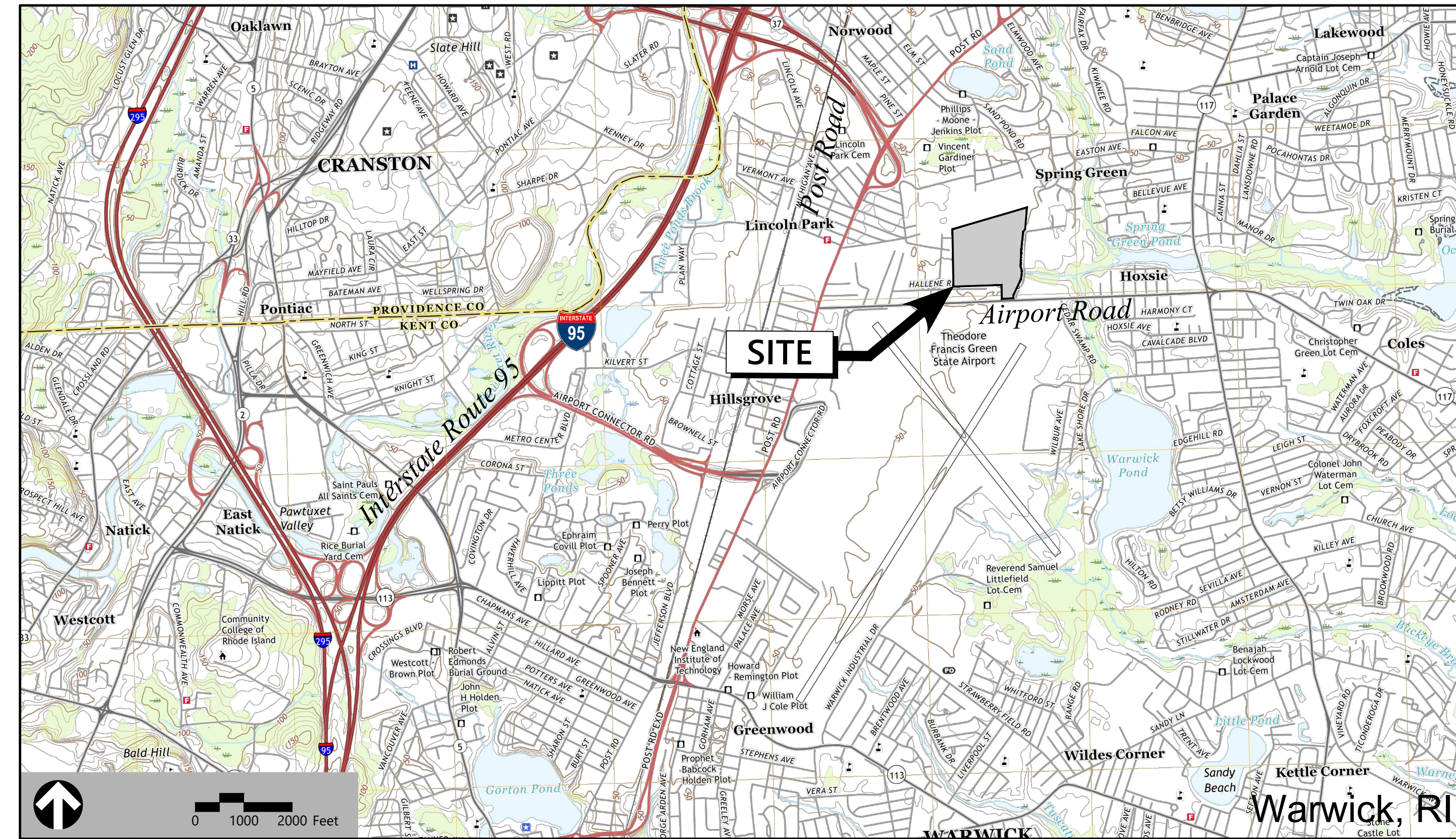


Site Plans

Issued for Construction
 Date Issued January 28, 2021
 Latest Issue February 22, 2022

Proposed Warehouse/ Distribution Development

Hallene Road
Warwick, Rhode Island



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Owner:

NP Airport Road Warwick, LLC
4825 NW 41st Street
Suite 500
Riverside, MO 64150

Applicants:

NorthPoint Development, LLC (Site)
4805 Montgomery Road
Suite 310
Cincinnati, OH 45212

Assessor's Map: Plat 311
Lots: 138 and 191

Book 9857, Page 23

Sheet Index

No.	Drawing Title	Latest Issue
C1.01	Legend and General Notes	February 22, 2022
C2.00	Overall Layout and Materials Plan	February 22, 2022
C2.01 - C2.04	Layout and Materials Plans 1 - 4	February 22, 2022
C3.00	Overall Grading and Drainage Plan	February 22, 2022
C3.01 - C3.04	Grading and Drainage Plans 1 - 4	February 22, 2022
C4.00	Overall Utility Plan	February 22, 2022
C4.01 - C4.04	Utility Plans 1 - 4	February 22, 2022
C5.01 - C5.05	Site Details 1 - 5	February 22, 2022
SESC.1	Soil Erosion and Sediment Control - Legend and General Notes	February 22, 2022
SESC.2	Soil Erosion and Sediment Control - Overall Plan	February 22, 2022
SESC.3 - SESC.6	Soil Erosion and Sediment Control - Plans 1-4	February 22, 2022
SESC.7	Soil Erosion and Sediment Control - Details	February 22, 2022
L1.00	Overall Planting Plan	February 22, 2022
L1.01 - L1.04	Planting Plans 1 - 4	February 22, 2022
L2.00	Planting Details	February 22, 2022
C6.01	Commerce Drive Layout and Materials Plan	February 22, 2022
C6.02	Commerce Drive Grading, Drainage, Erosion Control and Utility Plan	February 22, 2022
C6.03	Commerce Drive Rehabilitation Plan	February 22, 2022
C6.04	Commerce Drive Details Site Photometrics Plan (by others)	February 22, 2022

Reference Drawings

No.	Drawing Title	Latest Issue
1 - 6	ALTA/NSPS Land Title Survey	May 13, 2021
1	Administrative Subdivision Plan	December 13, 2021





1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

Legend

Legend table with columns for Prop. and symbols. Includes categories like PROPERTY LINE, CONSTRUCTION LAYOUT, WETLAND, GRAVEL ROAD, BUILDING, PATH, and MINOR/MAJOR CONTOUR.

Abbreviations

Abbreviations table with columns for General and Utility. Includes terms like ABAN (ABANDON), ACR (ACCESSIBLE CURB RAMP), CB (CATCH BASIN), and HDPE (HIGH DENSITY POLYETHYLENE PIPE).

Notes

- CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
ACCESSIBLE ROUTES, PARKING SPACES, RAMPS, SIDEWALKS AND WALKWAYS SHALL BE CONSTRUCTED IN CONFORMANCE WITH THE FEDERAL AMERICANS WITH DISABILITIES ACT AND WITH STATE AND LOCAL LAWS AND REGULATIONS (WHICHEVER ARE MORE STRINGENT).

Utilities

- THE LOCATIONS, SIZES, AND TYPES OF EXISTING UTILITIES ARE SHOWN AS AN APPROXIMATE REPRESENTATION ONLY. THE OWNER OR ITS REPRESENTATIVE(S) HAVE NOT INDEPENDENTLY VERIFIED THIS INFORMATION AS SHOWN ON THE PLANS.
WHERE AN EXISTING UTILITY IS FOUND TO CONFLICT WITH THE PROPOSED WORK, OR EXISTING CONDITIONS DIFFER FROM THOSE SHOWN SUCH THAT THE WORK CANNOT BE COMPLETED AS INTENDED, THE LOCATION, ELEVATION, AND SIZE OF THE UTILITY SHALL BE ACCURATELY DETERMINED WITHOUT DELAY BY THE CONTRACTOR...

- SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, COMPACTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
PROPOSED BOUNDS AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION SHALL BE SET OR RESET BY A PROFESSIONAL LAND SURVEYOR.

Site Lighting

- PROPOSED SITE LIGHTING WILL BE NIGHT SKY COMPLIANT.
PROPOSED SITE LIGHTING WILL PROVIDE SHIELDS ON ALL PERIMETER LIGHTING TO ELIMINATE SPILLOVER INTO ADJACENT PROPERTIES AND WETLAND RESOURCES.

Erosion Control

- SEE SESC PLANS.

Demolition

- CONTRACTOR SHALL REMOVE AND DISPOSE OF EXISTING MANMADE SURFACE FEATURES WITHIN THE LIMIT OF WORK INCLUDING BUILDINGS, STRUCTURES, PAVEMENTS, SLABS, CURBING, FENCES, UTILITY POLES, SIGNS, ETC. UNLESS INDICATED OTHERWISE ON THE DRAWINGS.
EXISTING UTILITIES SHALL BE TERMINATED, UNLESS OTHERWISE NOTED, IN CONFORMANCE WITH LOCAL STATE AND INDIVIDUAL UTILITY COMPANY STANDARD SPECIFICATIONS AND DETAILS.
CONTRACTOR SHALL DISPOSE OF DEMOLITION DEBRIS IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, ORDINANCES AND STATUTES.

Existing Conditions Information

- BASE PLAN: THE PROPERTY LINES SHOWN WERE DETERMINED BY AN ACTUAL FIELD SURVEY CONDUCTED BY GARAFALO & ASSOCIATES, INC., AND FROM PLANS OF RECORD.
DELINEATION OF THE WETLANDS AND PLACEMENT OF THE FLAGS WAS PERFORMED BY: VANASSE, HANGEN, BRUSTLIN, INC.
FLAGS MARKING THE WETLANDS WERE LOCATED BY: GARAFALO & ASSOCIATES, INC.

Document Use

- THESE PLANS AND CORRESPONDING CADD DOCUMENTS ARE INSTRUMENTS OF PROFESSIONAL SERVICE, AND SHALL NOT BE USED, IN WHOLE OR IN PART, FOR ANY PURPOSE OTHER THAN FOR WHICH IT WAS CREATED WITHOUT THE EXPRESSED, WRITTEN CONSENT OF VHB.
CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.

Existing Roadway Access

- ACCESS AND EGRESS ON COMMERCE DRIVE MUST BE MAINTAINED THROUGHOUT THE COMPLETION OF THE CONSTRUCTION.

Construction of Stormwater Management System

- DURING CONSTRUCTION OF THE STORMWATER MANAGEMENT SYSTEM, CONTRACTOR SHALL NOTIFY THE ENGINEER WHO MUST INSPECT THE INSTALLATION OF THE STORMWATER MANAGEMENT SYSTEM AND SUBMIT A CERTIFICATION TO THE WARWICK ENGINEERING DEPARTMENT THAT THE CONSTRUCTION SUBSTANTIALLY CONFORMS TO THE APPROVED PLANS.
CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY PROPOSED CHANGES AND RECEIVE APPROVAL PRIOR TO CONSTRUCTING CHANGES.

As-Builts

- THE CONTRACTOR MUST PREPARE AN AS-BUILT OF THE BUILDING HEIGHT AND FINISHED GRADE AT BUILDING FACE ENSURING COMPLIANCE WITH THE ZONING BUILDING HEIGHT APPROVAL THE AS-BUILT MUST BE STAMPED AND SIGNED BY A PROFESSIONAL LAND SURVEYOR.

Permits

- THIS PROJECT REQUIRES THE FOLLOWING PERMITS/APPROVALS RELATED TO THE SITE/CIVIL ELEMENTS (REFER TO PROJECT MANUAL AND SPECIFICATIONS FOR ADDITIONAL PERMITS/REQUIREMENTS) PRIOR TO THE START OF CONSTRUCTION:

Layout and Materials

- DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
CURB RADII ARE 3 FEET UNLESS OTHERWISE NOTED.
CURBING SHALL BE PRECAST CONCRETE (PCC) WITHIN THE SITE UNLESS OTHERWISE INDICATED ON THE PLANS.

Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

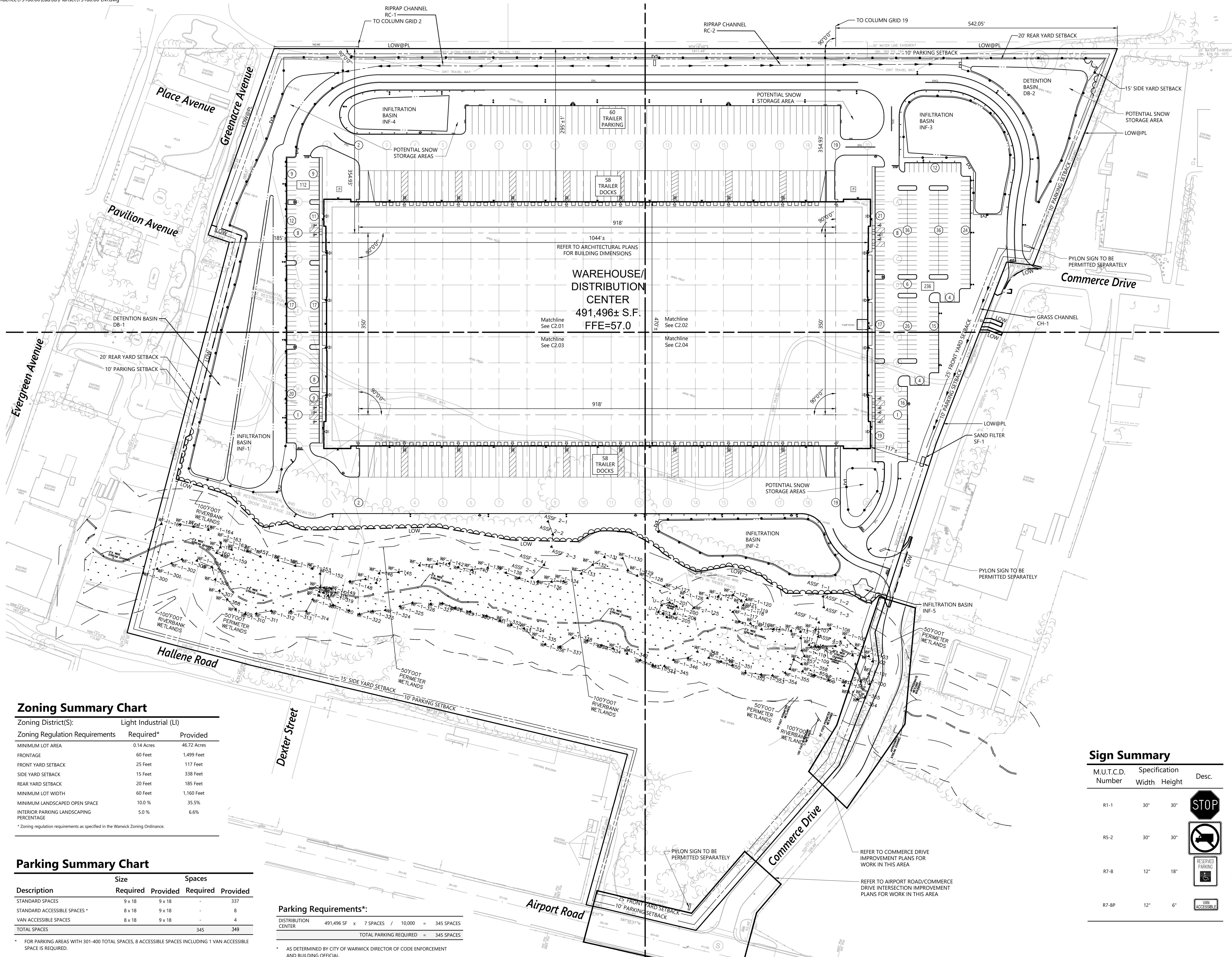
Table with columns: No., Revision, Date, Appr. Includes entries for RIDEM RESUBMISSION, PRELIMINARY/FINAL PERMITS, LOCAL COMMENTS, CONSTRUCTION DOCUMENTS, and FINAL PLAN APPROVAL.

Table with columns: Designed by (AEC), Checked by (RLC)

Issued for Construction February 22, 2022

Legend and General Notes

Professional Engineer stamp for RENE L. CODEGA, No. 6517, REGISTERED PROFESSIONAL ENGINEER. Includes drawing title, number (C1.01), sheet (1 of 21), and date (2/22/2022).



- Notes**
- SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.
 - TENANTS MAY CHOOSE TO HAUL SNOW OFF SITE.



Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	App'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
 Issued for: **Construction** Date: **February 22, 2022**

Zoning Summary Chart

Zoning District(S):	Light Industrial (LI)	
Zoning Regulation Requirements	Required*	Provided
MINIMUM LOT AREA	0.14 Acres	46.72 Acres
FRONTAGE	60 Feet	1,499 Feet
FRONT YARD SETBACK	25 Feet	117 Feet
SIDE YARD SETBACK	15 Feet	338 Feet
REAR YARD SETBACK	20 Feet	185 Feet
MINIMUM LOT WIDTH	60 Feet	1,160 Feet
MINIMUM LANDSCAPED OPEN SPACE	10.0 %	35.5%
INTERIOR PARKING LANDSCAPING PERCENTAGE	5.0 %	6.6%

* Zoning regulation requirements as specified in the Warwick Zoning Ordinance.

Parking Summary Chart

Description	Size		Spaces	
	Required	Provided	Required	Provided
STANDARD SPACES	9 x 18	9 x 18	-	337
STANDARD ACCESSIBLE SPACES*	8 x 18	9 x 18	-	8
VAN ACCESSIBLE SPACES	8 x 18	9 x 18	-	4
TOTAL SPACES			345	349

* FOR PARKING AREAS WITH 301-400 TOTAL SPACES, 8 ACCESSIBLE SPACES INCLUDING 1 VAN ACCESSIBLE SPACE IS REQUIRED.

Parking Requirements*:

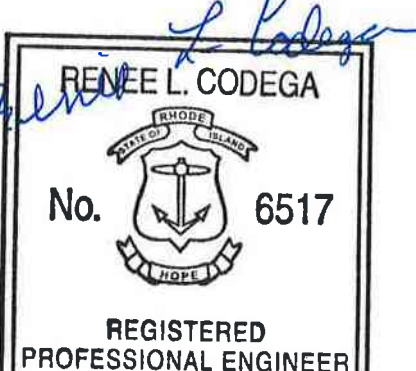
DISTRIBUTION CENTER 491,496 SF x 7 SPACES / 10,000 = 345 SPACES
 TOTAL PARKING REQUIRED = 345 SPACES

* AS DETERMINED BY CITY OF WARWICK DIRECTOR OF CODE ENFORCEMENT AND BUILDING OFFICIAL.

Sign Summary

M.U.T.C.D. Number	Specification Width	Height	Desc.
R1-1	30"	30"	
R5-2	30"	30"	
R7-8	12"	18"	
R7-8P	12"	6"	

Overall Layout and Materials Plan

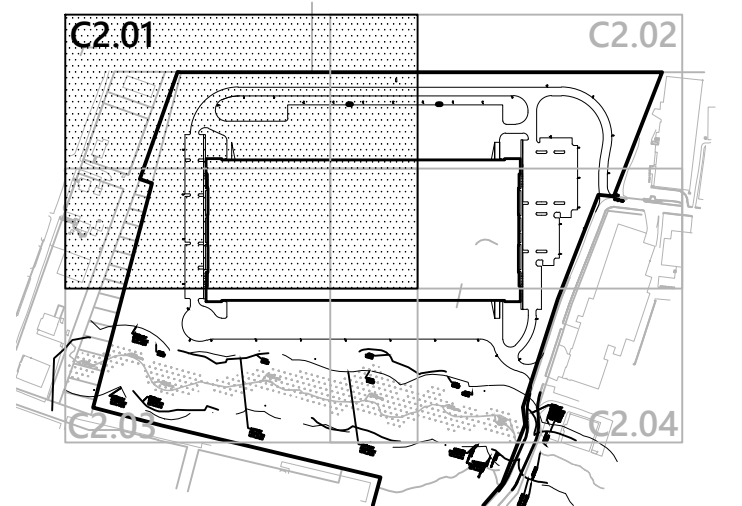
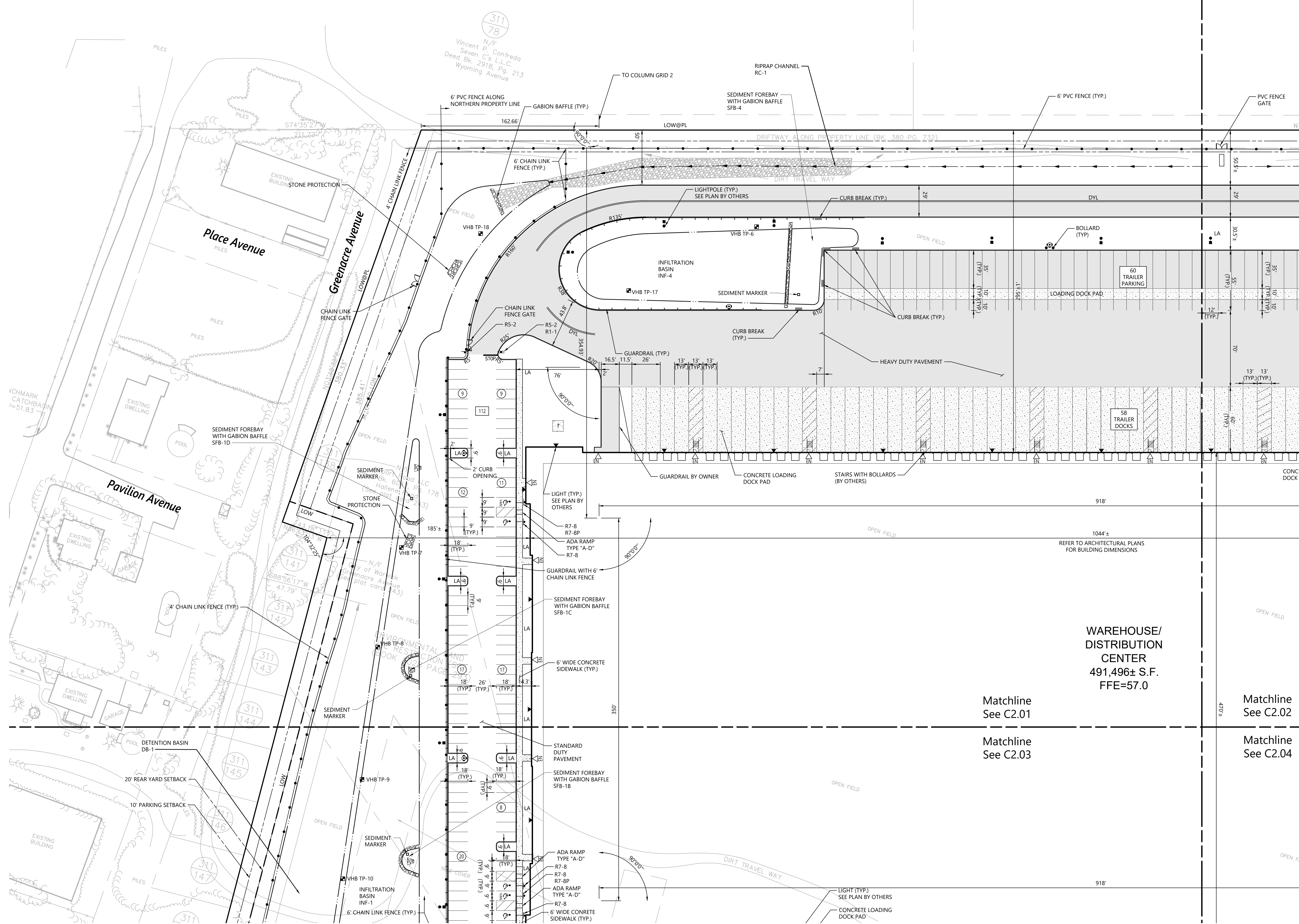


C2.00

Sheet 2 of 21

Project Number 73180.00

Saved Monday, January 31, 2022 11:53:59 AM ACUNHA Plotted Monday, January 31, 2022 11:02:00 PM Ashley Cunha



Key
Not To Scale

Notes
1. SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.

Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: AEC
Checked by: RLC
Issued for: Construction
Date: February 22, 2022

**WAREHOUSE/
DISTRIBUTION
CENTER**
491,496± S.F.
FFE=57.0

Matchline
See C2.01

Matchline
See C2.02

Matchline
See C2.03

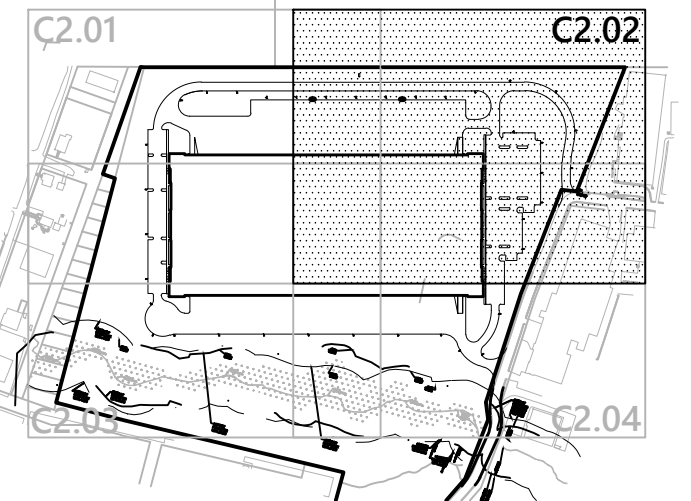
Matchline
See C2.04

Layout and Materials Plan 1

C2.01
Sheet 3 of 21
Project Number: 73180.00



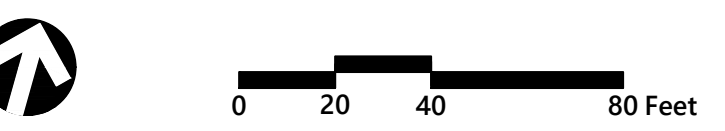
1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
Not To Scale

Notes

- 1. SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by **AEC** Checked by **RLC**
 Issued for **Construction** Date **February 22, 2022**

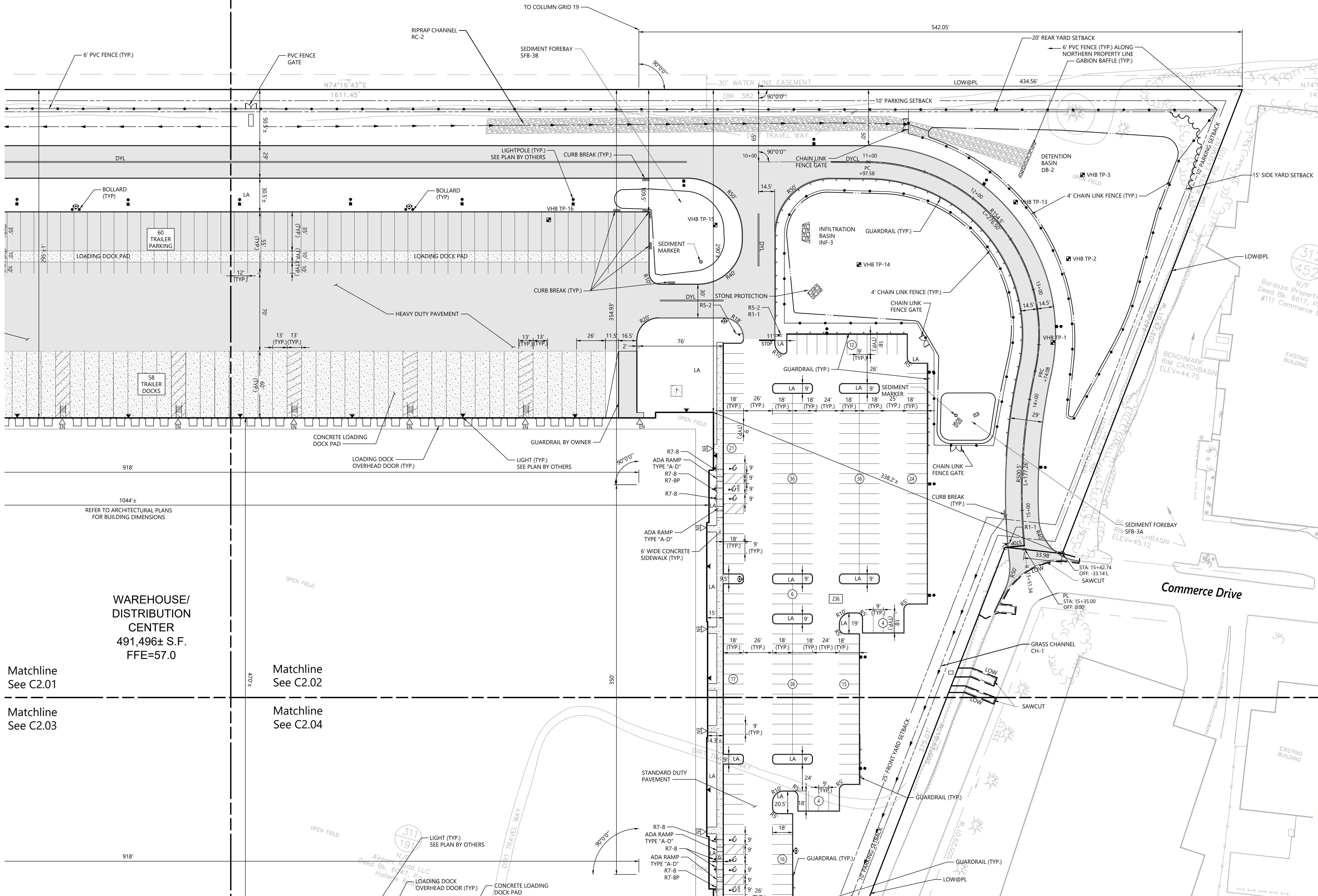
Layout and Materials Plan 2

Drawing Title

RENEE L. CODEGA
 No. 6517
 REGISTERED PROFESSIONAL ENGINEER

Sheet 4 of 21

Project Number 73180.00



311
193
N/F
Vincent P. Confreda
Seven C's L.L.C.
Deed Bk. 2918, Pg. 213
Wyoming Avenue

312
452
N/F
Bardoza Property
Deed Bk. 6617, Pg. #111
Commerce L

**WAREHOUSE/
DISTRIBUTION
CENTER**
491,496± S.F.
FFE=57.0

Matchline
See C2.01

Matchline
See C2.03

Matchline
See C2.02

Matchline
See C2.04



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

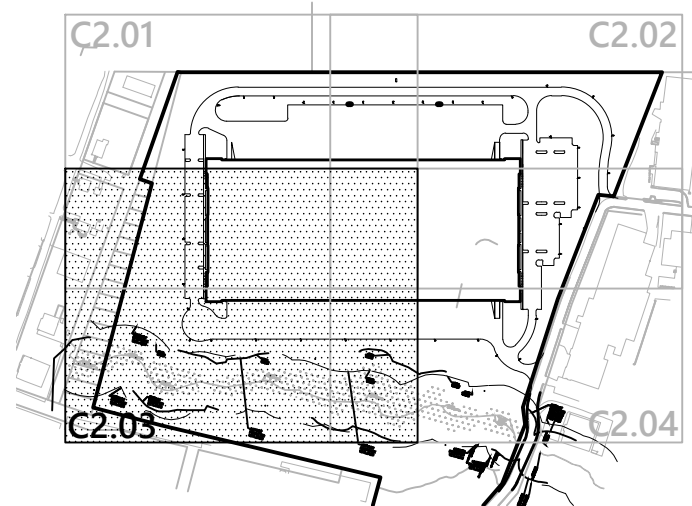
WAREHOUSE/
DISTRIBUTION
CENTER
491,496± S.F.
FFE=57.0

Matchline
See C2.01

Matchline
See C2.02

Matchline
See C2.03

Matchline
See C2.04



Key
Not To Scale

Notes

- SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.



