.

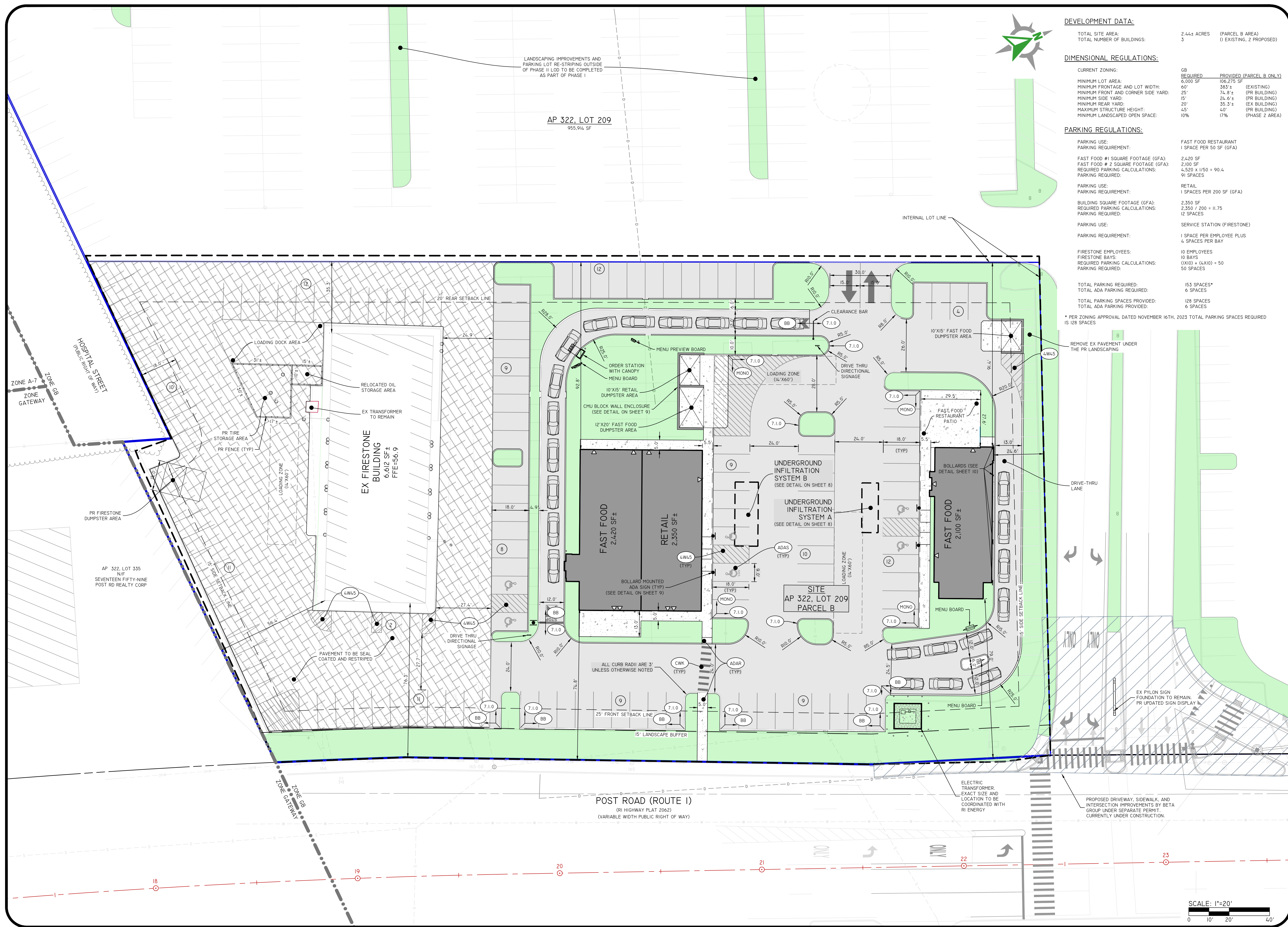
SOIL EROSION AND SEDIMENT CONTROL PLAN
ANN & HOPE REDEVELOPMENT - PHASE II
ASSESSOR'S PLAT 322 LOT 209
WARWICK, RHODE ISLAND

PREPARED FOR:
CROSSROADS CAPITAL FUND VI, LLC
95 SOCKANOSSETT CROSSROADS, SUITE 203
CRANSTON, RI 02920

BE JOB NO. 2024-05-043. COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

Z:\BENJAMIN\PROJECTS\06014950 POST ROAD 169\AUTOCAD DRAWINGS\06014950-PLAN PHASE 2.DWG PLOTTED: 2/9/2024

Z:\DEVELOPMENT\PROJECTS\06101550 POST ROAD 169\AUTOCAD DRAWINGS\06101550-PLAN PHASE 2.DWG PLOTTED: 2/19/2024



DEVELOPMENT DATA:

TOTAL SITE AREA:	2.44± ACRES	(PARCEL B AREA)
TOTAL NUMBER OF BUILDINGS:	3	(1 EXISTING, 2 PROPOSED)

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	GB	REQUIRED	PROVIDED (PARCEL B ONLY)
MINIMUM LOT AREA:	6,000 SF	383 ±	(EXISTING)
MINIMUM FRONTAGE AND LOT WIDTH:	60'	74.8' ±	(PR BUILDING)
MINIMUM FRONT AND CORNER SIDE YARD:	25'	24.6' ±	(PR BUILDING)
MINIMUM SIDE YARD:	15'	20'	(EX BUILDING)
MINIMUM REAR YARD:	4.0'	17%	(PHASE 2 AREA)
MAXIMUM STRUCTURE HEIGHT:	4.5'		
MINIMUM LANDSCAPED OPEN SPACE:	10%		

PARKING REGULATIONS:

PARKING USE:	FAST FOOD RESTAURANT
PARKING REQUIREMENT:	1 SPACE PER 50 SF (GFA)
FAST FOOD #1 SQUARE FOOTAGE (GFA):	2,420 SF
FAST FOOD #2 SQUARE FOOTAGE (GFA):	2,100 SF
REQUIRED PARKING CALCULATIONS:	6,520 x 1/50 = 90.4
PARKING REQUIRED:	91 SPACES
PARKING USE:	RETAIL
PARKING REQUIREMENT:	1 SPACES PER 200 SF (GFA)
BUILDING SQUARE FOOTAGE (GFA):	2,350 SF
REQUIRED PARKING CALCULATIONS:	2,350 / 200 = 11.75
PARKING REQUIRED:	12 SPACES
PARKING USE:	SERVICE STATION (FIRESTONE)
PARKING REQUIREMENT:	1 SPACE PER EMPLOYEE PLUS 4 SPACES PER BAY
FIRESTONE EMPLOYEES:	10 EMPLOYEES
FIRESTONE BAYS:	10 BAYS
REQUIRED PARKING CALCULATIONS:	(10x10) + (4x10) = 50
PARKING REQUIRED:	50 SPACES
TOTAL PARKING REQUIRED:	153 SPACES*
TOTAL ADA PARKING REQUIRED:	6 SPACES
TOTAL PARKING SPACES PROVIDED:	128 SPACES
TOTAL ADA PARKING PROVIDED:	6 SPACES

* PER ZONING APPROVAL DATED NOVEMBER 16TH, 2023 TOTAL PARKING SPACES REQUIRED IS 128 SPACES

DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-464-6000 www.diprete-eng.com

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DANA R. NISSET
 No. 11876
 REGISTERED PROFESSIONAL ENGINEER CIVIL

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DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEARBY ADJACENT PROPERTIES UTILITIES SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE AND FEDERAL AGENCIES.

DATE	DESCRIPTION	DESIGNED BY	DRAWN BY
02-12-2024	PRELIMINARY PLAN SUBMISSION	J.W.S.	J.W.S.
02-23-2024	DESIGN DEVELOPMENT PLANS	J.W.S.	J.W.S.

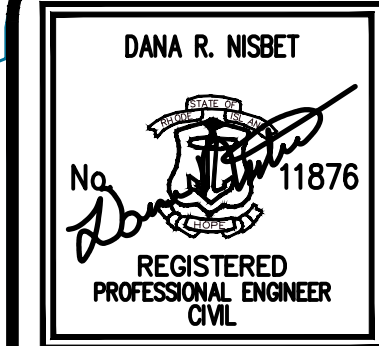
SITE LAYOUT PLAN - PHASE II
ANN & HOPE REDEVELOPMENT - PHASE II
 ASSESSOR'S PLAT 322 LOT 209
 WARWICK, RHODE ISLAND

PREPARED FOR:
CROSSROADS CAPITAL FUND VI, LLC
 95 SOCKANOSSETT CROSSROADS, SUITE 203
 CRANSTON, RI 02920

DESIGNED BY: J.W.S.
 DRAWN BY: J.W.S.

SCALE: 1"=20'

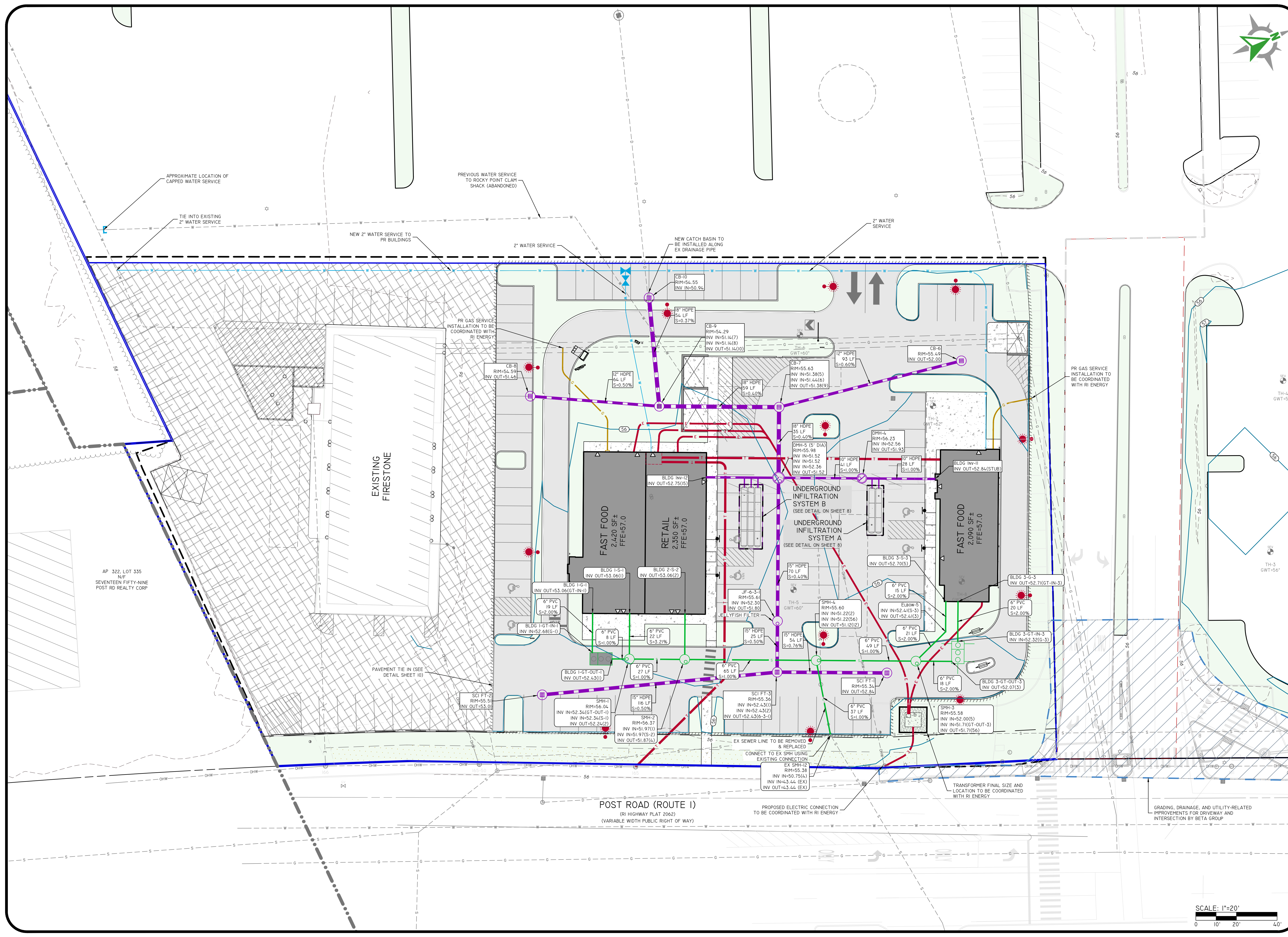
SHEET 6 OF 10



THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.
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02-12-2024	PRELIMINARY PLAN SUBMISSION	D.R.N.	DESIGN BY: D.R.N.
02-23-2024	DESIGN DEVELOPMENT PLANS	B.E.G.	
03-01-2024	DESCRIPTION	J.W.S.	

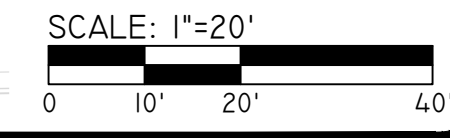
GRADING DRAINAGE & UTILITIES PLAN
ANN & HOPE REDEVELOPMENT - PHASE II
ASSESSOR'S PLAT 322 LOT 209
WARWICK, RHODE ISLAND
PREPARED FOR:
CROSSROADS CAPITAL FUND VI, LLC
95 SOCKANOSSETT CROSSROADS, SUITE 203
CRANSTON, RI 02920
BE JOB NO. 2024-082-CROSSROADS. COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

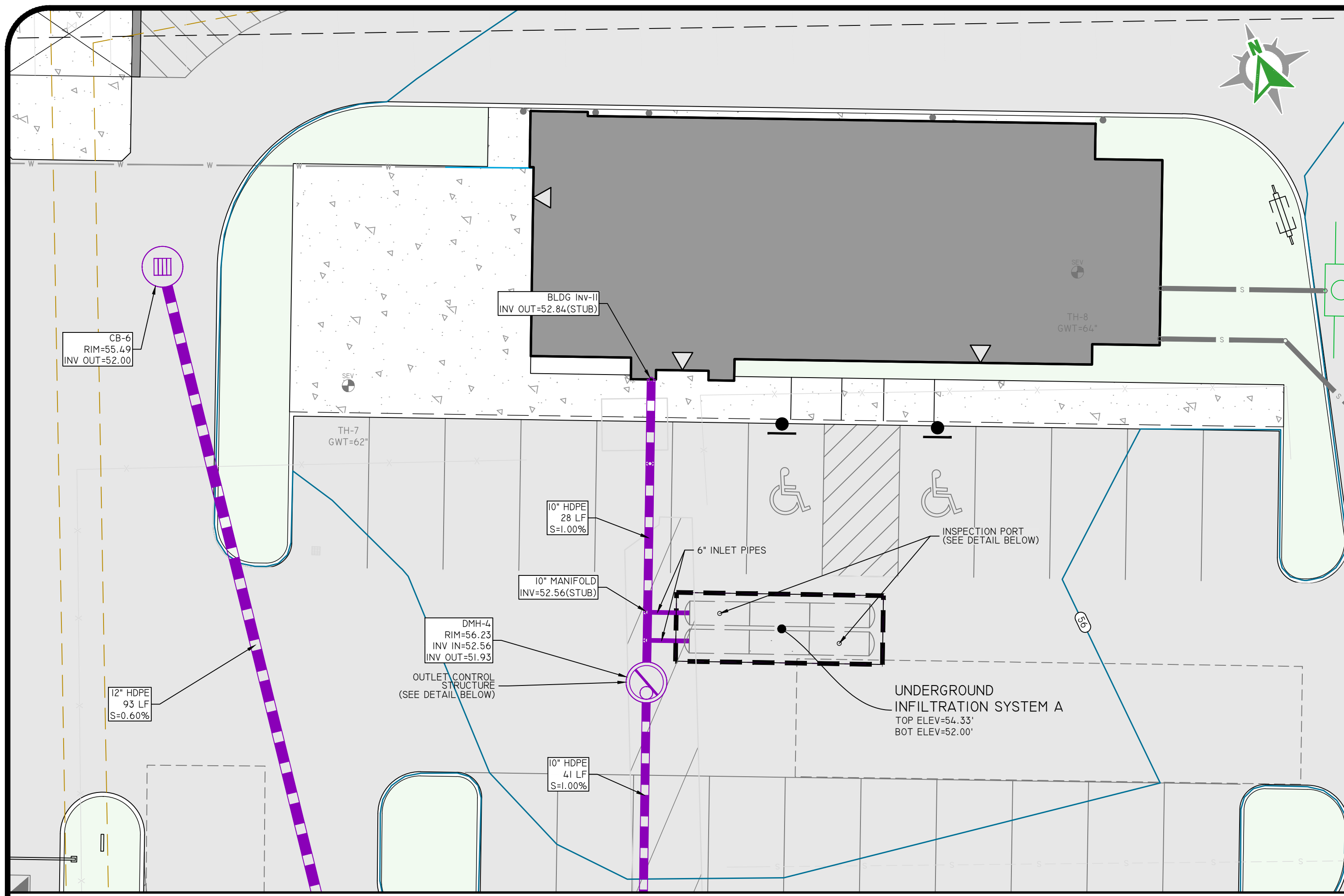


Z:\BID\PROJECTS\0619501\POST ROAD 169\AUTOCAD DRAWINGS\0619501-PLAN PHASE 2.DWG PLOTTED: 2/19/2024

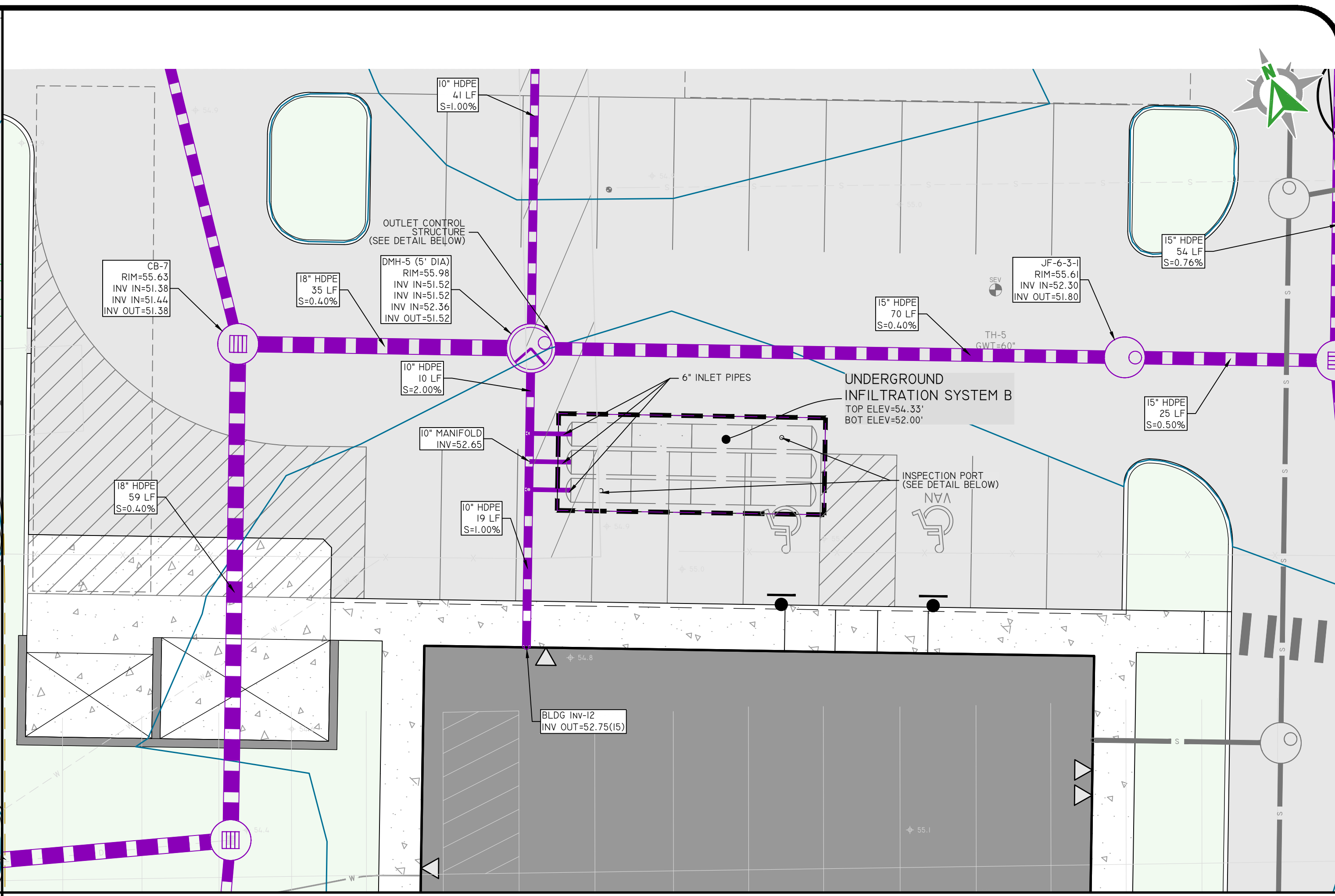
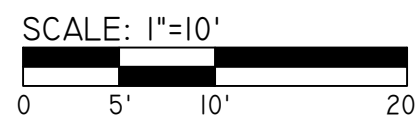
AP 322, LOT 335
N/F
SEVENTEEN FIFTY-NINE
POST RD REALTY CORP

POST ROAD (ROUTE 1)
(RI HIGHWAY PLAT 2062)
(VARIABLE WIDTH PUBLIC RIGHT OF WAY)

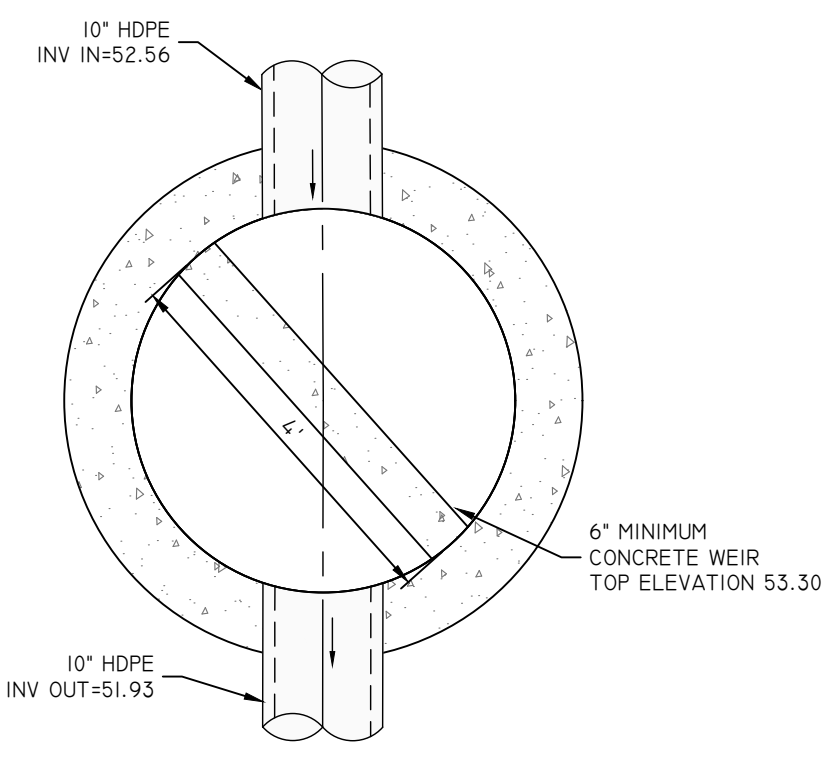
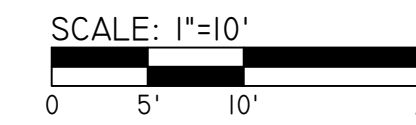




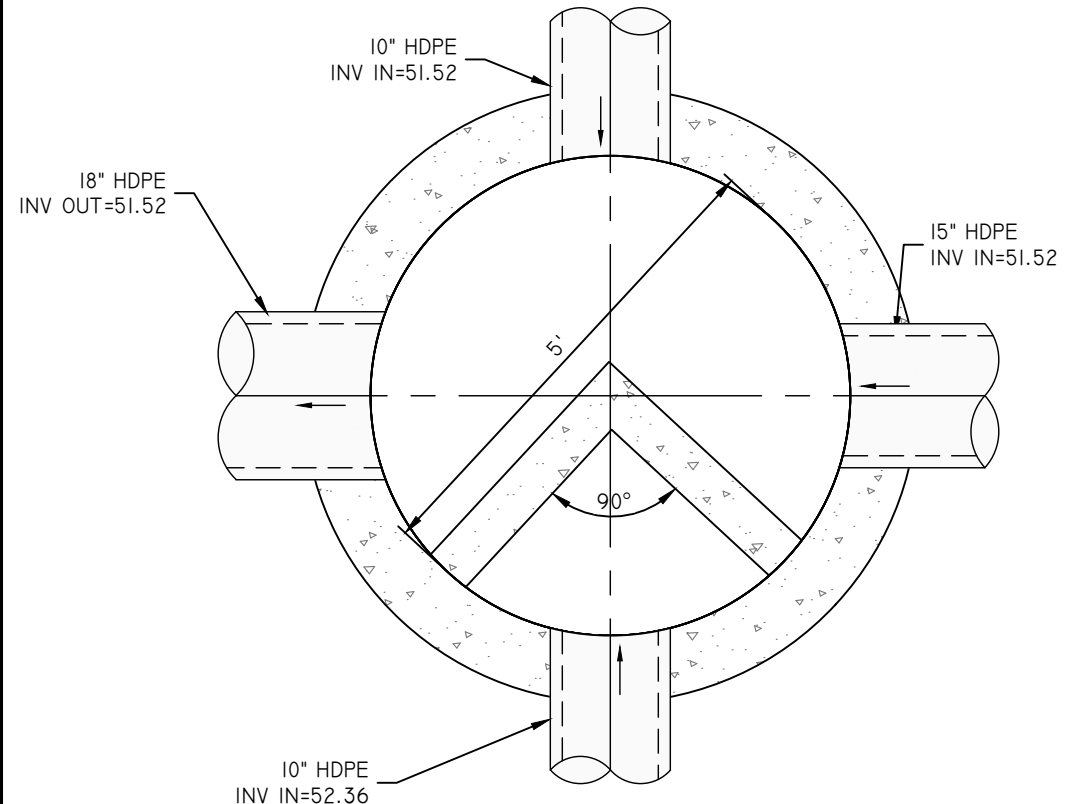
UNDERGROUND INFILTRATION SYSTEM A



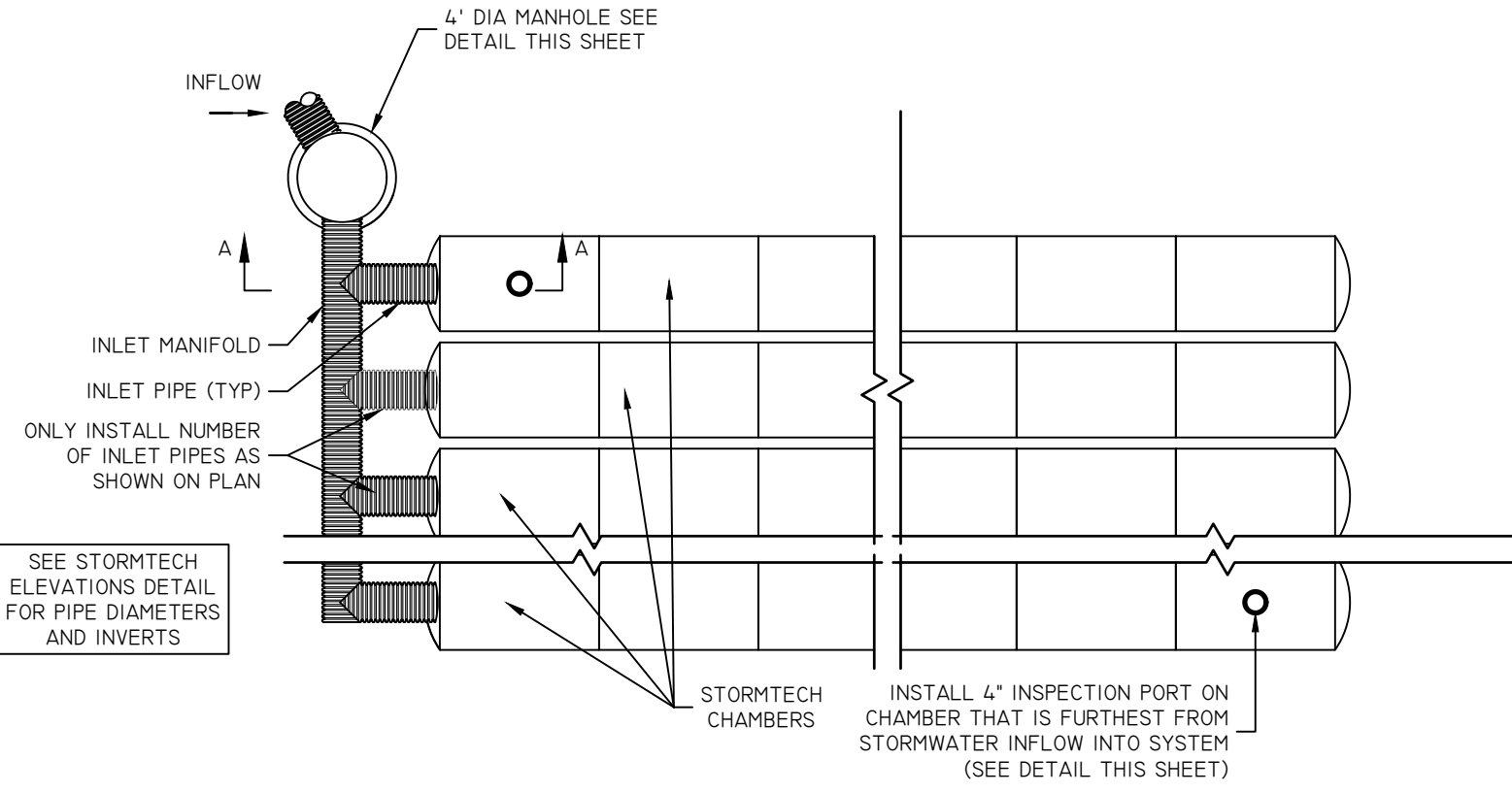
UNDERGROUND INFILTRATION SYSTEM B



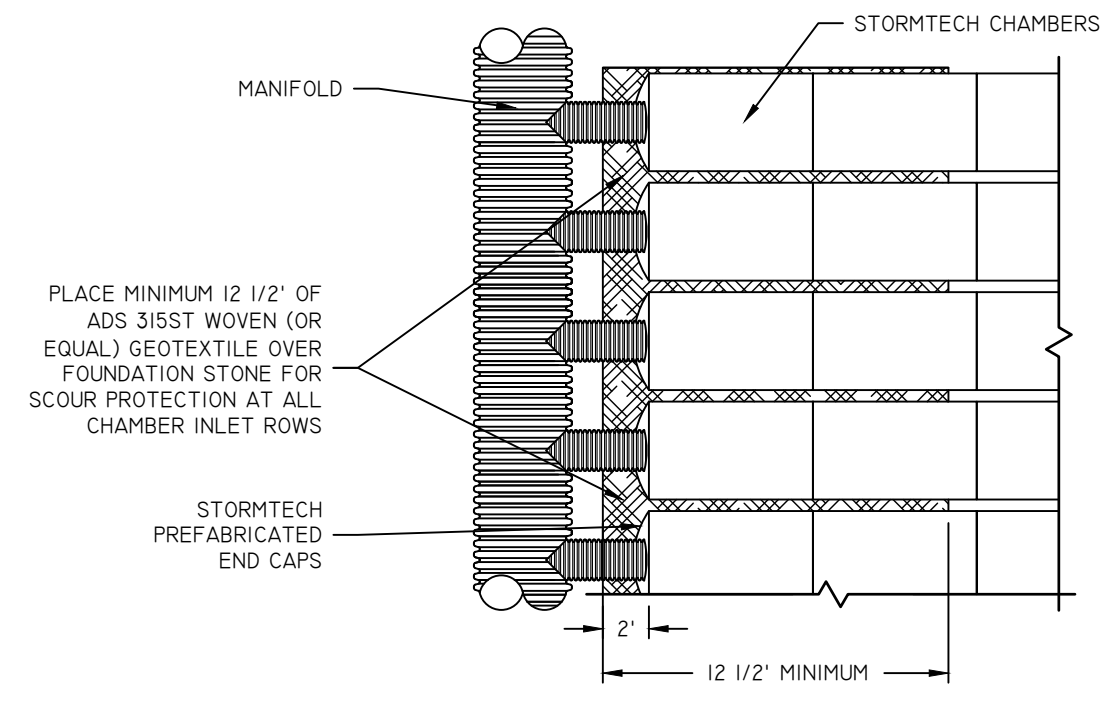
DMH-4 (4' Ø MANHOLE)
SCALE 1"=2'



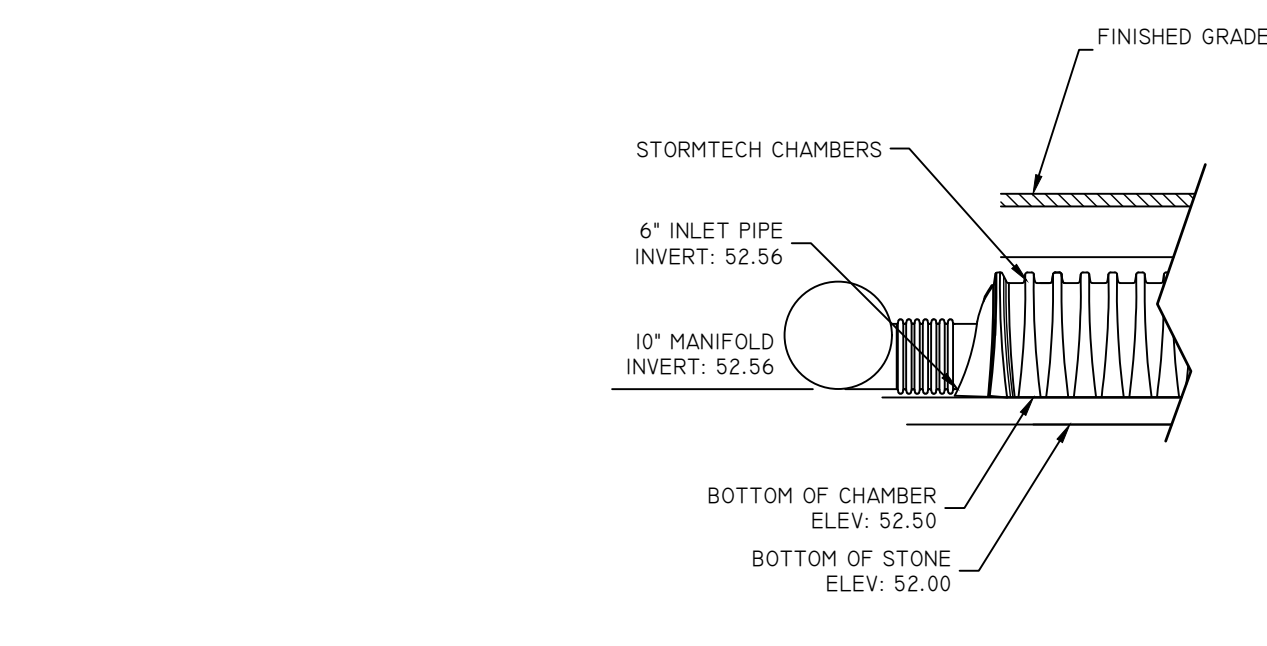
DMH-5 (5' Ø MANHOLE)
SCALE 1"=2'