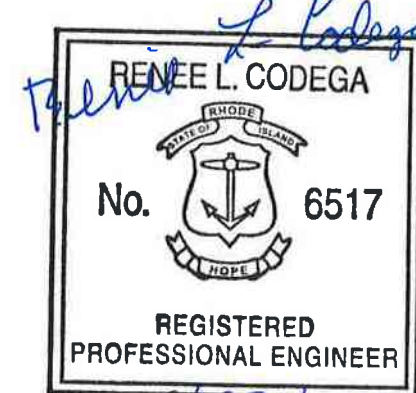
Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
 Issued for: **Construction** Date: **February 22, 2022**

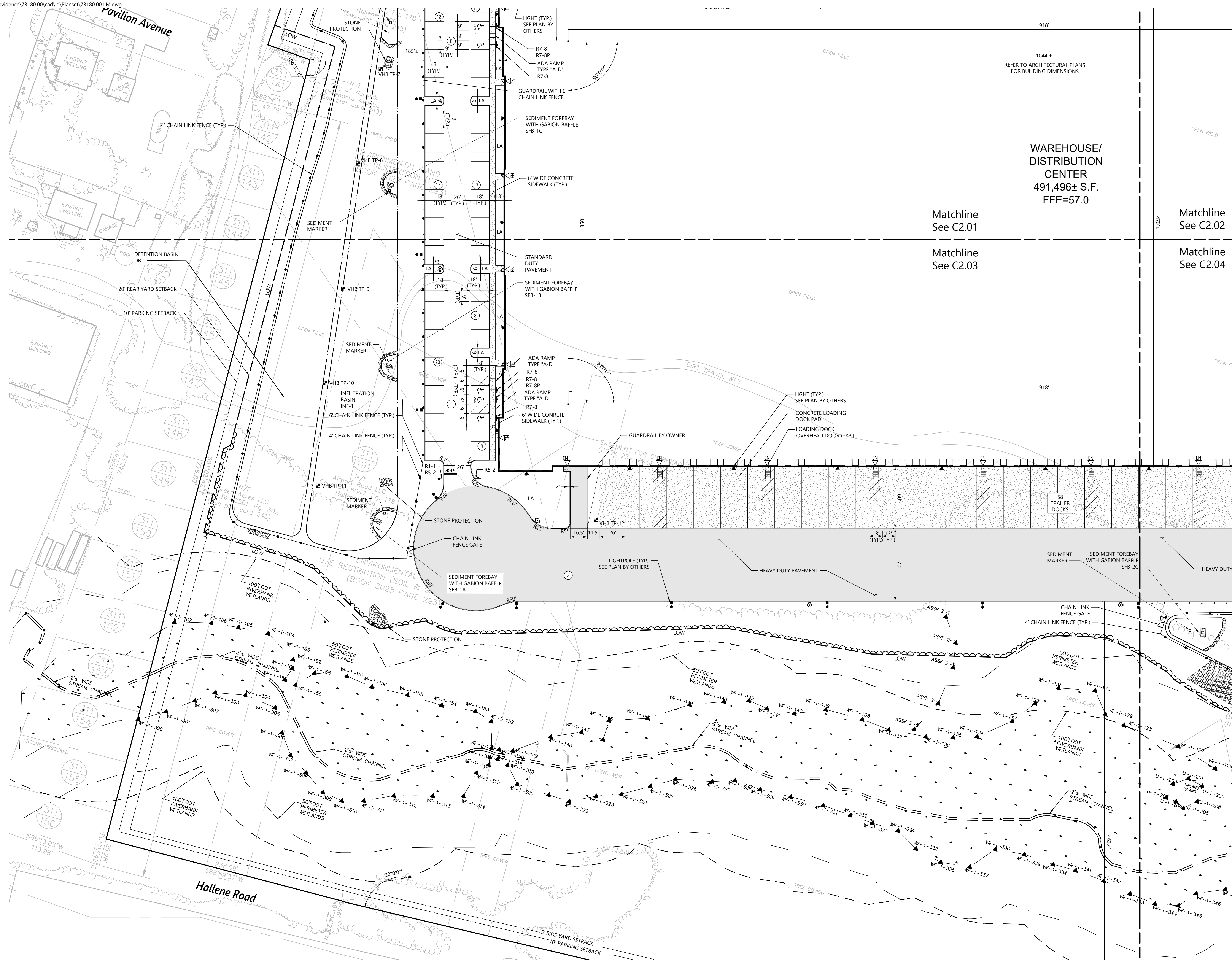
Layout and Materials Plan 3



C2.03

Sheet 5 of 21

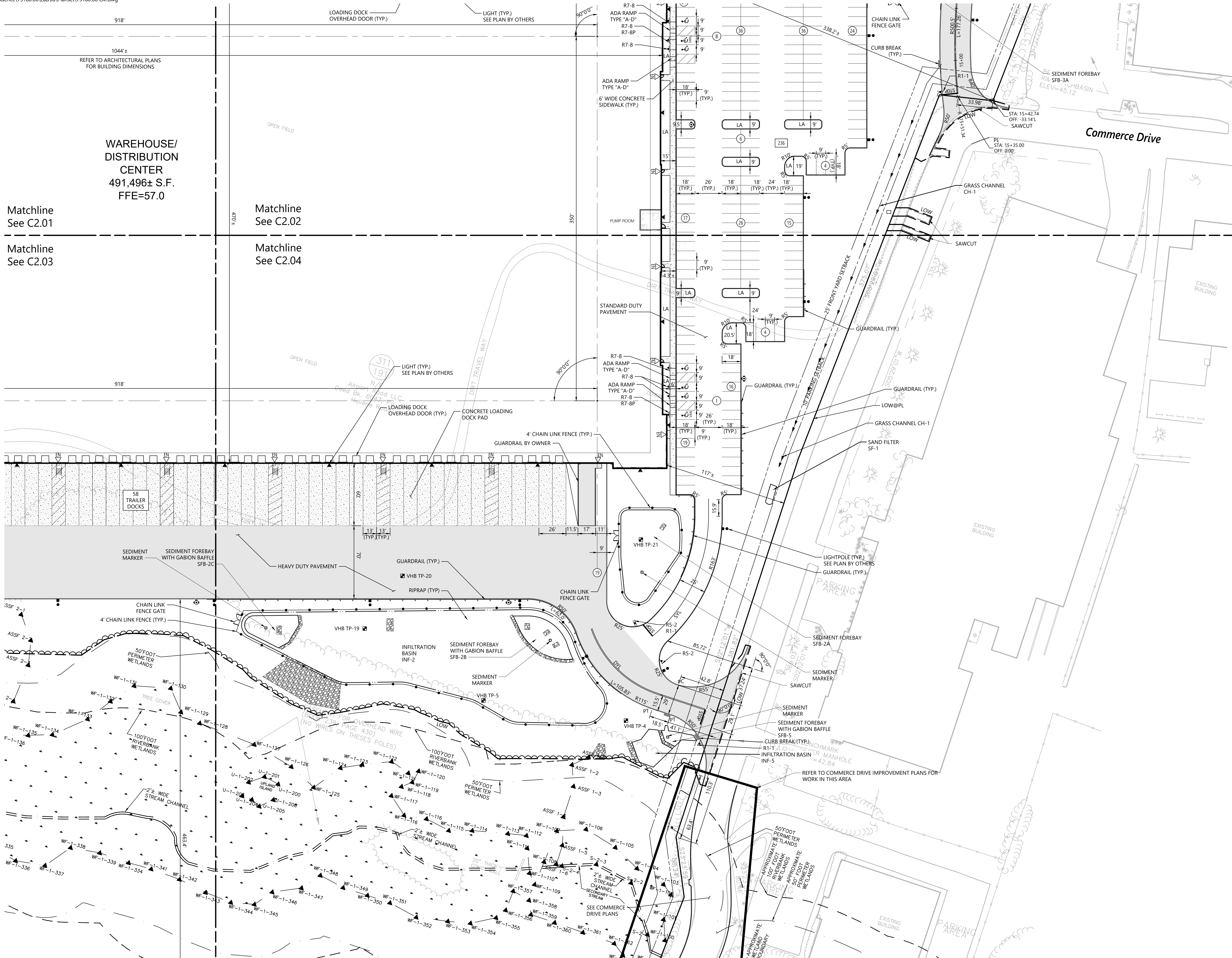
Project Number: 73180.00



Saved Monday, January 31, 2022 11:53:50 AM ACUNHA Plotted Monday, January 31, 2022 11:39:39 PM Ashley Cunha



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

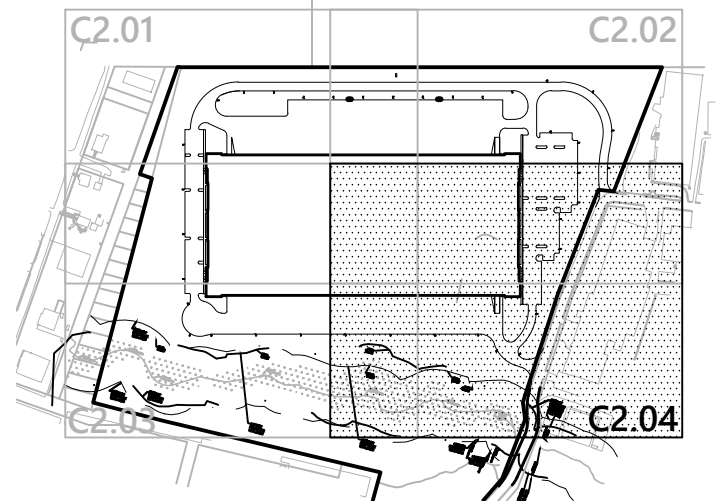


Matchline
See C2.01

Matchline
See C2.02

Matchline
See C2.03

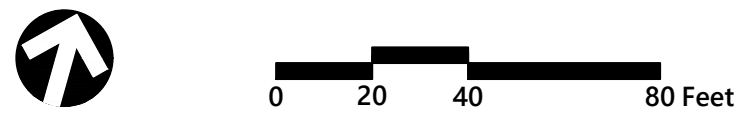
Matchline
See C2.04



Key
Not To Scale

Notes

- 1. SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: AEC
Checked by: RLC
Issued for: Construction
Date: February 22, 2022

Layout and Materials Plan 4



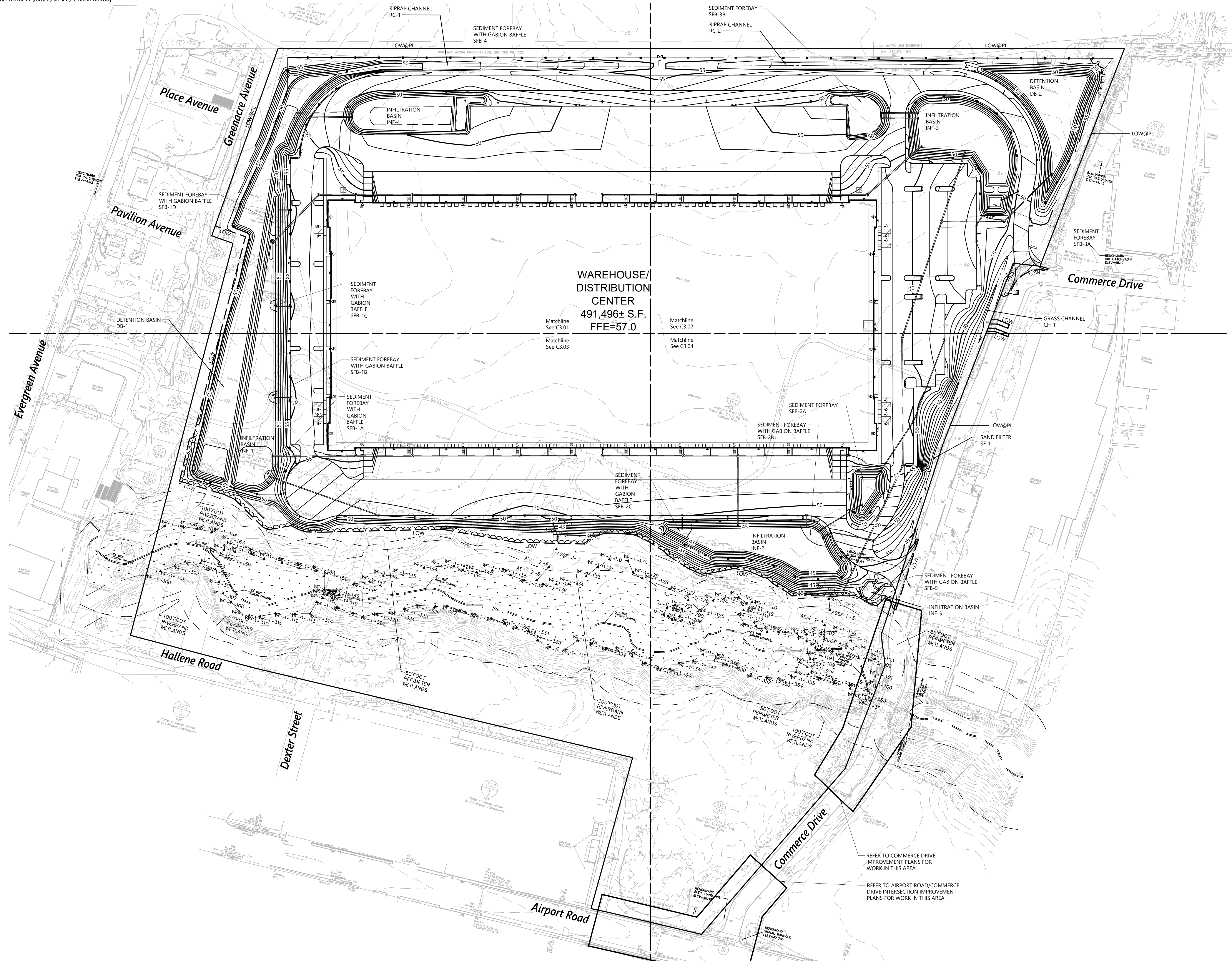
C2.04

Sheet 6 of 21

Project Number: 73180.00



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



WAREHOUSE/
DISTRIBUTION
CENTER
491,496± S.F.
FFE=57.0



0 40 80 160 Feet

Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

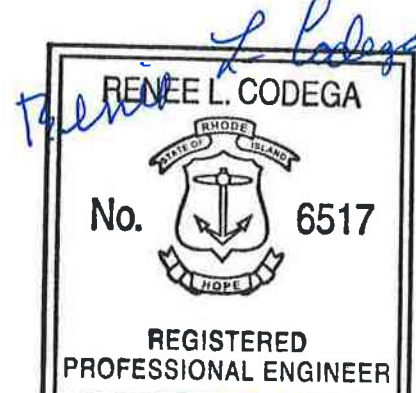
No.	Revision	Date	App'd
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: AEC Checked by: RLC

Issued for: Construction Date: February 22, 2022

Overall Grading and Drainage Plan

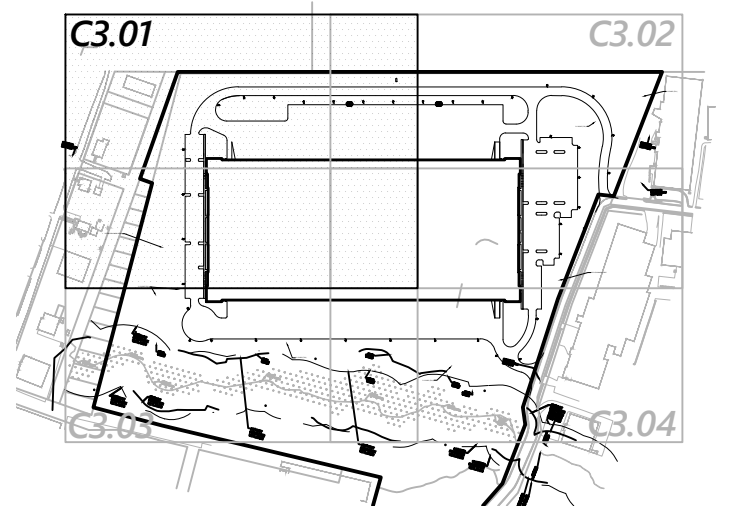
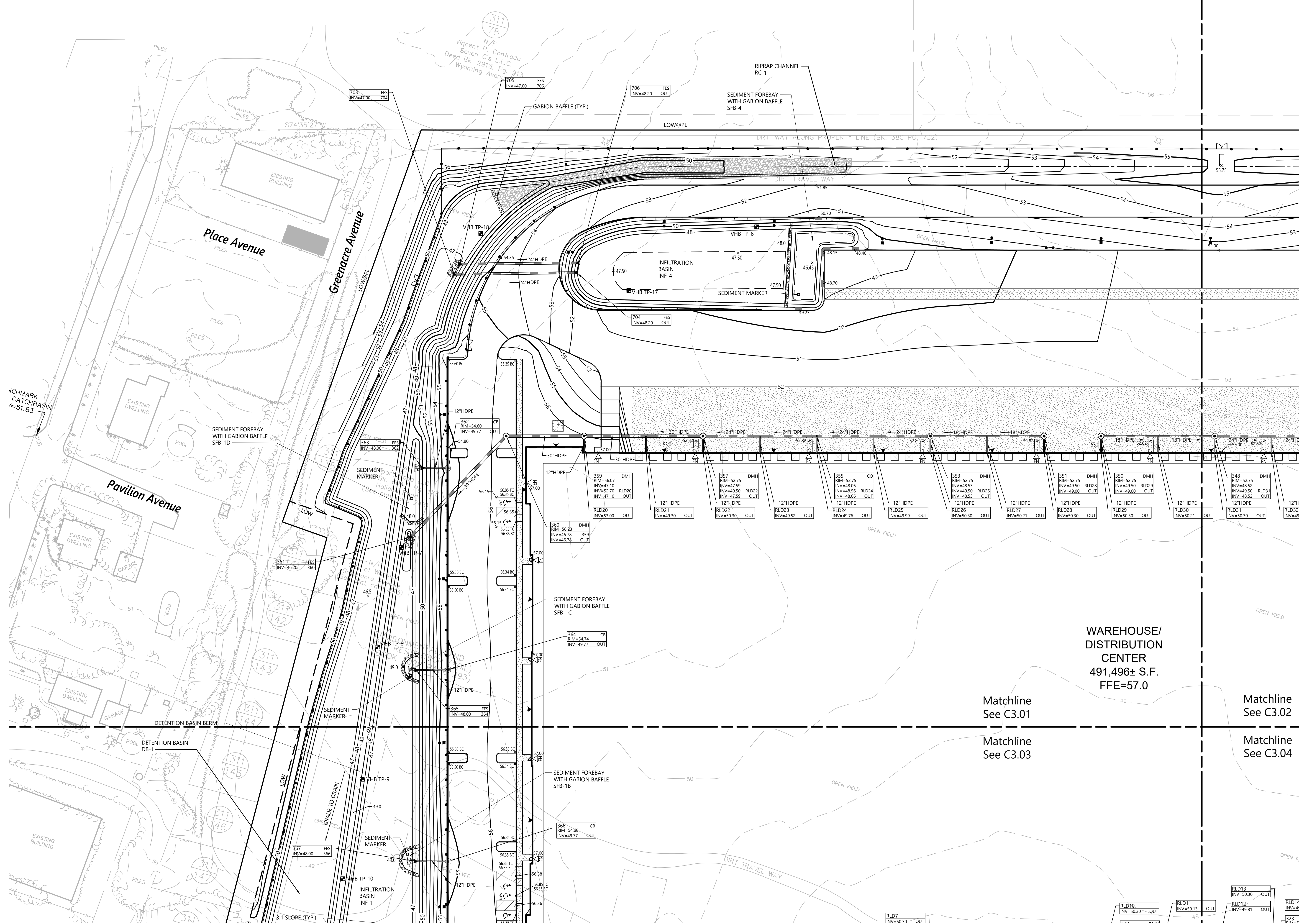
Drawing Number



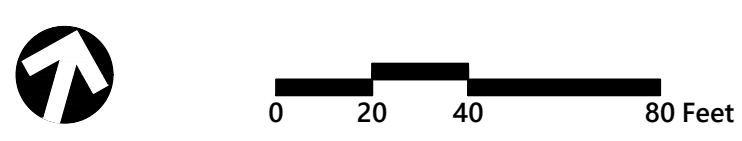
C3.00

Sheet 7 of 21

Project Number: 73180.00



Key
Not To Scale



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

**WAREHOUSE/
DISTRIBUTION
CENTER**
491,496± S.F.
FFE=57.0

No.	Revision	Date	App'd.
1	RIDM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
 Issued for: **Construction** Date: **February 22, 2022**

Matchline
See C3.01

Matchline
See C3.02

Matchline
See C3.03

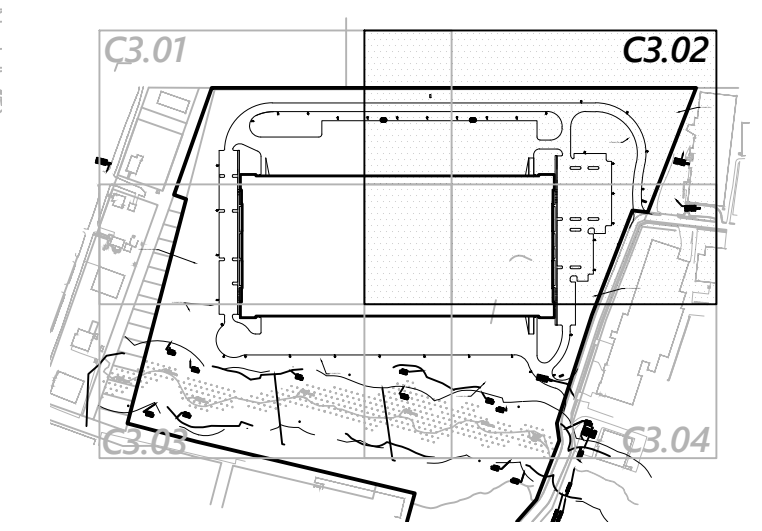
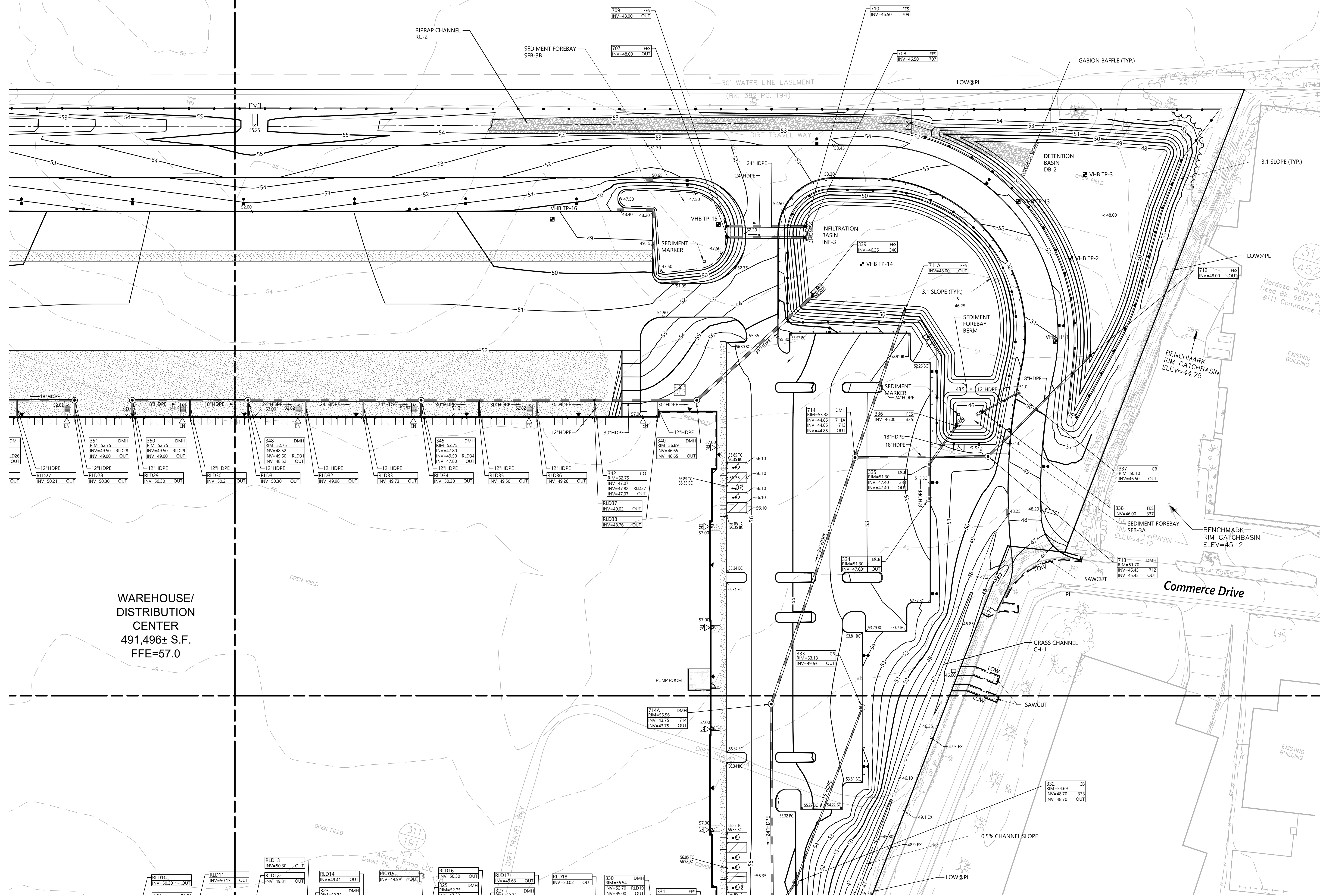
Matchline
See C3.04

Grading and Drainage Plan 1

Drawing Title: **Grading and Drainage Plan 1**
 Drawing Number: **C3.01**
 Sheet: **8** of **21**
 Project Number: **73180.00**

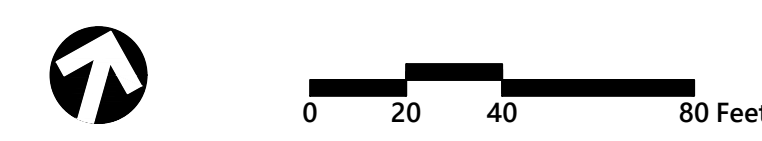


1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
Not To Scale

312
452
N/F
Bardoza Property
Deed Bk. 6617, P.
#111 Commerce L



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Grading and Drainage Plan 2

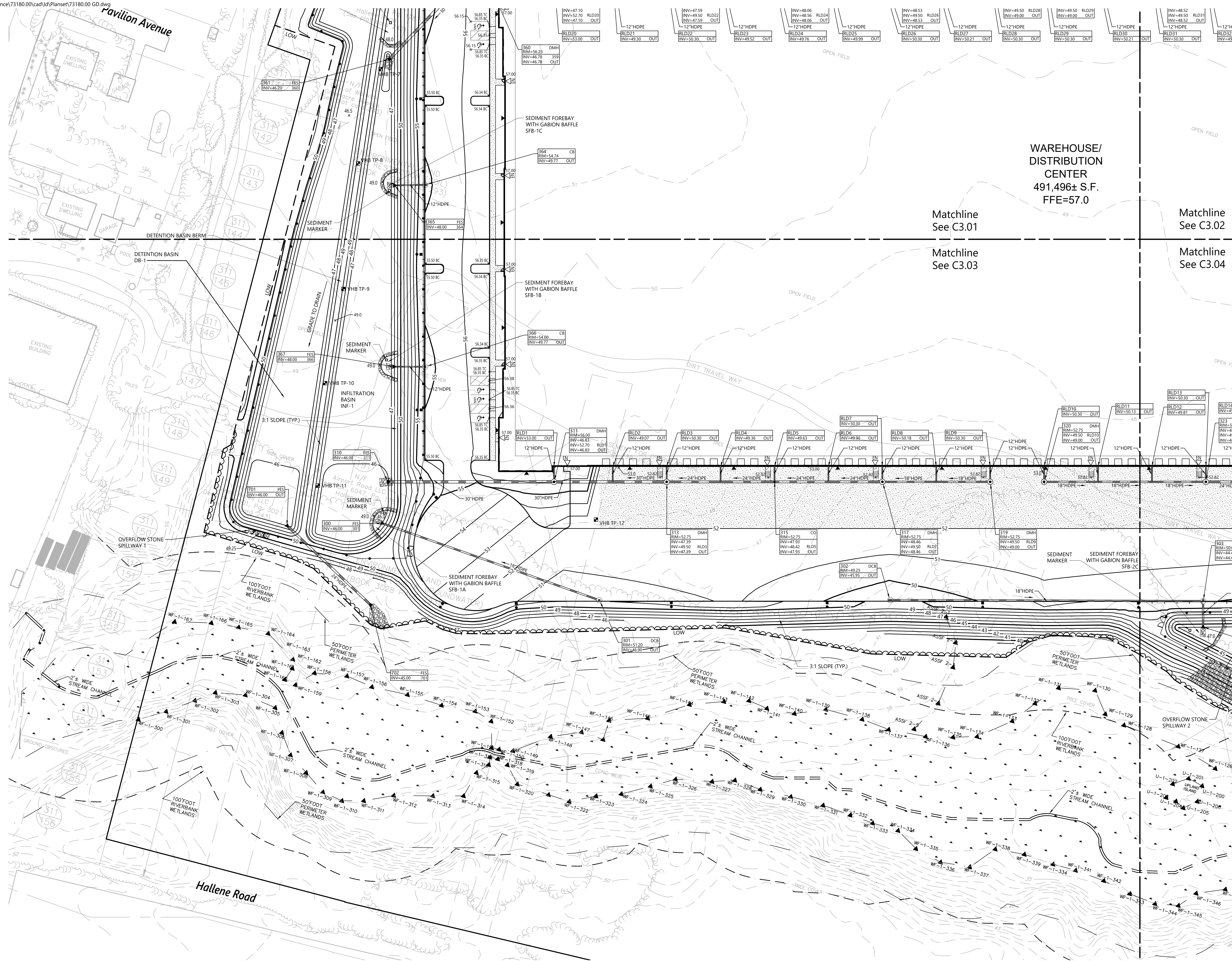
Drawing Title: **Grading and Drainage Plan 2**
Drawing Number: **C3.02**
Sheet: **9** of **21**
Project Number: **73180.00**

Professional Engineer Seal:
RENEE L. CODEGA
No. **6517**
REGISTERED PROFESSIONAL ENGINEER
2/22/2022

Saved Friday, January 28, 2022 11:40:20 AM SPEREIRA Plotted Sunday, January 30, 2022 8:48:31 PM Ashley Cunha



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



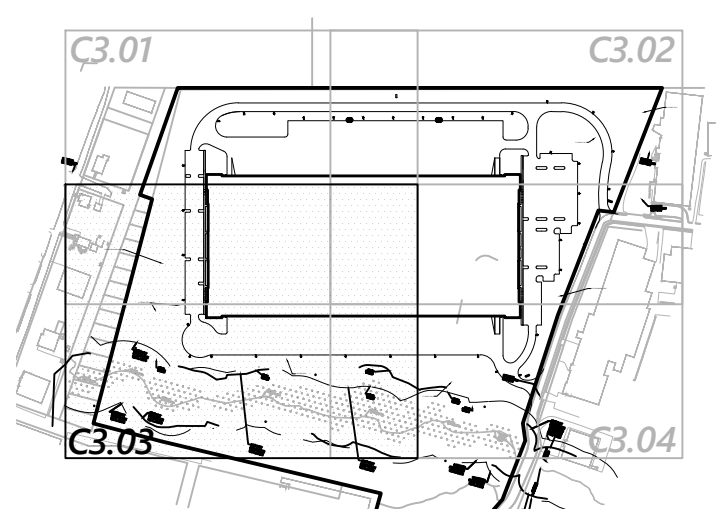
WAREHOUSE/
DISTRIBUTION
CENTER
491,496± S.F.
FFE=57.0

Matchline
See C3.01

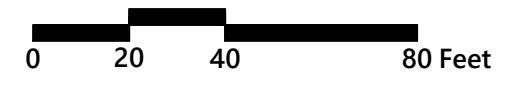
Matchline
See C3.02

Matchline
See C3.03

Matchline
See C3.04



Key
Not To Scale



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Grading and Drainage Plan 3

RENEE L. CODEGA
No. 6517
REGISTERED
PROFESSIONAL ENGINEER

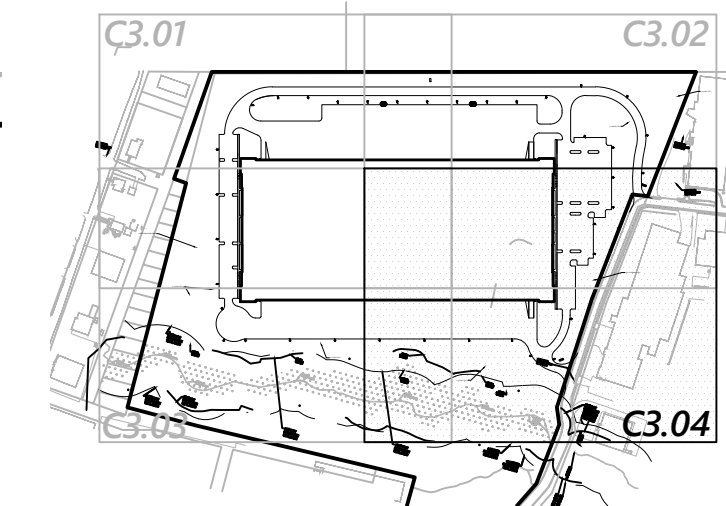
C3.03

Sheet 10 of 21

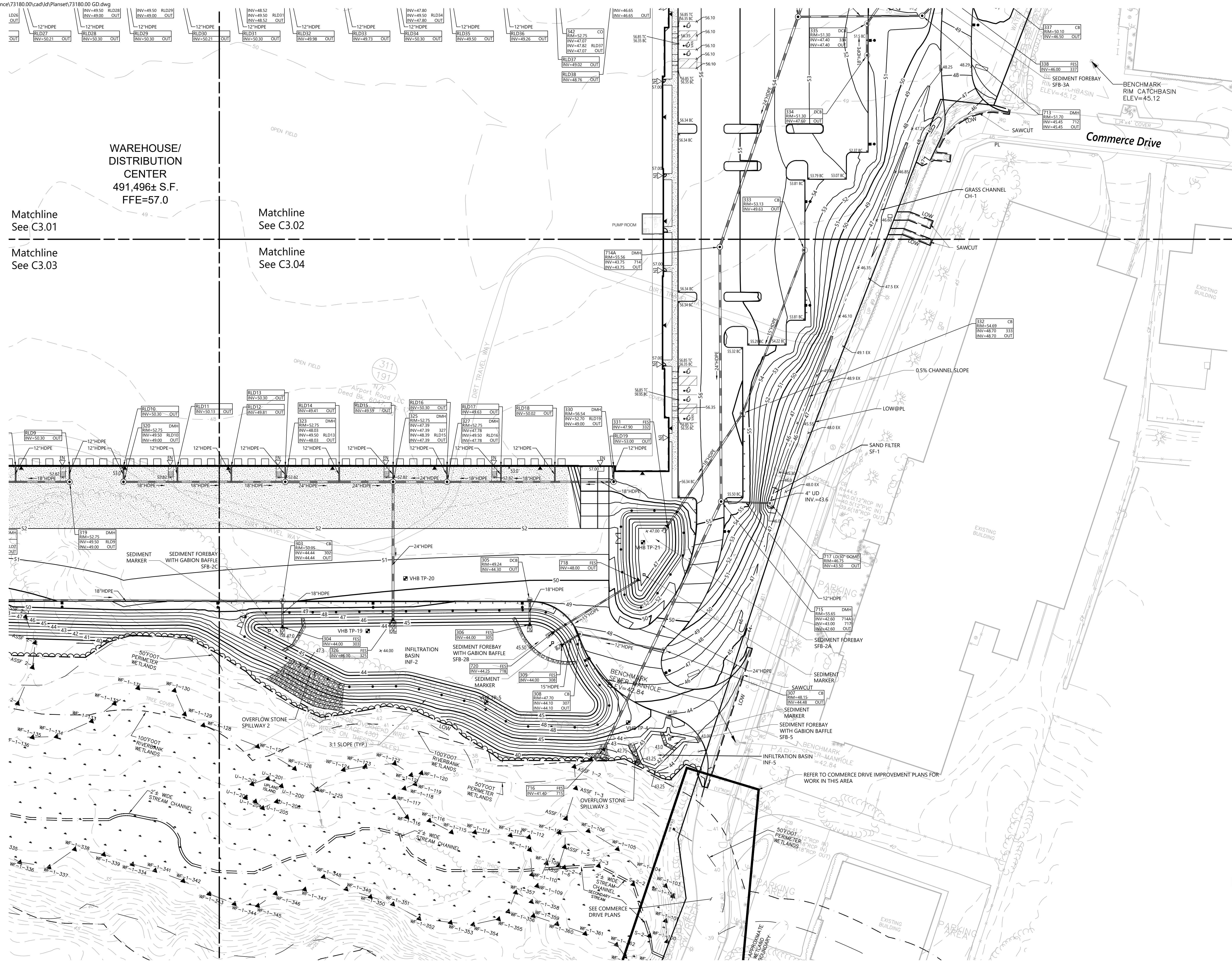
Project Number
73180.00



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
Not To Scale



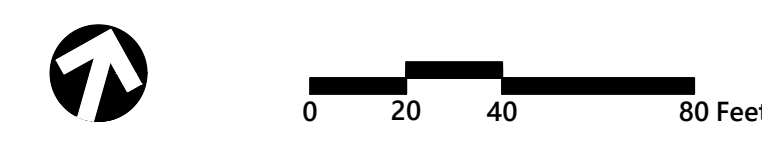
WAREHOUSE/
DISTRIBUTION
CENTER
491,496± S.F.
FFE=57.0

Matchline
See C3.01

Matchline
See C3.02

Matchline
See C3.03

Matchline
See C3.04



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: AEC Checked by: RLC

Issued for: Construction Date: February 22, 2022

Grading and Drainage Plan 4



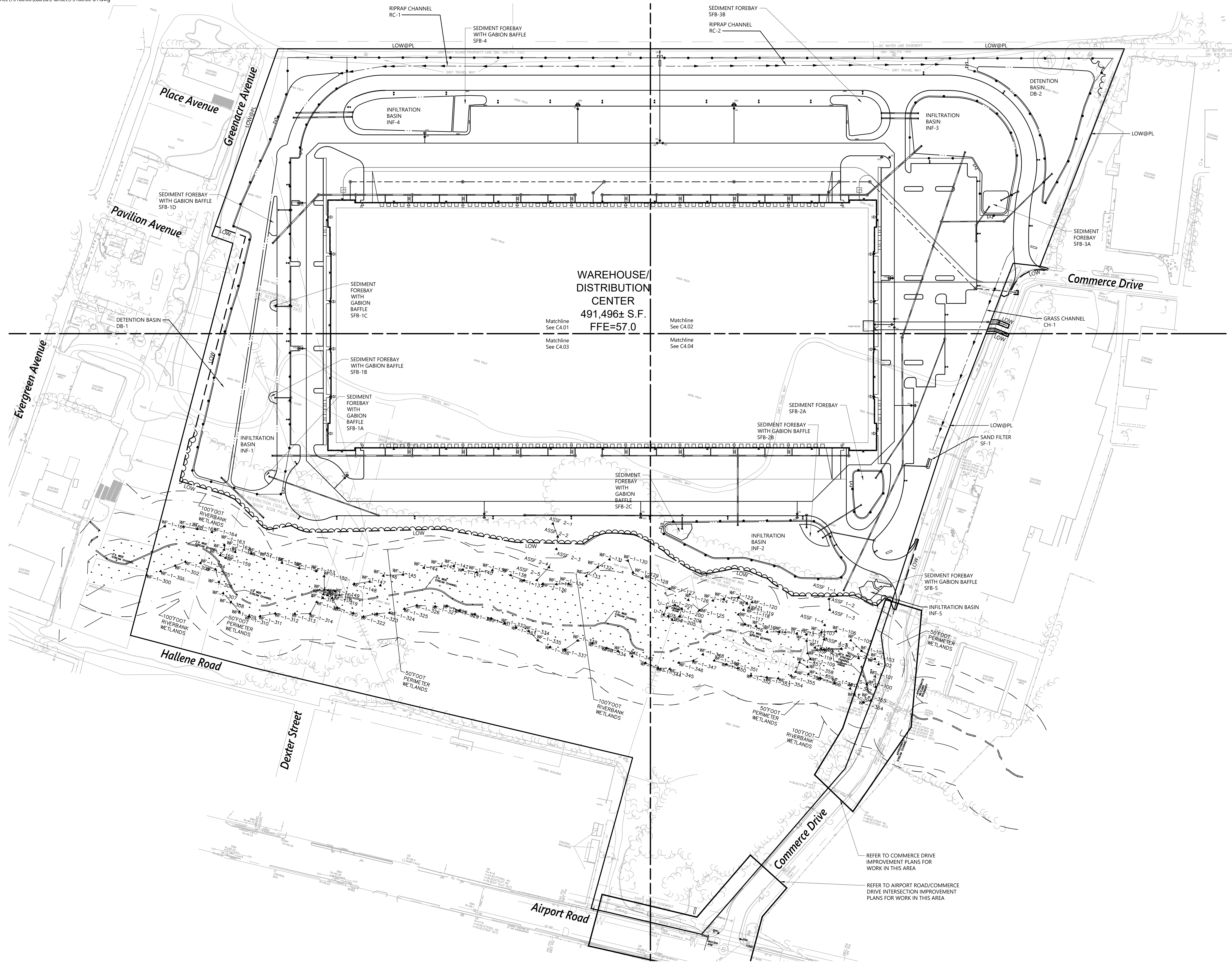
C3.04

Sheet 11 of 21

Project Number: 73180.00

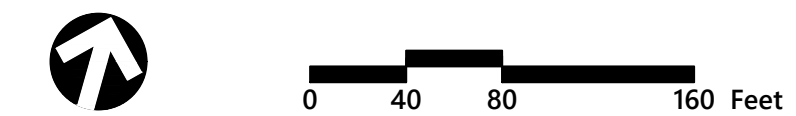


1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Notes

1. SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.
2. RELOCATION OF ON-SITE AND OFF-SITE UTILITY POLES TO BE COORDINATED WITH NATIONAL GRID. REFER TO PLANS BY OWNER.
3. COORDINATION AND DESIGN OF GAS, LIGHTING, ELECTRIC, AND TELEPHONE BY OWNER.
4. CONNECTION TO WATER MAIN AND INSTALLATION OF HYDRANTS MUST BE COORDINATED WITH AND WITNESSED BY WARWICK WATER DIVISION.
5. A FIRE HYDRANT SHALL BE LOCATED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION.



Proposed Warehouse/Distribution Development

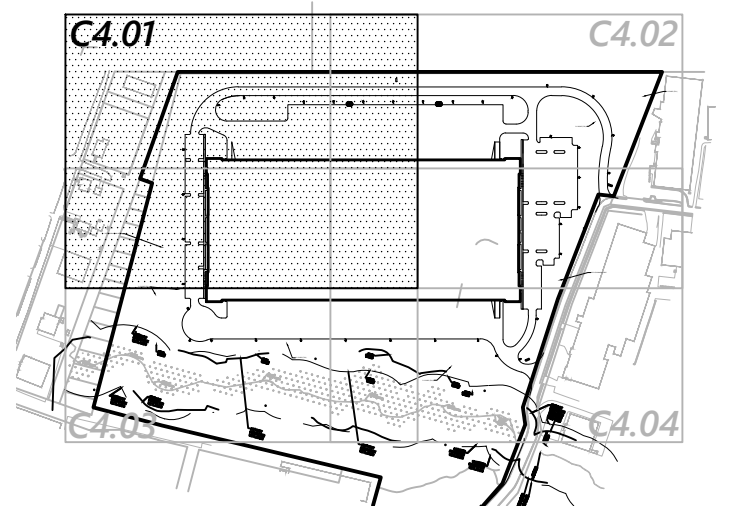
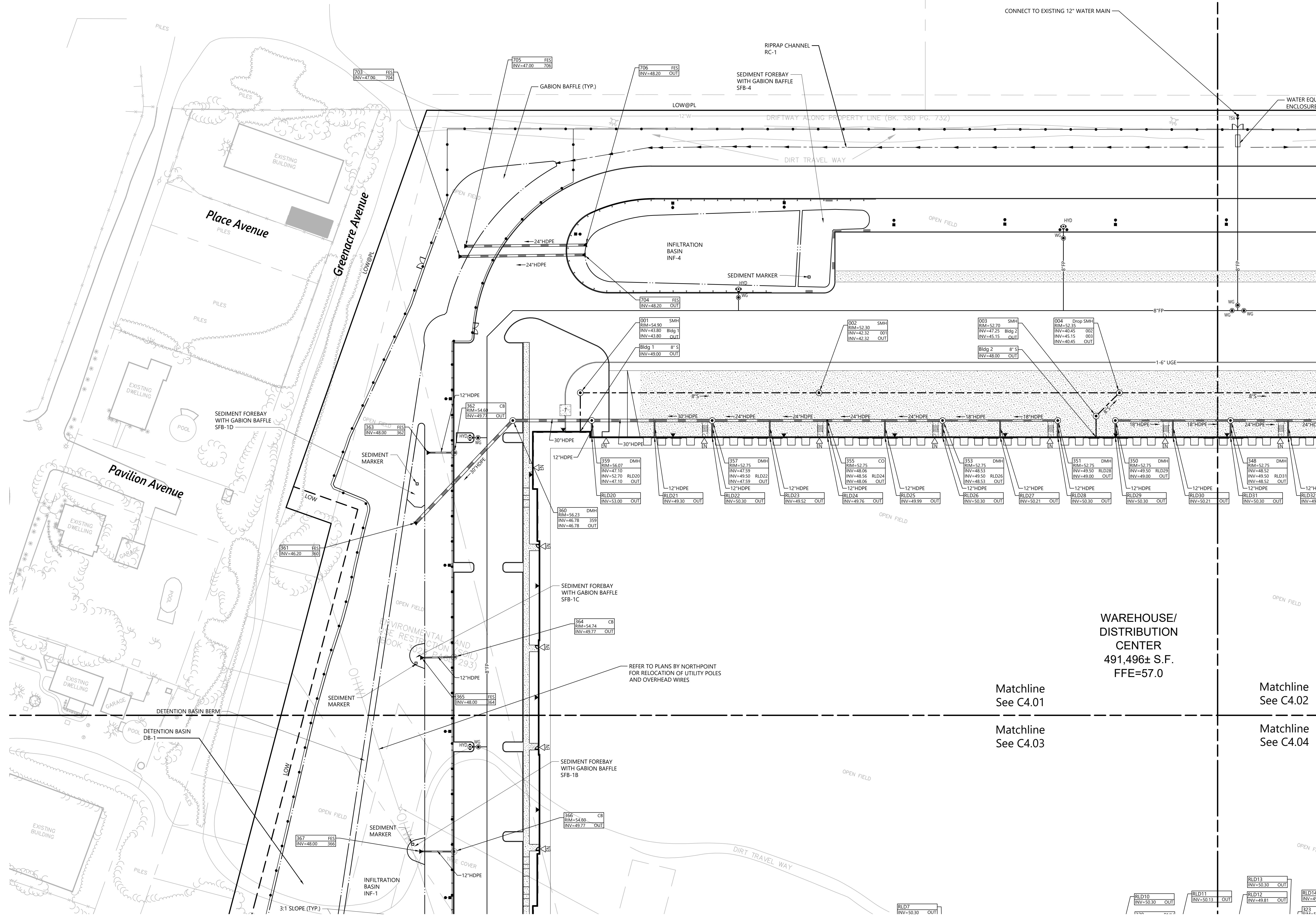
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	App'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
 Issued for: **Construction** Date: **February 22, 2022**

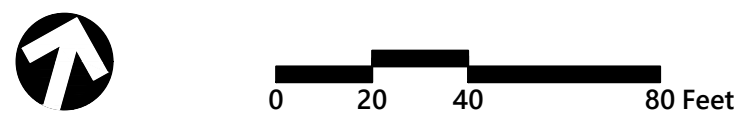
Overall Utility Plan

C4.00
 Sheet **12** of **21**
 Project Number: **73180.00**



Key
Not To Scale

- Notes**
- SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.
 - RELOCATION OF ON-SITE AND OFF-SITE UTILITY POLES TO BE COORDINATED WITH NATIONAL GRID. REFER TO PLANS BY OWNER.
 - COORDINATION AND DESIGN OF GAS, LIGHTING, ELECTRIC, AND TELEPHONE BY OWNER.
 - CONNECTION TO WATER MAIN AND INSTALLATION OF HYDRANTS MUST BE COORDINATED WITH AND WITNESSED BY WARWICK WATER DIVISION.
 - A FIRE HYDRANT SHALL BE LOCATED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

WAREHOUSE/
DISTRIBUTION
CENTER
491,496± S.F.
FFE=57.0

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: AEC
Checked by: RLC
Issued for: Construction
Date: February 22, 2022

Matchline
See C4.01

Matchline
See C4.02

Matchline
See C4.03

Matchline
See C4.04

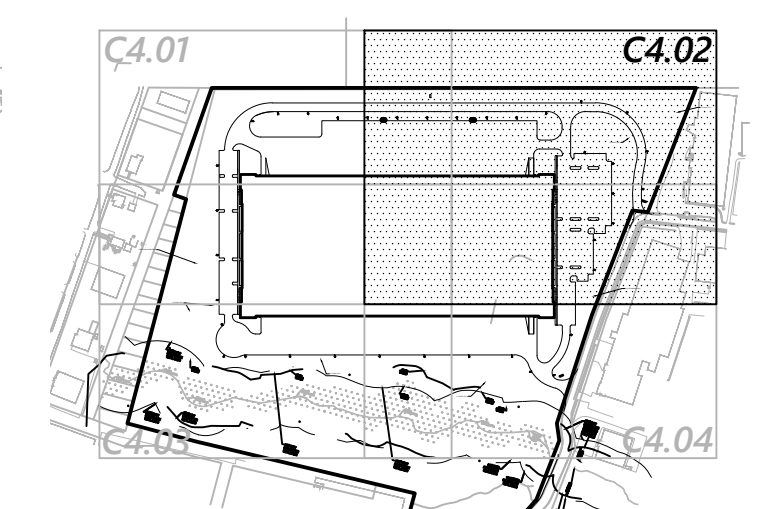
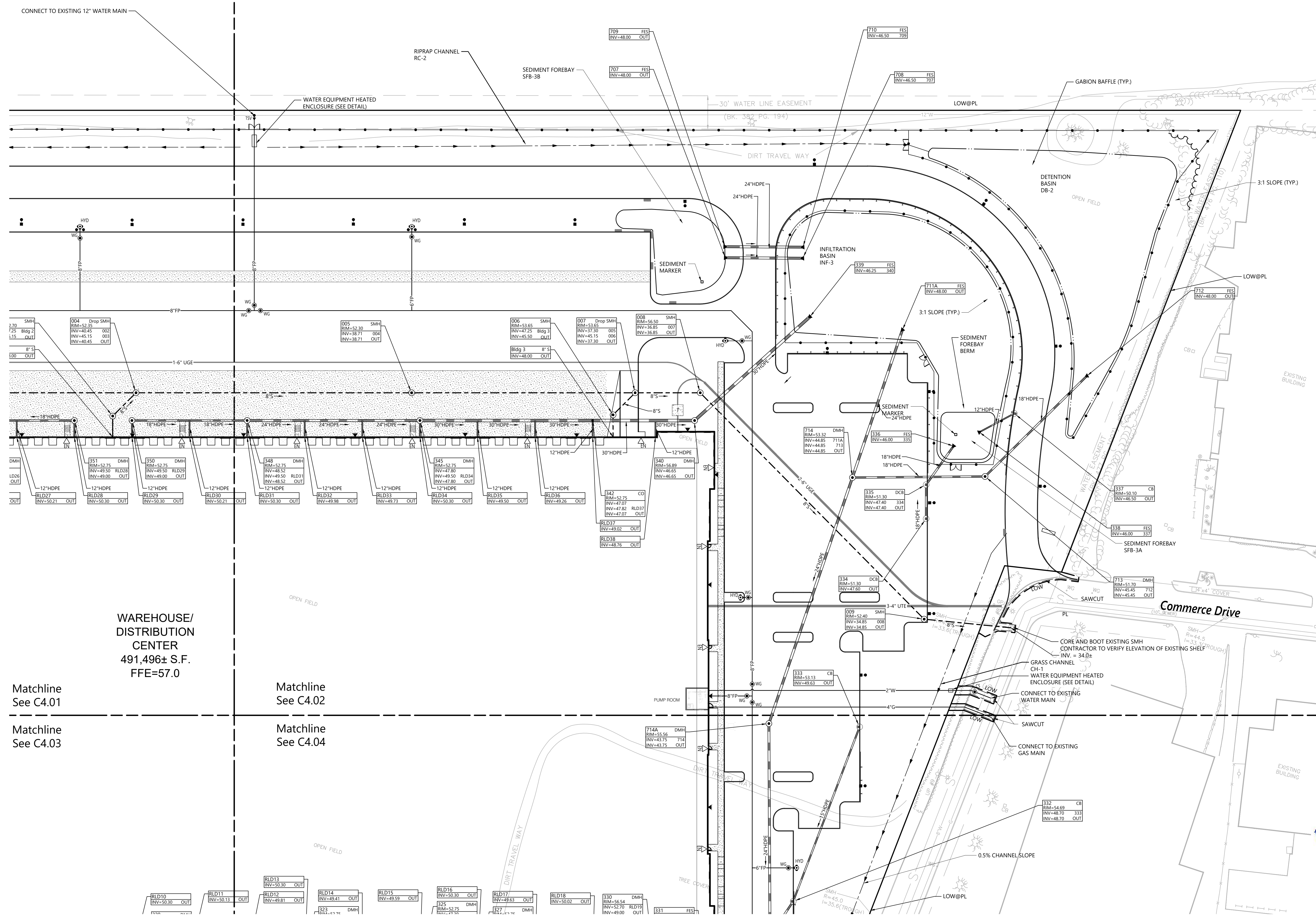
Utility Plan 1

Designed by: *Renée L. Codega*
Checked by: *Renée L. Codega*
No. 6517
REGISTERED PROFESSIONAL ENGINEER
Project Number: 73180.00

C4.01
Sheet 13 of 21

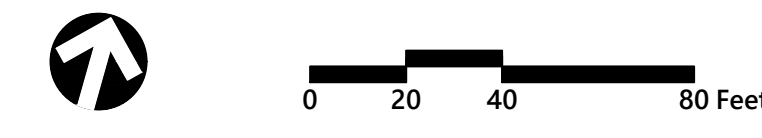


1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
Not To Scale

- Notes**
1. SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.
 2. RELOCATION OF ON-SITE AND OFF-SITE UTILITY POLES TO BE COORDINATED WITH NATIONAL GRID. REFER TO PLANS BY OWNER.
 3. COORDINATION AND DESIGN OF GAS, LIGHTING, ELECTRIC, AND TELEPHONE BY OWNER.
 4. CONNECTION TO WATER MAIN AND INSTALLATION OF HYDRANTS MUST BE COORDINATED WITH AND WITNESSED BY WARWICK WATER DIVISION.
 5. A FIRE HYDRANT SHALL BE LOCATED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
 Issued for: **Construction** Date: **February 22, 2022**

Drawing Title: **Utility Plan 2**
 Drawing Number: **C4.02**

Professional Engineer Seal for **RENEE L. CODEGA**, No. 6517, Registered Professional Engineer, dated 2/22/2022.

Sheet **14** of **21**
 Project Number: **73180.00**

WAREHOUSE/
DISTRIBUTION
CENTER
491,496± S.F.
FFE=57.0

Matchline
See C4.01

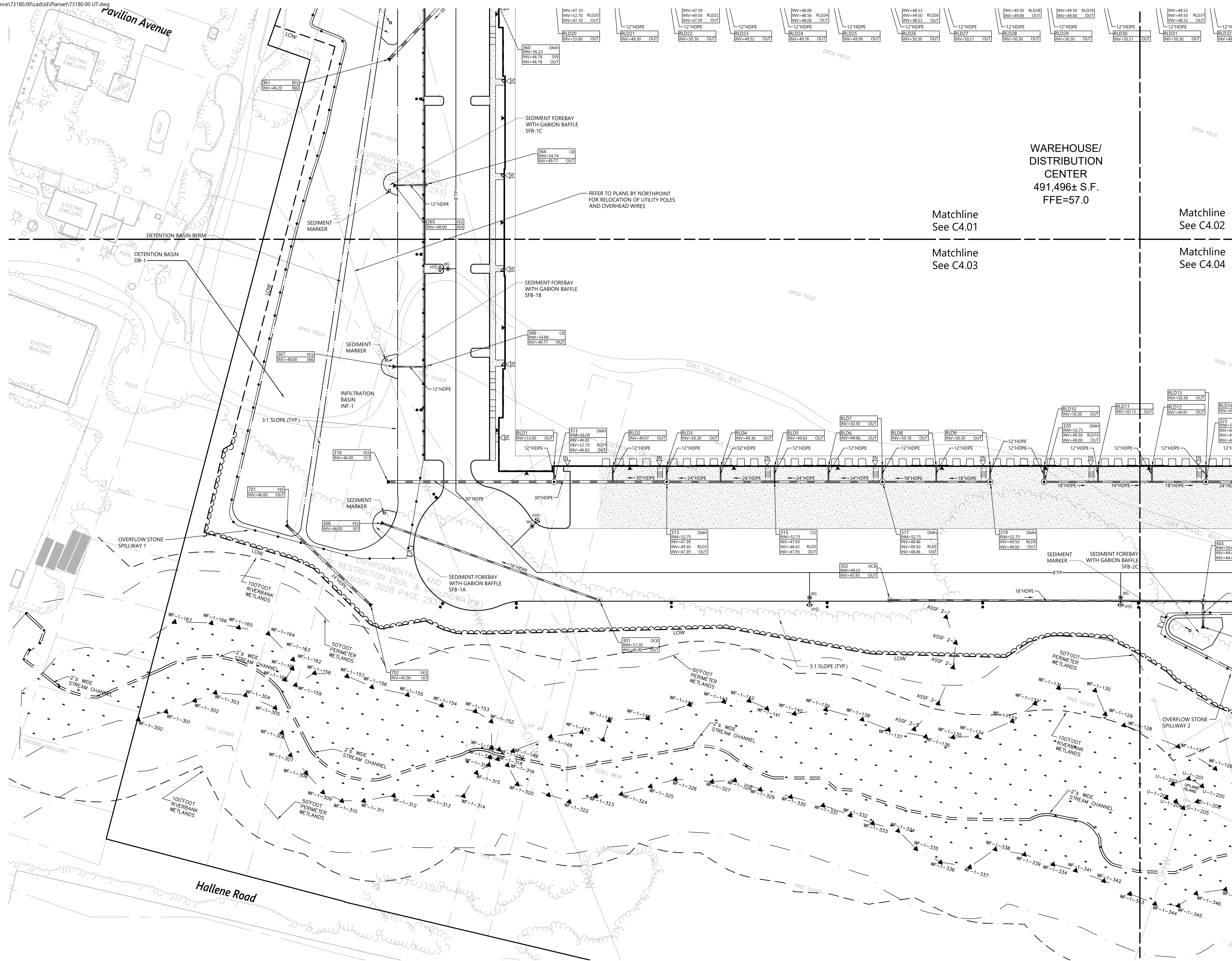
Matchline
See C4.02

Matchline
See C4.03

Matchline
See C4.04



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



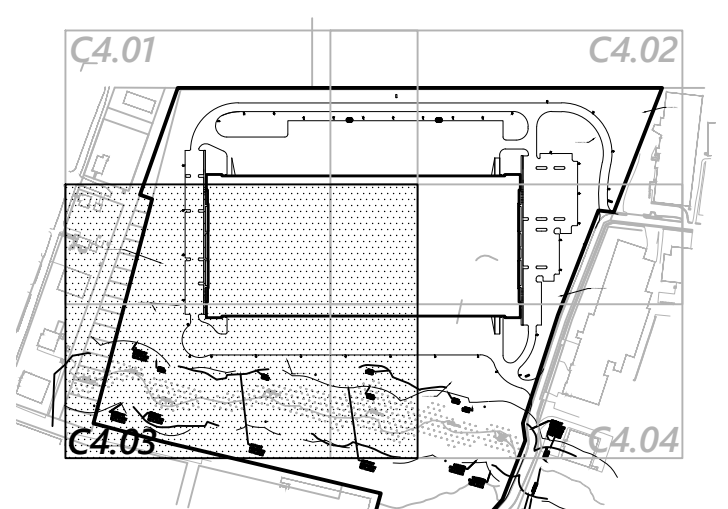
WAREHOUSE/
DISTRIBUTION
CENTER
491,496± S.F.
FFE=57.0

Matchline
See C4.01

Matchline
See C4.02

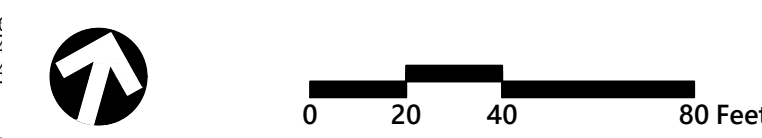
Matchline
See C4.03

Matchline
See C4.04



Key
Not To Scale

- Notes**
- SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.
 - RELOCATION OF ON-SITE AND OFF-SITE UTILITY POLES TO BE COORDINATED WITH NATIONAL GRID. REFER TO PLANS BY OWNER.
 - COORDINATION AND DESIGN OF GAS, LIGHTING, ELECTRIC, AND TELEPHONE BY OWNER.
 - CONNECTION TO WATER MAIN AND INSTALLATION OF HYDRANTS MUST BE COORDINATED WITH AND WITNESSED BY WARWICK WATER DIVISION.
 - A FIRE HYDRANT SHALL BE LOCATED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Utility Plan 3

Project Number: 73180.00

Sheet: **C4.03** of 15

REGISTERED PROFESSIONAL ENGINEER

RENEE L. CODEGA
No. 6517

2/22/2022

Saved Thursday, January 27, 2022 11:08:33 PM ACLINHA Plotted Sunday, January 30, 2022 8:51:23 PM Ashley Cunha



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

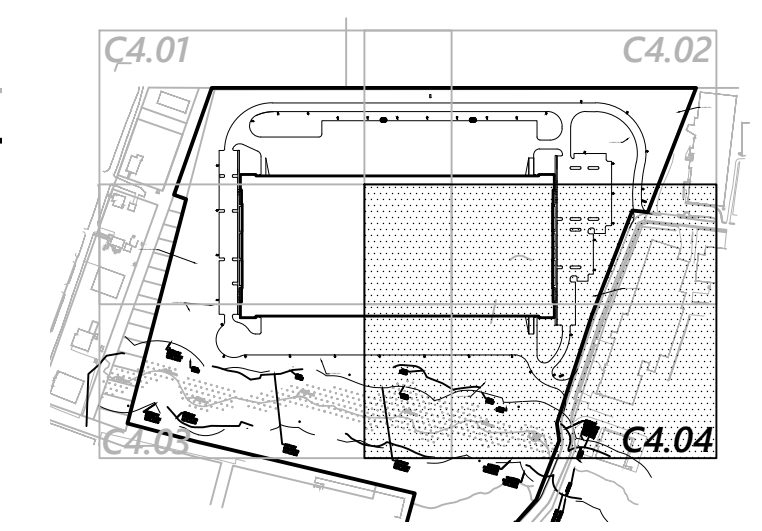
WAREHOUSE/
DISTRIBUTION
CENTER
491,496± S.F.
FFE=57.0

Matchline
See C4.01

Matchline
See C4.02

Matchline
See C4.03

Matchline
See C4.04



Key
Not To Scale

Notes

- SEE PHOTOMETRICS PLAN FOR LIGHT POLE LOCATIONS.
- RELOCATION OF ON-SITE AND OFF-SITE UTILITY POLES TO BE COORDINATED WITH NATIONAL GRID. REFER TO PLANS BY OWNER.
- COORDINATION AND DESIGN OF GAS, LIGHTING, ELECTRIC, AND TELEPHONE BY OWNER.
- CONNECTION TO WATER MAIN AND INSTALLATION OF HYDRANTS MUST BE COORDINATED WITH AND WITNESSED BY WARWICK WATER DIVISION.
- A FIRE HYDRANT SHALL BE LOCATED WITHIN 100' OF THE FIRE DEPARTMENT CONNECTION.



0 20 40 80 Feet

Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDMA RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

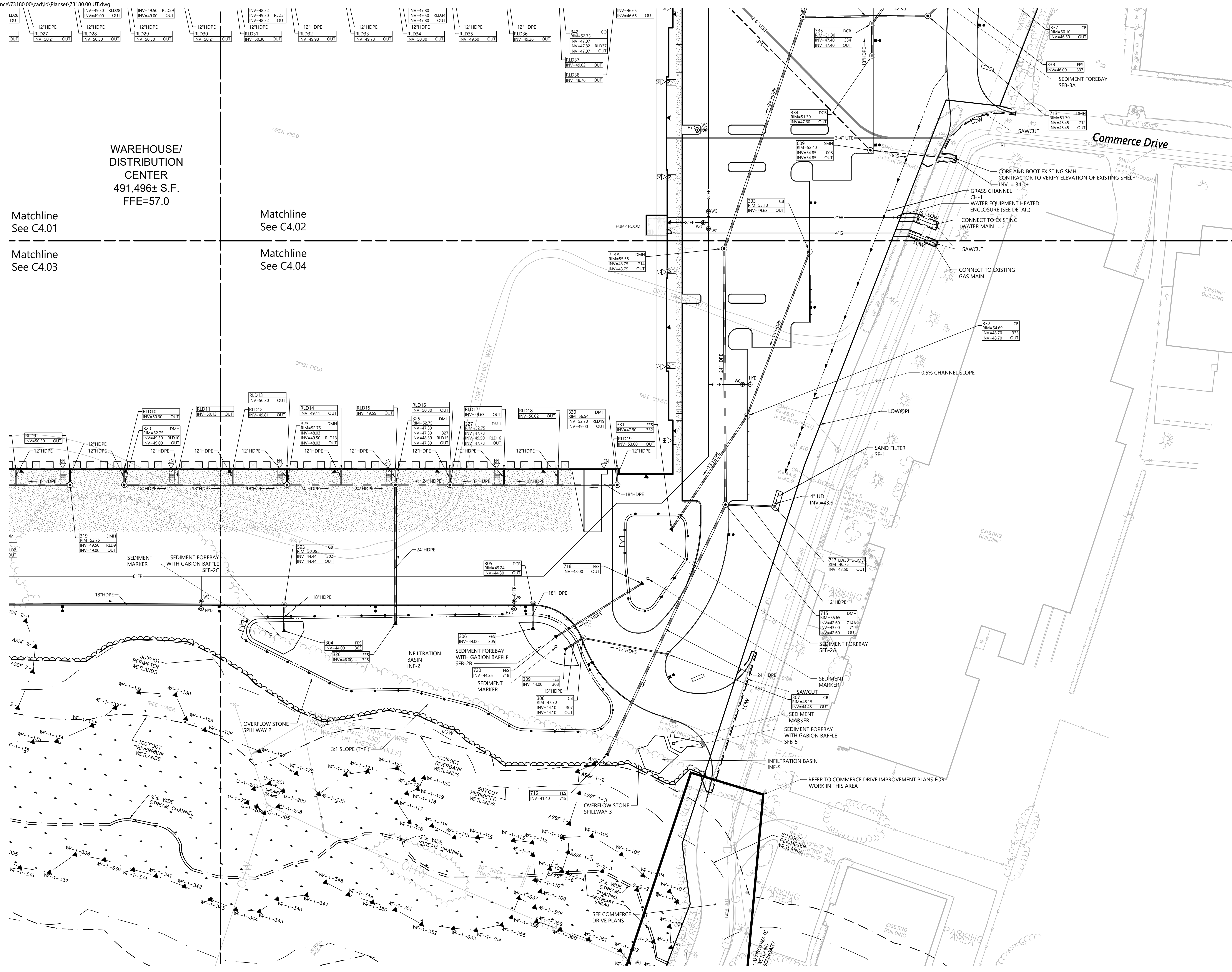
Designed by: AEC Checked by: RLC

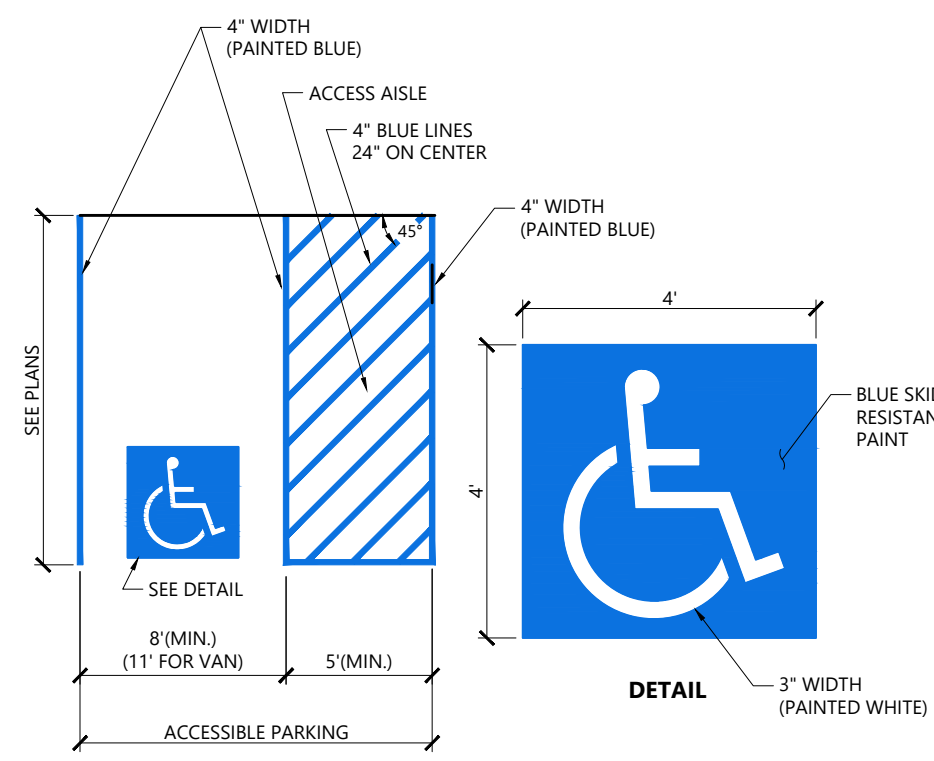
Issued for: Construction Date: February 22, 2022

Utility Plan 4

Professional Engineer Seal for RENE L. CODEGA, No. 6517, Registered Professional Engineer, State of Rhode Island.