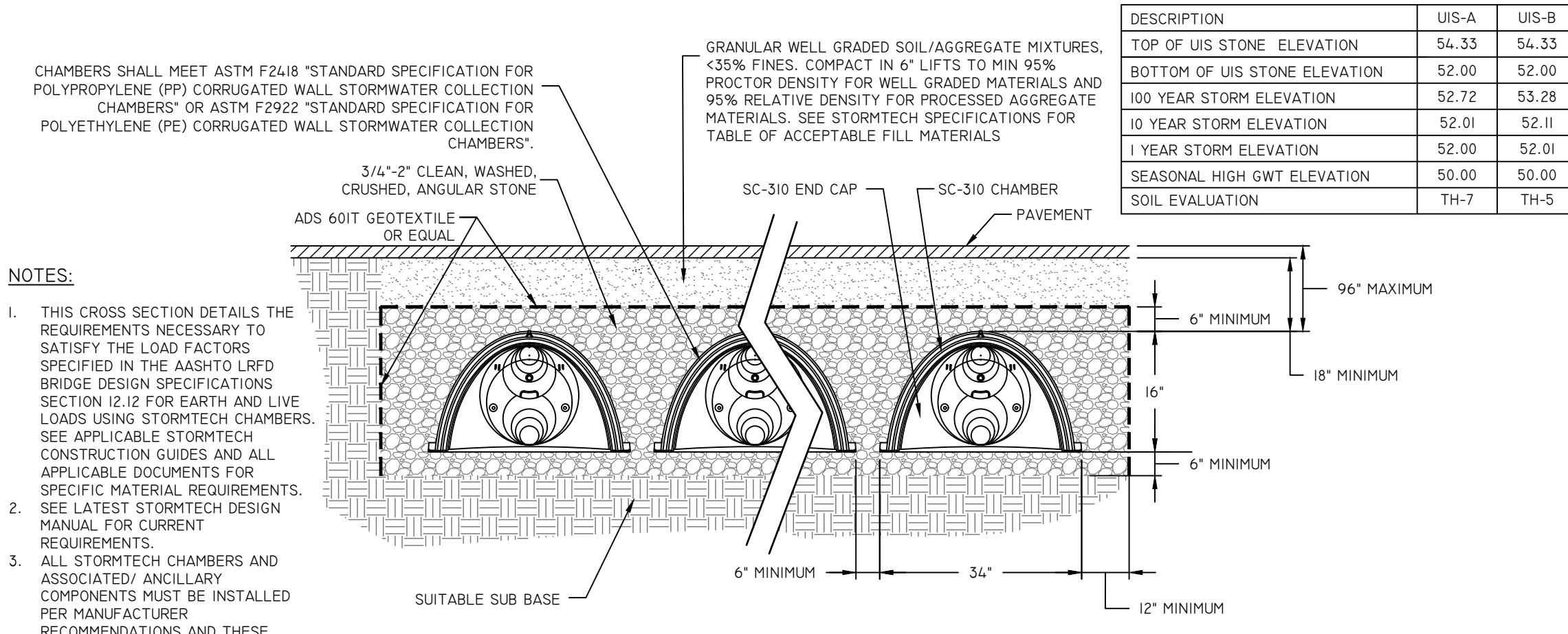
STORMTECH TYPICAL LAYOUT - INFILTRATION
NOT TO SCALE



STORMTECH SCOUR PROTECTION DETAIL
NOT TO SCALE



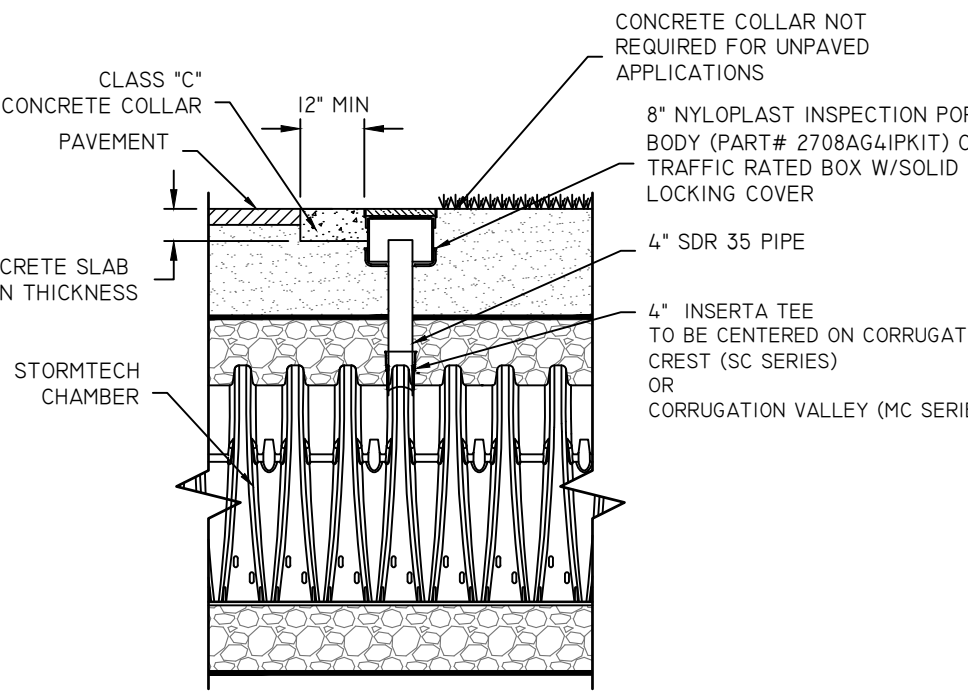
STORMTECH ELEVATIONS
NOT TO SCALE



STORMTECH SC-310 TYPICAL CROSS SECTION
NOT TO SCALE

DESCRIPTION	US-A	US-B
TOP OF UIS STONE ELEVATION	54.33	54.33
BOTTOM OF UIS STONE ELEVATION	52.00	52.00
100 YEAR STORM ELEVATION	52.72	53.28
10 YEAR STORM ELEVATION	52.01	52.11
1 YEAR STORM ELEVATION	52.00	52.01
SEASONAL HIGH GWT ELEVATION	50.00	50.00
SOIL EVALUATION	TH-7	TH-5

- NOTES:**
- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
 - ALL STORMTECH CHAMBERS AND ASSOCIATED/ ANCILLARY COMPONENTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.



STORMTECH 4" INSPECTION PORT DETAIL
NOT TO SCALE

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
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02-12-2024	PRELIMINARY PLAN SUBMISSION	D.R.N.
02-22-2024	DESIGN DEVELOPMENT PLANS	B.E.G.
03-01-2024	DESIGN DEVELOPMENT PLANS	B.T.
	DESIGN DEVELOPMENT PLANS	B.T.

DESIGN BY: D.R.N.

UNDERGROUND INFILTRATION SYSTEMS A & B

ANN & HOPE REDEVELOPMENT - PHASE II

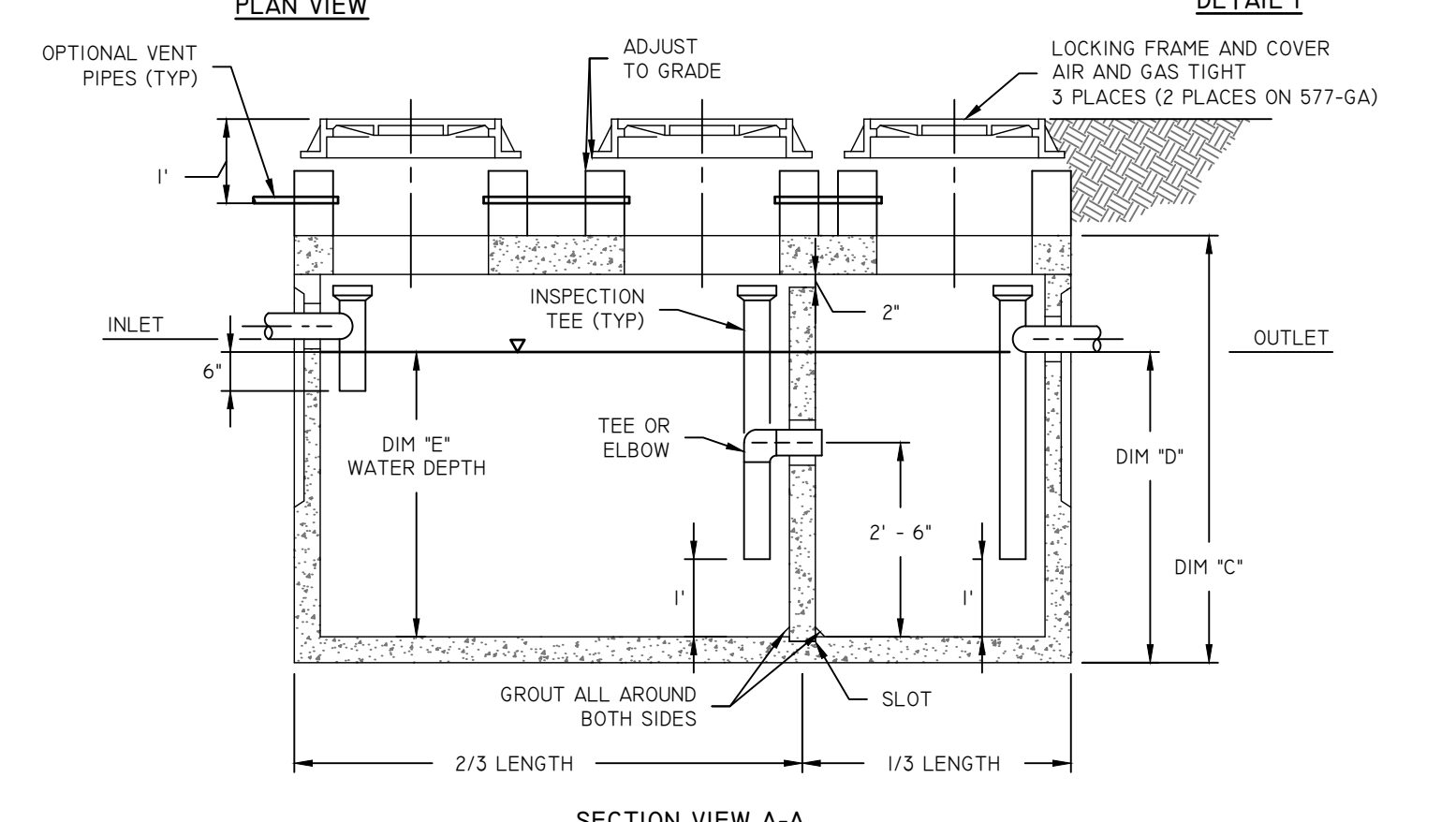
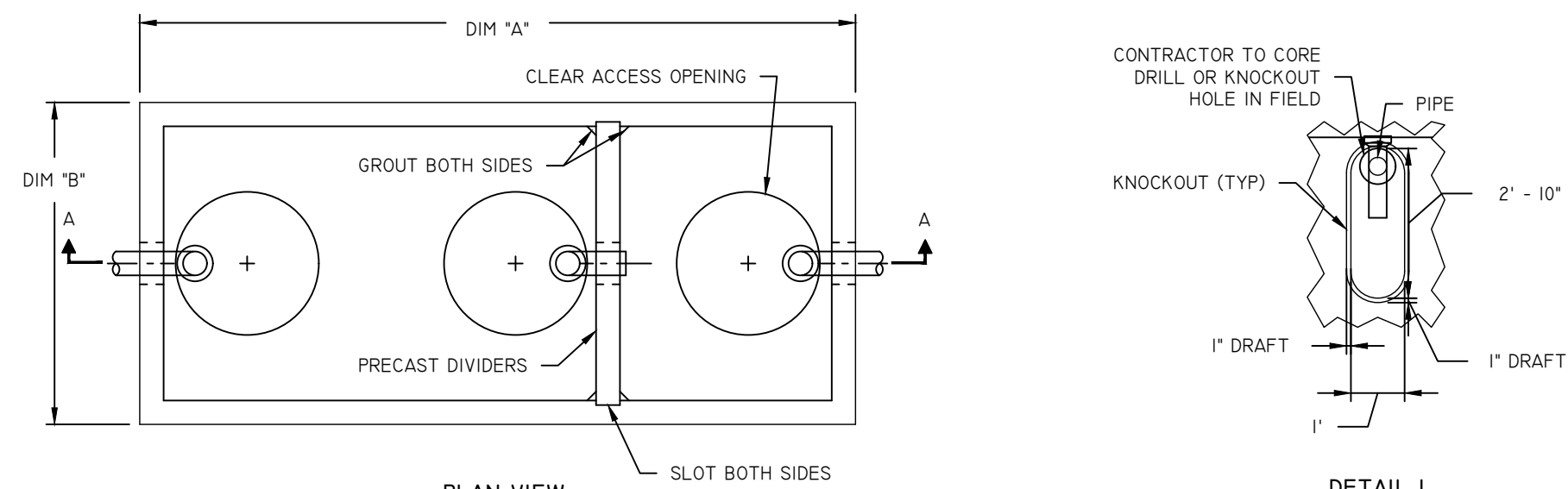
ASSESSOR'S PLAT 322 LOT 209
WARWICK, RHODE ISLAND

PREPARED FOR:
CROSSROADS CAPITAL FUND VI, LLC
95 SOCKANOSSETT CROSSROADS, SUITE 203
CRANSTON, RI 02920

BE JOB NO. 2023-05-0432. COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **8** OF 10

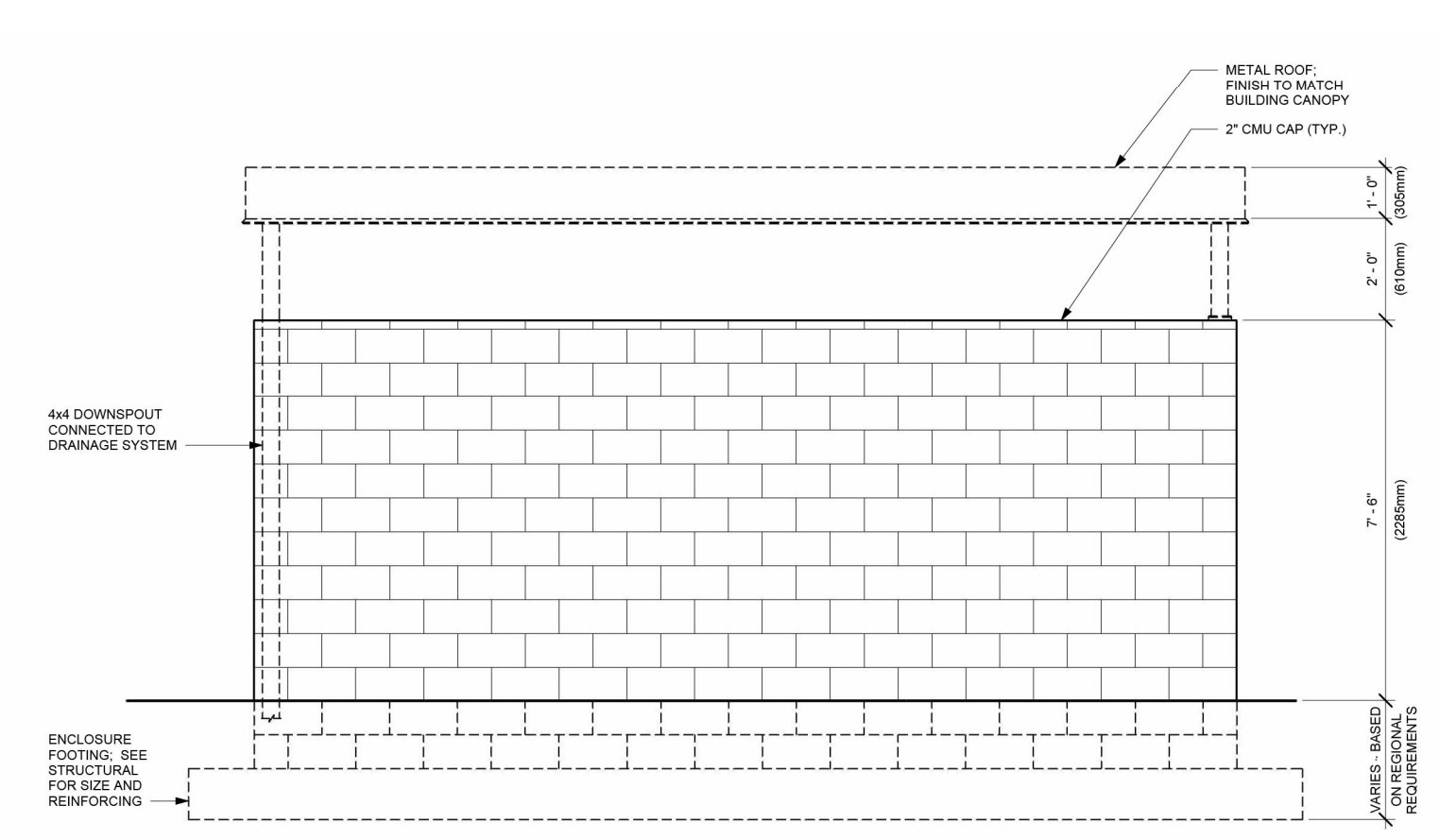
Z:\DEMAN\PROJECTS\0610501 POST ROAD 169\AUTOCAD DRAWINGS\0610501-550-PLAN PHASE 2.DWG PLOTTED: 2/9/2024



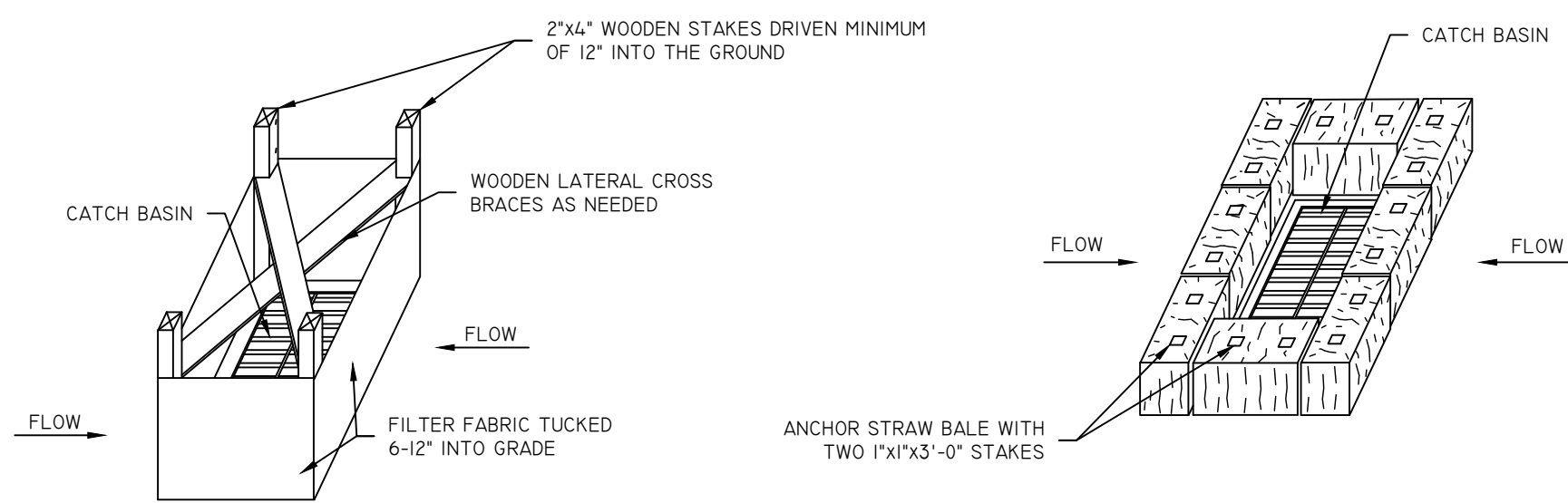
GALLON CAPACITY	600	800	1000	1500	2000	2500	3000	4000	5000	6000	7000
UV MODEL NO.	577-GA	577-GA	4484-GA	5106-GA	612-GA	612-GA	712-GA	814-GA	818-GA	818-GA	818-GA
DIM 'A'	7'-0"	7'-0"	9'-0"	11'-2"	12'-8"	12'-8"	13'-1"	15'-1"	15'-7"	19'-11"	19'-11"
DIM 'B'	4'-8"	4'-8"	5'-0"	5'-8"	6'-8"	6'-8"	8'-0"	8'-0"	9'-7"	9'-11"	9'-11"
DIM 'C'	7'-0"	7'-0"	7'-2"	7'-2"	8'-0"	8'-0"	8'-7"	10'-0 1/2"	10'-5"	10'-5"	10'-5"
DIM 'D'	3'-7"	4'-8"	4'-2"	4'-3"	4'-7"	5'-6 1/2"	5'-1"	6'-8"	7'-4"	7'-1"	8'-0"
WATER DEPTH DIM 'E'	3'-3"	4'-4"	3'-10"	3'-11"	3'-9 1/2"	4'-9"	4'-8"	6'-3"	6'-1"	5'-8"	6'-7"

NOTE:
 1. CONCRETE: 28 DAY COMPRESSIVE STRENGTH F'C = 4500 PSI
 2. REBAR: ASTM A-615 GRADE 60
 3. MESH: ASTM A-185 GRADE 65
 4. DESIGN: ACI-318-02 BUILDING CODE, ASTM C-857 "MINIMUM STRUCTURAL DESIGN LOADING FOR UNDERGROUND PRECAST CONCRETE UTILITY STRUCTURES"
 5. LOADS: H-20 TRUCK WHEEL WITH 30% IMPACT PER AASHTO
 6. FILL WITH CLEAN WATER PRIOR TO START-UP OF SYSTEM
 7. CONTRACTOR TO SUPPLY AND INSTALL ALL PIPING AND SAMPLING TEES
 8. GRAY WATER ONLY, BLACK WATER SHALL BE CARRIED BY SEPARATE SIDE SEWER
 9. FOR MASSACHUSETTS PROJECTS THE PIPES FROM BUILDING TO GREASE TRAP AND FROM GREASE TRAP TO NEXT DOWNSTREAM STRUCTURE MUST BE CAST IRON AND IN ACCORDANCE WITH 284CMR.

GREASE INTERCEPTOR
NOT TO SCALE

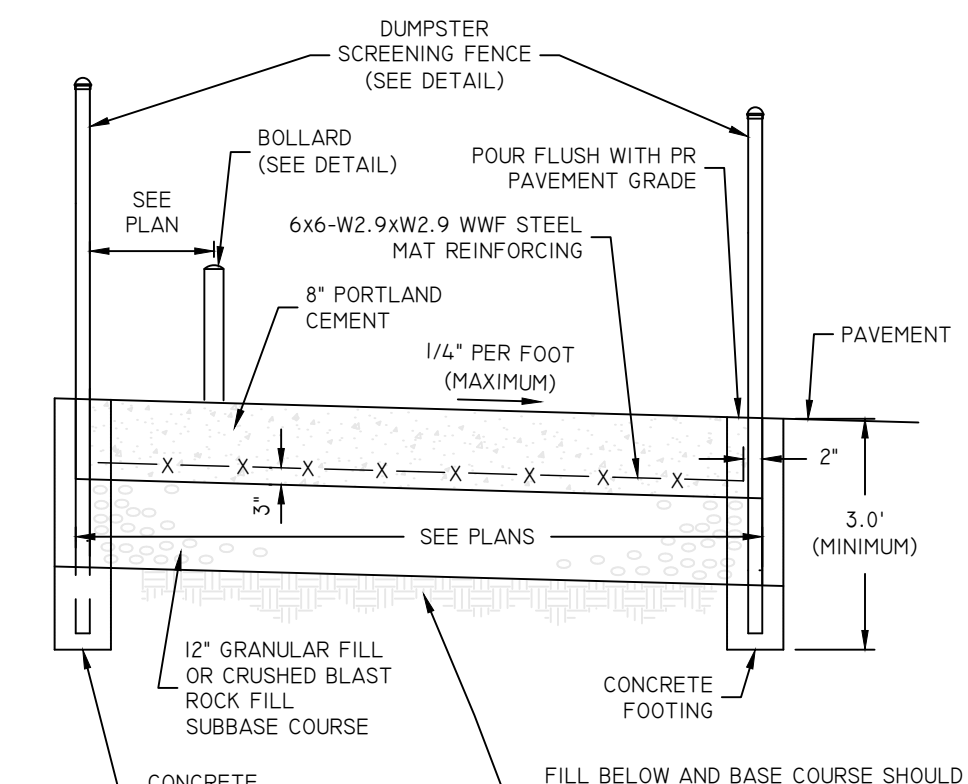


CMU BLOCK WALL DUMPSTER ENCLOSURE
NOT TO SCALE



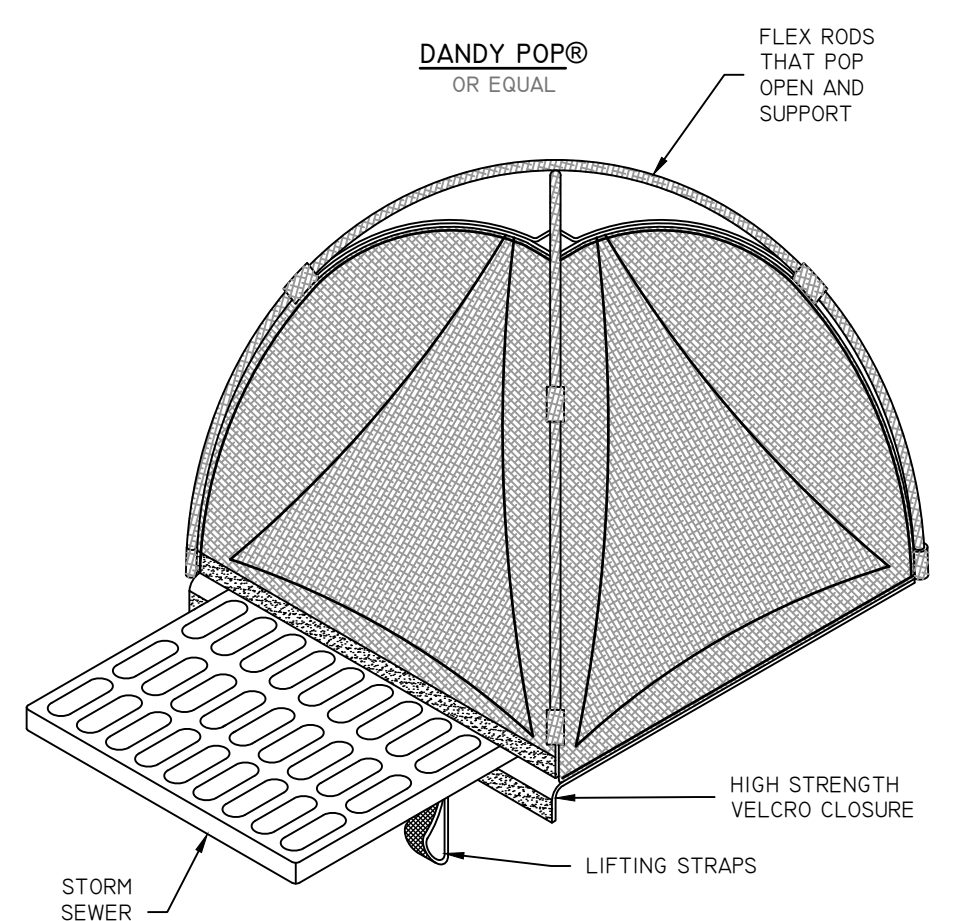
CATCH BASIN EROSION CONTROL
NOT TO SCALE

NOTES:
 1. STORMWATER INLETS WHICH DO NOT DISCHARGE TO SEDIMENT TRAPS OR BASINS MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
 2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM.
 3. REFER TO LONG TERM/SHORT TERM MAINTENANCE NOTES AND OPERATION & MAINTENANCE PLAN FOR TIMING OF PLACEMENT AND REMOVAL OF EROSION CONTROL ELEMENTS.

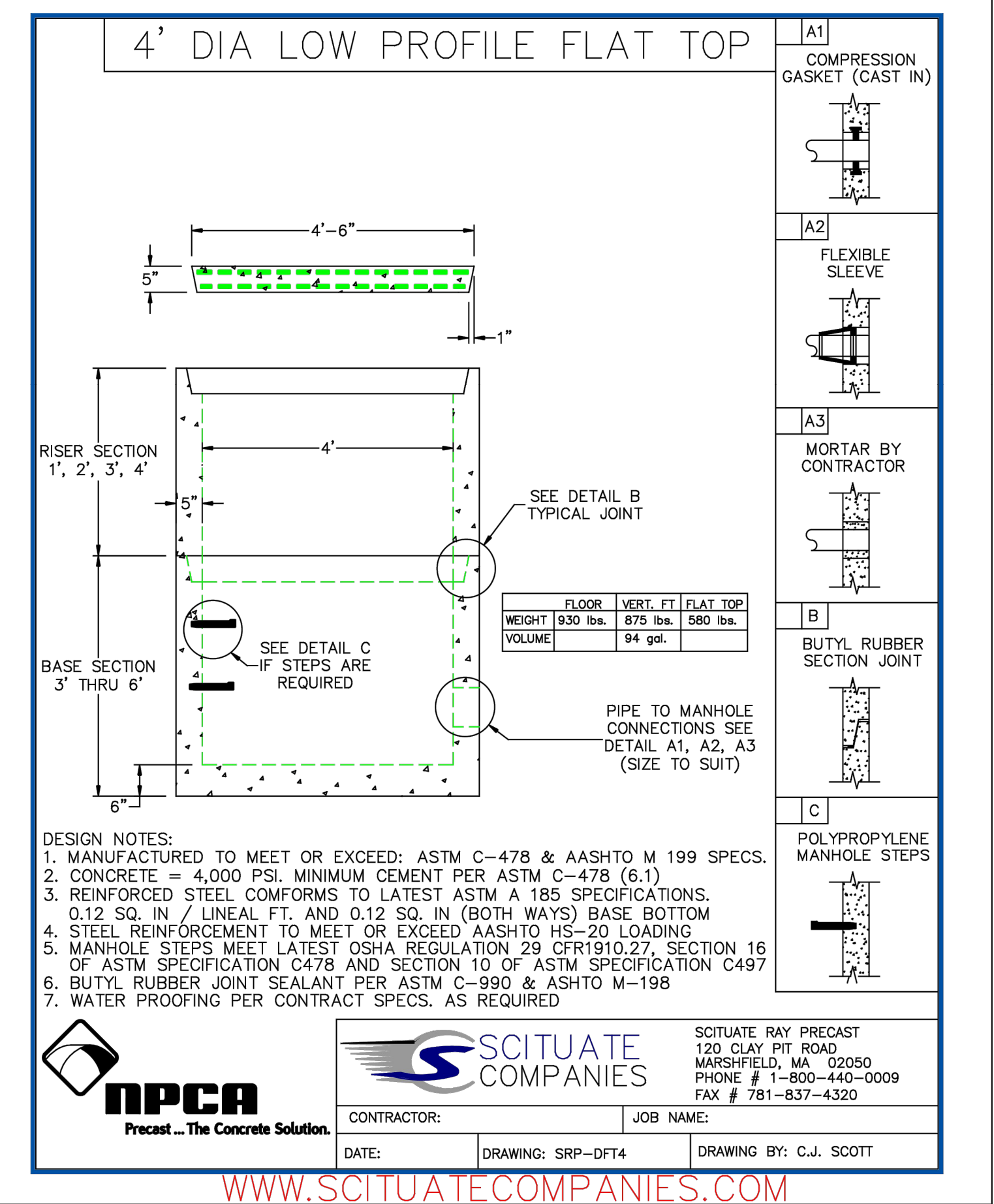
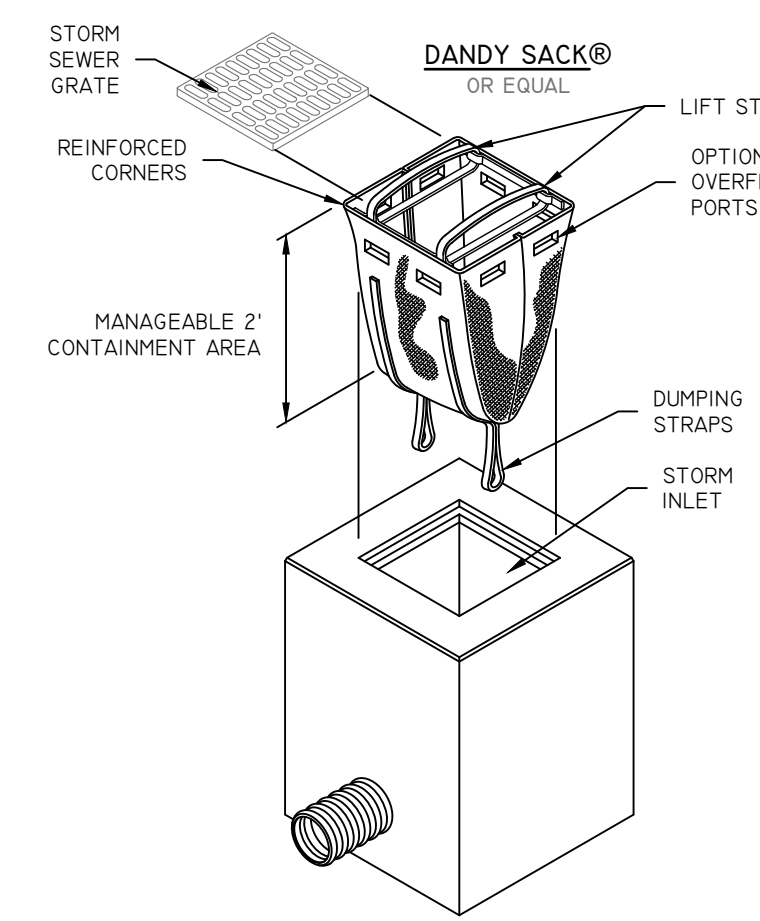


CONCRETE DUMPSTER PAD WITH BOLLARDS AND FENCE
NOT TO SCALE

NOTE:
 PROVIDE ISOLATION JOINT WHERE CONCRETE ABUTS A RIGID STRUCTURE
 FILL BELOW AND BASE COURSE SHOULD BE COMPACTED IN 1-FOOT (MAXIMUM) LIFTS TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED IN ACCORDANCE WITH ASTM D-1557.



INLET SEDIMENT CONTROL DEVICES
NOT TO SCALE



SCITUATE LOW PROFILE FLAT TOP STRUCTURE (SCI FT)
NOT TO SCALE

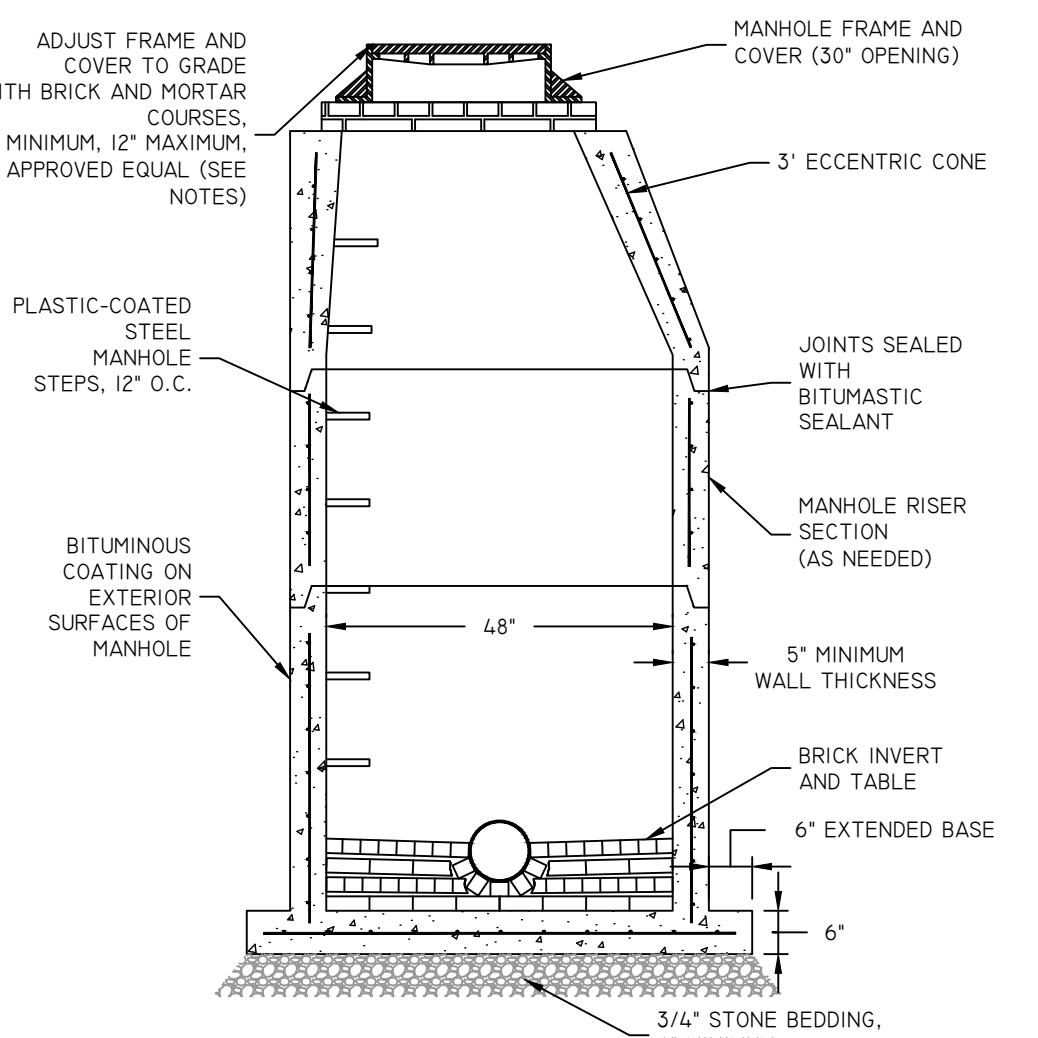
DESIGN NOTES:
 1. MANUFACTURED TO MEET OR EXCEED: ASTM C-478 & AASHTO M 199 SPECS.
 2. CONCRETE = 4,000 PSI, MINIMUM CEMENT PER ASTM C-478 (6.1)
 3. REINFORCED STEEL CONFORMS TO LATEST ASTM A 185 SPECIFICATIONS.
 4. 0.12 SQ. IN / LINEAL FT. AND 0.12 SQ. IN (BOTH WAYS) BASE BOTTOM
 5. STEEL REINFORCEMENT TO MEET OR EXCEED AASHTO HS-20 LOADING
 6. MANHOLE STEPS MEET LATEST OSHA REGULATION 29 CFR 1910.27, SECTION 16 OF ASTM SPECIFICATION C478 AND SECTION 10 OF ASTM SPECIFICATION C497
 7. BUTYL RUBBER JOINT SEALANT PER ASTM C-990 & ASHTO M-198
 8. WATER PROOFING PER CONTRACT SPECS. AS REQUIRED