Sheet 16 of 21
Project Number: 73180.00

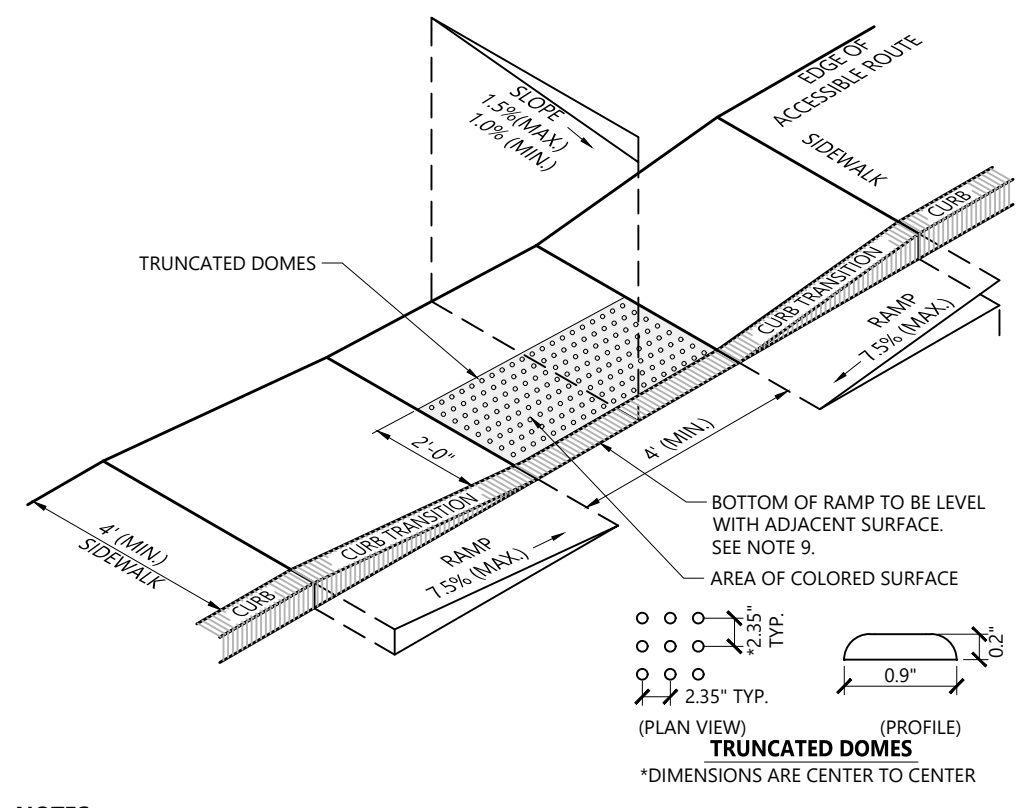




NOTES

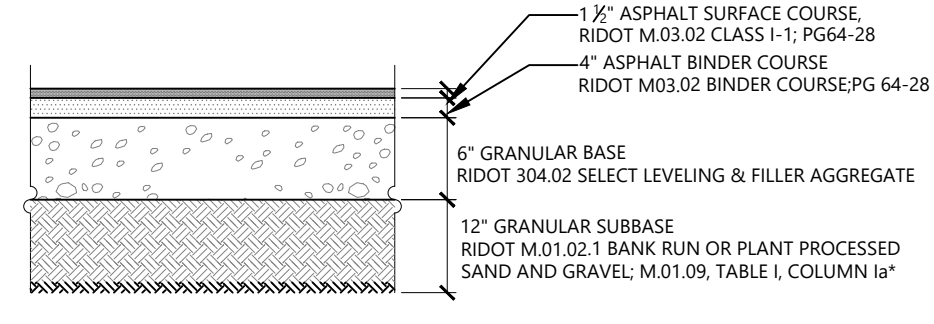
1. ALL DIMENSIONS TO CENTER OF 4" PAVEMENT STRIPING
2. ALL SLOPES THROUGHOUT THE ACCESSIBLE PARKING AND AISLE AREAS SHALL NOT EXCEED 1.5%.

Accessible Parking Space 12/19
N.T.S. Source: VHB LD_552A

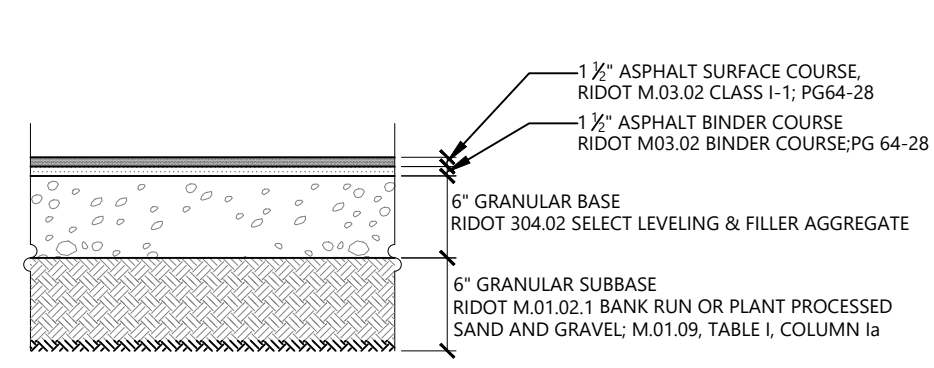


- NOTES**
1. THE MAXIMUM ALLOWABLE SIDEWALK AND CURB RAMP CROSS SLOPES SHALL BE 1.5 (1% MIN).
 2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMP SHALL BE 7.5%.
 3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE AT CURB RAMP SHALL BE 7.5%.
 4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E. HYDRANTS, UTILITY POLES, TREE WELLS, ETC.).
 5. CURB TREATMENT VARIES. SEE PLANS FOR CURB TYPE.
 6. RAMP, CURB, AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
 7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
 8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5' x 5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
 9. ELIMINATE CURBING AT RAMP (OTHER THAN VERTICAL CURBING, WHICH SHALL BE SET FLUSH) WHERE IT ABUTS ROADWAY.
 10. DETECTABLE WARNINGS SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES.
 11. DETECTABLE WARNINGS SHALL BE INSTALLED PERPENDICULAR TO ACCESSIBLE ROUTE.

Accessible Curb Ramp (ACR) Type 'A-D' 12/20
N.T.S. Source: VHB LD_500

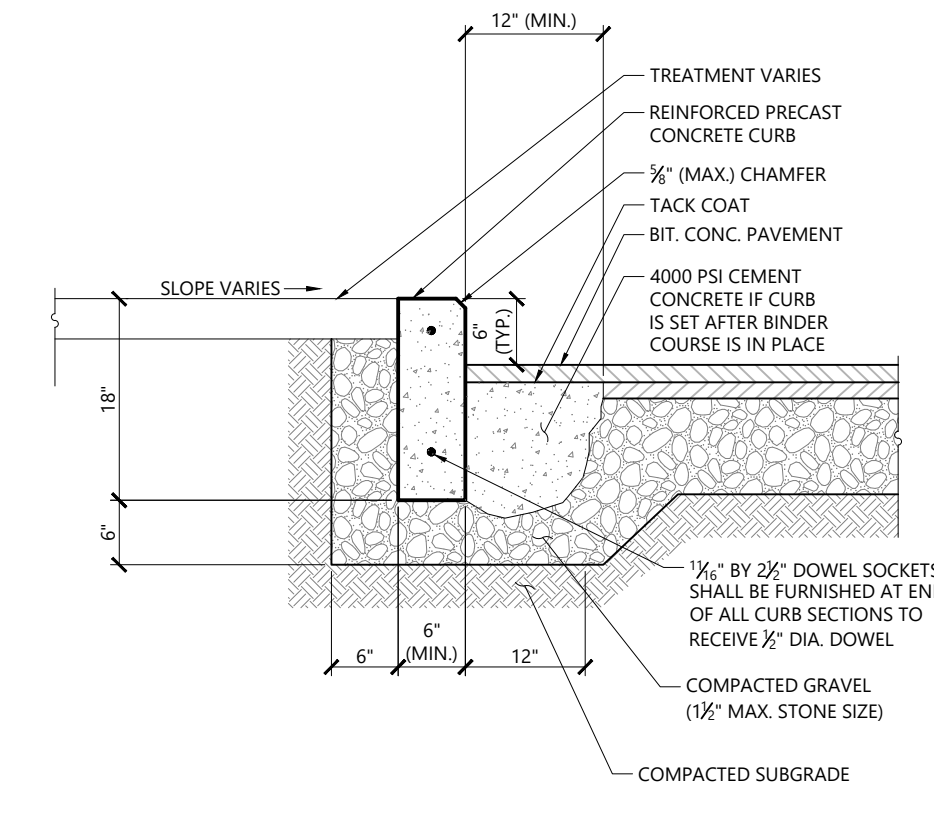


- NOTES**
1. GRANULAR SUBBASE MAY BE REDUCED TO SIX INCHES IF A LAYER OF GEOTRID (TENSAR TRUA 7XS OR EQUIVALENT) IS INCORPORATED INTO THE PAVEMENT SECTION BETWEEN THE GRANULAR BASE AND SUBBASE.

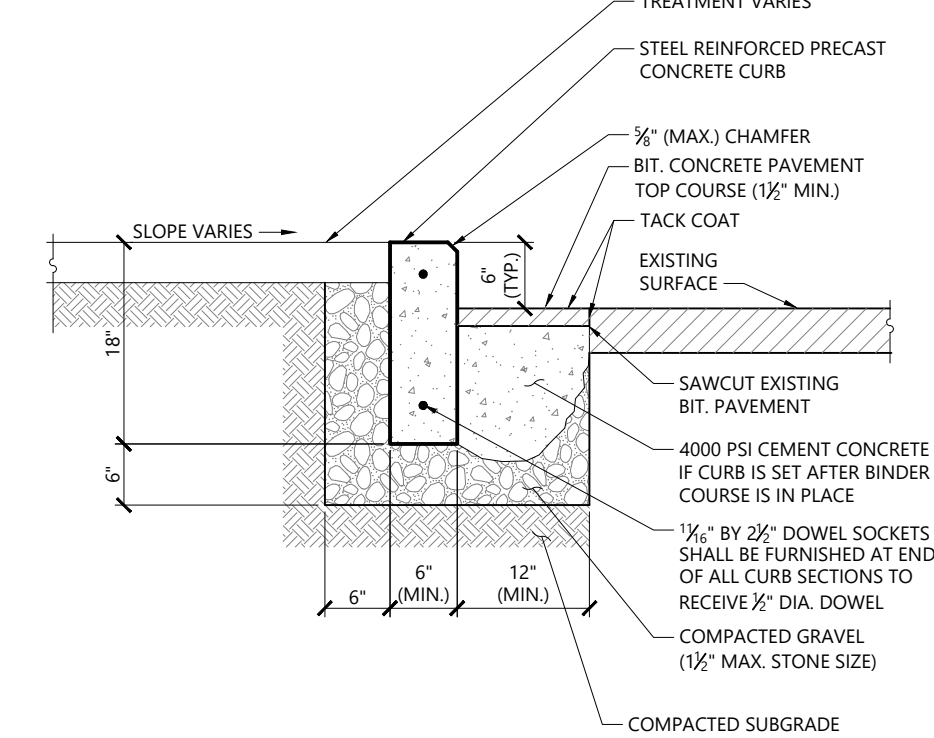


STANDARD DUTY FLEXIBLE PAVEMENT

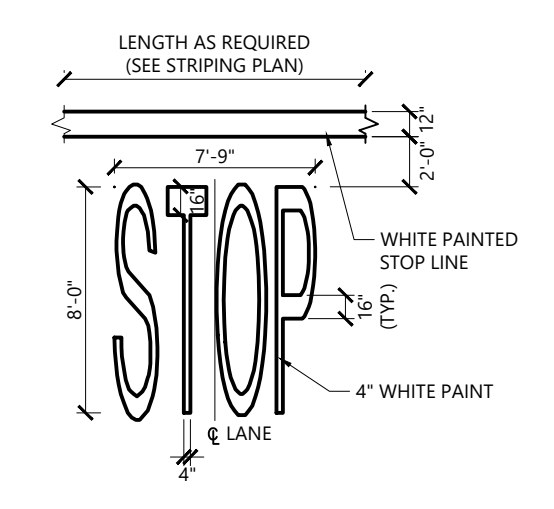
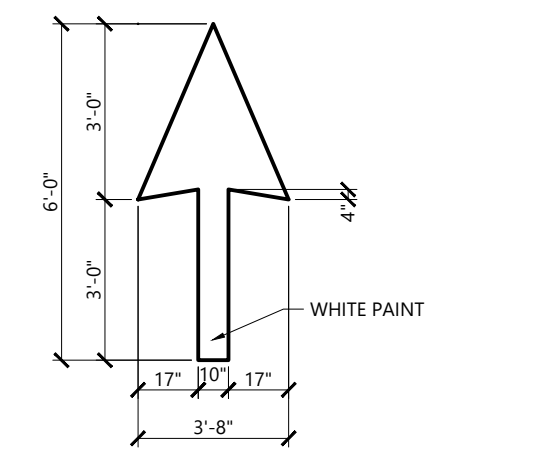
Bituminous Concrete Pavement Sections 1/16
N.T.S. Source: VHB REV LD_4305



Precast Concrete Curb (PCC) 1/16
N.T.S. Source: VHB LD_404

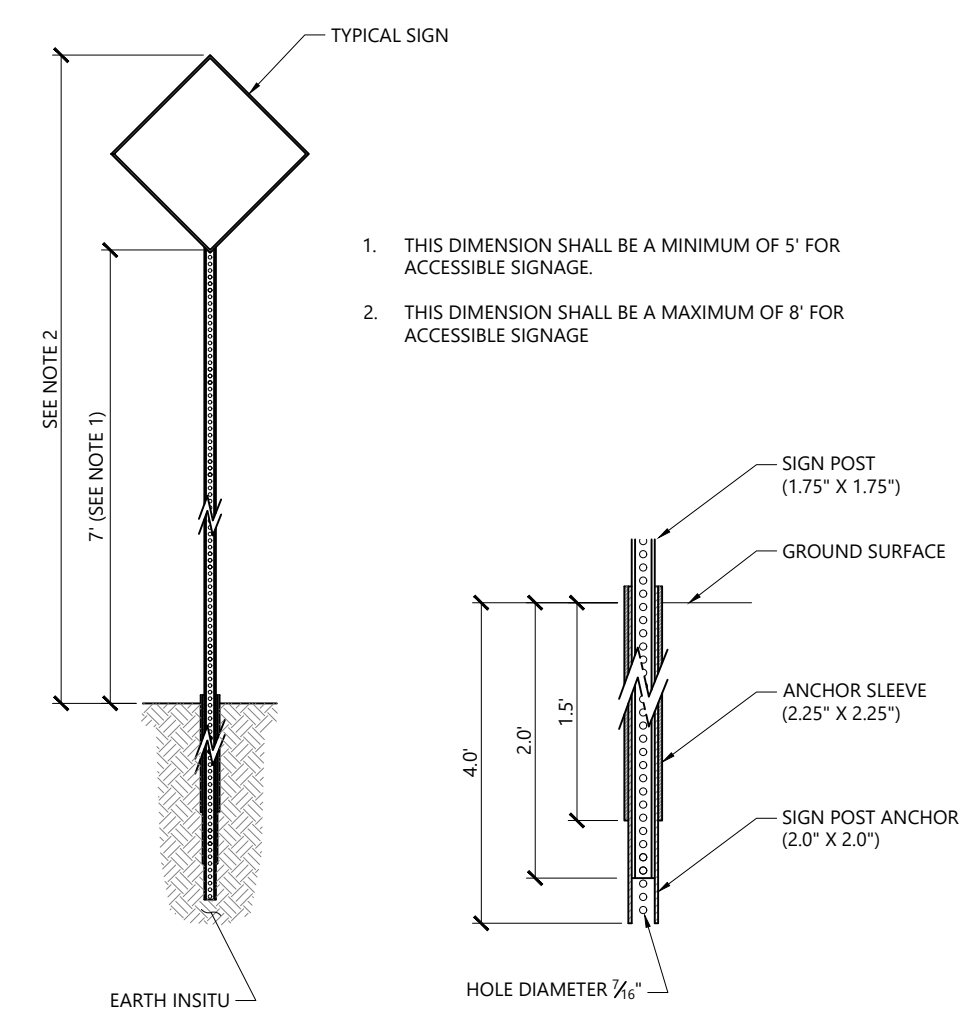


Precast Concrete Curb (PCC) Set In Existing Pavement 1/16
N.T.S. Source: VHB LD_405



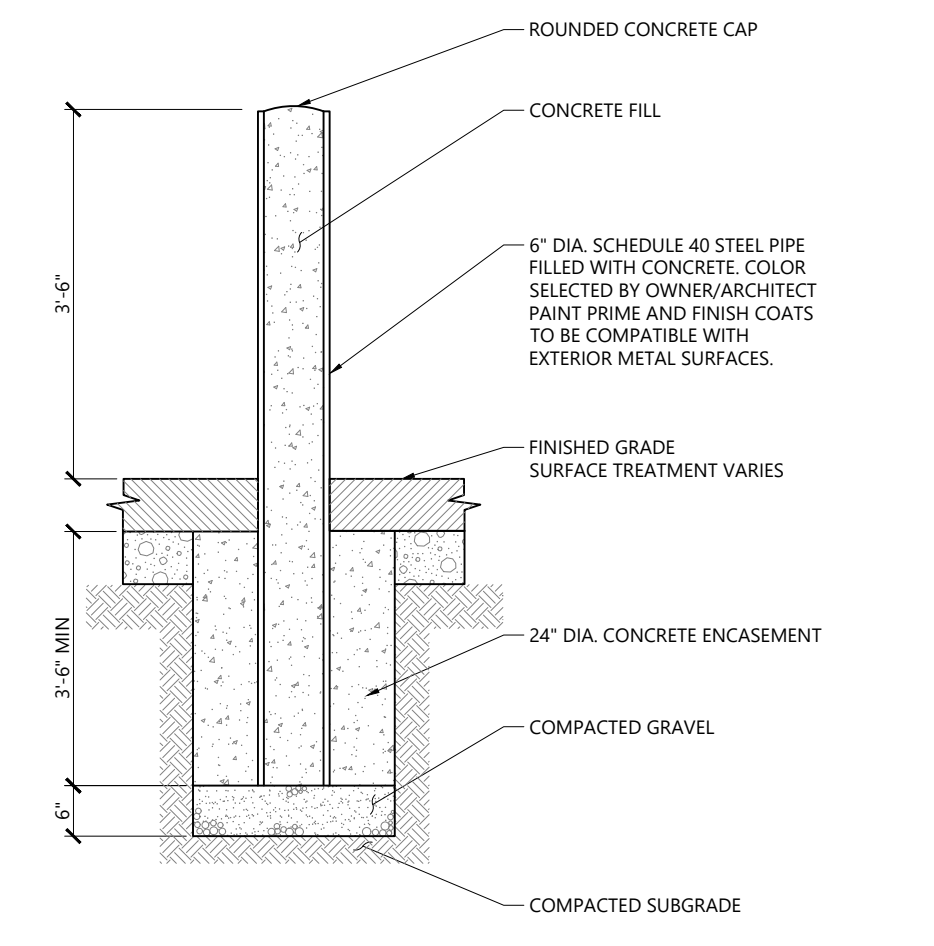
- NOTES**
1. PAVEMENT MARKINGS TO BE INSTALLED FOR ON SITE WORK IN LOCATIONS SHOWN.

Painted Pavement Markings - On Site 1/16
N.T.S. Source: VHB LD_554

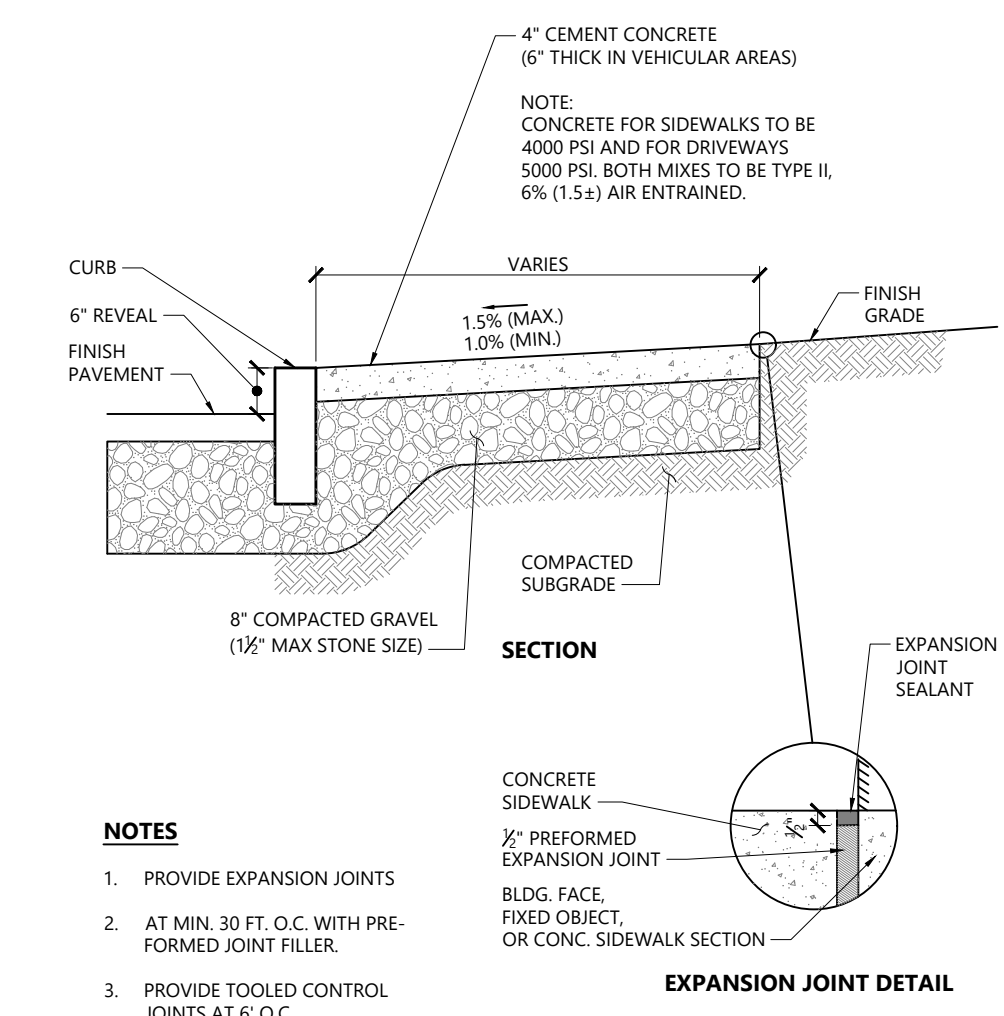


- NOTES**
1. THIS DIMENSION SHALL BE A MINIMUM OF 5' FOR ACCESSIBLE SIGNAGE.
 2. THIS DIMENSION SHALL BE A MAXIMUM OF 8' FOR ACCESSIBLE SIGNAGE.

Sign Post - Type 'B' 3/19
N.T.S. Source: VHB LD_702

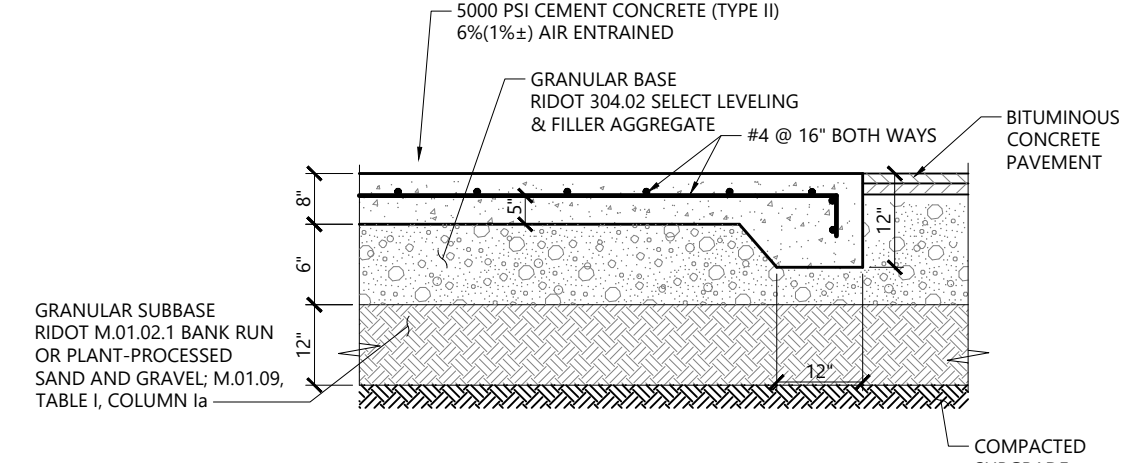


Bollard 12/19
N.T.S. Source: VHB LD_700



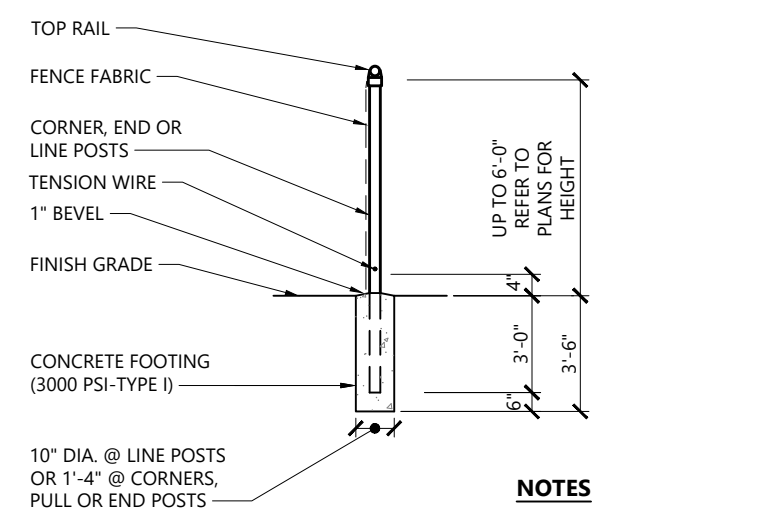
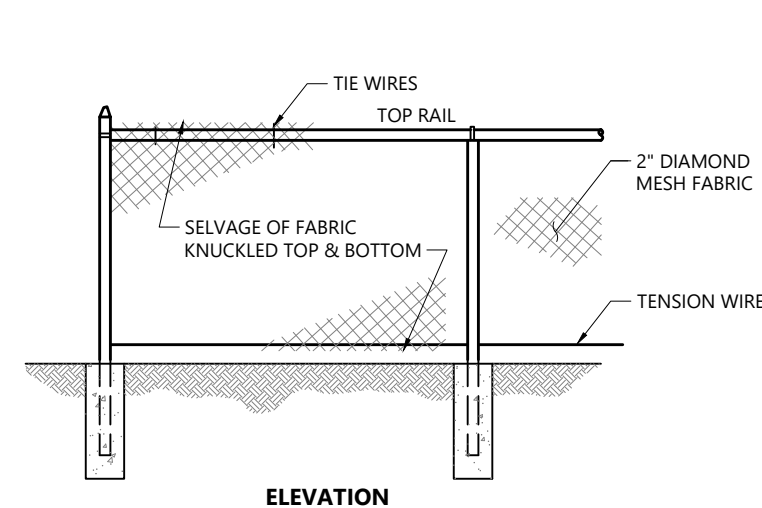
- NOTES**
1. PROVIDE EXPANSION JOINTS
 2. AT MIN. 30 FT. O.C. WITH PRE-FORMED JOINT FILLER.
 3. PROVIDE TOOLED CONTROL JOINTS AT 6' O.C.
 4. PROVIDE BROOM FINISH IN DIRECTION PERPENDICULAR TO CURB.

Concrete Sidewalk 1/16
N.T.S. Source: VHB LD_420



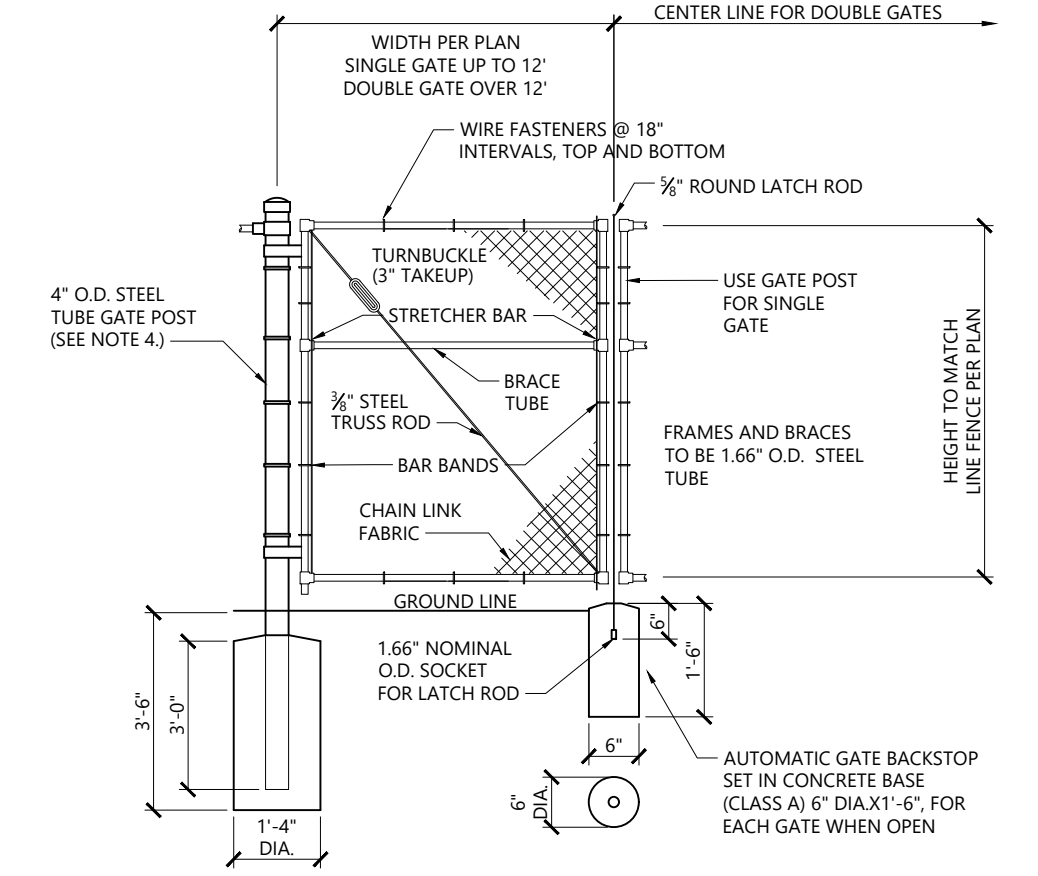
- NOTES**
1. SIZE OF PAD TO BE AS INDICATED ON PLANS.
 2. CONSTRUCTION JOINTS SHALL BE SPACED NO MORE THAN 30 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF THE PAD.
 3. GRANULAR SUBBASE MAY BE REDUCED TO SIX INCHES IF A LAYER OF GEOTRID (TENSAR TRUA 7XS OR EQUIVALENT) IS INCORPORATED INTO THE PAVEMENT SECTION BETWEEN THE GRANULAR BASE AND SUBBASE.

Loading Dock Pad 1/16
N.T.S. Source: VHB REV LD_711



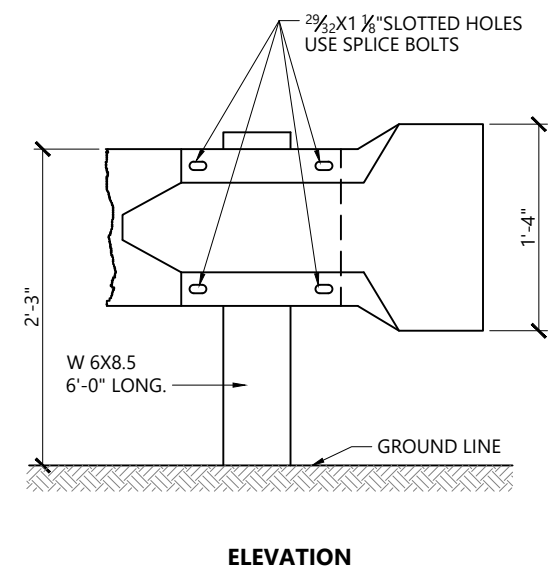
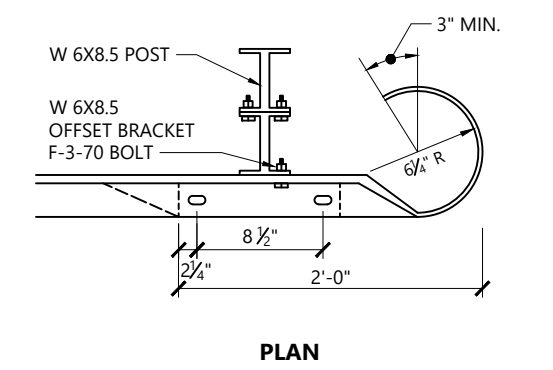
- NOTES**
1. MATERIALS TO BE SUPPLIED AND INSTALLED IN CONFORMANCE WITH "CHAIN LINK MANUFACTURER'S INSTITUTE" PRODUCT MANUAL.
 2. PRIVACY SLATS TO BE USED IN LOCATIONS INDICATED ON PLANS

Chain Link Fence up to 6' 1/16
N.T.S. Source: VHB REV LD_481

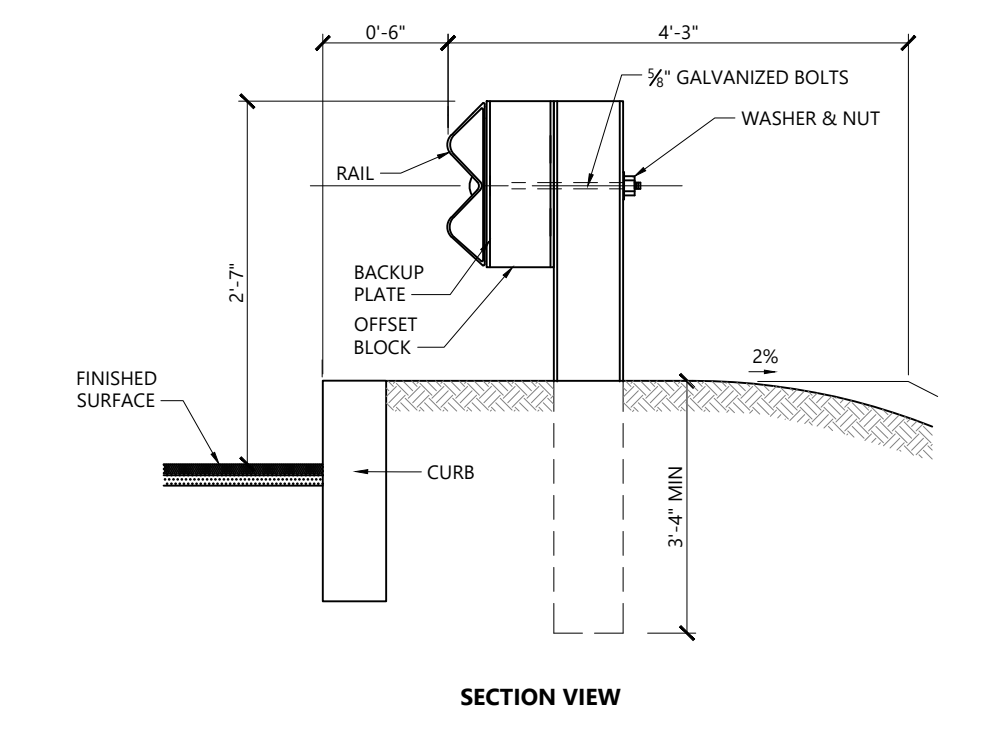
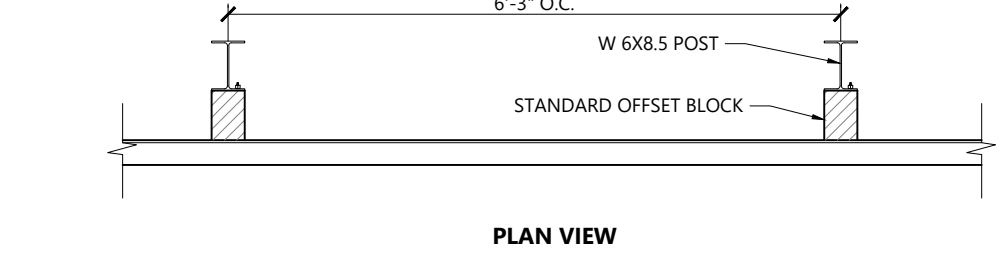


- NOTES**
1. CHAIN LINK FABRIC FOR GATES TO BE THE SAME AS REQUIRED FOR FENCE.
 2. GATE POST BASE-PORTLAND CEMENT CONCRETE (3000 PSI).
 3. FENCE FABRIC, POSTS, FRAMEWORKS, AND HARDWARE SHALL BE GALVANIZED STEEL PER SPECIFICATIONS.
 4. GATE POSTS TO BE USED ON EACH SIDE OF SINGLE AND DOUBLE GATE OPENINGS.