CONTRACTOR: SCITUATE COMPANIES
DATE: []/ []/ []
DRAWING: SRP-DFT4
DRAWING BY: C.J. SCOTT

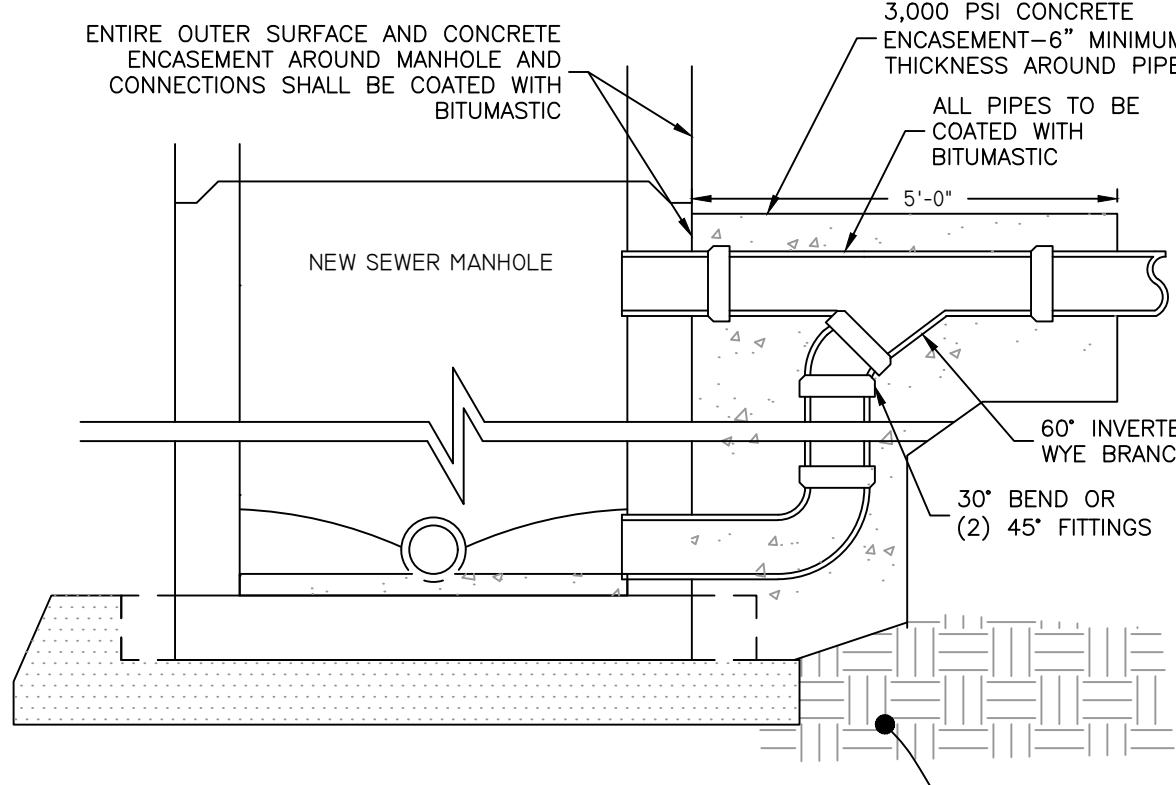
SCITUATE COMPANIES
 SCITUATE RAY PRECAST
 120 CLAY PIT ROAD
 MARSHFIELD, MA 02050
 PHONE # 1-800-440-0009
 FAX # 781-837-4320

www.scituatecompanies.com

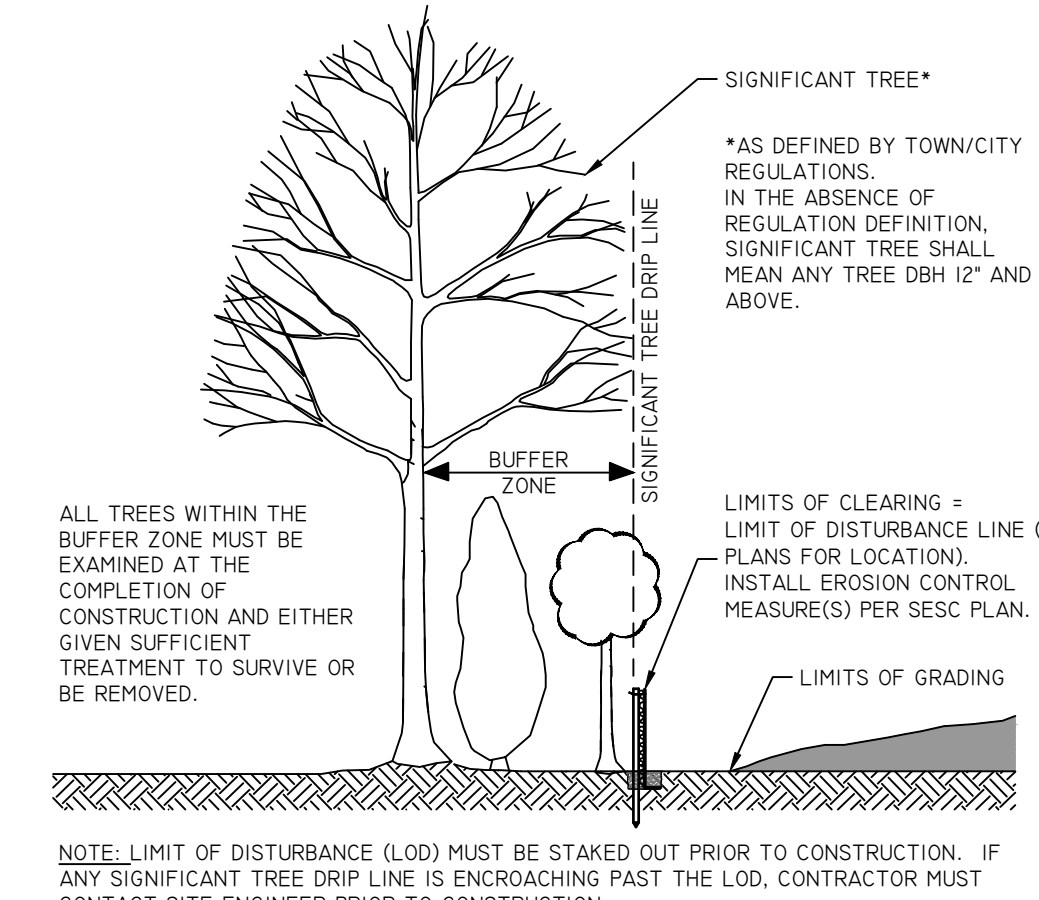
NOTES:
 1. MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM-C478.
 2. INVERT AND TABLE SHALL CONSIST ENTIRELY OF BRICK AND MORTAR. NO SAND FILLER SHALL BE ALLOWED.
 3. MANHOLES SHALL BE VACUUM TESTED PRIOR TO ACCEPTANCE, IN ACCORDANCE WITH THE SEWER AUTHORITY SANITARY RULES AND REGULATIONS. UNDER NO CIRCUMSTANCES WILL EXFILTRATION TESTING BE ACCEPTED.
 4. BOLTED AND GASKETED COVERS SHALL BE USED ON MANHOLES IN OFF-ROAD AREAS.
 5. TAPPING OF MANHOLES MUST BE AUTHORIZED AND INSPECTED BY THE SEWER AUTHORITY. THE ONLY APPROVED METHOD FOR TAPPING MANHOLES SHALL BE BY CORE-DRILLING THE MANHOLE AND INSTALLING A 'KOR-N-SEAL' BOOT.
 6. PRECAST CONCRETE GRADE RINGS, HOPE GRADE RINGS, OR OTHER RIM ADJUSTMENT PRODUCTS MAY BE USED IN LIEU OF BRICK AND MORTAR WITH THE PERMISSION OF THE SEWER AUTHORITY.



SEWER MANHOLE
NOT TO SCALE

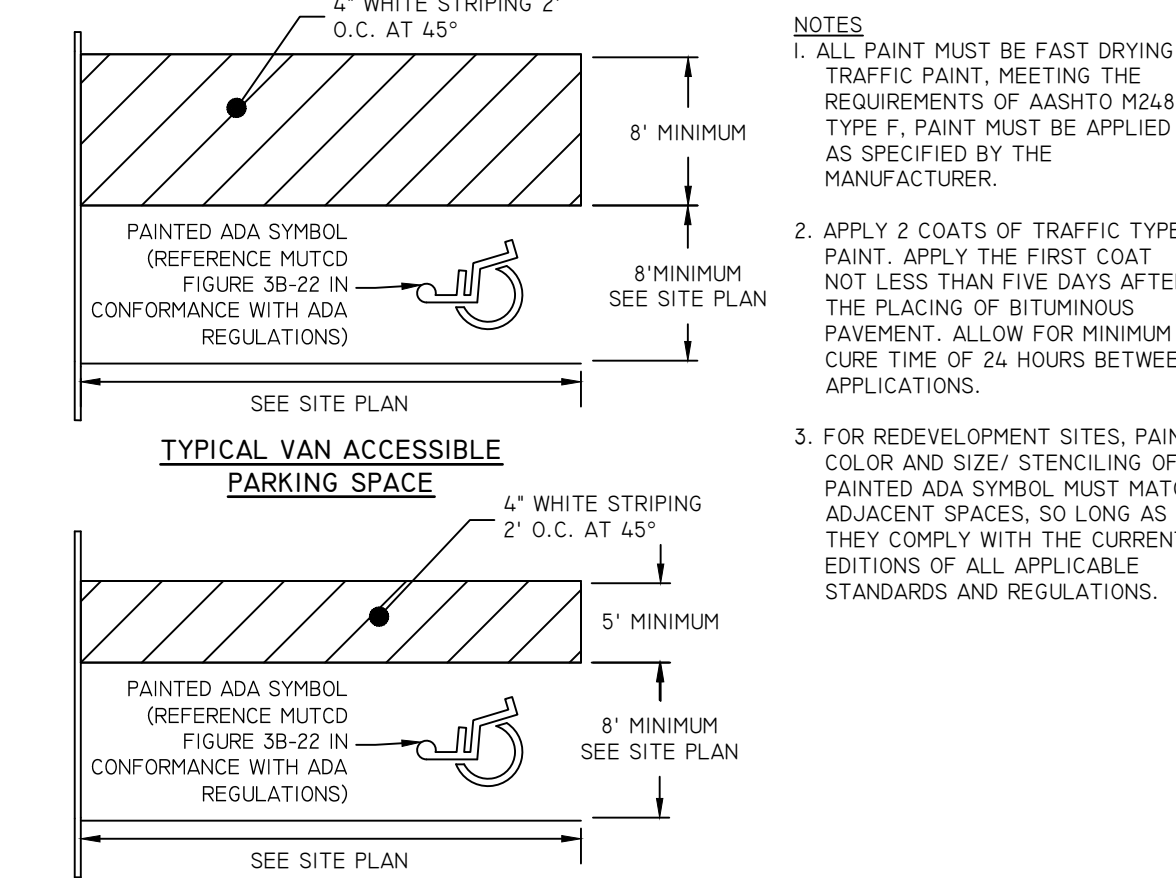


EXTERNAL DROP FOR MANHOLE
NOT TO SCALE



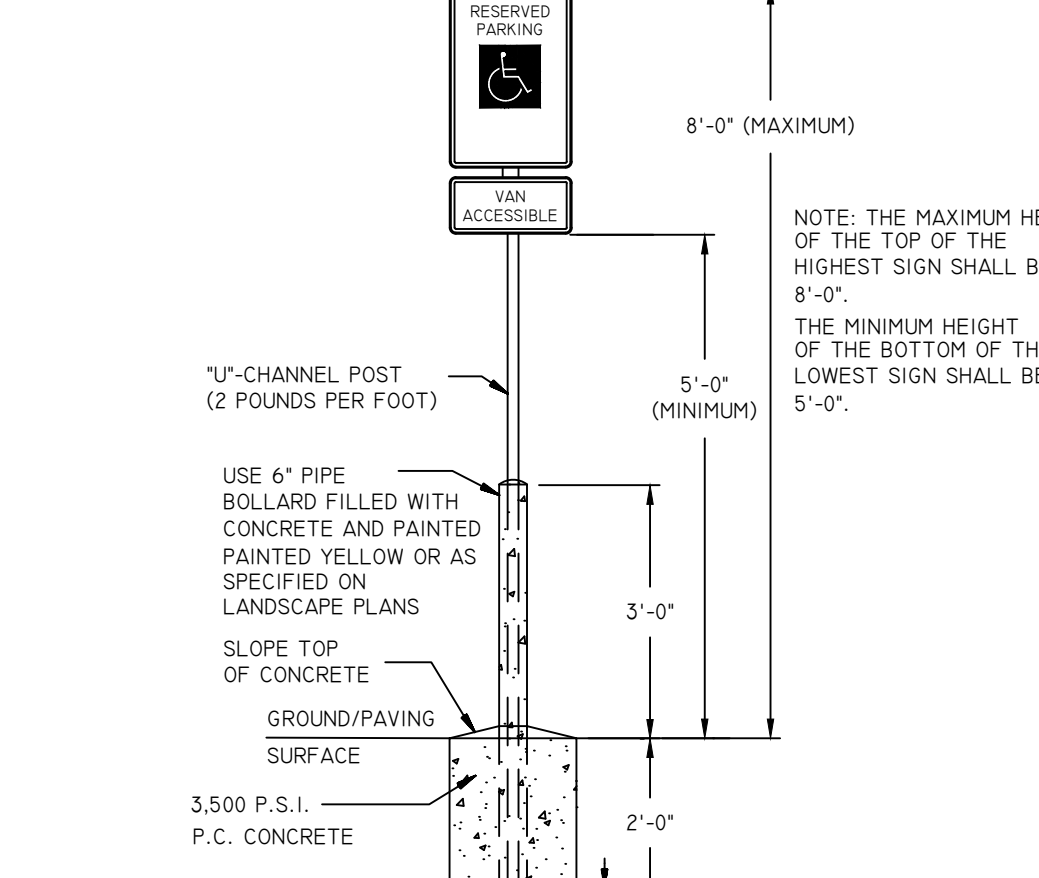
LIMIT OF DISTURBANCE AT VEGETATION
NOT TO SCALE

NOTE: LIMIT OF DISTURBANCE (LOD) MUST BE STAKED OUT PRIOR TO CONSTRUCTION. IF ANY SIGNIFICANT TREE DRIP LINE IS ENCRUCHING PAST THE LOD, CONTRACTOR MUST CONTACT SITE ENGINEER PRIOR TO CONSTRUCTION.