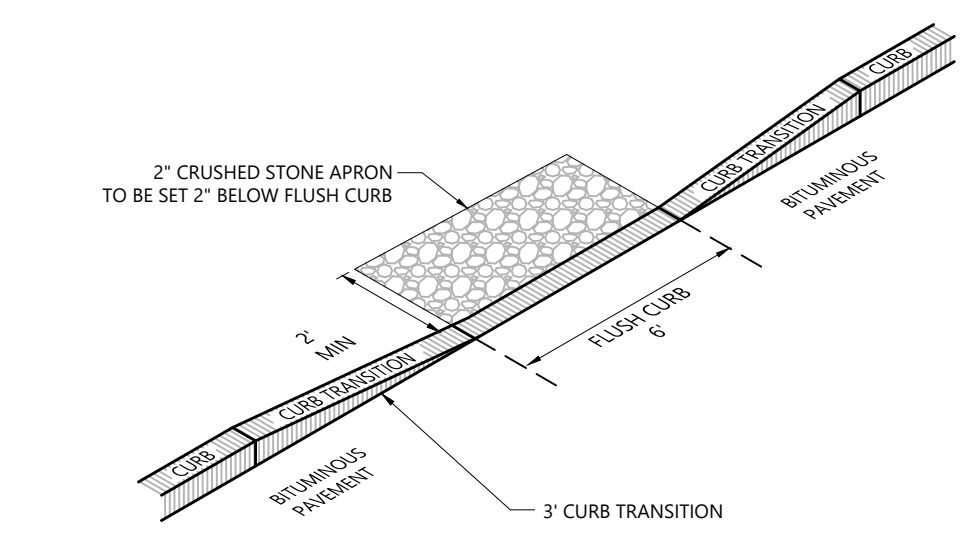
Chain Link Fence Gate 12/19
N.T.S. Source: VHB LD_482



Terminal End Section 1/16
N.T.S. Source: VHB LD_457



Steel Beam Guardrail with Steel Post 10/20
N.T.S. Source: VHB LD_456



Curb Break 1/16
N.T.S. Source: VHB

Proposed Warehouse/Distribution Development

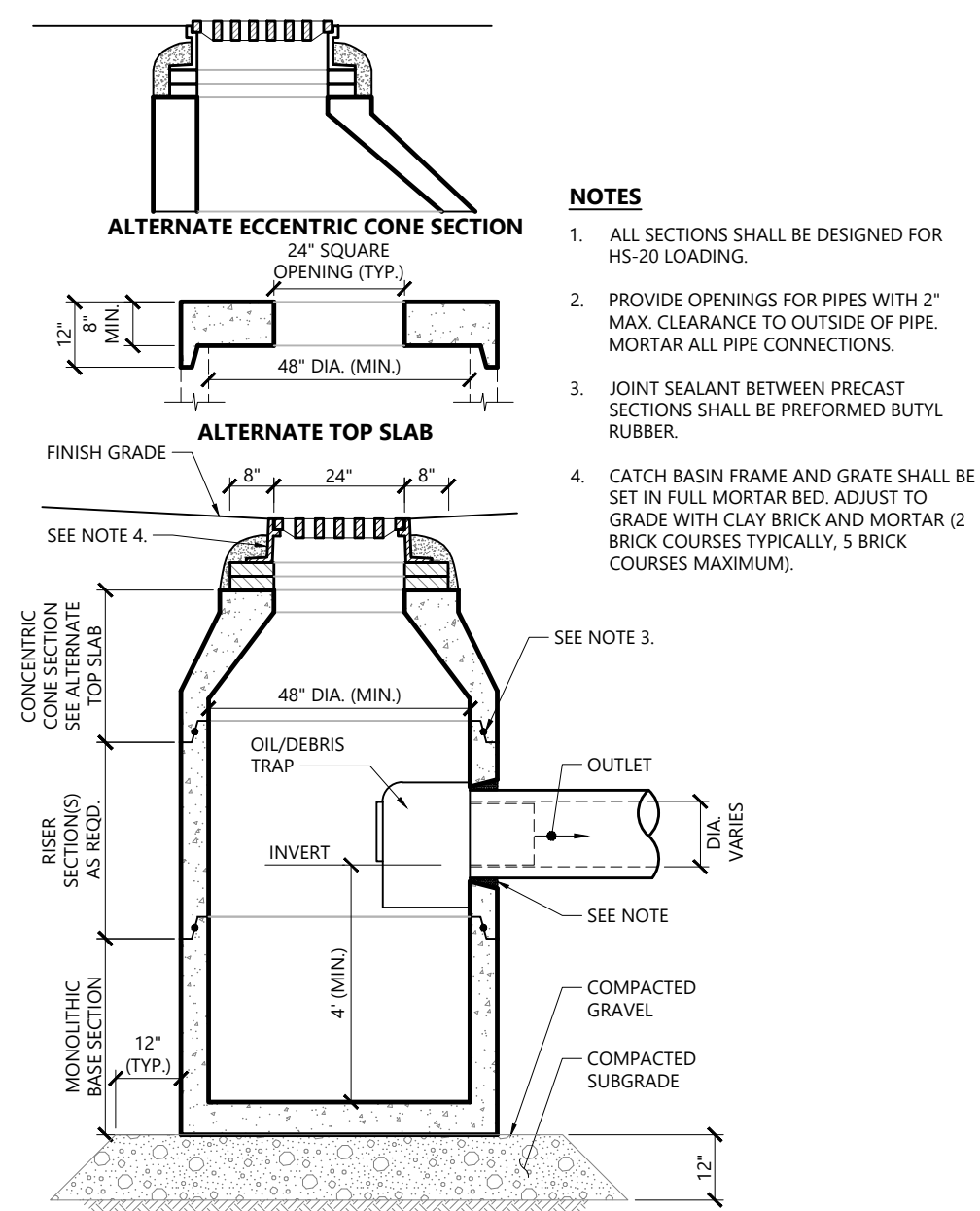
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	App'd
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: AEC
Checked by: RLC
Issued for: Construction
Date: February 22, 2022

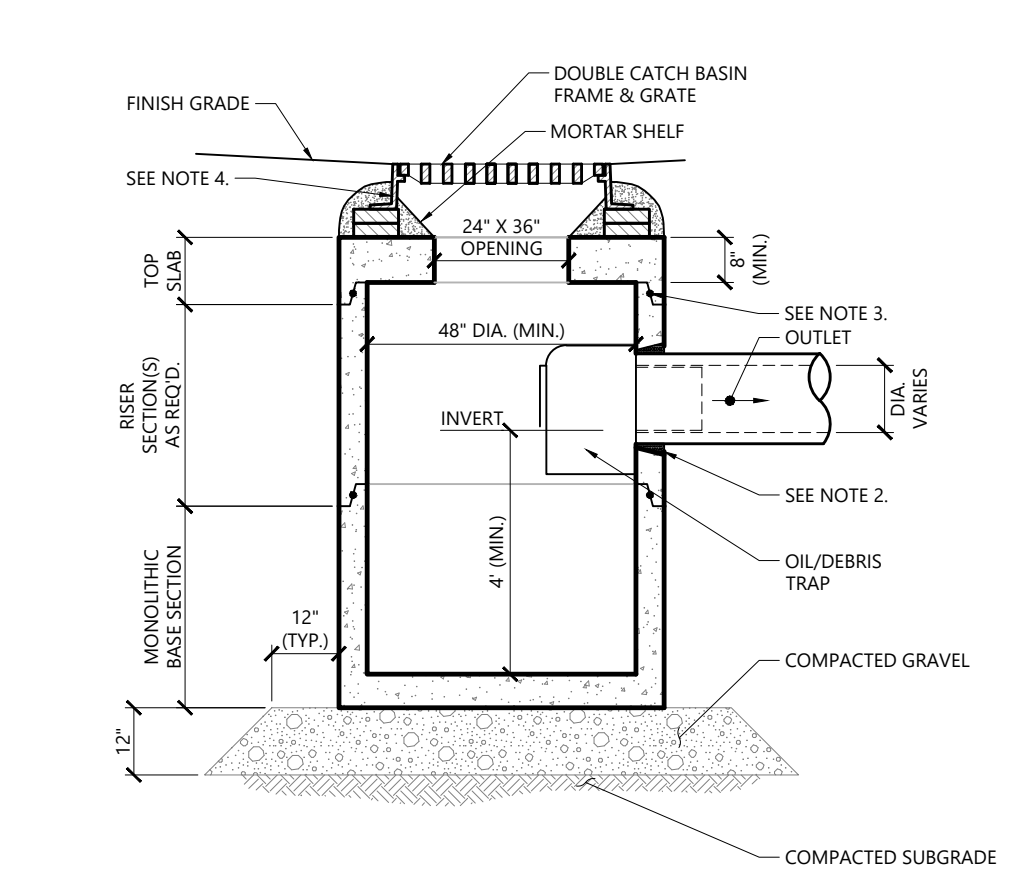
Drawing Title: **Site Details 1**
Drawing Number: **C5.01**
Sheet 17 of 21
Project Number: 73180.00

Professional Engineer Seal for **REVEE L. CODEGA**, No. 6517, Registered Professional Engineer, dated 2/22/2022.



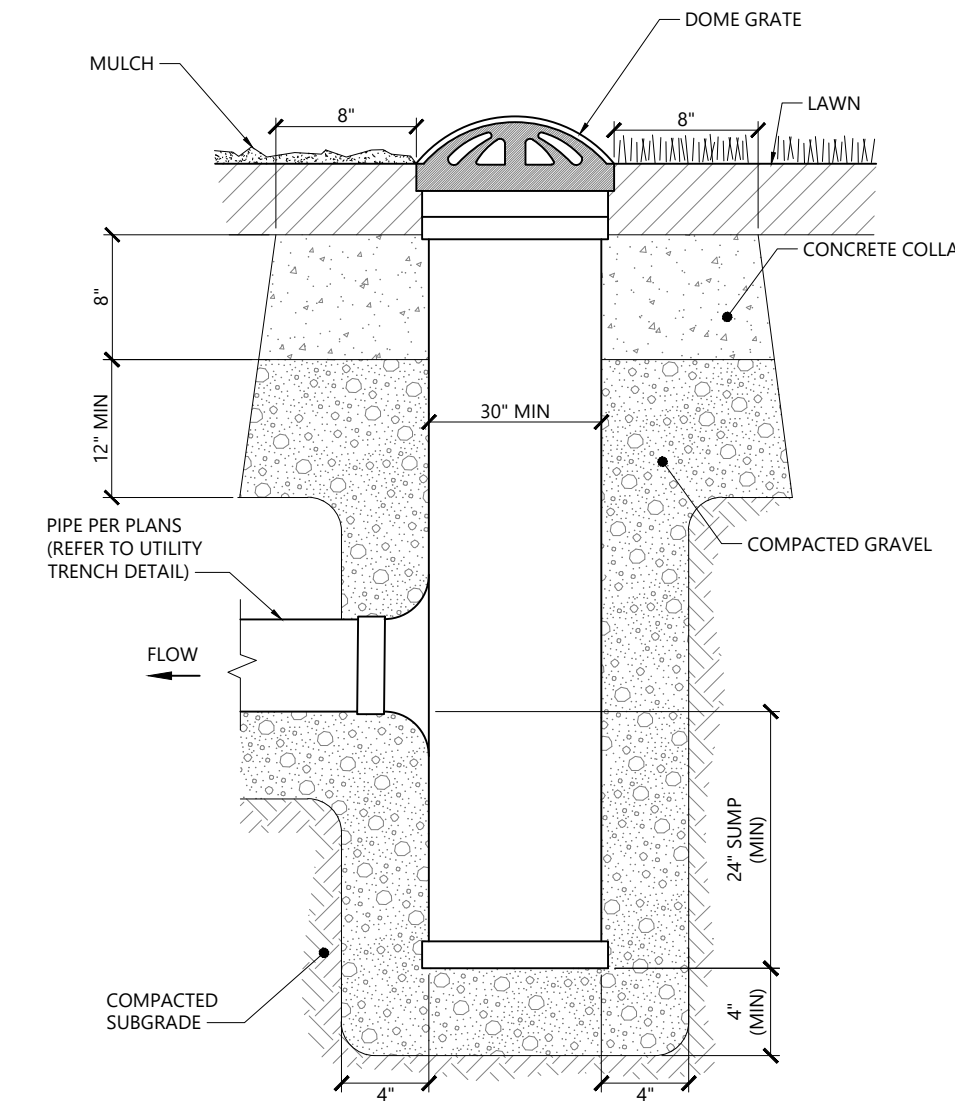
- NOTES**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 4. CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

Catch Basin (CB) With Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_101



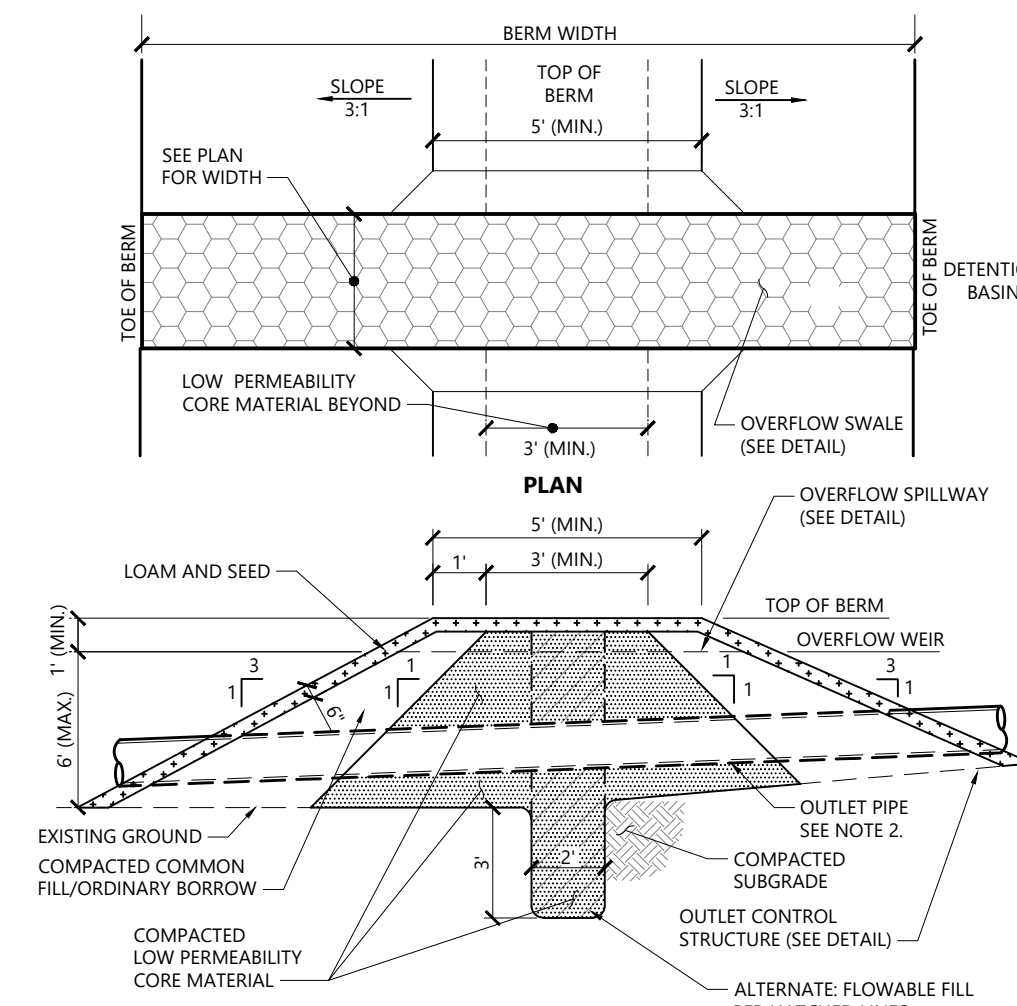
- NOTES**
1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
 2. PROVIDE OPENINGS FOR PIPES WITH 2" MAX. CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
 3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 4. DOUBLE CATCH BASIN FRAME AND GRATE SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH CLAY BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

Double Grate Catch Basin (DCB) with Oil/Debris Trap 1/16
N.T.S. Source: VHB LD_103



- NOTES**
1. LANDSCAPE DRAINS SHALL BE NYLOPLAST 30" DRAIN BASIN, OR APPROVED EQUAL.
 2. GRATES SHALL BE NYLOPLAST, 30" DOME GRATE, OR APPROVED EQUAL AS SHOWN ON PLANS.

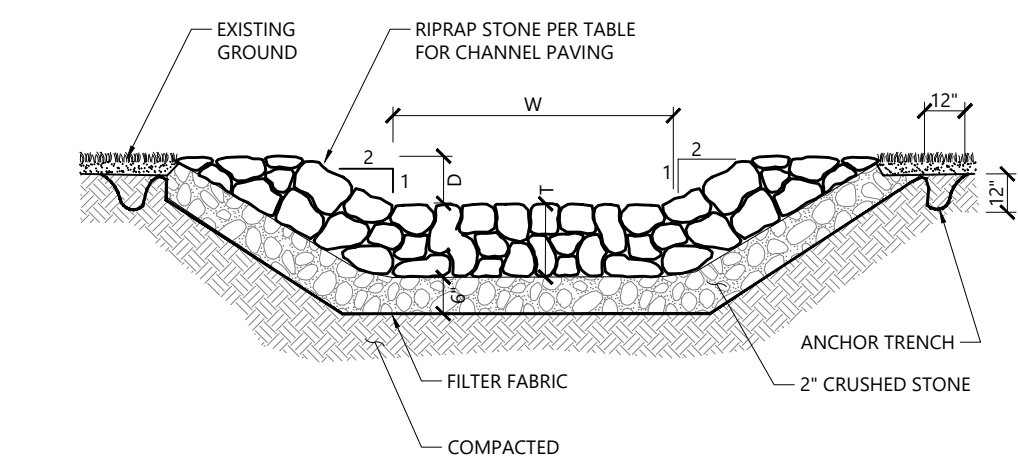
Landscape Drain (LD) 9/17
N.T.S. Source: VHB LD_197



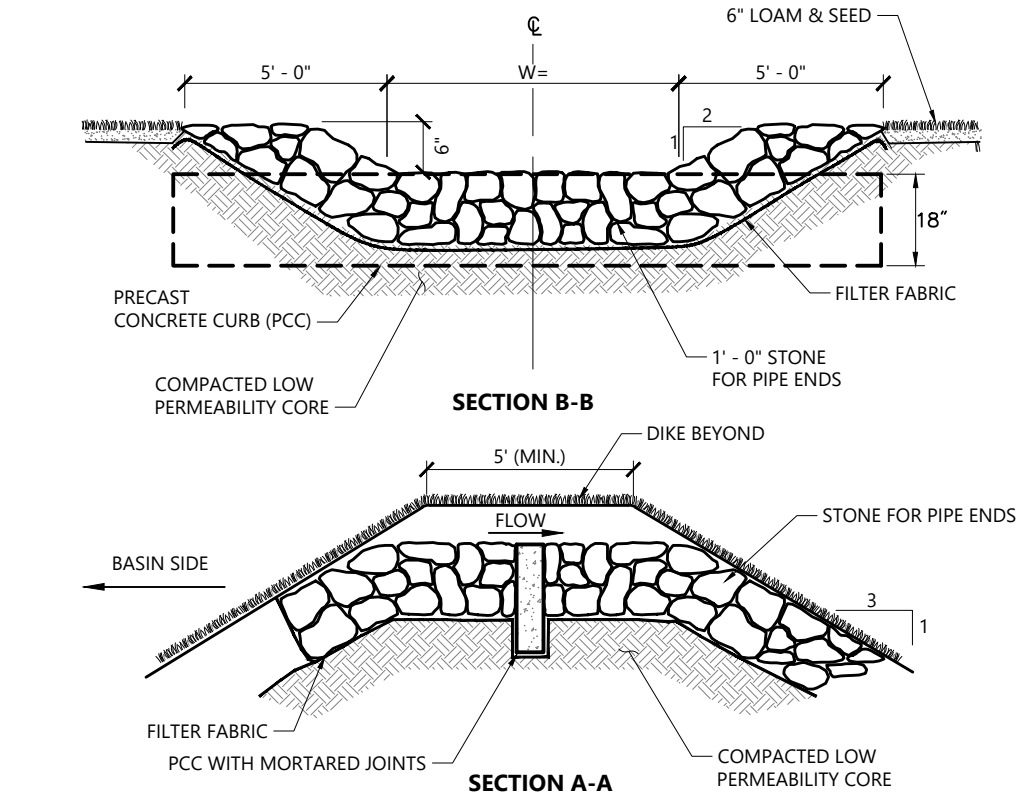
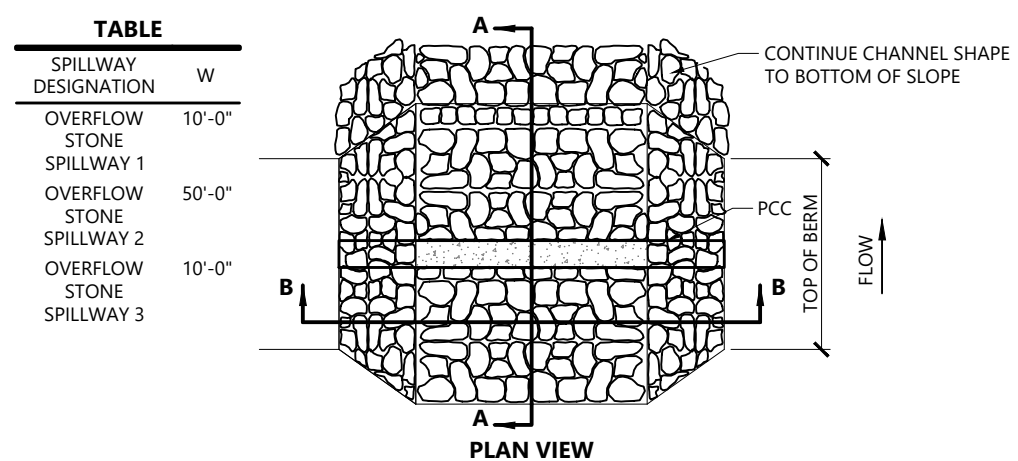
- NOTES**
1. LOW PERMEABILITY CORE MATERIAL IS CONTINUOUS FOR THE FULL LENGTH OF THE BANKMENT.
 2. WHERE PIPES PENETRATE THE LOW PERMEABILITY CORE, PIPES SHALL BE BEDDED IN THE LOW PERMEABILITY CORE MATERIAL.
 3. DETENTION BASIN BERM TO BE LOCATED ON ENTIRE BERM AREA OF DETENTION BASIN 1 AND DETENTION BASIN 2.

Detention Basin Berm Section 3/19
N.T.S. Source: VHB REV LD_160

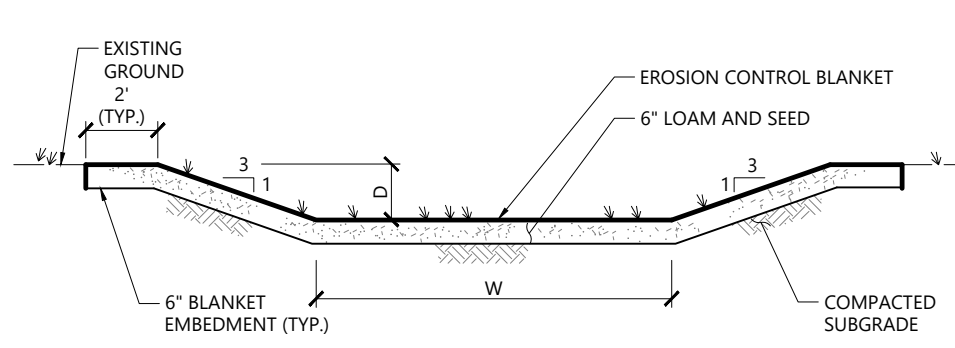
CHANNEL DESIGNATION	W	T	D	STONE DIA. (IN)
RC-1	11'-0"	1'-0"	1'-6"	0'-6"
RC-2	11'-0"	1'-0"	1'-6"	0'-6"



Riprap Channel 1/16
N.T.S. Source: VHB REV LD_170

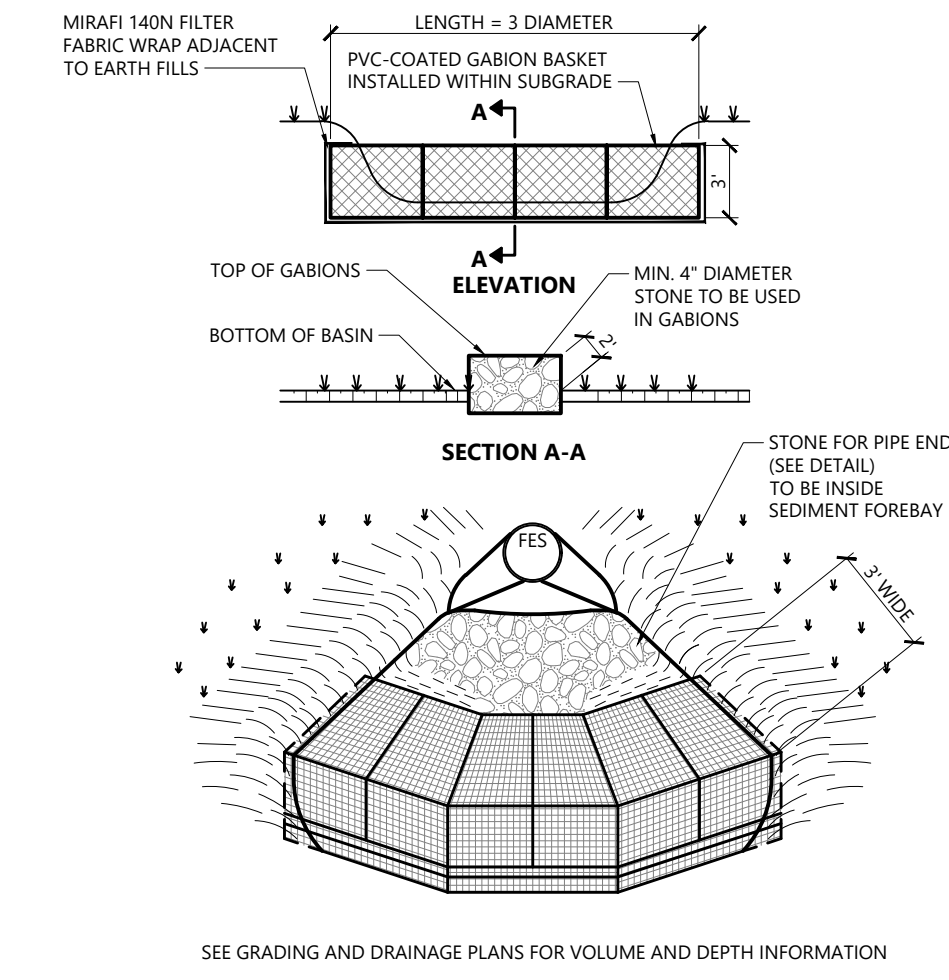


Overflow Stone Spillway 1/16
N.T.S. Source: VHB LD_161

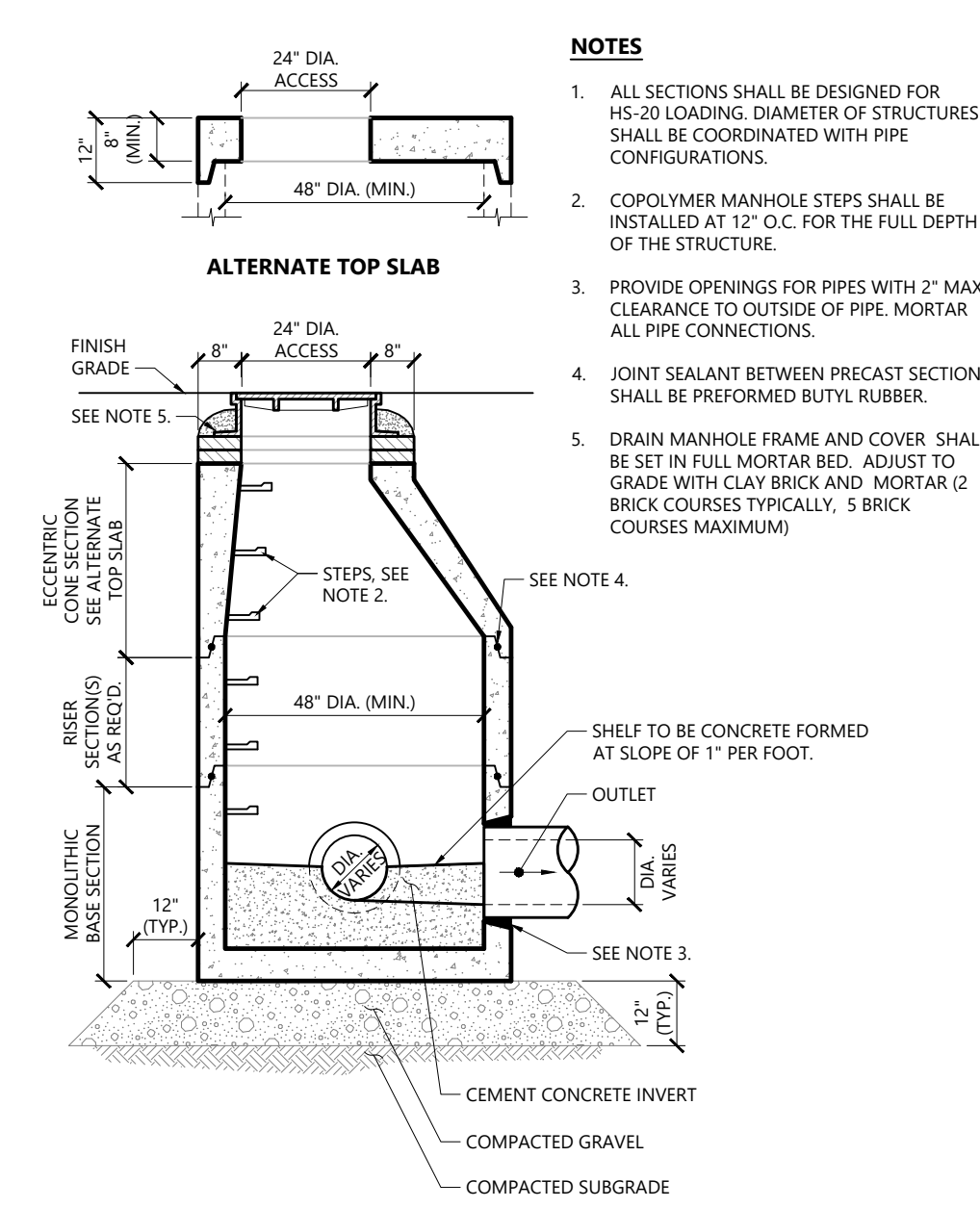


GRASSED CHANNEL	W	D
CH-1	2'-0"	1'-0"