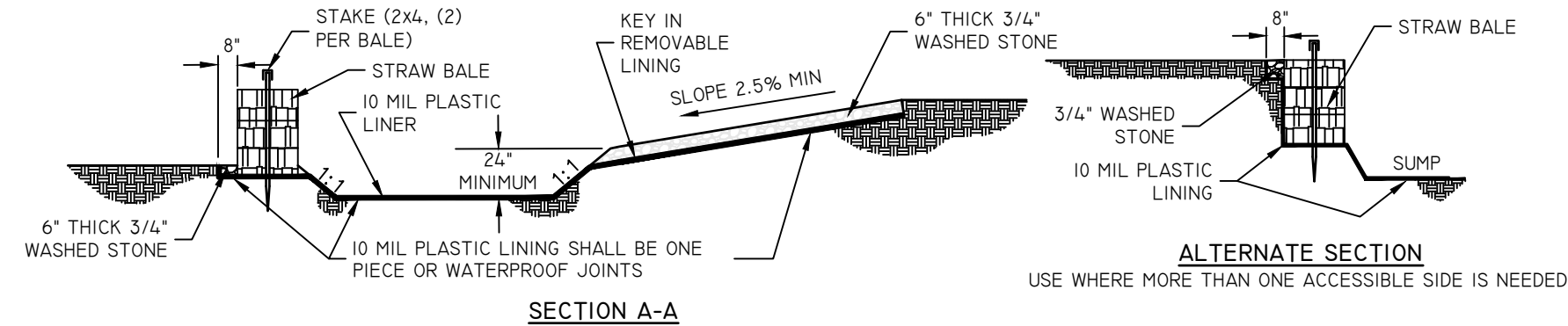
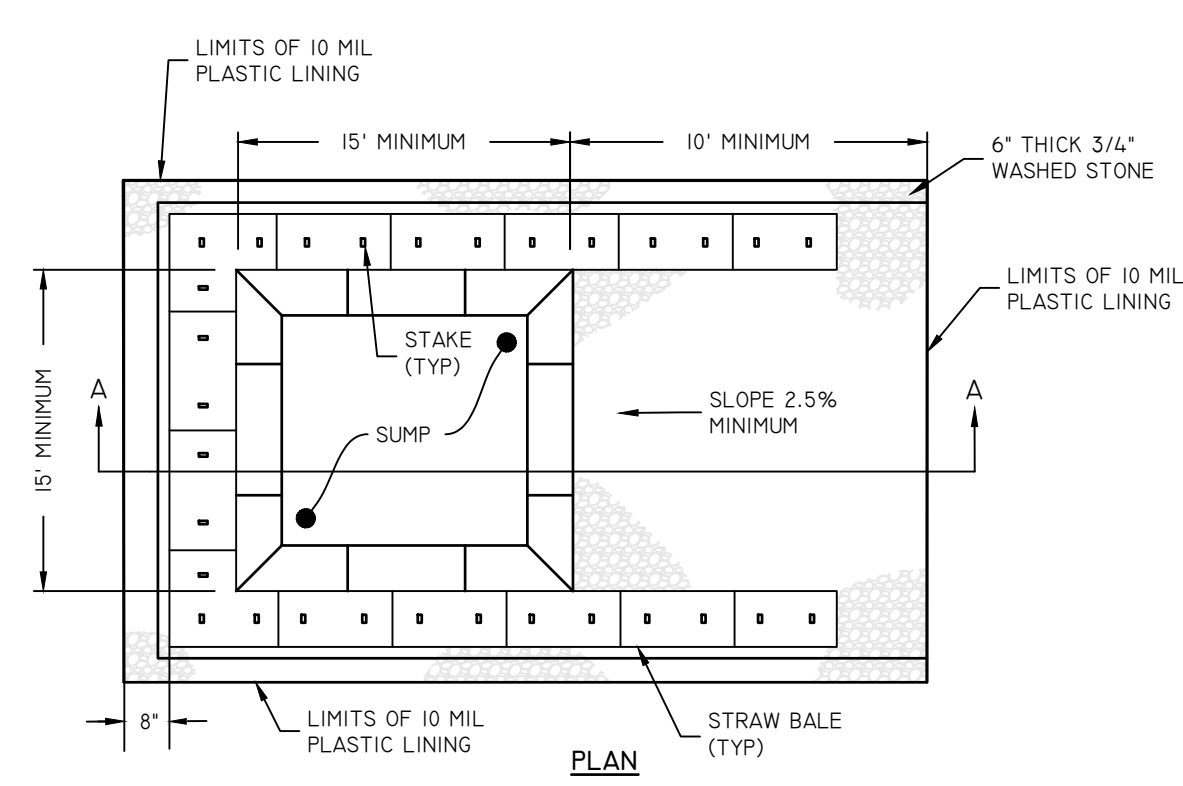
TYPICAL ACCESSIBLE PARKING SPACES
NOT TO SCALE

NOTES:
 1. ALL PAINT MUST BE FAST DRYING TRAFFIC PAINT, MEETING THE REQUIREMENTS OF AASHTO M248 TYPE F. PAINT MUST BE APPLIED AS SPECIFIED BY THE MANUFACTURER.
 2. APPLY 2 COATS OF TRAFFIC TYPE PAINT. APPLY THE FIRST COAT NOT LESS THAN FIVE DAYS AFTER THE PLACING OF BITUMINOUS PAVEMENT. ALLOW FOR MINIMUM CURE TIME OF 24 HOURS BETWEEN APPLICATIONS.
 3. FOR REDEVELOPMENT SITES, PAINT COLOR AND SIZE/ STENCILING OF PAINTED ADA SYMBOL MUST MATCH ADJACENT SPACES, SO LONG AS THEY COMPLY WITH THE CURRENT EDITIONS OF ALL APPLICABLE STANDARDS AND REGULATIONS.



BOLLARD MOUNTED ADA SIGN DETAIL
NOT TO SCALE

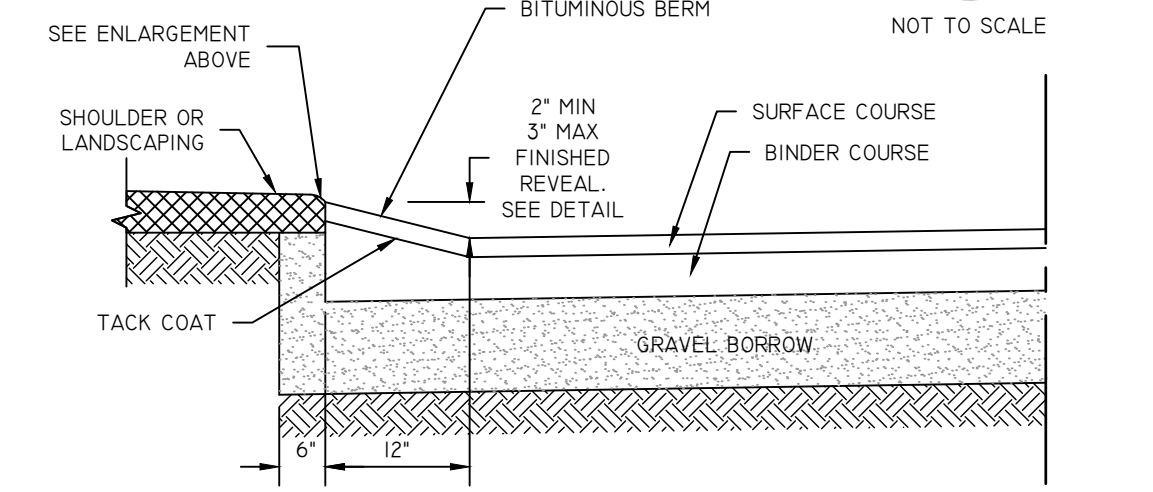
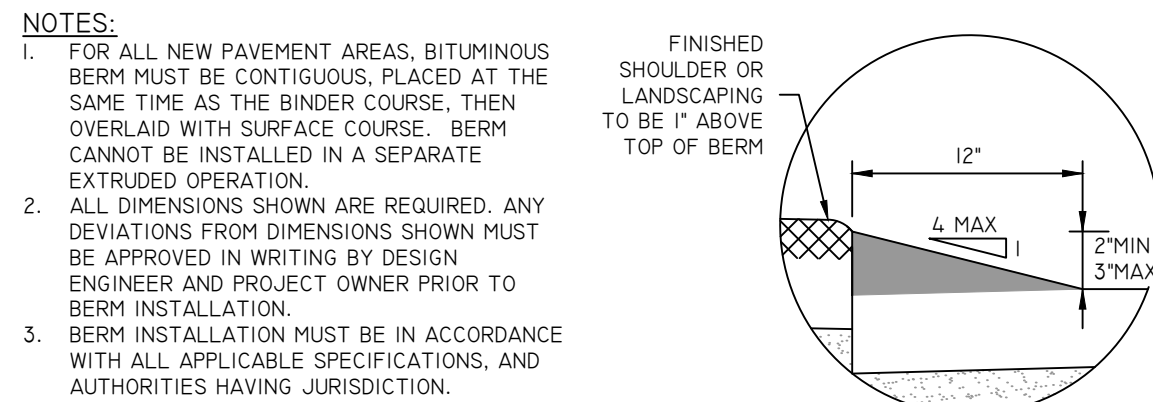
NOTE: THE MAXIMUM HEIGHT OF THE TOP OF THE HIGHEST SIGN SHALL BE 8'-0". THE MINIMUM HEIGHT OF THE BOTTOM OF THE LOWEST SIGN SHALL BE 5'-0".



- NOTES:**
- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
 - WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
 - FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12\"/>

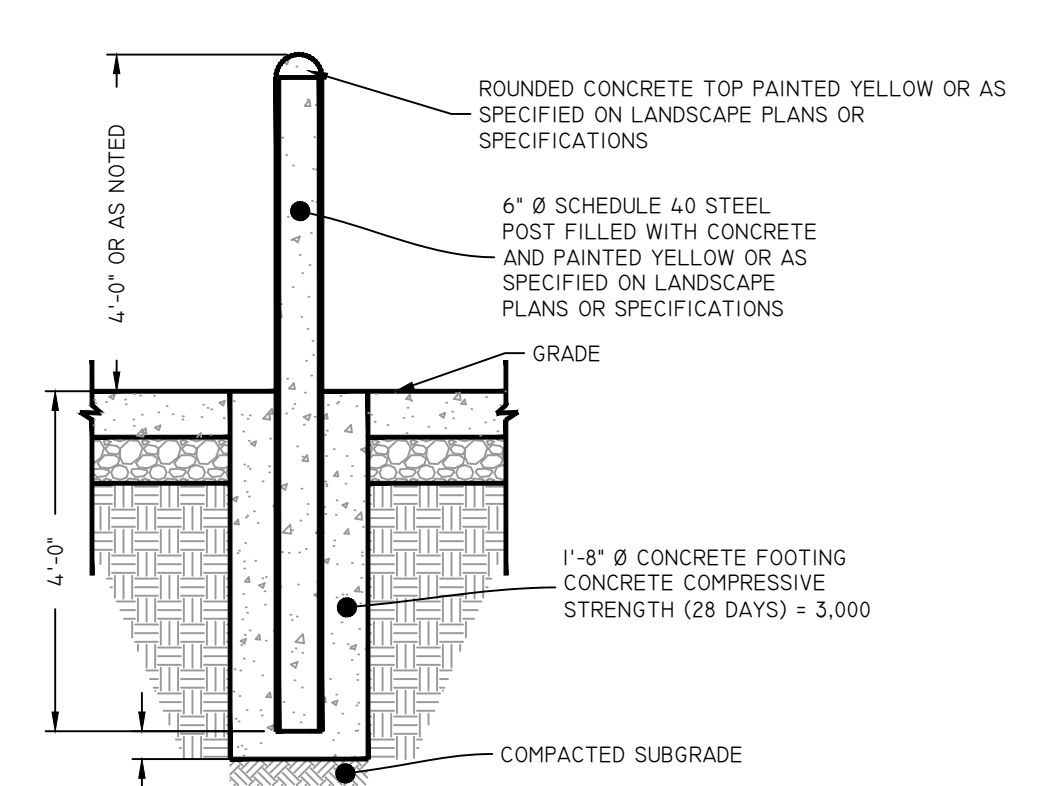
CONCRETE WASHOUT AREA

NOT TO SCALE



BITUMINOUS BERM

NOT TO SCALE



BOLLARD DETAIL

NOT TO SCALE

INSTALLATION NOTES:

- FOR ALL NEW PAVEMENT AREAS, BITUMINOUS BERM MUST BE CONTIGUOUS, PLACED AT THE SAME TIME AS THE BINDER COURSE, THEN OVERLAD WITH SURFACE COURSE. BERM CANNOT BE INSTALLED IN A SEPARATE EXTRUDED OPERATION.
- ALL DIMENSIONS SHOWN ARE REQUIRED. ANY DEVIATIONS FROM DIMENSIONS SHOWN MUST BE APPROVED IN WRITING BY DESIGN ENGINEER AND PROJECT OWNER PRIOR TO BERM INSTALLATION.
- BERM INSTALLATION MUST BE IN ACCORDANCE WITH ALL APPLICABLE SPECIFICATIONS, AND AUTHORITIES HAVING JURISDICTION.

PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		

WATER INSTALLATION NOTES

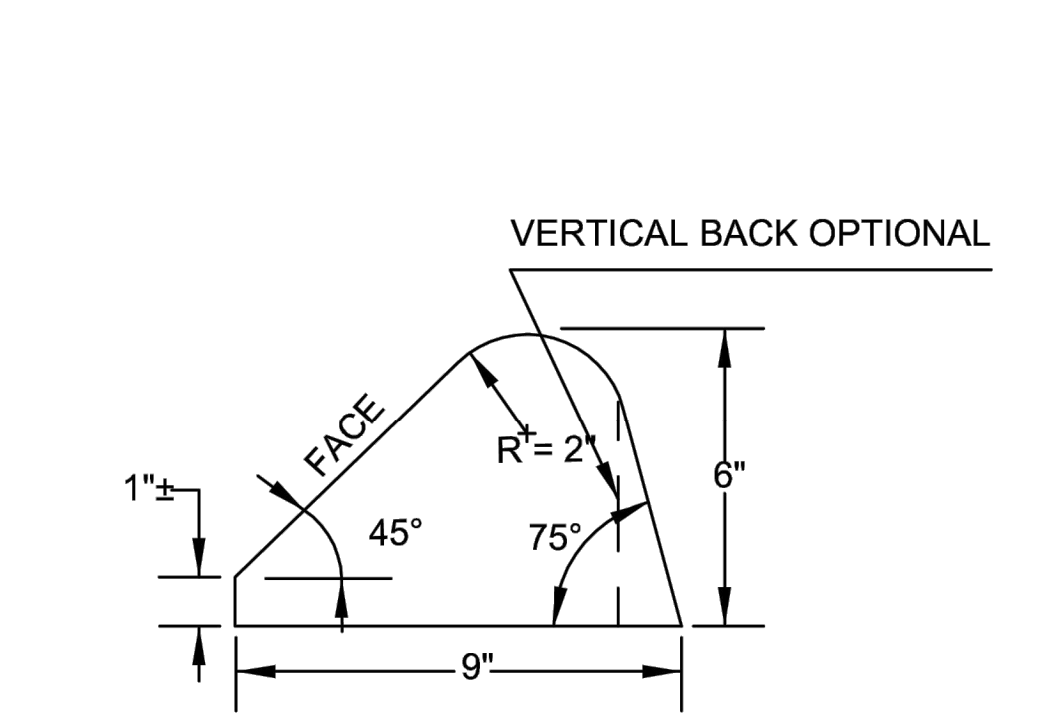
- INSTALLATION OF WATER MAIN AND SERVICE SHALL CONFORM TO THE 'RULES AND REGULATIONS OF THE WARWICK WATER DIVISION.
- DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED WITH PUSH ON JOINTS (TYTON STYLE ONLY). PIPE SHALL MEET ANSI/AWWA C151 A21.5/ANSI/AWWA C150/A21.50. JOINTS SHALL MEET ANSI/AWWA C11/A21.11.
- FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL350 CEMENT MORTAR LINED AND MEET ANSI/AWWA/C151 A21.5. MECHANICAL JOINTS SHALL MEET ANSI/AWWA/C11/A21.11 AMERICAN MANUFACTURER ONLY.
- VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:
 - METRO SEAL 250, AVK OR EQUAL.
 - RUBBER SEATED TIGHT CLOSING CLASS 150 MEETING OR EXCEEDING AWWA C504 UNDERGROUND SERVICE PRATT, M & H VALVE OR EQUAL.
 - MUELLER, FORD, OR EQUAL.
- PRESSURE TEST OF THE WATER SYSTEM SHALL BE 1.5 TIMES THE MAXIMUM WORKING PRESSURE. NOTIFY WARWICK WATER DIVISION 2 DAYS PRIOR TO TEST.
- NOTIFY THE WARWICK WATER DIVISION 5 DAYS PRIOR TO CONSTRUCTION COMMENCEMENT.
- CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO SEC. 3.5 OF REQUIREMENTS FOR SERVICE AND MAIN INSTALLATION.
- NOTIFY ENGINEER PRIOR TO COVERING OF WATER MAIN TO SURVEY AS-BUILT LOCATION AND TO COMPLETE REQUIRED AS-BUILT PLAN. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE CONTRACTOR.
- WATER SERVICE INSTALLATIONS GREATER THAN 200' MUST HAVE A METER PIT.
- TEMPORARY FLUSHING CONNECTIONS AND BLOW-OFFS SHALL BE SIZED TO PROVIDE 2.5- FEET PER SECOND FLOW PER AWWA STANDARD 651.
- CONTRACTOR RESPONSIBLE TO COORDINATE WITH PLUMBING OFFICIAL FOR DISINFECTION OF SERVICE PIPE EXTENDING FROM CURB BOX TO HOME PER STATE PLUMBING CODE AND WARWICK WATER DIVISION REGULATIONS. WATER SERVICE CANNOT BE ACTIVATED WITHOUT COPY OF LAB RESULTS AND PLUMBING INSPECTOR'S VERIFICATION.
- ALL PIPES, FITTINGS, AND APPURTENANCES SHALL CONFORM TO WARWICK WATER DIVISION REGULATIONS.
- ALL PROPOSED WATER VALVES SHALL BE 'RIGHT ON' VALVES AS REQUIRED BY THE WARWICK WATER DIVISION.

CHLORINATION & DISINFECTION POLICY

- ALL NEW OR REPAIRED POTABLE WATER SYSTEM DISTRIBUTION MAINS, SERVICE PIPE AND THE NECESSARY CONNECTING PIPES, FITTINGS, CONTROL VALVES, AND ALL APPURTENANCES IN OR ADJACENT TO ANY RESIDENTIAL BUILDING OR PREMISES SHALL BE FURGED OF DELETERIOUS MATTER AND SHALL BE DISINFECTED PRIOR TO UTILIZATION OR PERMANENT CONNECTION TO THE WARWICK WATER DIVISION SYSTEM. THAT PORTION OF THE CUSTOMER'S SERVICE PIPE AFTER THE CURB STOP SHALL BE DISINFECTED UNDER THE SUPERVISION OF THE LOCAL PLUMBING OFFICIAL. THE OWNER MUST PROVIDE WRITTEN LABORATORY CERTIFIED DOCUMENTATION OF THE DISINFECTION RESULTS TO THE WARWICK WATER DIVISION BEFORE MAKING ANY PERMANENT CONNECTION TO THE WARWICK WATER DIVISION SYSTEM OR BEFORE REACTIVATION OF ANY EXISTING WATER SERVICE. PLEASE REFER TO APPENDICES FOR PROGRAM REQUIREMENTS OF THE CUSTOMER WATER SERVICE DISINFECTION POLICY.
- THE PROPOSER OR THE CONTRACTOR FOR THE PROPOSER, IN ACCORDANCE WITH CHAPTER 5, DISTRIBUTION SYSTEM CHLORINATION, AMERICAN WATER WORKS ASSOCIATION BACTERIA HETEROLOGIC TABLET CHLORINATION, TABLET CHLORINATION SHALL NOT BE ALLOWED.
- THE OWNER OR CUSTOMER IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE DISINFECTION PROCESS OR PROCEDURE.
- THE DISINFECTION MUST RESULT IN ELIMINATION FROM THE VARIOUS PARTS OF THE NEW PIPE LINE ANY EVIDENCE OF THE EXISTENCE, THEREIN, OF BACTERIA INDICATIVE OF ANY CONTAMINATION, AS DETERMINED BY TEST OF THE BACTERIAL CONTENT OF SAMPLES OF WATER TAKEN FROM THE NEW WATER MAIN. THE DISINFECTION MAY BE ACCOMPLISHED BY INTRODUCING INTO ALL THE VARIOUS PARTS OF THE NEW WATER MAINS, A LIQUID SOLUTION CONTAINING 1% AVAILABLE CHLORINE IN SUCH VOLUME THAT THE RATE OF DOSAGE TO THE WATER MAINS SHALL BE AT LEAST 50 PARTS PER MILLION OF AVAILABLE CHLORINE. TABLET CHLORINATION IS NOT ALLOWED. THE CONTACT PERIOD FOR THIS DISINFECTION SHALL BE AT LEAST 24 HOURS, AND A LONGER PERIOD WILL BE REQUIRED IF TESTS OF RESIDUAL CHLORINE SHOW IT TO BE NECESSARY FOR PROPER DISINFECTION.
- THE NEW WATER SYSTEM SHALL BE FLUSHED AFTER DISINFECTION AND REFILLED WITH FRESH WATER. ALL CHLORINATED WATER USED IN THE DISINFECTION PROCESS SHALL BE DE-CHLORINATED PRIOR TO DISCHARGE TO THE SURROUNDING AREA.
- WATER MUST SIT IN THE MAIN FOR AT LEAST 24 HOURS PRIOR TO TAKING A TEST SAMPLE. WATER UTILIZED FOR THIS PURPOSE, FLUSHING OR PRESSURE TESTING, WHICH IS OBTAINED DIRECTLY FROM THE WARWICK WATER DIVISION SYSTEM, MUST FLOW THROUGH AN ISOLATED CONNECTION TO THE WARWICK WATER DIVISION SYSTEM VIA AN APPROVED METER. TESTABLE BACKFLOW PREVENTION DEVICE AND JUMPER LINE. THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR SECURING THE WATER FOR TEST PURPOSES AND SHALL BEAR THE EXPENSE OF THESE ARRANGEMENTS. THE INSTALLER SHALL FURNISH AND INSTALL SUITABLE TEMPORARY TESTING PLUGS, CAPS, PUMPS, PIPE CONNECTIONS AND OTHER APPURTENANCES, AS NECESSARY, TO OBTAIN SAMPLES AT POINTS NO FURTHER THAN 1000 FEET APART.
- AFTER FINAL FLUSHING AND BEFORE THE NEW WATER MAIN IS CONNECTED TO THE DISTRIBUTION SYSTEM, TWO CONSECUTIVE SETS OF ACCEPTABLE SAMPLES FOR COLIFORM BACTERIA HETEROLOGIC PLATE COUNT (HPC), TAKEN 24 HOURS APART, SHALL BE COLLECTED FROM THE TERMINATION OF THE NEW MAIN. AT LEAST ONE SAMPLE SHALL BE COLLECTED EVERY 1000 FT. OF NEW MAIN, PLUS ONE SET OF TWO SAMPLES FROM THE END OF THE LINE. AT LEAST ONE SET OF TWO SAMPLES SHALL BE TAKEN FROM EACH BRANCH. SAMPLES SHALL BE COLLECTED BY WARWICK WATER DIVISION EMPLOYEES, GIVEN A TWO-DAY NOTICE AND TESTED BY A LABORATORY APPROVED BY WARWICK WATER DIVISION. A FEE SHALL BE IMPOSED FOR THE SAMPLING AND TESTING FOR EACH SET. THE FEE SHALL BE AT THE CURRENT RATE SCHEDULE IN EFFECT AT THE TIME OF TESTING. PAYMENT SHALL BE PRIOR TO SAMPLE COLLECTION BY THE WARWICK WATER DIVISION. THE WATER SAMPLE TEST RESULTS MUST INDICATE THAT THE WATER QUALITY IN THE NEW MAIN IS CONSISTENT IN QUALITY WITH THE WARWICK WATER DIVISION SYSTEM WATER.

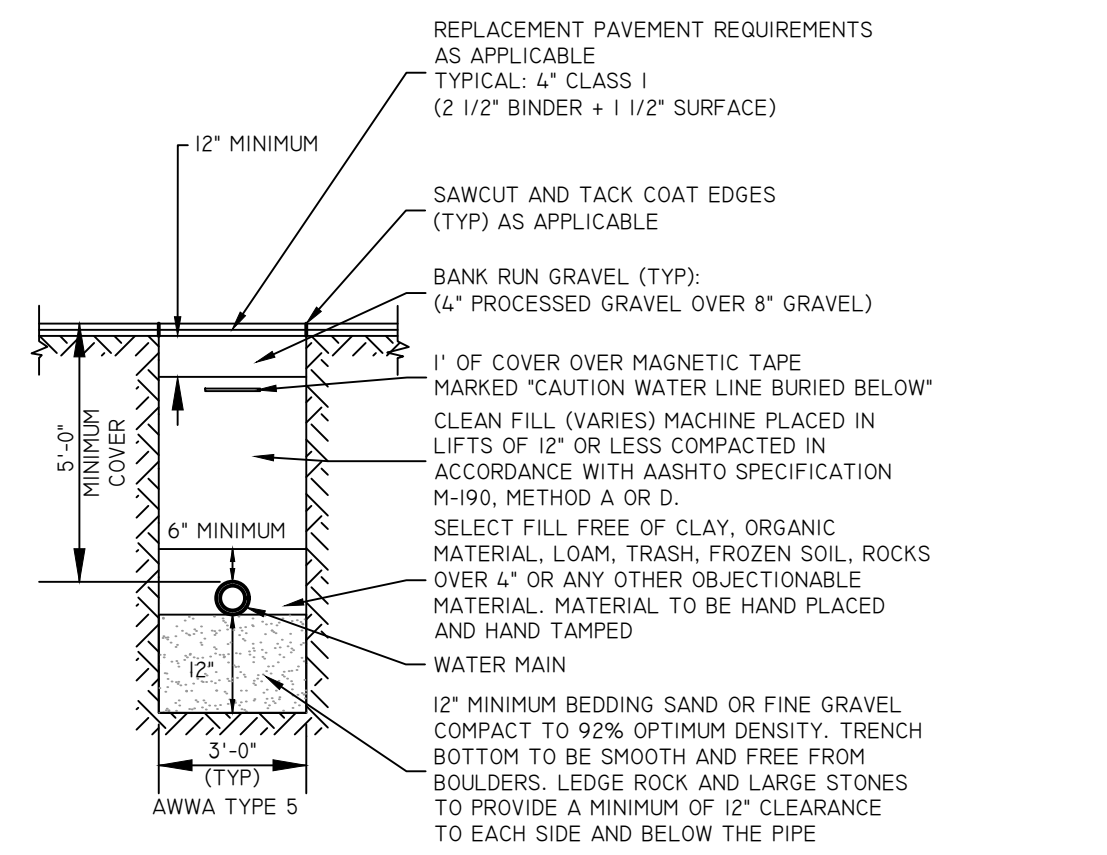
LEAKAGE & PRESSURE TESTING FOR WATER MAINS

- HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED WATERMAIN PIPELINE IN ACCORDANCE WITH AWWA C600, THE WARWICK WATER DIVISION, AND AS SPECIFIED BELOW.
- THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR TESTING. CONTRACTOR TO NOTIFY WARWICK WATER DIVISION 48 HOURS IN ADVANCE OF TEST DATE.
- TESTING PROCEDURES - ALL AIR SHALL BE EXPELLED AT THE HIGH POINTS AND THE PIPELINE SLOWLY FILLED WITH POTABLE WATER, AND MUST SIT FOR 24 HOURS BEFORE CONDUCTING TEST.
- THE INTERNAL PRESSURE SHALL BE BUILT UP TO 1.5 TIMES THE WORKING PRESSURE AND MAINTAINED FOR A PERIOD OF NOT LESS THAN ONE (1) HOUR.
- ALL LEAKS IN THE PIPELINE SHALL BE STOPPED; CRACKED OR DEFECTIVE PIPE, FITTINGS OR ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR.
- THE PIPELINE SHALL BE RETESTED AS MAY BE REQUIRED AND NECESSARY UNTIL THE LEAKAGE FALLS WITHIN THE ALLOWABLE DETERMINED FOR THE PIPE NETWORK, AT WHICH TIME THE PIPELINE MAY BE CONSIDERED READY FOR A WATERMANS - DISINFECTION STEP.
- COMPLIANCE WITH STATE PLUMBING CODE IN REFERENCE TO RESIDENTIAL BACK FLOW PREVENTION MUST BE VERIFIED BY PLUMBING INSPECTOR, PRIOR TO METER INSTALLATION.



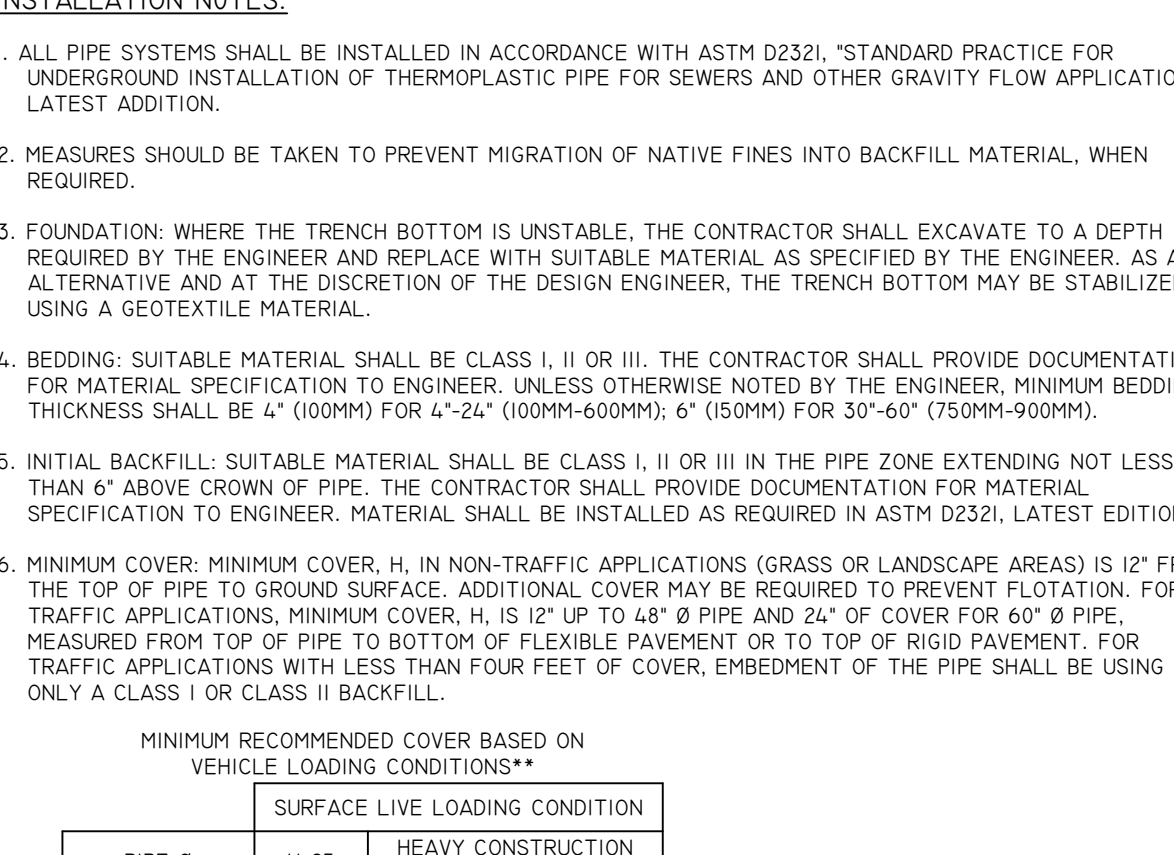
BITUMINOUS BERM OPTION

NOT TO SCALE



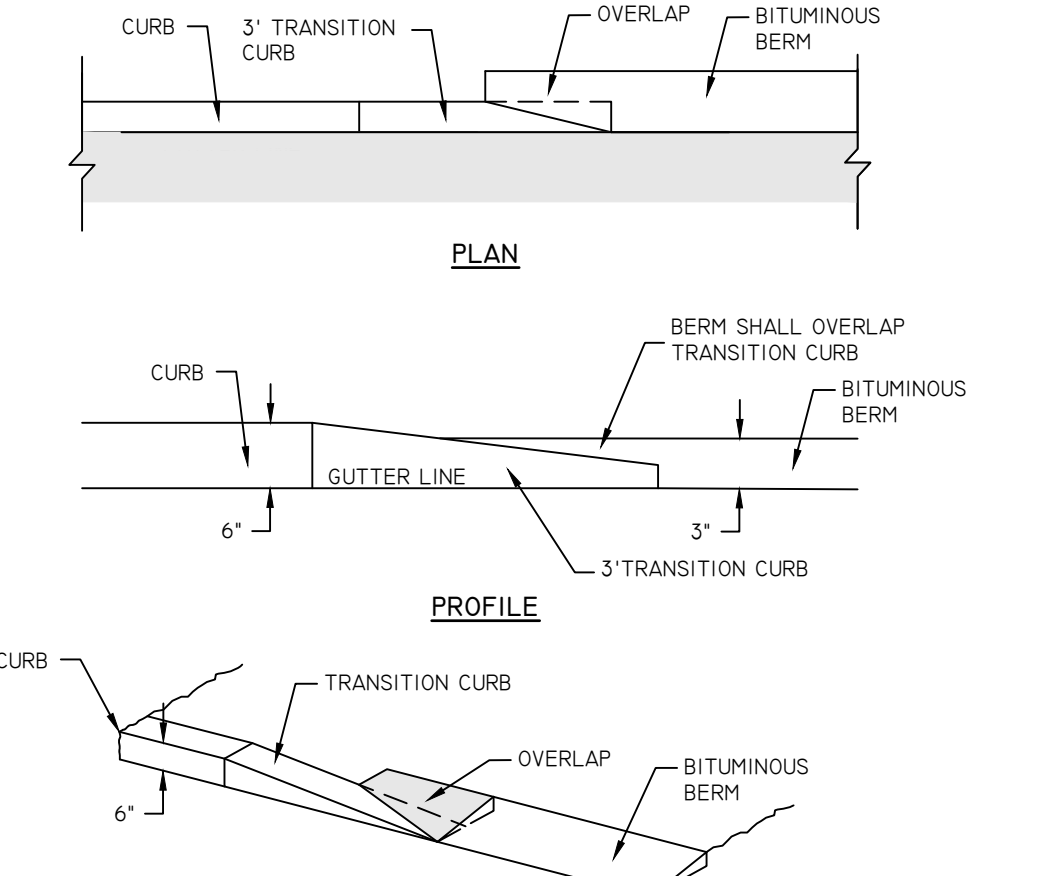
WATER TRENCH DETAIL

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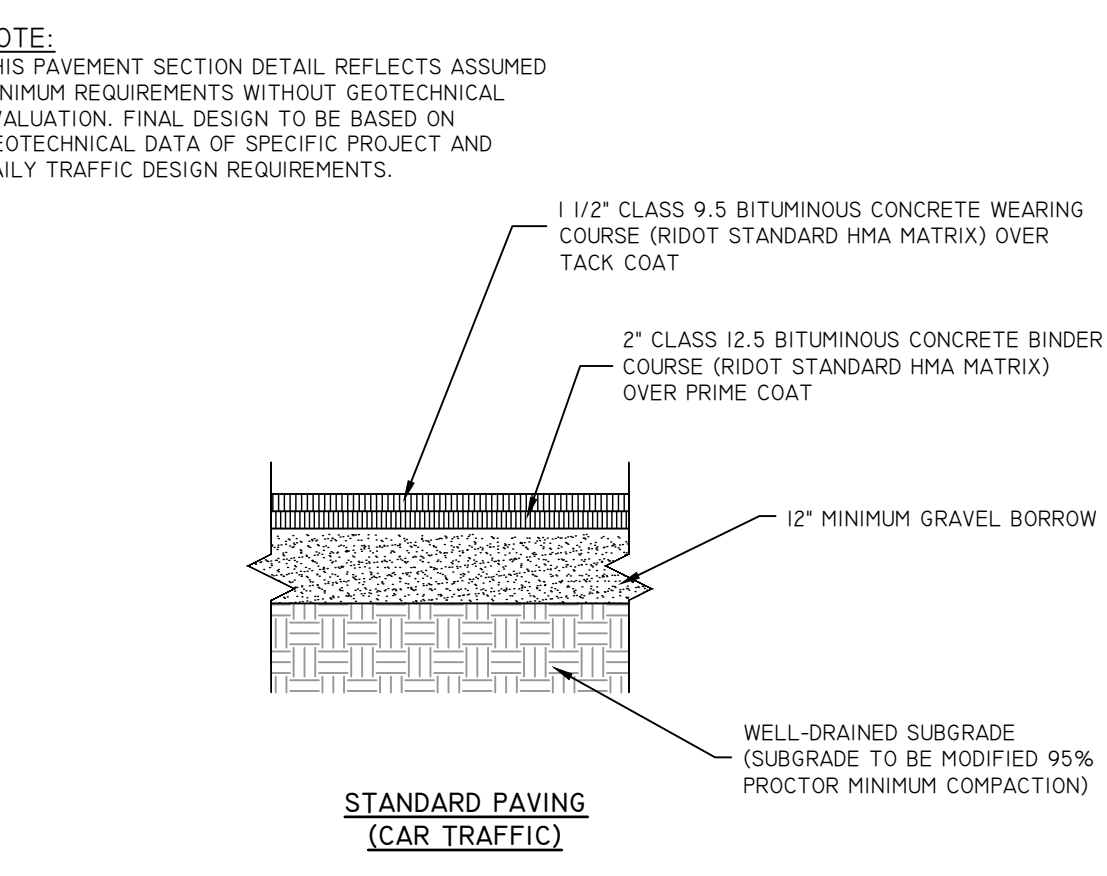
HDPE TRENCH DETAIL