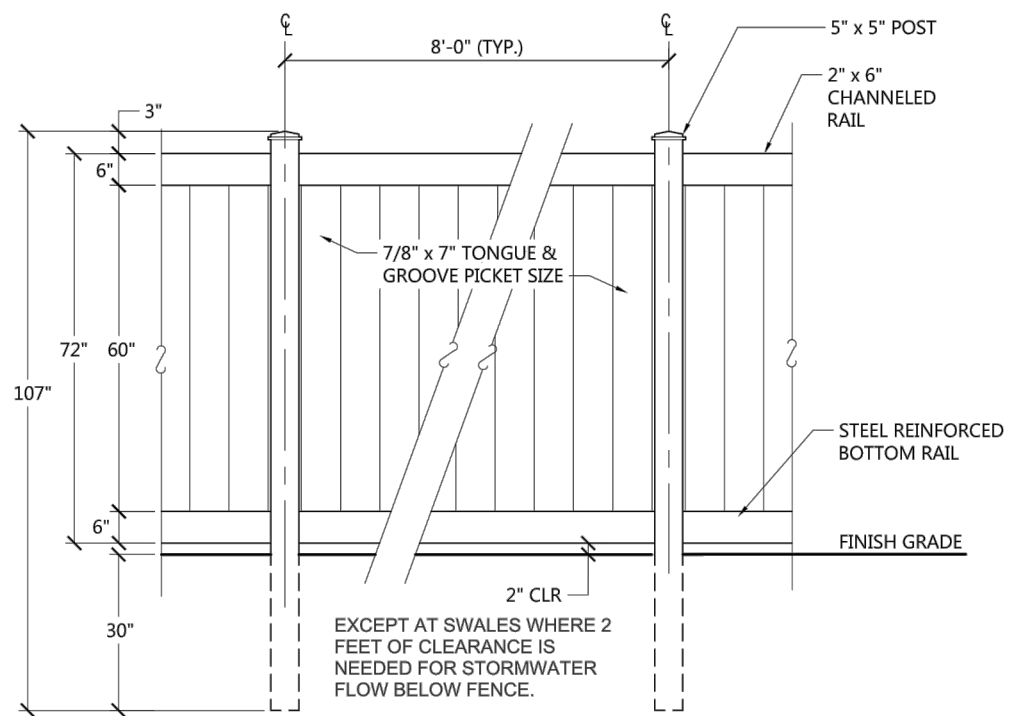
Grassed Channel 1/16
N.T.S. Source: VHB REV LD_171



Sediment Forebay with Gabion Baffles 1/16
N.T.S. Source: VHB LD_166

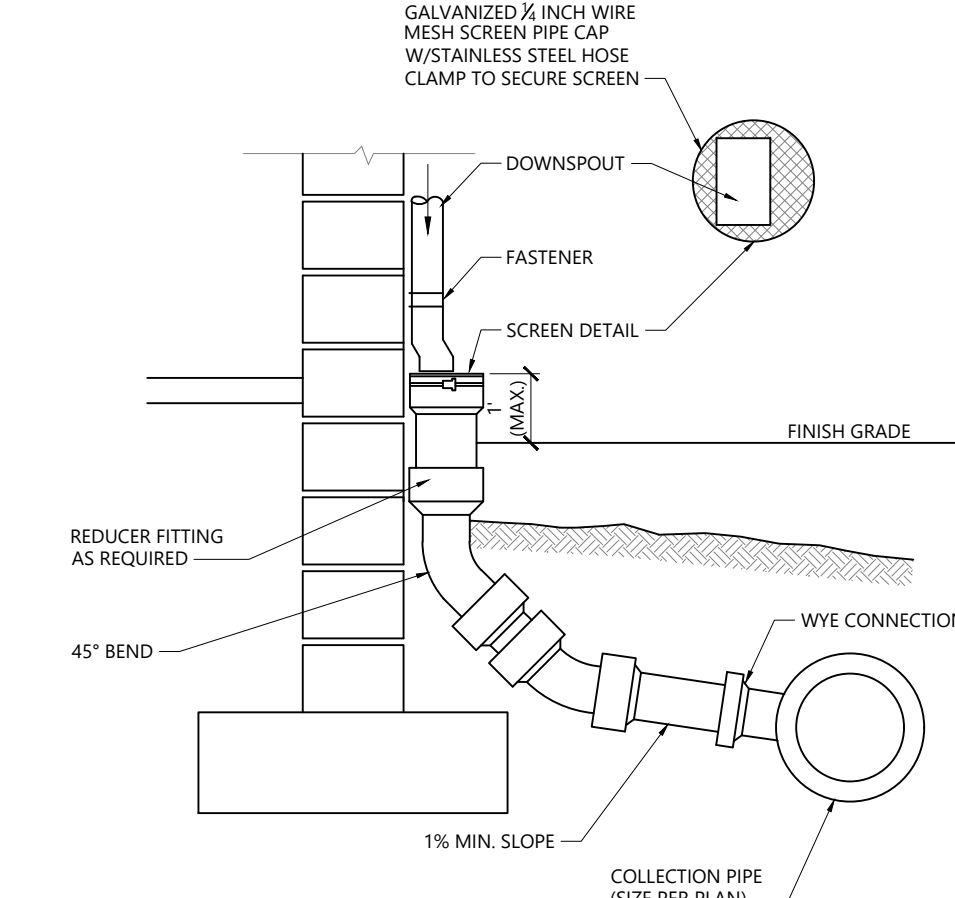


Drain Manhole (DMH) 1/16
N.T.S. Source: VHB LD_115

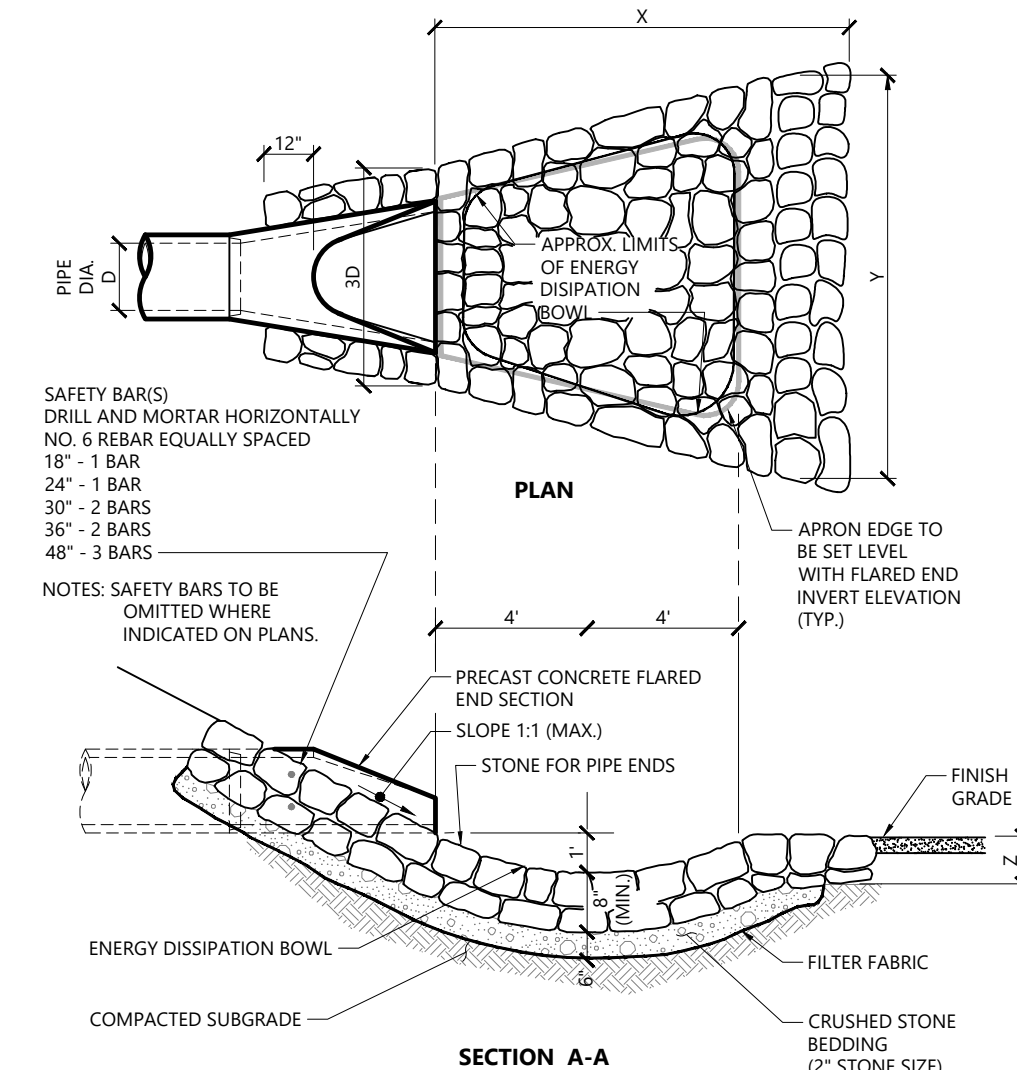


- NOTES**
1. FENCE TO BE "CHESTERFIELD WITH CERTAINAM TEXTURE" AS MANUFACTURED BY CERTAINTED (800) 238-8999. COLOR TO BE SELECTED BY OWNER.
 2. POSTS SHALL MAINTAIN A DEPTH OF 2'-6" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
 3. LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS AND PICKETS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.
 4. GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED. THE CONTRACTOR SHALL SUBMIT GATE AND FENCE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW. GATE TO BE PROVIDED FOR CITY ACCESS TO HOT BOX. SEE PLANS FOR LOCATION.

6' Ht. PVC Board Style Fence 3/17
N.T.S. Source: VHB REV LD_472



Downspout Rain Leader 1/16
N.T.S. Source: VHB LD_195



Flared End Section (FES) with Stone Protection 3/19
N.T.S. Source: VHB LD_134

FES NO.	X	Y	Z	STONE DIA. (IN)
339	12 ft	8 ft	14 in	6 in
336	8 ft	5 ft	14 in	6 in
338	4 ft	3 ft	14 in	6 in
331	6 ft	4 ft	14 in	6 in
309	6 ft	4 ft	14 in	6 in
306	6 ft	5 ft	14 in	6 in
324	12 ft	7 ft	14 in	6 in
304	8 ft	5 ft	14 in	6 in
300	8 ft	5 ft	14 in	6 in
310	12 ft	8 ft	14 in	6 in
367	6 ft	7 ft	14 in	6 in
365	6 ft	7 ft	14 in	6 in
363	6 ft	7 ft	14 in	6 in
361	12 ft	8 ft	14 in	6 in
702	20 ft	23 ft	18 in	8 in
716	13 ft	15 ft	14 in	6 in
720	6 ft	4 ft	14 in	6 in

Proposed Warehouse/Distribution Development

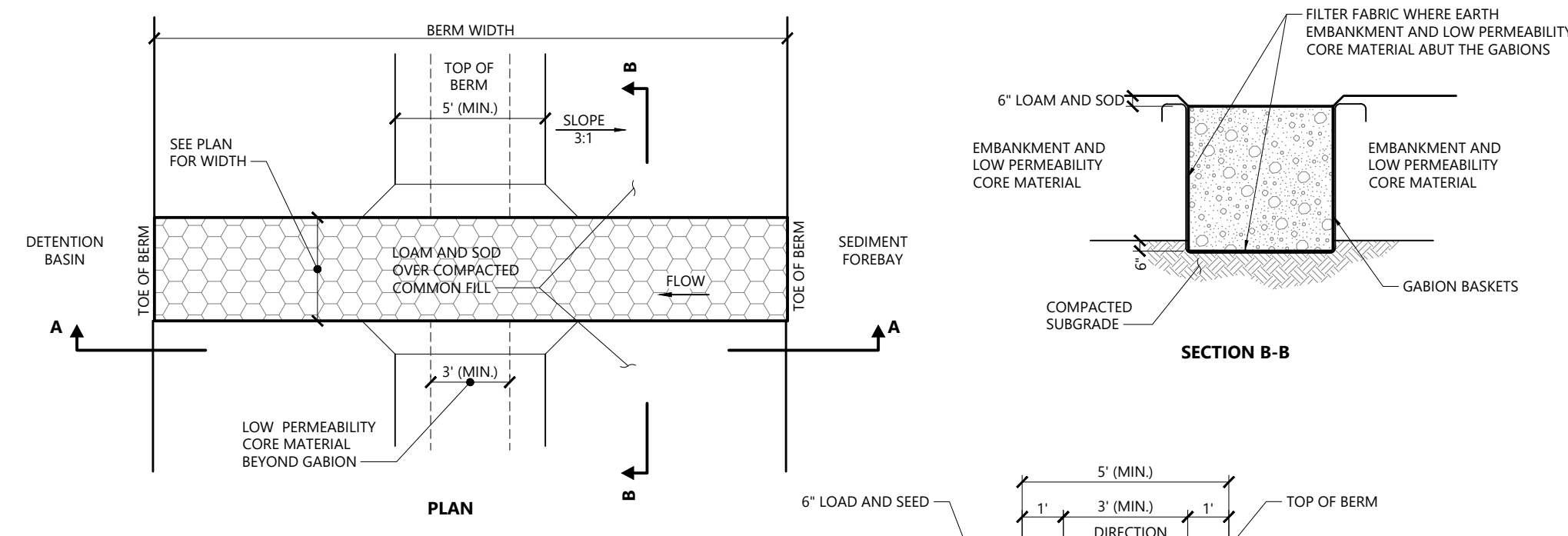
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd
1	RIDM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Site Details 2

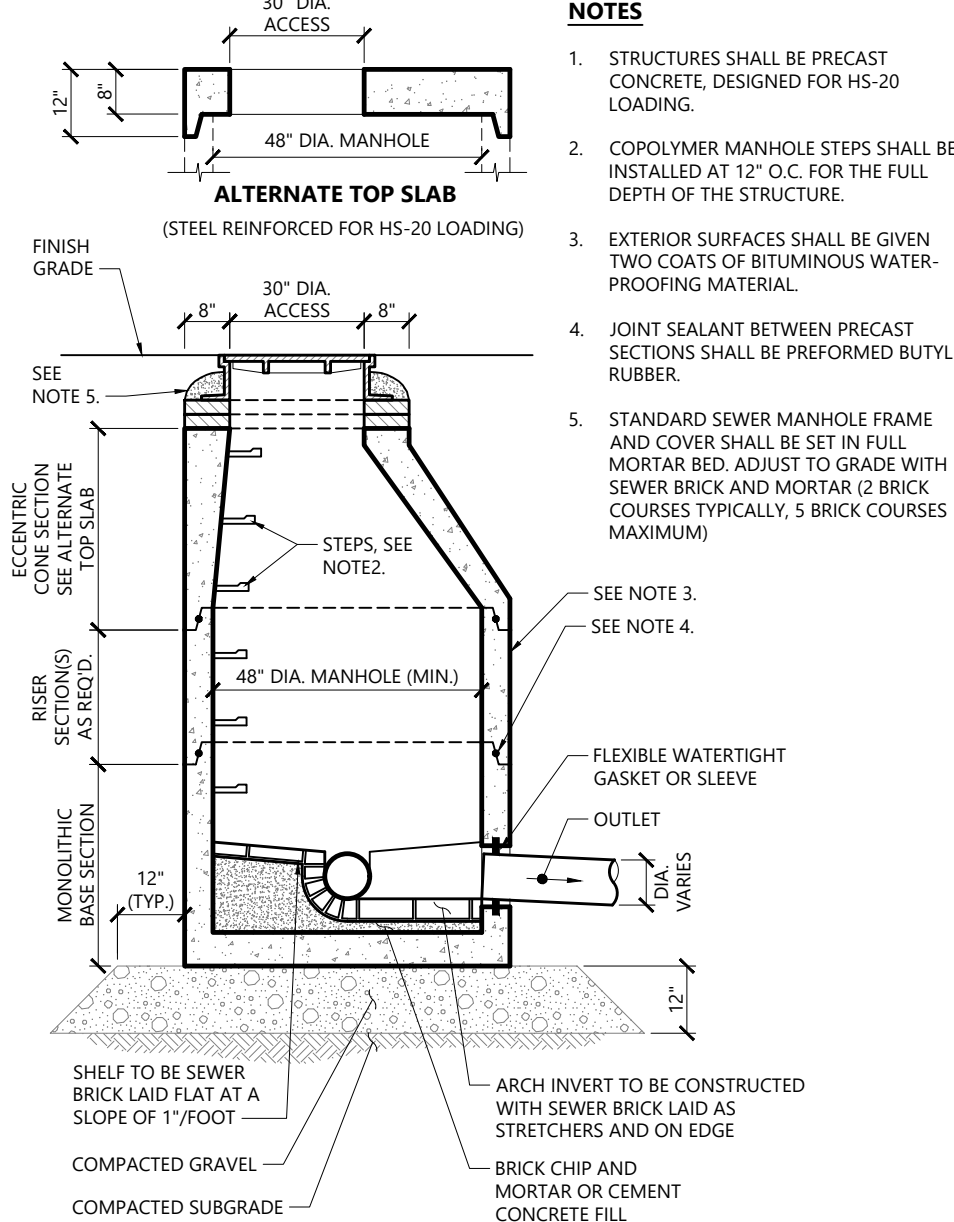
Drawing Number: **C5.02**
Sheet: **18** of **21**
Project Number: **73180.00**
Registered Professional Engineer: **RENE L. CODEGA** No. **6517**
Date: **2/22/2022**



- NOTES**
- CORE MATERIAL SHALL HAVE A PERMEABILITY OF LESS THAN 1X10⁻⁵ INCHES PER HOUR.
 - COMBINE GABIONS TO MEET WIDTH AND LENGTH DIMENSIONS AND ELEVATIONS SHOWN ON PLAN. TYPICAL GABION IS 3' WIDE X 3' HIGH X 3' LONG.
 - PROVIDE FILTER FABRIC TO PREVENT EARTH EMBANKMENT FROM SILTING INTO GABIONS.
 - SEE SPECIFICATIONS FOR EMBANKMENT MATERIALS.
 - GABION ROCK TO BE PER EARTHWORK SPECIFICATIONS: STONE FOR PIPE ENDS WITH SIZE D₅₀=50.

Sediment Forebay SFB-3A Berm

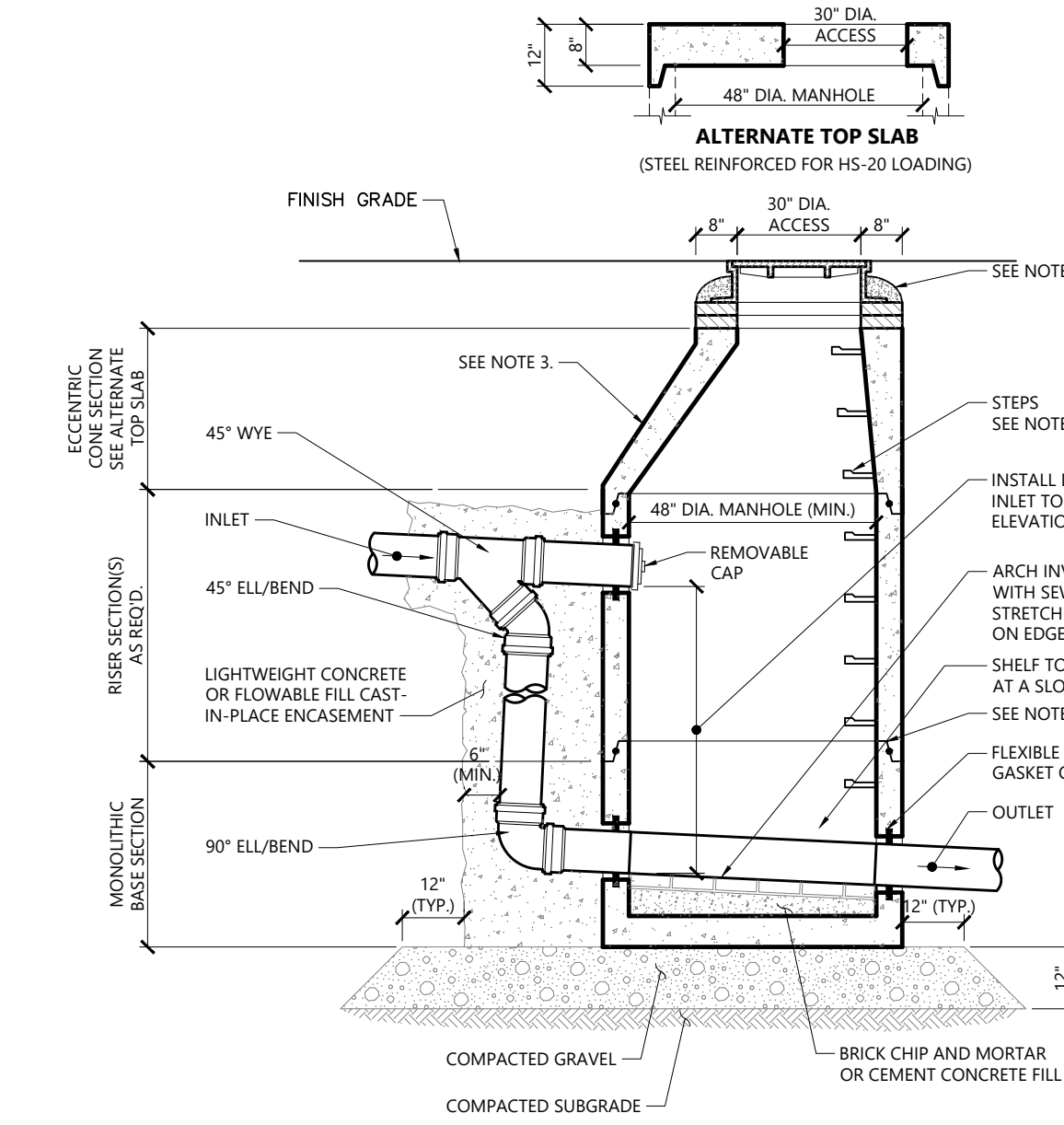
N.T.S. Source: VHB REV LD_164



- NOTES**
- STRUCTURES SHALL BE PRECAST CONCRETE, DESIGNED FOR HS-20 LOADING.
 - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.
 - STANDARD SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH SEWER BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

Sanitary Sewer Manhole (SMH)

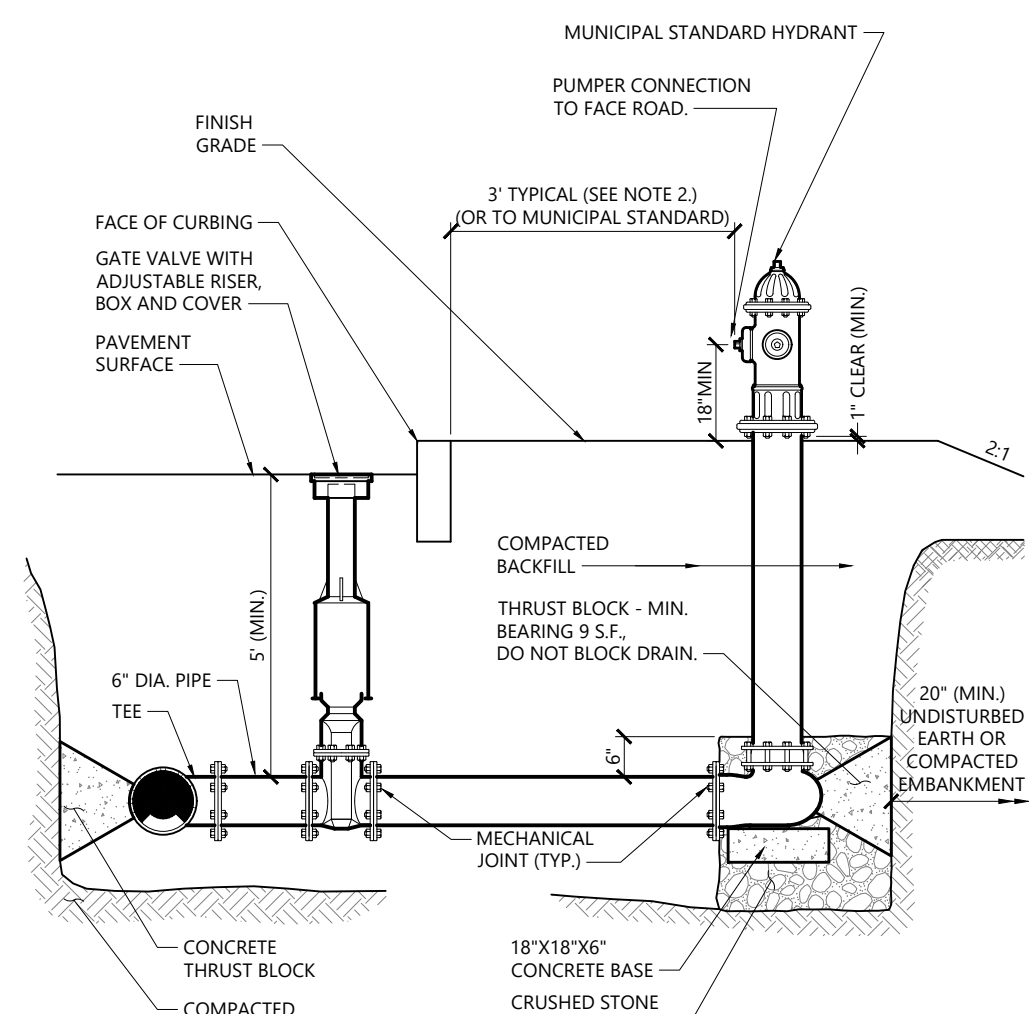
N.T.S. Source: VHB REV LD_200



- NOTES**
- STRUCTURE SHALL BE DESIGNED FOR HS-20 LOADING.
 - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12" O.C. FOR THE FULL DEPTH OF THE STRUCTURE.
 - EXTERIOR SURFACES SHALL BE GIVEN TWO COATS OF BITUMINOUS WATER-PROOFING MATERIAL.
 - JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE BUTYL RUBBER.
 - SEWER MANHOLE FRAME AND COVER SHALL BE SET IN FULL MORTAR BED. ADJUST TO GRADE WITH SEWER BRICK AND MORTAR (2 BRICK COURSES TYPICALLY, 5 BRICK COURSES MAXIMUM).

Exterior Drop Sewer Manhole (SMH) Type "B"

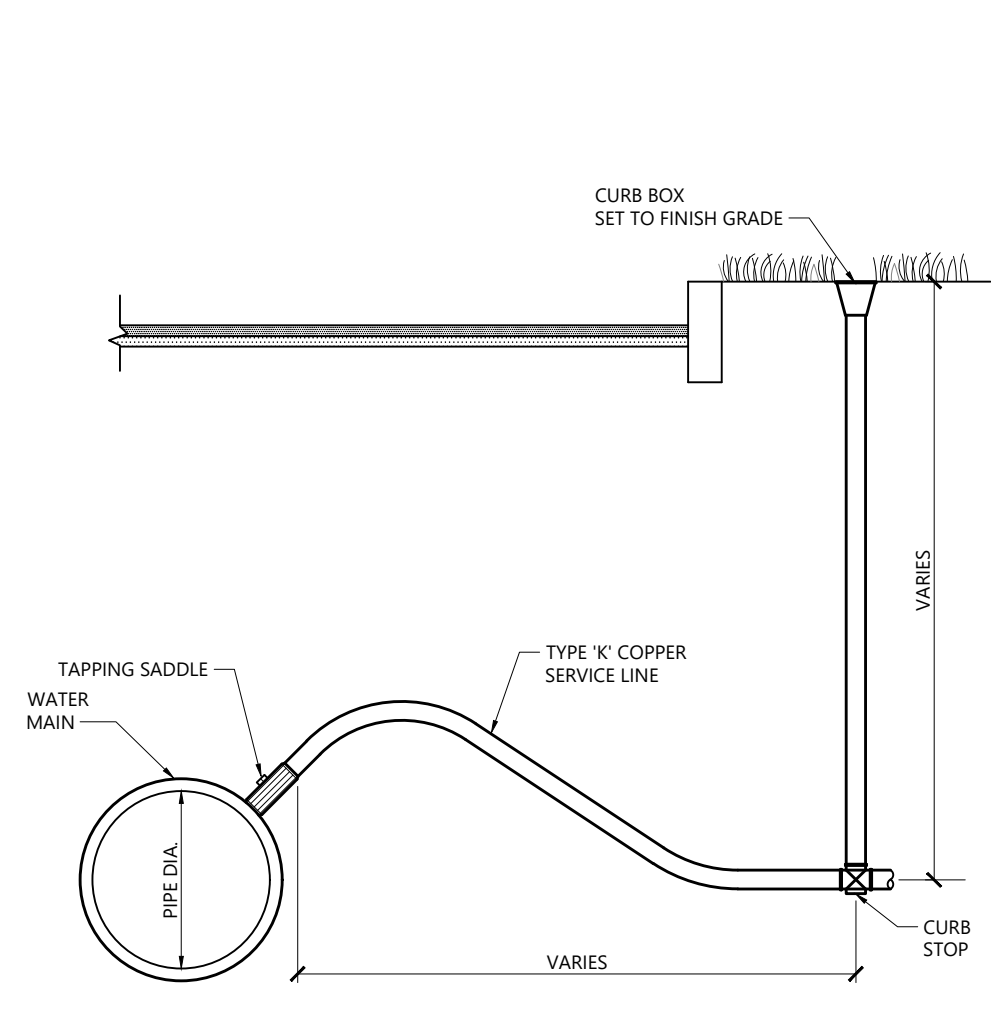
N.T.S. Source: VHB REV LD_204



- NOTES**
- CONCRETE THRUST BLOCKS TO BE USED ONLY WHERE THEY CAN BEAR ON UNDISTURBED EARTH AS SHOWN. USE CLAMPS AND TIE RODS OR OTHER ACCEPTABLE METHOD OF JOINT RESTRAINT WHERE SOIL CONDITIONS PROHIBIT THE USE OF THRUST BLOCKS.
 - HYDRANT IN SIDEWALK AREAS TO BE LOCATED TO PROVIDE MINIMUM CLEAR SIDEWALK PASSAGE WIDTH OF 3 FEET AT HYDRANT.
 - A 36-INCH CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF THE HYDRANT UNLESS OTHERWISE APPROVED BY AUTHORITY HAVING JURISDICTION.

Hydrant Construction

N.T.S. Source: VHB REV LD_250



- NOTES**
- INSTALLATIONS SHALL CONFORM WITH MUNICIPAL WATER WORKS SPECIFICATIONS AND STANDARDS.

Tapping Saddle/Curb Stop with Box

N.T.S. Source: VHB REV LD_256

CD-3

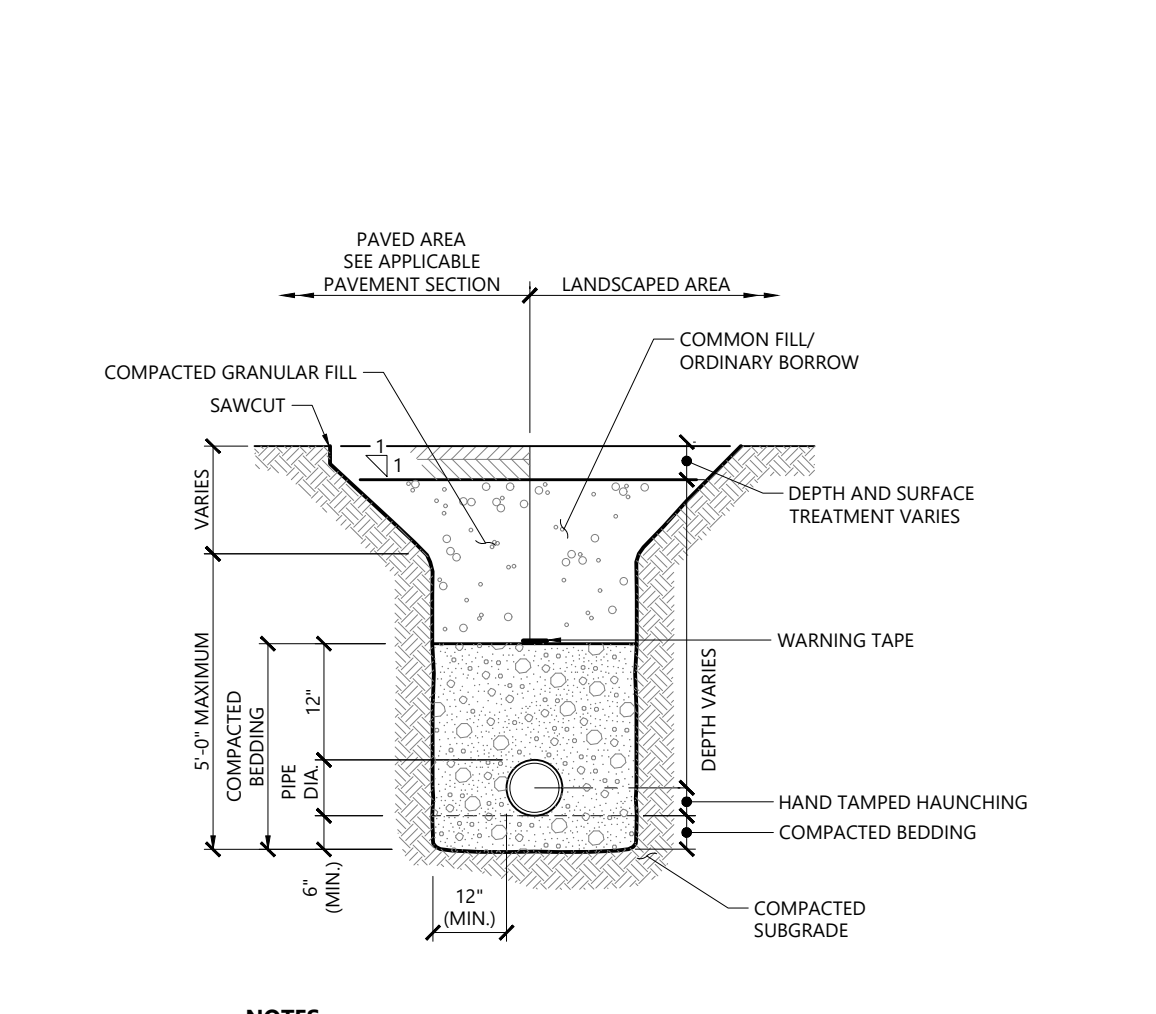
200 PSI TEST PRESSURE (MAXIMUM) 2000 PSF SOIL BEARING (MINIMUM)					
	X*	A	B	C	D
10"	1'-0"	2'-6"	4'-0"	2'-6"	2'-6"
8"	0'-10"	2'-3"	3'-3"	2'-0"	2'-0"
6"	0'-8"	1'-6"	2'-6"	1'-6"	1'-6"
10"	1'-0"	3'-6"	5'-0"	2'-9"	2'-9"
8"	0'-10"	2'-9"	4'-0"	2'-3"	2'-3"
6"	0'-8"	2'-0"	3'-0"	1'-6"	1'-6"
10"	1'-0"	1'-0"	3'-0"	2'-6"	2'-6"
8"	0'-10"	1'-6"	2'-6"	2'-0"	2'-0"
6"	0'-8"	1'-3"	2'-0"	1'-6"	1'-6"
10"	1'-0"	1'-4"	2'-6"	1'-6"	1'-6"
8"	0'-10"	1'-0"	2'-0"	1'-3"	1'-3"
6"	0'-8"	0'-9"	1'-6"	1'-0"	1'-0"
10"	1'-0"	0'-0"	1'-6"	1'-3"	1'-3"
8"	0'-10"	0'-6"	1'-4"	1'-0"	1'-0"
6"	0'-8"	0'-6"	1'-0"	0'-9"	0'-9"

*X = DIAMETER OF PIPE TO BE BLOCKED

WARWICK WATER DIVISION **THRUST BLOCKING**

STANDARD CONSTRUCTION DETAILS DATE: JANUARY 2022

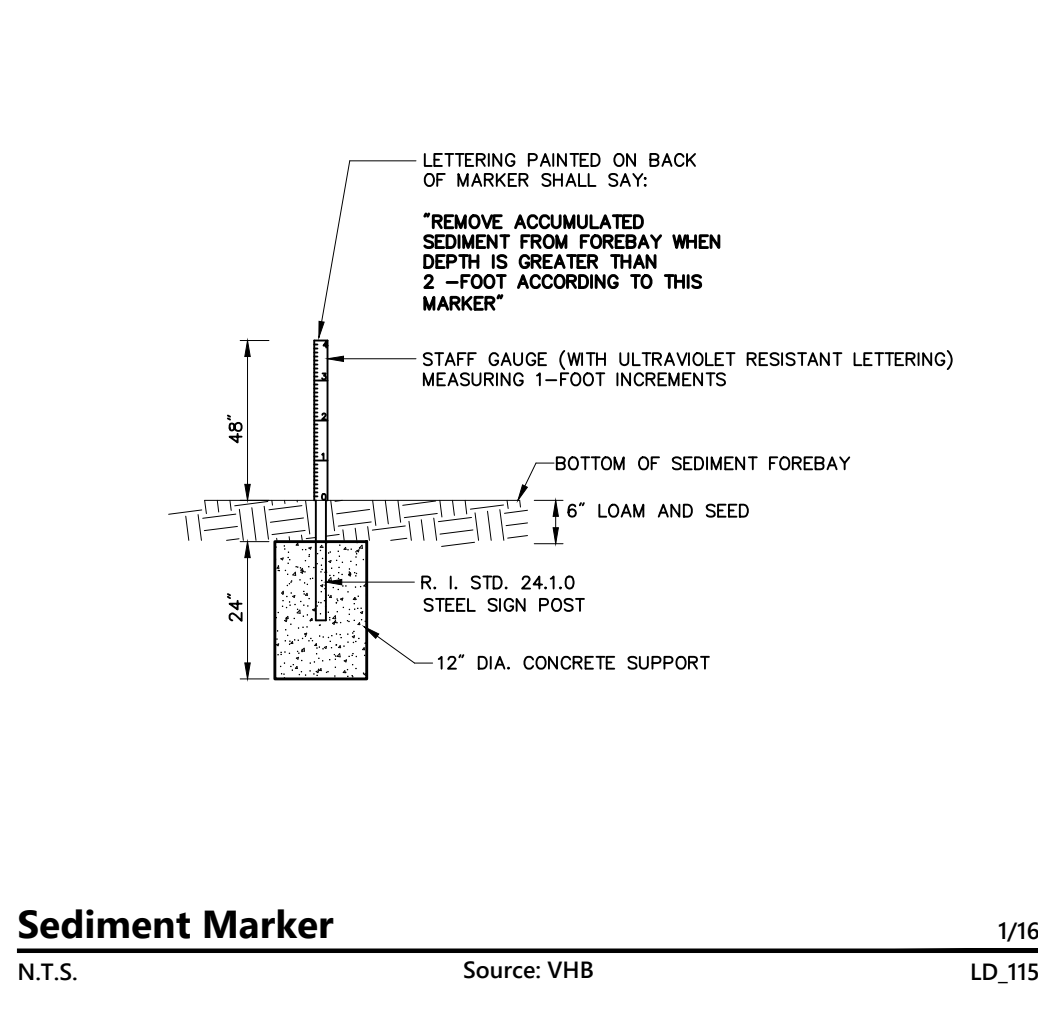
SCALE: NONE LD_300



- NOTES**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
 - USE METALLIC TRACING-WARNING TAPE OVER ALL PIPES.
 - COMPACTED GRANULAR FILL MAY CONSIST OF GRAVEL, CRUSHED STONE, SAND, OR OTHER MATERIAL AS APPROVED BY ENGINEER.

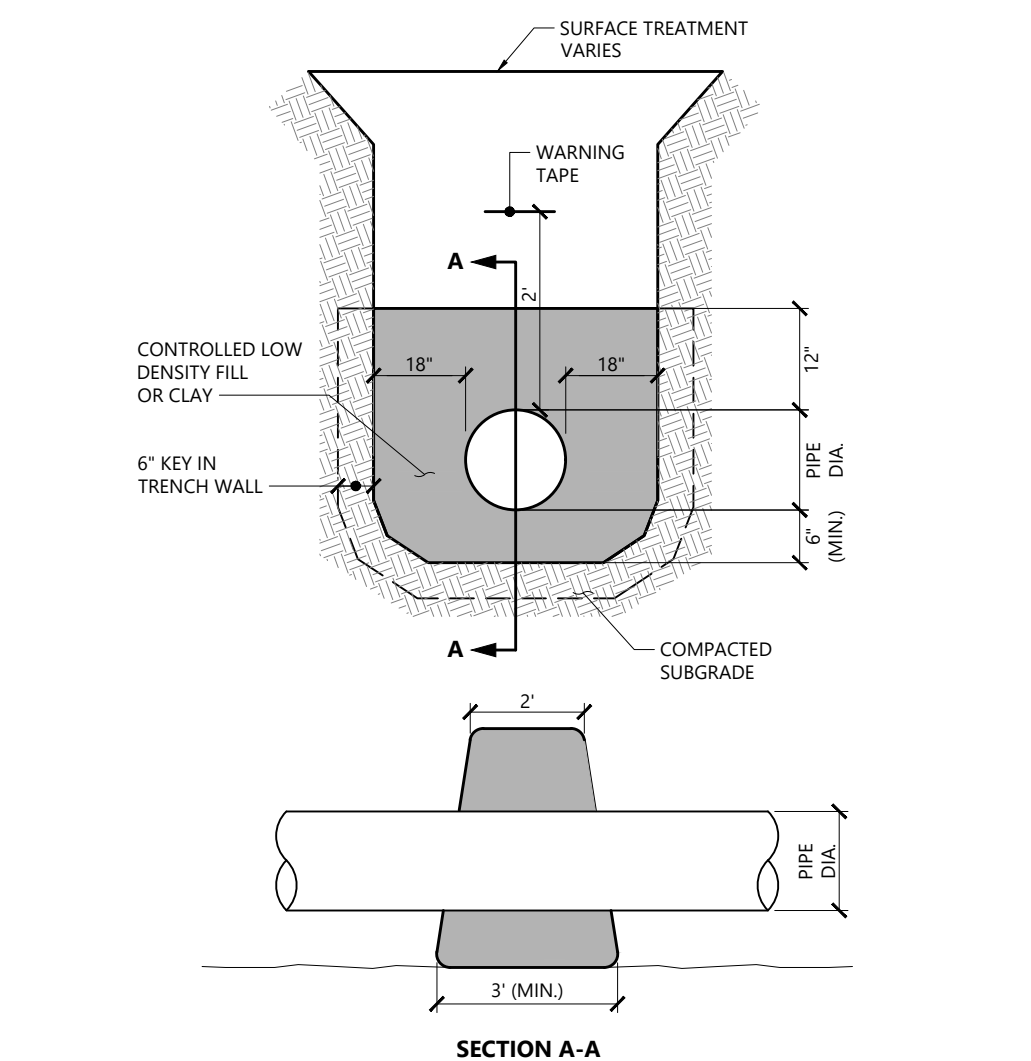
Utility Trench

N.T.S. Source: VHB REV LD_300



Sediment Marker

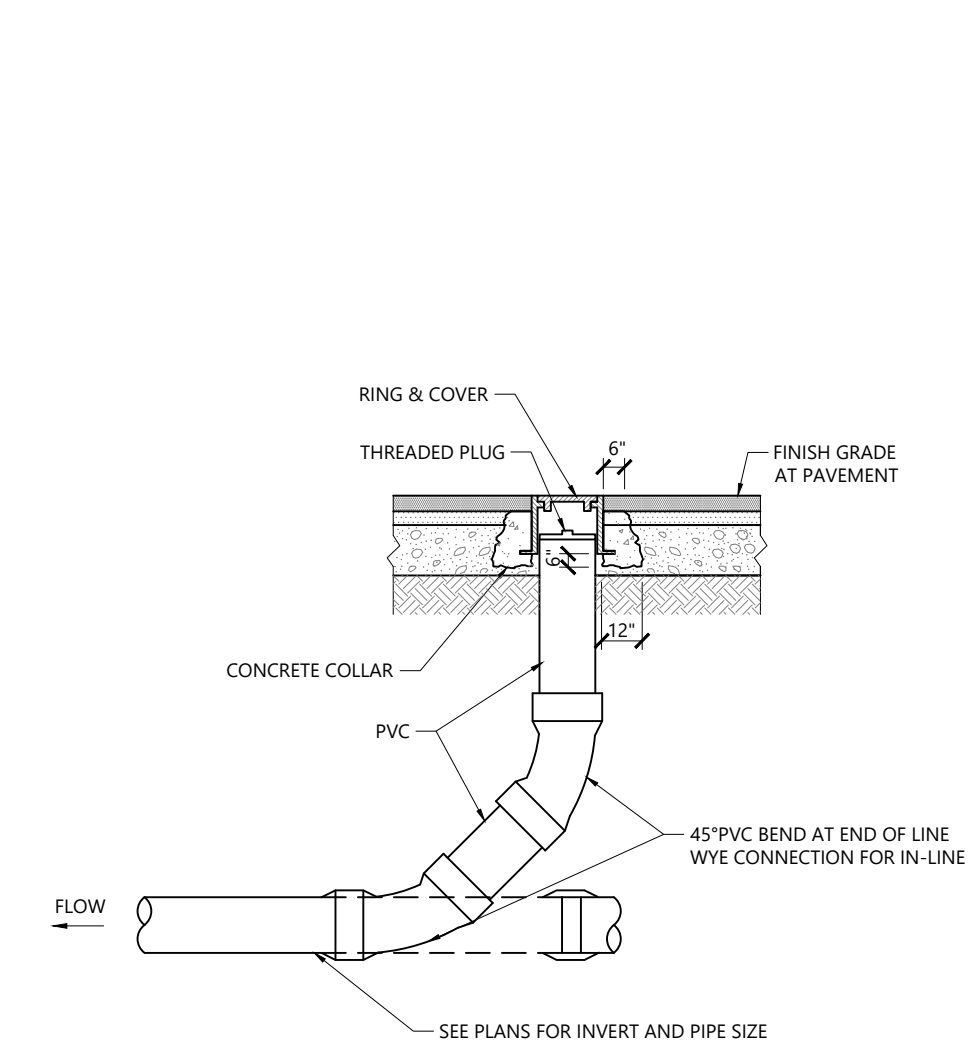
N.T.S. Source: VHB REV LD_315



- NOTES**
- ANTI-SEEPAGE COLLAR TO BE INSTALLED AT 100' MAX. SPACING ALONG ALL PIPING SYSTEMS.

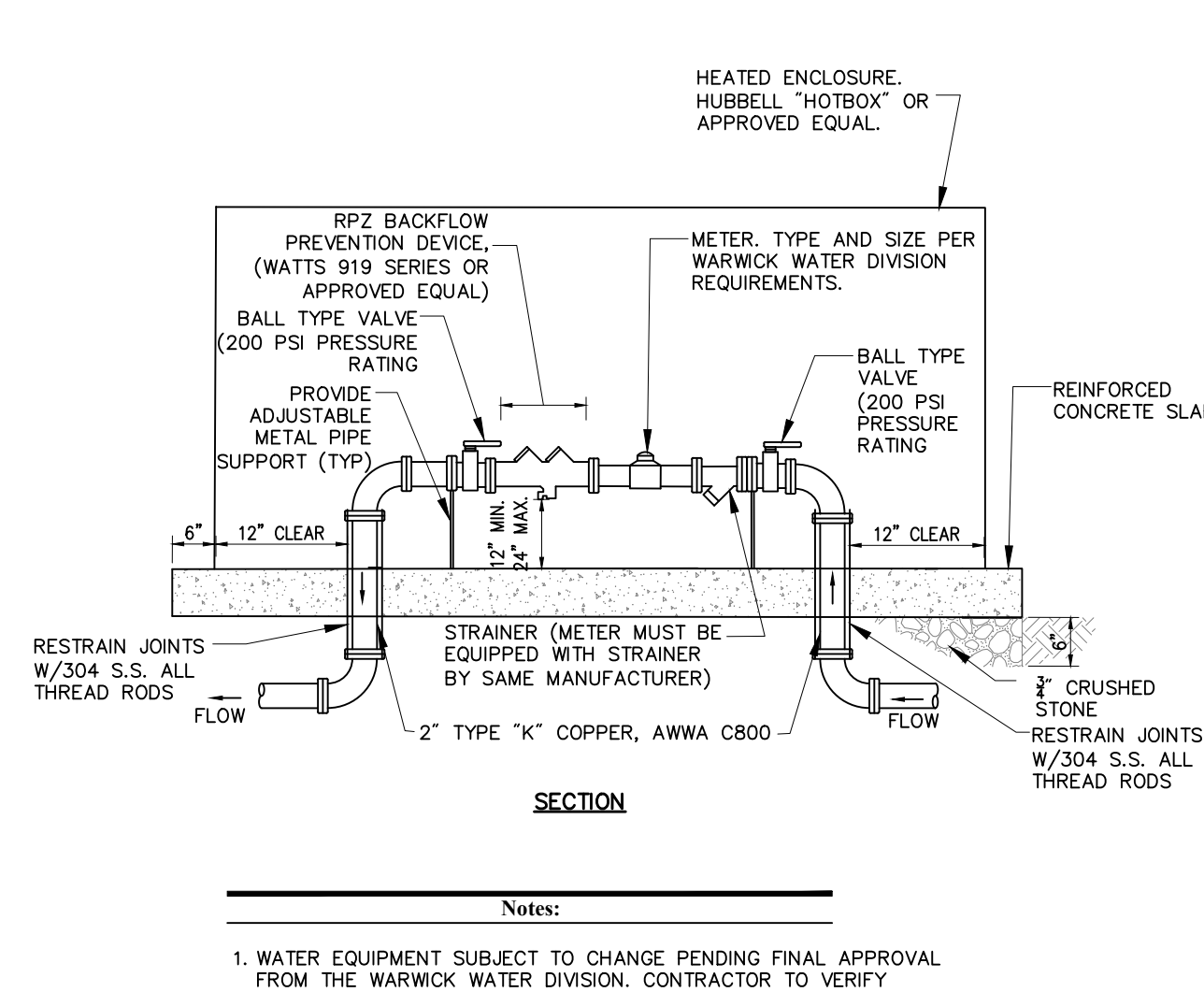
Anti-Seepage Collar

N.T.S. Source: VHB REV LD_301



Cleanout - Paved Area

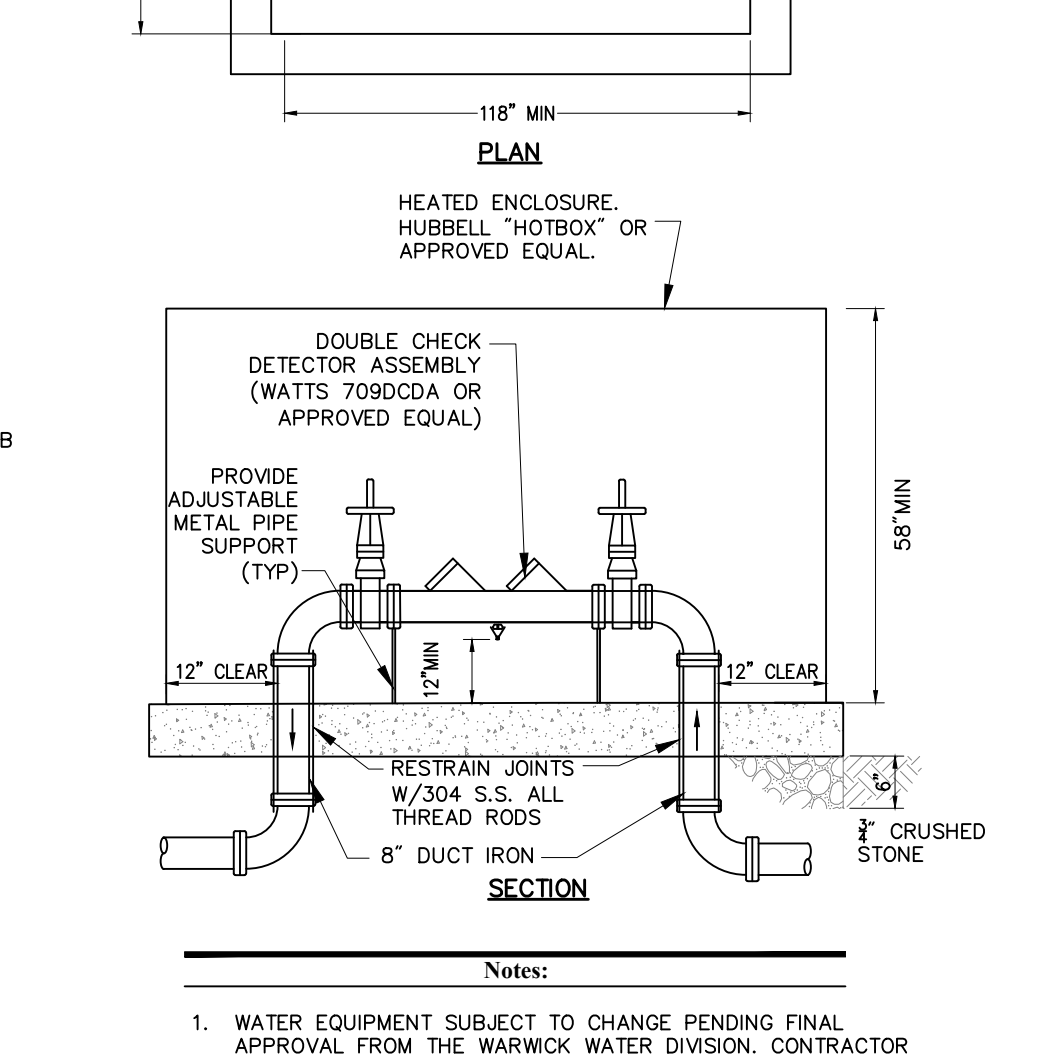
N.T.S. Source: VHB REV LD_303



- Notes:**
- WATER EQUIPMENT SUBJECT TO CHANGE PENDING FINAL APPROVAL FROM THE WARWICK WATER DIVISION. CONTRACTOR TO VERIFY EQUIPMENT WITH WARWICK PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL DETERMINE SIZE OF ENCLOSURE. CONCRETE PAD SHALL BE INSIDE DIMENSIONS OF ENCLOSURE PLUS 12" AND SHALL BE INSTALLED PER MANUFACTURER REQUIREMENTS.
 - DEPTH AND DESIGN OF CONCRETE PAD SHALL BE PER MANUFACTURER REQUIREMENTS.

Water Equipment Heated Enclosure Detail (2" DS)

N.T.S. Source: VHB REV LD_300



- Notes:**
- WATER EQUIPMENT SUBJECT TO CHANGE PENDING FINAL APPROVAL FROM THE WARWICK WATER DIVISION. CONTRACTOR TO VERIFY EQUIPMENT WITH WARWICK PRIOR TO INSTALLATION.
 - CONTRACTOR SHALL DETERMINE SIZE OF ENCLOSURE. CONCRETE PAD SHALL BE INSIDE DIMENSIONS OF ENCLOSURE PLUS 12" AND SHALL BE INSTALLED PER MANUFACTURER REQUIREMENTS.
 - ALL WATER EQUIPMENT MUST BE FM APPROVED PRODUCTS.
 - DEPTH AND DESIGN OF CONCRETE PAD SHALL BE PER MANUFACTURER REQUIREMENTS.

Water Equipment Heated Enclosure Detail (8" FP)

N.T.S. Source: VHB REV LD_300

Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

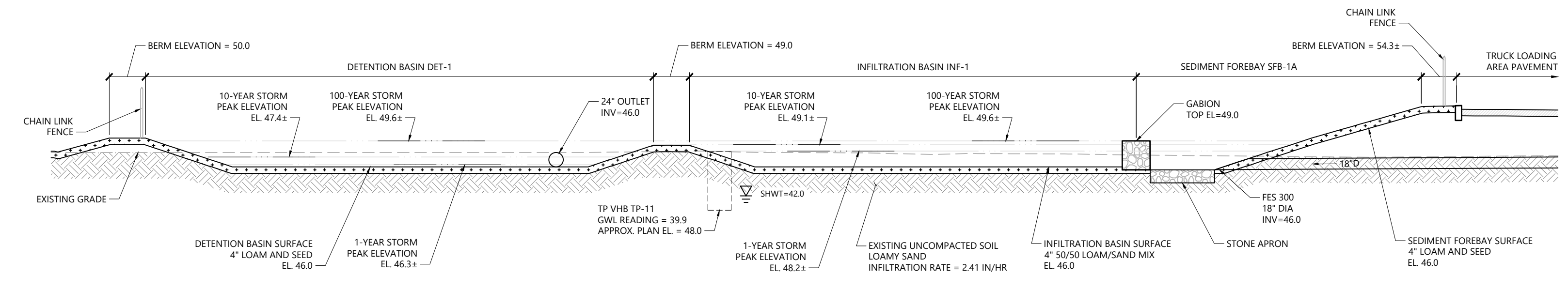
Site Details 3

REV. E. L. CODEGA
No. 6517
REGISTERED PROFESSIONAL ENGINEER
2/22/2022

C5.03

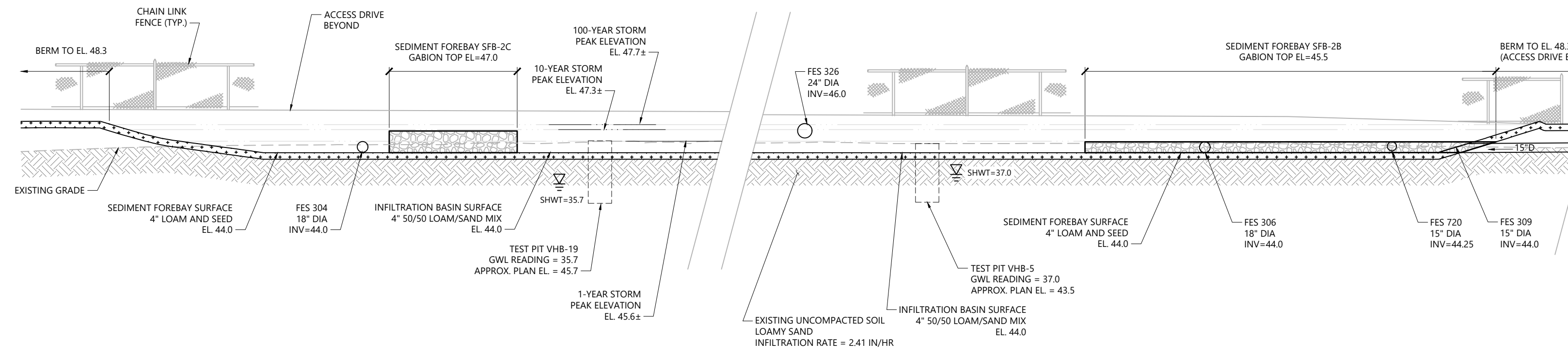
19 of 21

Project Number: 73180.00



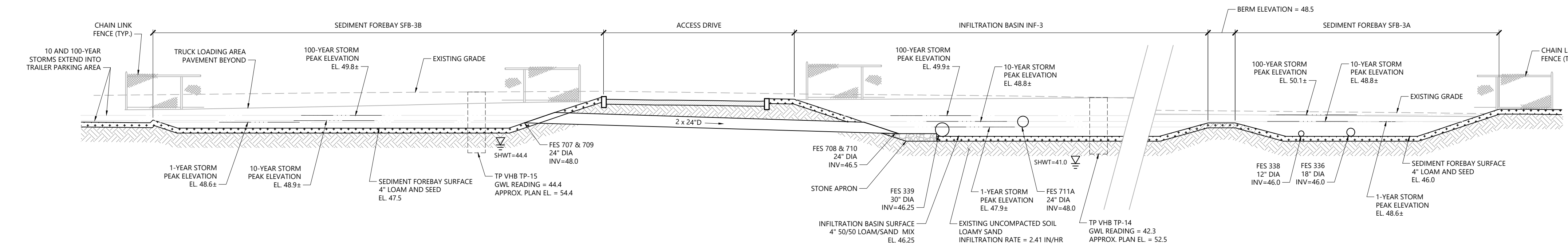
Infiltration Basin INF-1, Detention Basin DET-1

N.T.S.



Infiltration Basin INF-2, Sediment Forebay SFB-2B, 2C, 2A

N.T.S.



Infiltration Basin INF-3, Sediment Forebays SFB-3a & 3b

N.T.S.

INFILTRATION AREA PROTECTION DURING CONSTRUCTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S), CARE SHALL BE TAKEN IN THE INFILTRATION AREAS DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP):

1. INFILTRATION AREAS SHALL NOT BE USED AS TEMPORARY CONSTRUCTION SEDIMENTATION BASINS WITHOUT THE PRIOR APPROVAL OF THE ENGINEER. IF INFILTRATION AREAS ARE USED AS TEMPORARY SEDIMENTATION BASINS DURING CONSTRUCTION, THEN THE SOILS SHALL BE EXCAVATED A MINIMUM OF 2' FROM THE TEMPORARY BASIN BOTTOM TO REMOVE CLOGGED SOILS.
2. STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THE INFILTRATION BASIN(S)/STRUCTURE(S) DURING CONSTRUCTION.
3. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION MATERIALS SHALL BE LOCATED OUTSIDE OF THE INFILTRATION AREAS.
4. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION BASIN(S)/STRUCTURE(S) SHALL ENSURE THAT THE SOIL AT THE BOTTOM OF THE EXCAVATION IS NOT COMPACTED OR SMEARED.
5. THE PERIMETER OF THE INFILTRATION AREAS SHALL BE STAKED AND FLAGGED TO PREVENT THE USE OF THE AREA FOR ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION ABILITY OF THE SYSTEM.

Infiltration Basin Notes

N.T.S.

TEST PIT #15		
HORIZON	DEPTH	DESCRIPTION
Ap	0-14	Very dark grayish brown (10YR 3/2) gravelly sandy loam; weak med granular structure; friable; few fine roots; abrupt smooth boundary.
2C1	14-60	Brown (2.5Y 4/2) interbedded gravelly coarse sand and sand; single grain; loose; no roots; clear smooth boundary.
3C2	60-68	Dark yellowish brown (10YR 4/4) gravelly coarse sand with 60 percent black grains (Narragansett basin mineralogy); single grain; loose; no roots; clear smooth boundary.
4C4	68-136	Light olive brown (2.5Y 5/3) gravelly coarse sand; single grain; loose; No evidence of SHWT.

*WELL INSTALLED. GROUND WATER DEPTH = 120.6' (ASSUMED FROM BOTTOM OF WELL WITH 15' ADJUSTMENT FACTOR) GROUNDWATER MEASURED ON 4/23/21.

TEST PIT #7		
HORIZON	DEPTH	DESCRIPTION
Ap	0-11	Dark brown (10YR 3/3) gravelly sandy loam; weak medium granular structure; friable; few fine roots; abrupt smooth boundary.
Bw	11-14	Brown (7.5YR 4/4) sandy loam; massive; friable; few fine roots; clear smooth boundary.
BC	14-20	Yellowish brown (10YR 5/4) loamy sand; massive; friable; no roots; clear smooth boundary.
2C1	20-32	Yellowish brown (10YR 5/6) gravelly coarse sand; single grain; loose; no roots; clear smooth boundary. This horizon is variegated with areas of 10YR 6/0 and 7.5YR 4/6.
3C2	32-42	Light brownish gray (2.5Y 6/2) fine sand; single grain; loose; no roots; clear smooth boundary.
4C3	42-64	Light yellowish brown (2.5Y 6/3) gravelly coarse sand; single grain; loose; clear smooth boundary.
4C4	64-72	Very dark grayish brown (2.5Y 3/2) very gravelly coarse sand; single grain; loose; clear smooth boundary.
4C5	72-92	Strong brown (7.5YR 4/6) very gravelly coarse sand; single grain; loose; clear smooth boundary.
5C6	92-100	Dark gray (2.5Y 4/1) loamy sand; massive; friable; saturated at 94 inches.

*WELL INSTALLED. GROUND WATER DEPTH = 82.2' (WITH 15' ADJUSTMENT FACTOR) GROUNDWATER MEASURED ON 3/24/21 AND 4/23/21.

TEST PIT #11		
HORIZON	DEPTH	DESCRIPTION
Ap	0-16	Dark brown (10YR 3/3) sandy loam; weak medium granular structure; friable; many fine roots; abrupt smooth boundary.
BC	16-24	Yellowish brown (10YR 5/4) very gravelly loamy sand; single grain; loose; common fine and medium roots; clear smooth boundary.
2C1	24-35	Light olive brown (2.5Y 6/4) sand; single grain; loose; no roots; abrupt smooth boundary.
3C2	35-47	Brown (10YR 5/3) very gravelly coarse sand; single grain; loose; no roots; abrupt smooth boundary.
4C3	47-58	Gray (2.5Y 5/1) silt and loamy very fine sand; massive; friable; no roots; abrupt smooth boundary.
5C4	58-62	Reddish brown (5YR 4/4) very gravelly coarse sand; single grain; loose; no roots; abrupt smooth boundary.
5C5	62-71	Light olive brown (2.5Y 5/3) gravelly sand; single grain; loose; no roots; abrupt smooth boundary.
4C6	71-75	Grayish brown (2.5Y 5/2) silt; massive; firm; abrupt smooth boundary.
5C7	75-84	Grayish brown (2.5Y 5/2) sand; single grain; loose; abrupt smooth boundary.
6C8	84-96	Dark gray (N 4/0) and gray (2.5Y 5/1) interbedded silt and loamy very fine sand; massive; firm.

*SHWT ASSUMED AT 72 INCHES. GROUNDWATER MEASURED ON 3/24/21 AND 4/23/21.

TEST PIT #5		
HORIZON	DEPTH	DESCRIPTION
1Ap1	0-14	Black (7.5YR 2/1) fine sandy loam; weak medium subangular blocky structure; friable; many fine roots; abrupt smooth boundary.
2Ap2	14-20	Dark brown (10YR 3/3) gravelly loamy sand; massive; friable; few fine roots; abrupt wavy boundary.
2C1	20-41	Yellowish brown (10YR 5/4) very gravelly sand; single grain; loose; no roots; clear smooth boundary.
3C2	41-70	Light yellowish brown (2.5Y 6/3) sand; single grain; loose; no roots; clear smooth boundary.
4C3	70-88	Light olive brown (2.5Y 5/3) gravelly sand; single grain; loose; no roots; clear smooth boundary.
4C4	88-98	Black (2.5Y 2.5/1) gravelly sand; single grain; loose; no roots.

*WELL INSTALLED. GROUND WATER DEPTH = 78.5' (ASSUMED FROM BOTTOM OF WELL WITH 15' ADJUSTMENT FACTOR) GROUNDWATER MEASURED ON 3/24/21 AND 4/23/21.

TEST PIT #21		
HORIZON	DEPTH	DESCRIPTION
Ap	0-10	Very dark brown (10YR 2/2) gravelly sandy loam; weak medium granular structure; friable; many fine roots; abrupt smooth boundary.
Bw	10-21	Brown (7.5YR 4/4) gravelly loamy sand; massive; friable to single grain; loose; few fine roots; clear smooth boundary.
2C1	21-48	Olive brown (2.5Y 4/4) gravelly coarse sand; single grain; loose; no roots; abrupt smooth boundary.
2C2	48-50	Brown (7.5YR 4/4) gravelly coarse sand; single grain; loose; no roots; abrupt smooth boundary.
2C3	50-102	Light brownish gray (2.5Y 6/2) gravelly coarse sand; single grain; loose; no roots. No apparent evidence of SHWT, some would interpret 2C2 to be evidence, but appears to be relict condition.

*SHWT ASSUMED AT 80 INCHES. GROUNDWATER MEASURED ON 4/23/21.

TEST PIT #19		
HORIZON	DEPTH	DESCRIPTION
Ap	0-12	Very dark brown (10YR 2/2) sandy loam; weak medium granular structure; friable; many fine roots; abrupt smooth boundary.
Bw	12-28	Dark yellowish brown (10YR 4/4) gravelly sandy loam; weak medium subangular blocky structure; friable; few fine roots; clear smooth boundary.
2C1	28-40	Light olive brown (2.5Y 5/3) very gravelly coarse sand; single grain; loose; no roots; clear smooth boundary.
3C2	40-57	Olive brown (2.5Y 5/3) sand; single grain; loose; no roots; abrupt smooth boundary.
4C3	57-59	Dark yellowish brown (10YR 4/4) gravelly coarse sand; single grain; loose; no roots; abrupt smooth boundary.
4C4	59-76	Light olive brown (2.5Y 5/3) sand; single grain; loose; clear smooth boundary.
5C5	76-104	Gray (2.5Y 6/1) fine sand with 35 percent black grains; single grain; loose. No apparent evidence of seasonal high water table.

*WELL INSTALLED. GROUND WATER DEPTH = 120.6' (ASSUMED FROM BOTTOM OF WELL WITH 15' ADJUSTMENT FACTOR) GROUNDWATER MEASURED ON 4/23/21.