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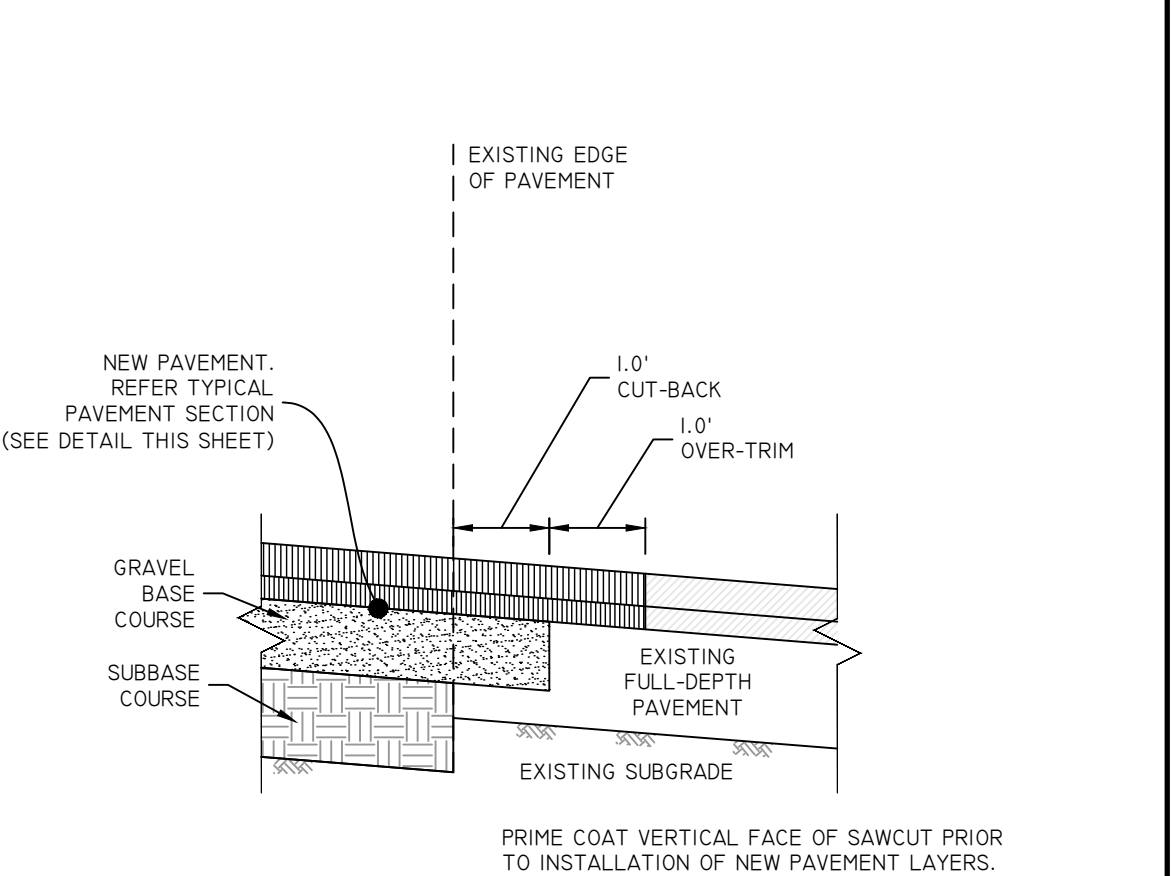
CURB TO BERM TRANSITION

NOT TO SCALE



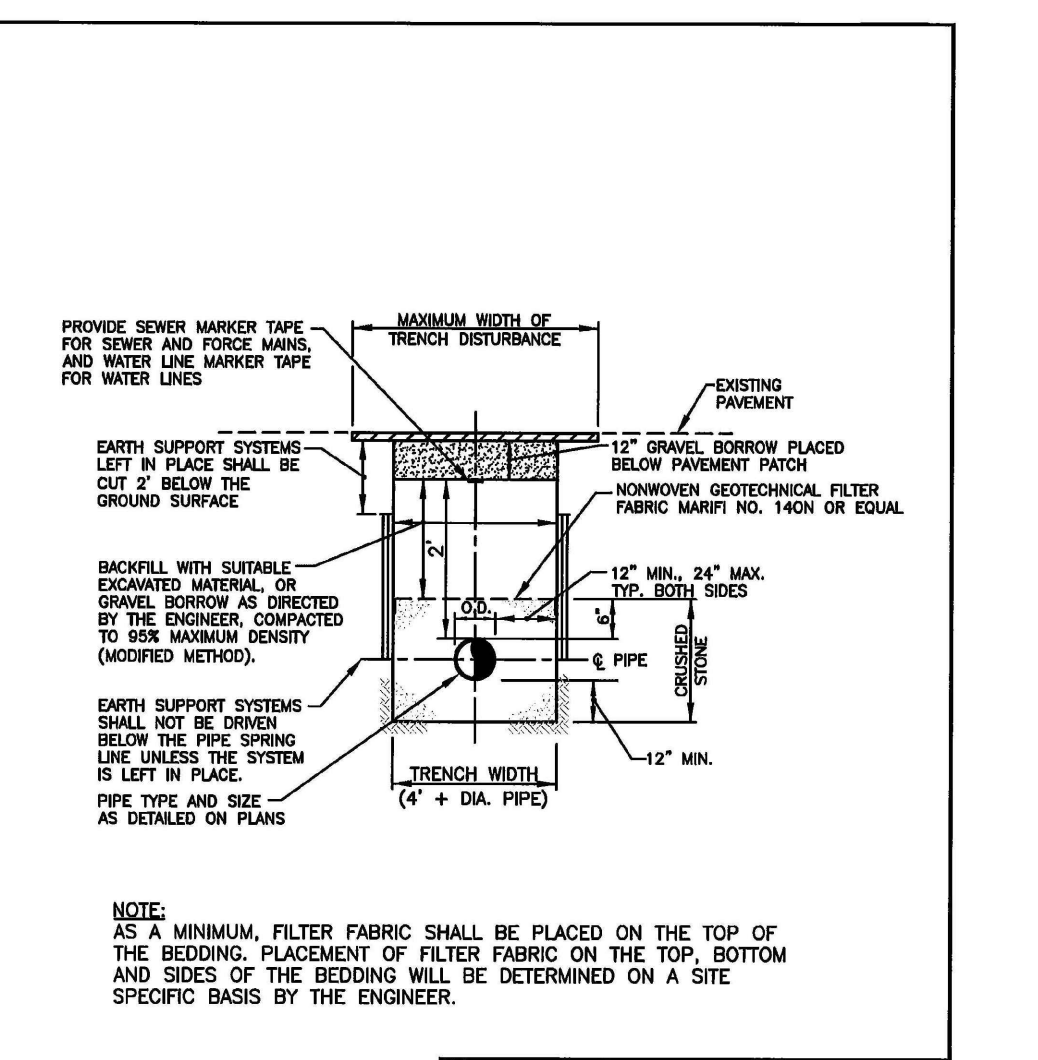
STANDARD PAVING (CAR TRAFFIC)

NOT TO SCALE



PAVEMENT TIE-IN DETAIL

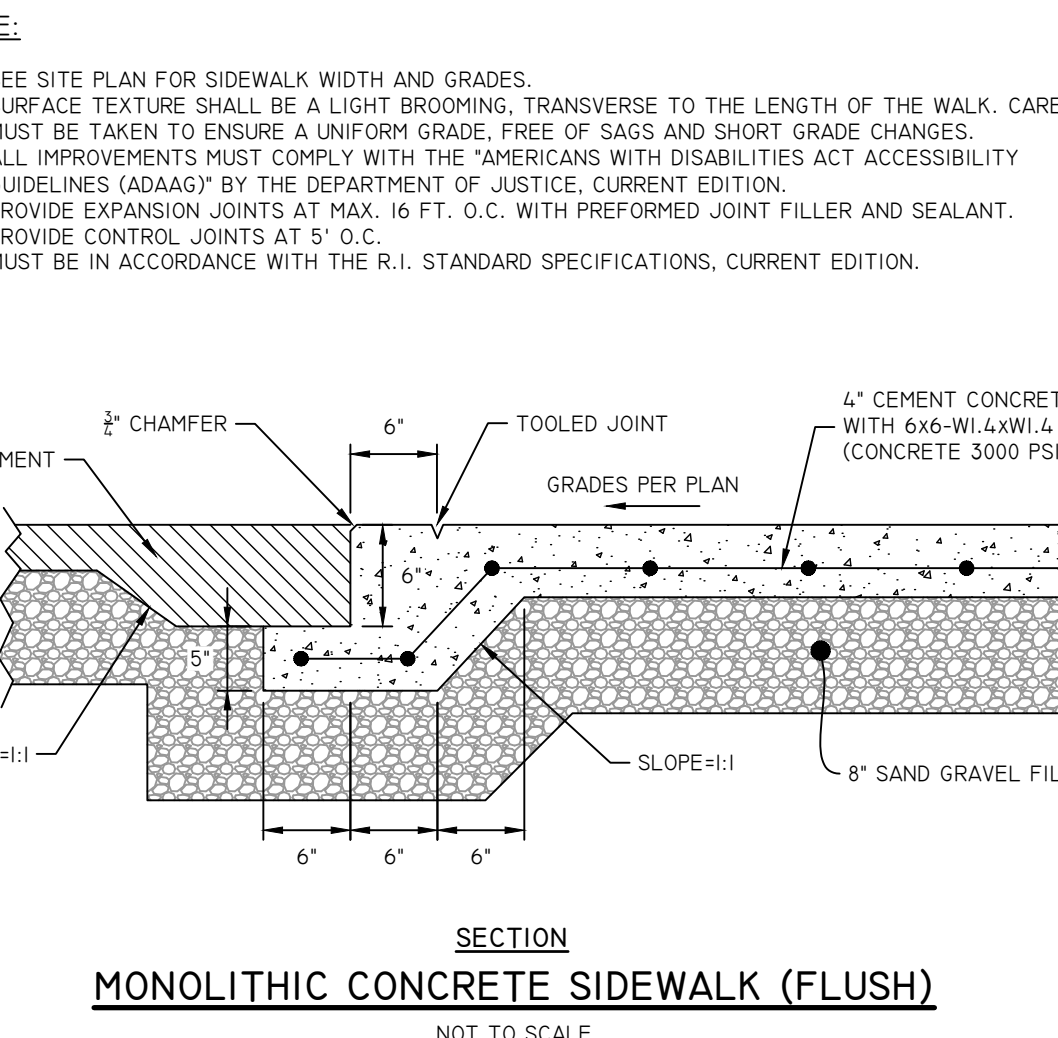
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Detail No. WSA-15
Typical Trench
Contract DD

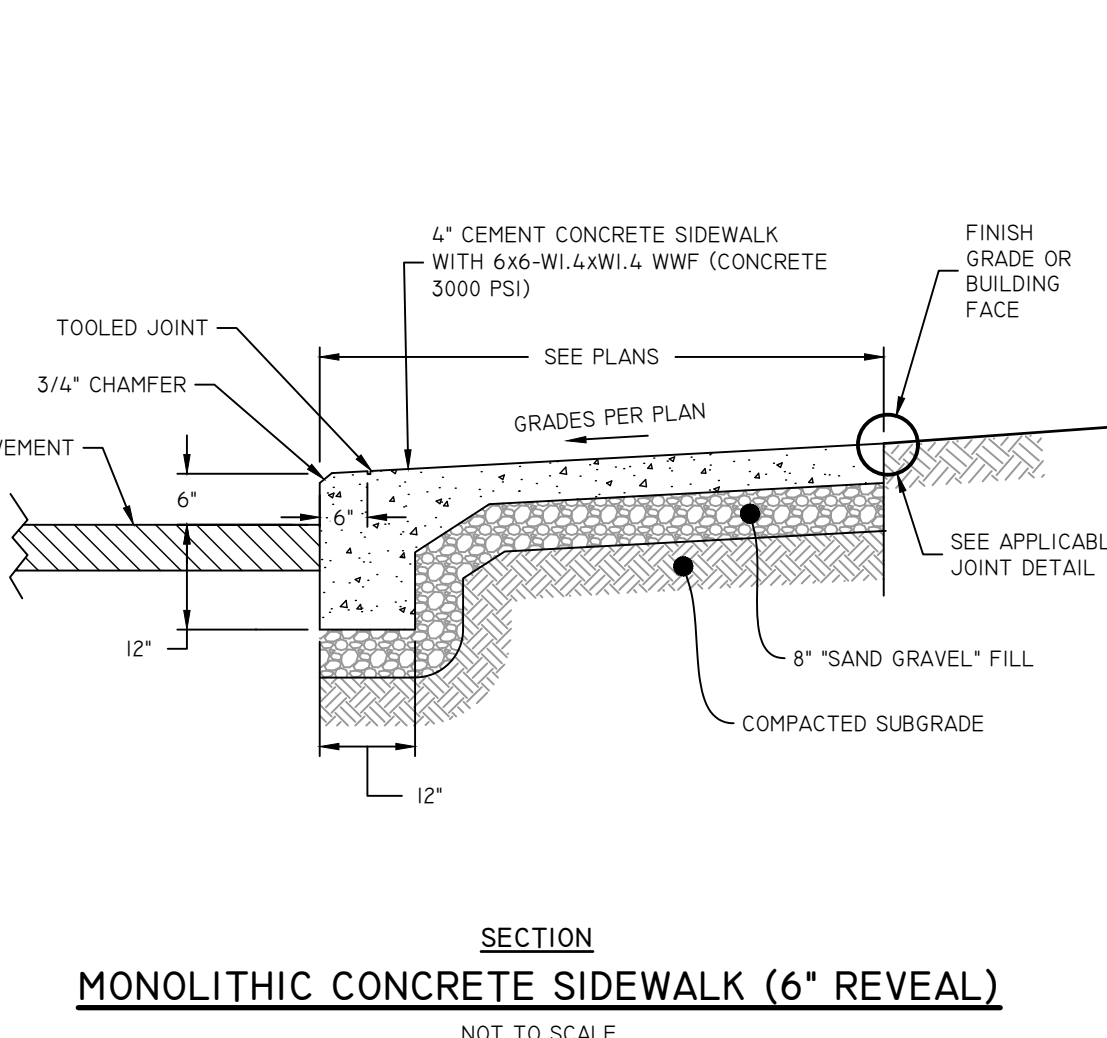
Date: May 2017
Scale: Not to Scale

WARWICK SEWER AUTHORITY
125 Arthur Devine Road
Warwick, Rhode Island 02889



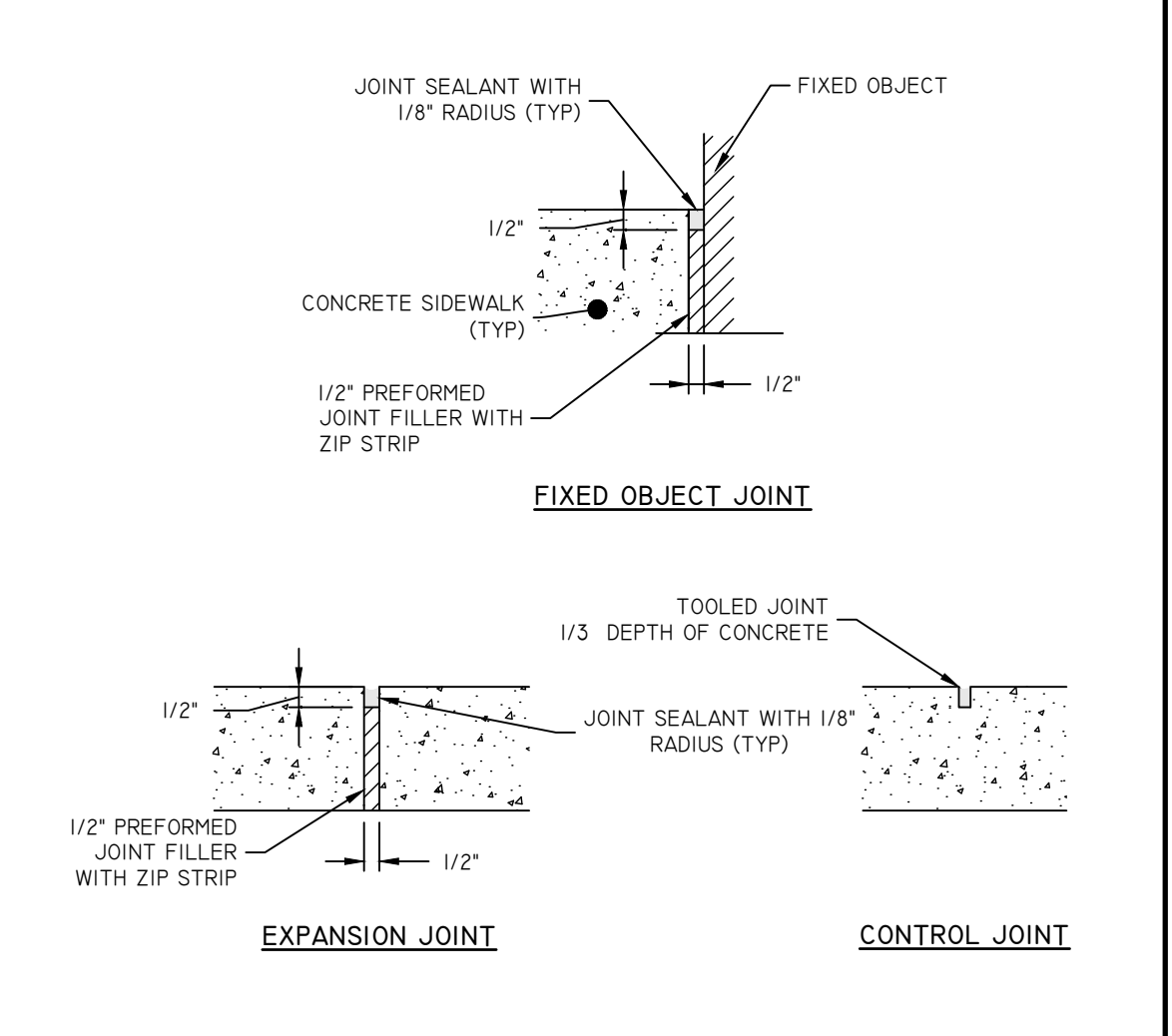
MONOLITHIC CONCRETE SIDEWALK (FLUSH)

NOT TO SCALE



MONOLITHIC CONCRETE SIDEWALK (6\"/>

NOT TO SCALE



EXPANSION JOINT

CONTROL JOINT

DiPrete Engineering
Two Stafford Court Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-464-6000 www.diprete-eng.com

Boston • Providence • Newport

DANA R. NISSET
No. 11876
REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS SHARPLY INDICATED FOR CONSTRUCTION AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OR ARCHITECT.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ONLY AS PREPARED BY ITSELF. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NECESSARY CONFORMANCE TO THE SPECIFICATIONS OF THIS PLAN AND FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL APPLICABLE AGENCIES AND UTILITIES.

DESIGN BY: J.M.S.

DETAILS - 2

ANN & HOPE REDEVELOPMENT - PHASE II

PREPARED FOR:
CROSSROADS CAPITAL FUND VI, LLC
95 SOCKANOSSETT CROSSROADS, SUITE 203
CRANSTON, RI 02920

DESIGN BY:
WARWICK SEWER AUTHORITY
125 Arthur Devine Road
Warwick, Rhode Island 02889

SHEET 10 OF 10