TEST PIT #14		
HORIZON	DEPTH	DESCRIPTION
Ap	0-14	Dark brown (10YR 3/3) gravelly sandy loam; weak med granular structure; friable; few fine roots; abrupt smooth boundary.
Bw	14-20	Brown (10YR 4/3) gravelly loamy sand; massive; friable; no roots; clear smooth boundary.
2C1	20-43	Olive brown (2.5Y 4/3) sand; single grain; loose; no roots; clear smooth boundary.
3C3	43-66	Very dark gray (2.5Y 3/1) loamy very fine sand; massive; friable; no roots; clear smooth boundary.
3C4	66-86	Strong brown (2.5Y 5/1) loamy fine sand; massive; friable; with thin (0.25 inch) bands of dark gray silt; abrupt smooth boundary.
4C5	86-98	Dark yellowish brown (10YR 4/4) cobbly coarse sand; single grain; loose; not roots; abrupt wavy boundary.
5C6	98-142	Gray (2.5Y 6/1) fine sand, 30 percent black sand grains; single grain loose.

*WELL INSTALLED. GROUND WATER DEPTH = 123' (ASSUMED FROM BOTTOM OF WELL WITH 15' ADJUSTMENT FACTOR) GROUNDWATER MEASURED ON 4/23/21.

Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: AEC Checked by: RLC

Construction February 22, 2022

Site Details 4

Drawing Number: **C5.04**

Sheet 20 of 21

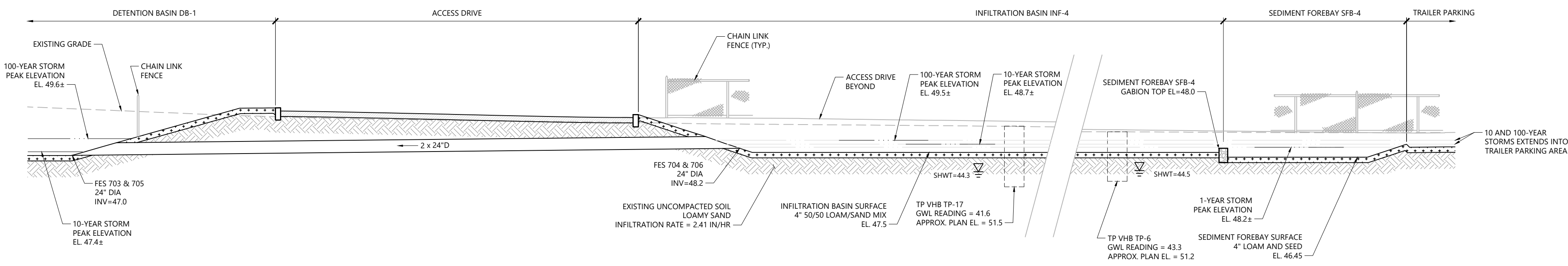
Project Number: 73180.00

REGISTERED PROFESSIONAL ENGINEER

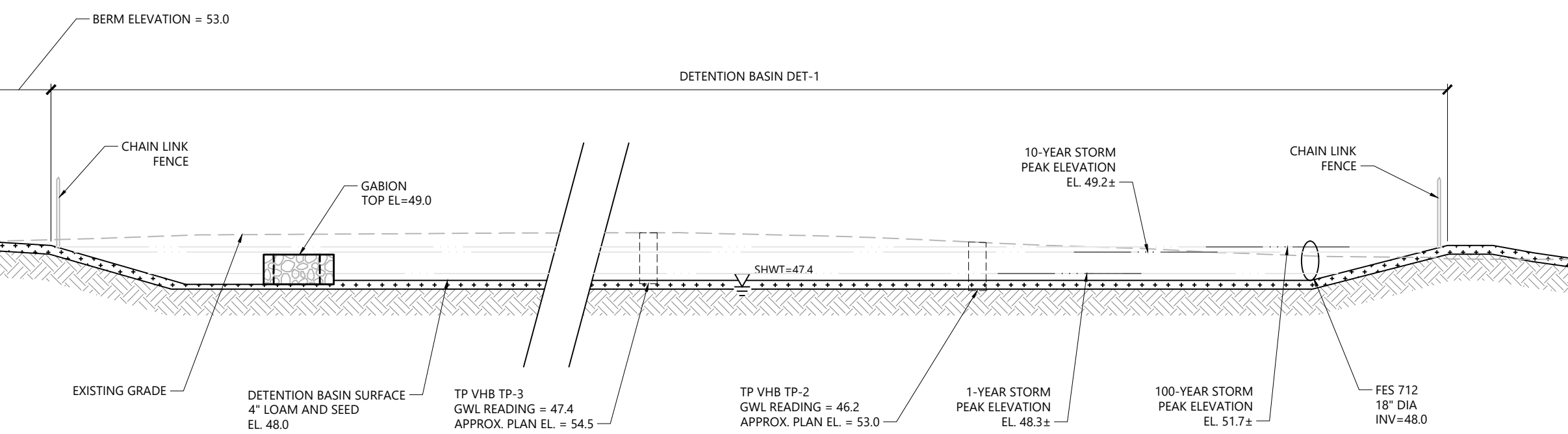
RENEE L. CODEGA

No. 6517

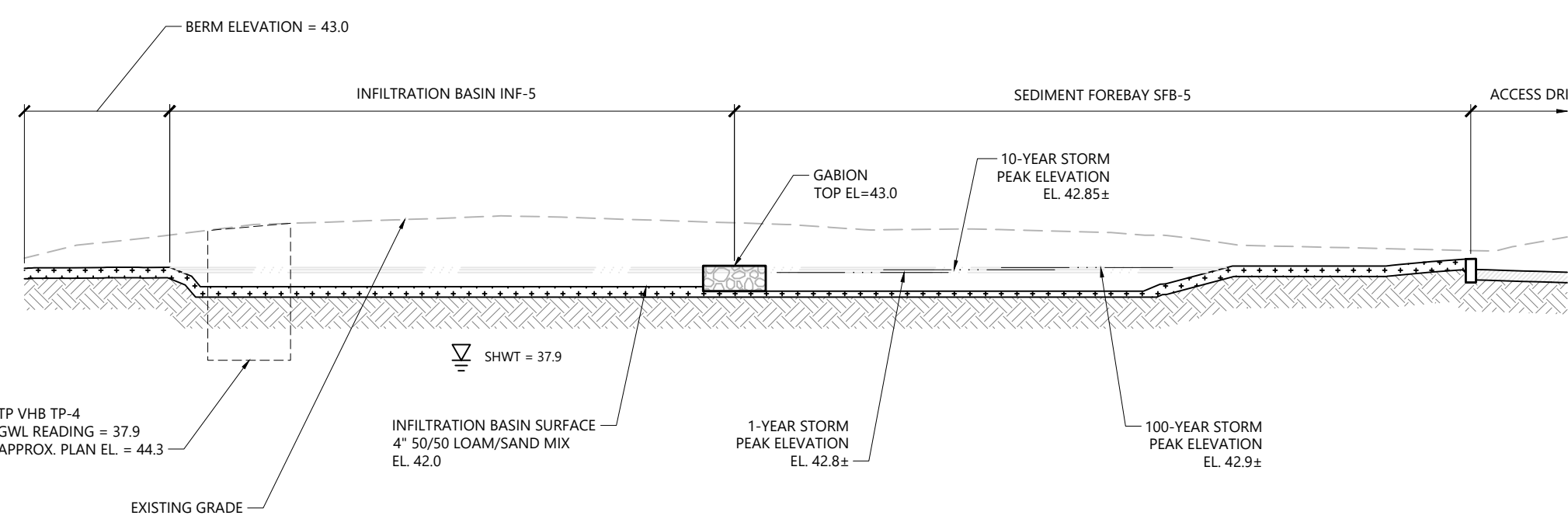
2/22/2022



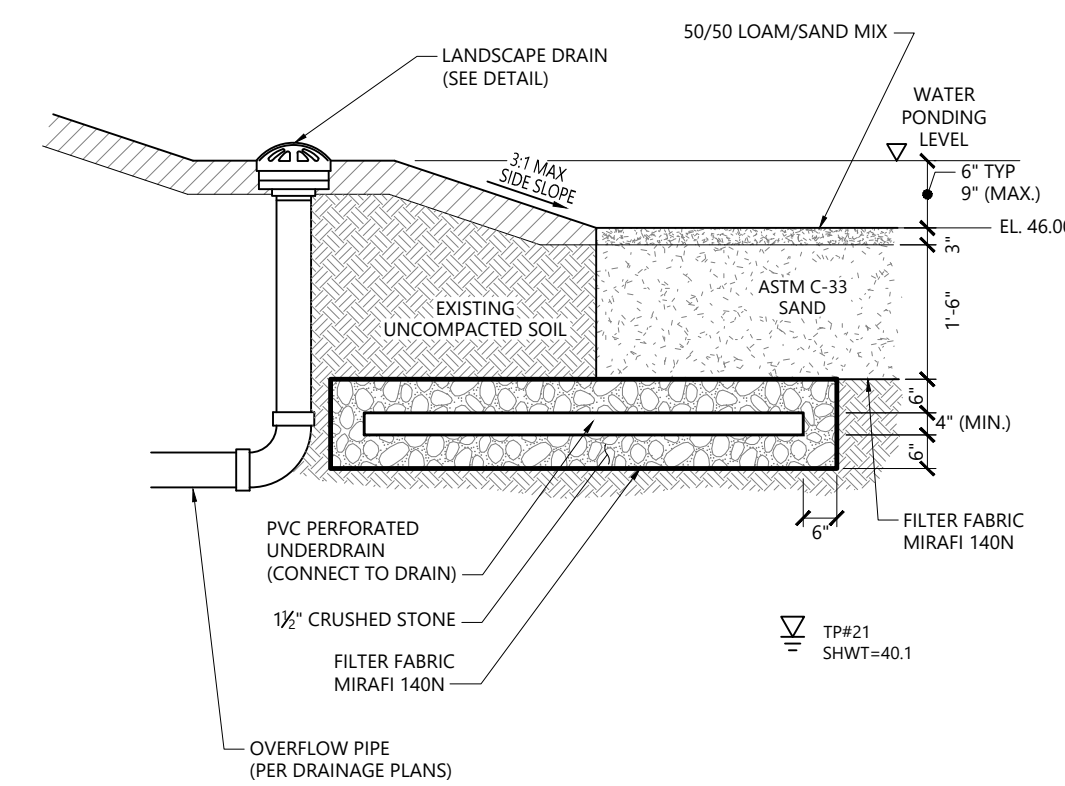
Infiltration Basin INF-4, Sediment Forebays SFB-4
N.T.S.



Detention Basin DB-2
N.T.S.



Infiltration Basin INF-5, Sediment Forebay SFB-5
N.T.S.



Sand Filter
N.T.S. Source: VHB REV 1/16 LD 352

TEST PIT #2		
HORIZON	DEPTH	DESCRIPTION
Ap	0-12	Very dark grayish brown (10YR 2/2) very gravelly loamy sand, very weak fine granular structure; friable; common fine roots; abrupt smooth boundary.
2C1	12-23	Dark olive brown (2.5Y 3/3) gravelly coarse sand; single grain; loose; no roots; clear smooth boundary.
2C2	23-37	Dark olive brown (2.5Y 3/3) coarse sand; single grain; loose; no roots; abrupt smooth boundary.
3C3	37-44	Light olive brown (2.5Y 5/4) loamy fine sand interbedded with dark gray (2.5Y 4/1) silt; massive; friable; no roots; abrupt smooth boundary.
3C4	44-49	Dark grayish brown (2.5Y 4/2) loamy fine sand; massive; friable; no roots; abrupt smooth boundary.
4C5	49-51	Very dark gray (2.5Y 3/1) silt and silt loam layers interbedded with thin (1 mm) bands of dark yellowish brown (10YR 4/4) very fine sand; massive; friable; few fine roots; abrupt smooth boundary.
5C6	51-92	Olive brown (2.5Y 4/3) very gravelly coarse sand; single grain; loose; clear smooth boundary.
6C7	92-102	Light brownish gray (10YR 6/2) gravelly sand; single grain; loose.

*SHWT ASSUMED AT 80 INCHES. GROUNDWATER MEASURED ON 3/24/21 AND 4/23/21.

TEST PIT #17		
HORIZON	DEPTH	DESCRIPTION
Ap1	0-8	Very dark grayish brown (10YR 3/2) sandy loam; moderate medium granular structure; friable; many fine roots; clear smooth boundary.
Ap2	8-22	Very dark grayish brown (10YR 3/2) sandy loam; weak medium subangular blocky; friable; few fine roots; abrupt smooth boundary.
Bw	22-31	Yellowish brown (10YR 5/6) loamy sand; weak medium subangular blocky structure; very friable; no roots; clear smooth boundary.
2C1	31-37	Light olive brown (2.5Y 5/3) gravelly coarse sand; single grain; loose; no roots; clear smooth boundary.
3C2	37-46	Light yellowish brown (2.5Y 6/3) sand; single grain; loose; no roots; clear smooth boundary.
4C3	46-51	Light yellowish brown (2.5Y 6/3) gravelly coarse sand; single grain; loose; clear smooth boundary.
5C4	51-57	Dark grayish brown (2.5Y 4/2) loamy fine sand; massive; friable; abrupt smooth boundary.
6C5	57-65	Light olive brown (2.5Y 5/3) sand, 50 percent black sand grains; single grain; loose; clear smooth boundary.
7C6	65-87	Brown (10YR 4/3) very cobbly coarse sand; massive to weak medium platy structure; friable SHWT likely reaches 7C6 horizon.
8Cg7	87-121	Dark gray (2.5Y 4/1) loamy fine sand, massive; weak thin platy structure to massive; friable to firm. Assumed seasonal water table at ~87 inches. 8Cg7 is an aquitard.

*SHWT ASSUMED AT 87 INCHES. GROUNDWATER MEASURED ON 4/23/21.

TEST PIT #6		
HORIZON	DEPTH	DESCRIPTION
Ap	0-14	Dark brown (10YR 3/3) gravelly sandy loam; weak fine granular structure; friable; few fine roots; abrupt smooth boundary.
Bw	14-20	Yellowish brown (10YR 5/6) loamy sand; massive; friable; no roots; abrupt smooth boundary.
2C1	20-24	Yellowish brown (2.5Y 6/4) gravelly sand; single grain; loose; no roots; clear smooth boundary.
2C2	24-46	Light yellowish brown (2.5Y 6/3) gravelly sand; single grain; loose; no roots; clear smooth boundary.
3C3	46-64	Light olive brown (2.5Y 5/3) very gravelly coarse sand; single grain; loose; no roots; clear smooth boundary.
3C4	64-80	Strong brown (7.5YR 4/6) very gravelly coarse sand; single grain; loose; abrupt smooth boundary.
4Cg5	80-98	Dark gray (N 4/1) loamy fine sandy with silt bands; massive; friable.

*SHWT ASSUMED AT 80 INCHES. GROUNDWATER MEASURED ON 3/24/21 AND 4/23/21.

TEST PIT #3		
HORIZON	DEPTH	DESCRIPTION
Ap	0-14	Dark brown (10YR 3/3) very gravelly sandy loam; massive; friable; few fine roots; abrupt smooth boundary.
Bw	14-34	Dark yellowish brown (10YR 4/6) gravelly sandy loam; massive; friable; few fine roots; abrupt smooth boundary.
C1	34-44	Very dark grayish brown (2.5Y 3/2) gravelly loamy sand; single grain; loose; no roots; clear smooth boundary.
2C2	44-49	Very dark grayish brown (2.5Y 3/2) loamy fine sand; massive; friable; no roots; abrupt smooth boundary.
2C3	49-53	Dark grayish brown (2.5Y 4/2) loamy fine sand; massive; friable; no roots; abrupt smooth boundary.
2C4	53-59	Very dark gray (2.5Y 3/1) silt and loamy very fine sand; massive; friable; few fine roots; abrupt smooth boundary.
3C5	59-94	Dark yellowish brown (10YR 4/4) very cobbly coarse sand; single grain; loose.

*SHWT ASSUMED AT 80 INCHES. GROUNDWATER MEASURED ON 3/24/21 AND 4/23/21.

TEST PIT #4		
HORIZON	DEPTH	DESCRIPTION
Ap	0-10	Very dark grayish brown (10YR 3/2) gravelly sandy loam; weak fine granular structure; friable; few fine roots; abrupt smooth boundary.
BC	10-13	Dark yellowish brown (10YR 4/4) gravelly loamy sand; single grain; loose; no roots; abrupt smooth boundary.
1C1	13-24	Light olive brown (2.5Y 5/4) gravelly sand; single grain; loose; no roots; clear smooth boundary.
1C2	24-42	Light olive brown (2.5Y 5/3) gravelly sand; single grain; loose; no roots; clear smooth boundary.
2C3	42-59	Gray (2.5Y 6/1) sand; single grain; loose; no roots; clear smooth boundary.
2C4	59-72	Light brownish gray (2.5Y 6/2) sand; single grain; loose; no roots; abrupt smooth boundary.
3C5	72-77	Brown (7.5YR 4/4) sand; single grain; loose; no roots; abrupt smooth boundary.
4Cg6	77-85	Grayish brown (2.5Y 5/2) silt with few fine dark yellowish brown (10YR 4/4) redox concentrations in pore linings and along root channels; massive; firm; few fine roots; clear smooth boundary.
5Cg7	85-94	Gray (2.5Y 5/1) to very dark gray (2.5Y 3/1) interbedded silt, silty clay, and loamy very fine sand with brown (7.5YR 4/4) oxidized rhizospheres; massive; firm. This layer may be saturated.

*SHWT ASSUMED AT 77 INCHES. GROUNDWATER MEASURED ON 3/24/21 AND 4/23/21.

Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Site Details 5



Drawing Number
C5.05

Sheet **21** of **21**

Project Number
73180.00



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

General

- 1. CONTRACTOR SHALL NOTIFY "DIG-SAFE" (1-888-344-7233) AT LEAST 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR SITE SECURITY AND JOB SAFETY. CONSTRUCTION ACTIVITIES SHALL BE IN ACCORDANCE WITH OSHA STANDARDS AND LOCAL REQUIREMENTS.
3. AREAS DISTURBED DURING CONSTRUCTION AND NOT RESTORED WITH IMPERVIOUS SURFACES (BUILDINGS, PAVEMENTS, WALKS, ETC.) SHALL RECEIVE 4 INCHES LOAM AND SEED.
4. UPON AWARD OF CONTRACT, CONTRACTOR SHALL MAKE NECESSARY CONSTRUCTION NOTIFICATIONS AND APPLY FOR AND OBTAIN NECESSARY PERMITS, PAY FEES, AND POST BONDS ASSOCIATED WITH THE WORK INDICATED ON THE DRAWINGS, IN THE SPECIFICATIONS, AND IN THE CONTRACT DOCUMENTS. DO NOT CLOSE OR OBSTRUCT ROADWAYS, SIDEWALKS, AND FIRE HYDRANTS, WITHOUT APPROPRIATE PERMITS.
5. AREAS OUTSIDE THE LIMITS OF PROPOSED WORK DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE RESTORED BY THE CONTRACTOR TO THEIR ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
6. IN THE EVENT THAT SUSPECTED CONTAMINATED SOIL, GROUNDWATER, AND OTHER MEDIA ARE ENCOUNTERED DURING EXCAVATION AND CONSTRUCTION ACTIVITIES BASED ON VISUAL, OLFACTORY, OR OTHER EVIDENCE, THE CONTRACTOR SHALL STOP WORK IN THE VICINITY OF THE SUSPECT MATERIAL TO AVOID FURTHER SPREADING OF THE MATERIAL, AND SHALL NOTIFY THE OWNER IMMEDIATELY SO THAT THE APPROPRIATE TESTING AND SUBSEQUENT ACTION CAN BE TAKEN.
7. CONTRACTOR SHALL PREVENT DUST, SEDIMENT, AND DEBRIS FROM EXITING THE SITE AND SHALL BE RESPONSIBLE FOR CLEANUP, REPAIRS AND CORRECTIVE ACTION IF SUCH OCCURS.
8. CONTRACTOR SHALL CONTROL STORMWATER RUNOFF DURING CONSTRUCTION TO PREVENT ADVERSE IMPACTS TO OFF SITE AREAS, AND SHALL BE RESPONSIBLE TO REPAIR RESULTING DAMAGES, IF ANY, AT NO COST TO OWNER.
9. THIS PROJECT DISTURBS MORE THAN ONE ACRE OF LAND AND FALLS WITHIN THE RIPDES CONSTRUCTION GENERAL PERMIT (CGP) PROGRAM AND RIDEM JURISDICTION. PRIOR TO THE START OF CONSTRUCTION CONTRACTOR IS TO FILE A NOTICE OF INTENT WITH THE RIDEM AND PREPARE AND MAINTAIN A SOIL EROSION AND SEDIMENTATION PLAN IN ACCORDANCE WITH THE RIPDES REGULATIONS.
10. STAGING AND STOCKPILE AREAS SHALL NOT BE LOCATED WITHIN ANY WETLAND AND ABUTTING RESOURCE AREA AND SHALL BE LOCATED WITHIN THE LOD.
11. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND INSTALLING THE FOLLOWING ITEMS ON SITE AND REDLINING THE PLAN FOR RECORD KEEPING PURPOSES AS REQUIRED BY THE RIPDES PERMIT:
a. BUILDING MATERIALS STAGING AREAS
b. STOCKPILE AREAS. EROSION CONTROLS SHALL BE PLACED AT THE BASE OF ALL STOCKPILES
c. DESIGNATED WASHOUT AND REFUELING AREAS.
d. TEMPORARY SEDIMENT BASIN AREAS.

Erosion Control

- 1. PRIOR TO STARTING ANY OTHER WORK ON THE SITE, THE CONTRACTOR SHALL NOTIFY APPROPRIATE AGENCIES AND SHALL INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND AS IDENTIFIED IN FEDERAL, STATE, AND LOCAL APPROVAL DOCUMENTS PERTAINING TO THIS PROJECT.
2. CONTRACTOR SHALL INSPECT AND MAINTAIN EROSION CONTROL MEASURES ON A WEEKLY BASIS (MINIMUM) OR AS REQUIRED PER THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP). THE CONTRACTOR SHALL ADDRESS DEFICIENCIES AND MAINTENANCE ITEMS WITHIN TWENTY-FOUR HOURS OF INSPECTION. CONTRACTOR SHALL PROPERLY DISPOSE OF SEDIMENT SUCH THAT IT DOES NOT ENCUMBER OTHER DRAINAGE STRUCTURES AND PROTECTED AREAS.
3. CONTRACTOR SHALL BE FULLY RESPONSIBLE TO CONTROL CONSTRUCTION SUCH THAT SEDIMENTATION SHALL NOT AFFECT REGULATORY PROTECTED AREAS, WHETHER SUCH SEDIMENTATION IS CAUSED BY WATER, WIND, OR DIRECT DEPOSIT.
4. CONTRACTOR SHALL PERFORM CONSTRUCTION SEQUENCING SUCH THAT EARTH MATERIALS ARE EXPOSED FOR A MINIMUM OF TIME BEFORE THEY ARE COVERED, SEEDED, OR OTHERWISE STABILIZED TO PREVENT EROSION.
5. UPON COMPLETION OF CONSTRUCTION AND ESTABLISHMENT OF PERMANENT GROUND COVER, CONTRACTOR SHALL REMOVE AND DISPOSE OF EROSION CONTROL MEASURES AND CLEAN SEDIMENT AND DEBRIS FROM ENTIRE DRAINAGE AND SEWER SYSTEMS.
6. A CROSS SLOPE SHALL BE PLACED ON THE STABILIZED CONSTRUCTION EXIT TO DIRECT RUNOFF TO AN ONSITE SETTLING AREA, IF DEEMED NECESSARY AFTER CONSTRUCTION BEGINS, A WASH PAD MAY BE INCLUDED TO WASH OFF VEHICLE WHEELS BEFORE LEAVING THE PROJECT SITE.
7. TEMPORARY SEDIMENT BASINS WILL BE DESIGNED EITHER AS EXCAVATIONS OR BERMED STORMWATER DETENTION STRUCTURES THAT WILL RETAIN RUNOFF FOR A SUFFICIENT PERIOD OF TIME TO ALLOW SUSPENDED SOIL PARTICLES TO SETTLE OUT PRIOR TO DISCHARGE. BASINS WILL BE LOCATED AS DETERMINED BY THE CONTRACTOR BASED ON CONSTRUCTION NEEDS. POINT OF DISCHARGE FROM SEDIMENT BASINS WILL BE STABILIZED TO MINIMIZE EROSION.
8. VEGETATIVE SLOPE STABILIZATION WILL BE IMPLEMENTED WITHIN 14 DAYS AFTER GRADING OR CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. VEGETATIVE SLOPE STABILIZATION WILL BE USED TO MINIMIZE EROSION ON SLOPES OF 3:1 OR STEEPER. ESTABLISHMENT OF TEMPORARY AND PERMANENT VEGETATIVE COVER MAY BE ESTABLISHED BY HYDRO-SEEDING OR SODDING. A SUITABLE TOPSOIL, GOOD SEEDBED PREPARATION, AND ADEQUATE LIME, FERTILIZER AND WATER WILL BE PROVIDED FOR EFFECTIVE ESTABLISHMENT OF THESE VEGETATIVE STABILIZATION METHODS. MULCH WILL ALSO BE USED AFTER PERMANENT SEEDING TO PROTECT SOIL FROM THE IMPACT OF FALLING RAIN AND TO INCREASE THE CAPACITY OF THE SOIL TO ABSORB WATER.
9. STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATION OR OTHER EARTH DISTURBANCE ACTIVITIES ARE PERMANENTLY CEASED ON ANY PORTION OF THE SITE, OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT BE RESUMED FOR A PERIOD EXCEEDING FOURTEEN (14) CALENDAR DAYS. STABILIZATION MUST BE COMPLETED USING VEGETATIVE STABILIZATION MEASURES WHERE POSSIBLE.
10. ALL DISTURBED SOILS EXPOSED PRIOR TO OCTOBER 15TH SHALL BE SEEDED BY THAT DATE. ANY SUCH AREAS WHICH DO NOT HAVE ADEQUATE VEGETATIVE STABILIZATION BY NOVEMBER 15TH MUST BE STABILIZED THROUGH THE USE OF NON-VEGETATIVE EROSION CONTROL MEASURES. IF WORK CONTINUES WITHIN ANY OF THESE AREAS DURING THE PERIOD FROM OCTOBER 15TH TO APRIL 15TH CARE MUST BE TAKEN TO ENSURE THAT ONLY THE AREA REQUIRED FOR THE DAY'S WORK IS EXPOSED, AND ALL ERODIBLE SOIL MUST BE STABILIZED WITHIN FIVE (5) WORKING DAYS.
11. THE SOIL EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMPs) CONTAINED ON THE SITE DRAWINGS ARE THE MINIMUM REQUIRED BY THE RHODE ISLAND POLLUTION DISCHARGE ELIMINATION SYSTEM (RIPDES) PROGRAM. THE CONTRACTOR IS REQUIRED TO PROVIDE ADDITIONAL BMPs TO PREVENT POLLUTION FROM STORM WATER DISCHARGES LEAVING THE WORK SITE OR ENTERING WETLANDS IN COMPLIANCE WITH THE RIPDES GENERAL PERMIT AND ALL OTHER LOCAL, STATE AND FEDERAL REQUIREMENTS.

Infiltration Basin Protection During Construction

FOR THE LONG-TERM FUNCTION OF THE INFILTRATION SYSTEM CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

- 1. THESE AREAS SHALL NOT BE USED AS CONSTRUCTION SEDIMENTATION SYSTEMS.
2. INITIAL BASIN EXCAVATION SHOULD BE CARRIED TO WITHIN 1 FOOT OF THE FINAL ELEVATION OF THE BASIN FLOOR. FINAL EXCAVATION SHOULD BE DEFERRED UNTIL ALL DISTURBED AREAS CONTRIBUTING TO THE BASIN HAVE BEEN STABILIZED OR PROTECTED. PRIOR TO FINAL EXCAVATION, REMOVE ALL ACCUMULATED SEDIMENT.
3. CONSTRUCTION EQUIPMENT, VEHICULAR, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THESE AREAS. THE SUBGRADE BENEATH SHALL NOT BE COMPACTED.
4. EXCAVATION FOR CONSTRUCTION OF THESE SYSTEMS SHALL BE PERFORMED MANUALLY OR BY LIGHT-TRACKED EQUIPMENT TO AVOID COMPACTION OF THE BASIN FLOOR.
5. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE SYSTEMS TO PREVENT THE USE OF THESE AREAS FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES. THE FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

Sand Filter Protection During Construction

FOR THE LONG-TERM FUNCTION OF THE SAND FILTER, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

- 1. THESE AREAS SHALL NOT BE USED AS CONSTRUCTION SEDIMENTATION SYSTEMS.
2. ALL STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THESE AREAS.
3. CONSTRUCTION EQUIPMENT, VEHICULAR, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THESE AREAS. THE SUBGRADE BENEATH SHALL NOT BE COMPACTED.
4. EXCAVATION FOR CONSTRUCTION OF THESE SYSTEMS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL FILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE SUBGRADE.
5. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE SYSTEMS TO PREVENT THE USE OF THESE AREAS FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES. THE FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.
6. THE SAND FILTER SHALL BE PROTECTED WITH EROSION CONTROLS IMMEDIATELY UPON INSTALLATION TO PREVENT CLOGGING OF FILTER MATERIALS. THESE AREAS SHALL NOT BE USED AS SEDIMENTATION OR DEWATERING BASINS.

Grass Channel/Swale Protection During Construction

FOR THE LONG-TERM FUNCTION OF THE GRASS SWALES, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMPs):

- 1. THESE AREAS SHALL NOT BE USED AS CONSTRUCTION SEDIMENTATION SYSTEMS.
2. ALL STORMWATER RUNOFF FROM EXPOSED SURFACES SHALL BE DIRECTED AWAY FROM THESE AREAS.
3. CONSTRUCTION EQUIPMENT, VEHICULAR, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THESE AREAS. THE SUBGRADE BENEATH SHALL NOT BE COMPACTED.
4. EXCAVATION FOR CONSTRUCTION OF THESE SYSTEMS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL FILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE SUBGRADE.
5. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AROUND THE PERIMETER OF THE SYSTEMS TO PREVENT THE USE OF THESE AREAS FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES. THE FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.
6. THE SWALE SHALL BE PROTECTED WITH EROSION CONTROL BLANKETS IMMEDIATELY UPON INSTALLATION TO PREVENT CLOGGING OF FILTER MATERIALS. THESE AREAS SHALL NOT BE USED AS SEDIMENTATION OR DEWATERING BASINS.

Erosion Control Maintenance Requirements

SITE OWNERS AND OPERATORS MUST ENSURE THAT ALL EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROLS REMAIN IN EFFECTIVE OPERATING CONDITION AND ARE PROTECTED FROM ACTIVITIES THAT WOULD REDUCE THEIR EFFECTIVENESS. SITE OWNERS AND OPERATORS MUST ALSO ENSURE THAT ALL EROSION, RUNOFF, SEDIMENT, AND POLLUTION PREVENTION CONTROLS ARE INSPECTED AT THE REQUIRED FREQUENCY REQUIREMENTS LISTED BELOW. IF THE DESIGNATED SITE INSPECTOR FINDS A PROBLEM (I.E. EROSION, RUNOFF, SEDIMENT OR POLLUTION PREVENTION CONTROLS REQUIRE REPLACEMENT, REPAIR, OR MAINTENANCE), THE OWNER AND OPERATOR MUST ENSURE THAT THE NECESSARY REPAIRS OR MODIFICATIONS ARE MADE IN ACCORDANCE WITH THE FOLLOWING:

- 1. INITIATE WORK TO FIX THE PROBLEM IMMEDIATELY AFTER DISCOVERING THE PROBLEM, AND COMPLETE SUCH WORK BY THE CLOSE OF THE NEXT WORK DAY, IF THE PROBLEM DOES NOT REQUIRE SIGNIFICANT REPAIR OR REPLACEMENT, OR IF THE PROBLEM CAN BE CORRECTED THROUGH ROUTINE MAINTENANCE.
2. WHEN INSTALLATION OF A NEW CONTROL OR A SIGNIFICANT REPAIR IS NEEDED, SITE OWNERS AND OPERATORS MUST ENSURE THAT THE NEW OR MODIFIED CONTROL PRACTICE IS INSTALLED AND MADE OPERATIONAL BY NO LATER THAN SEVEN (7) CALENDAR DAYS FROM THE TIME OF DISCOVERY WHERE FEASIBLE. IF IT IS INFEASIBLE TO COMPLETE THE INSTALLATION OR REPAIR WITHIN SEVEN (7) CALENDAR DAYS, THE REASONS WHY IT IS INFEASIBLE MUST BE DOCUMENTED IN THE SESC PLAN ALONG WITH THE SCHEDULE FOR INSTALLING THE STORMWATER CONTROL(S) AND MAKING IT OPERATIONAL AS SOON AS PRACTICABLE AFTER THE 7-DAY TIMEFRAME. WHERE THESE ACTIONS RESULT IN CHANGES TO ANY OF THE STORMWATER CONTROL MEASURES OUTLINED IN THE SESC PLAN, SITE OWNERS AND OPERATORS MUST MODIFY THE SESC PLAN ACCORDINGLY WITHIN SEVEN (7) CALENDAR DAYS OF COMPLETING THIS WORK IN ACCORDANCE WITH THE FOLLOWING:
a. THE OWNER AND OPERATOR SHALL AMEND THE SESC PLAN WITHIN SEVEN (7) DAYS WHENEVER THERE IS A CHANGE IN DESIGN, CONSTRUCTION, OPERATION, MAINTENANCE OR OTHER PROCEDURE WHICH HAS A SIGNIFICANT EFFECT ON THE POTENTIAL FOR THE DISCHARGE OF POLLUTANTS, OR IF THE SESC PLAN PROVES TO BE INEFFECTIVE IN ACHIEVING ITS OBJECTIVES. IN ADDITION, THE SESC PLAN SHALL BE AMENDED TO IDENTIFY ANY NEW OPERATOR THAT WILL IMPLEMENT A COMPONENT OF THE SESC PLAN. THE AMENDED SESC PLAN MUST BE KEPT ON FILE AT THE CONSTRUCTION SITE AND ANY SESC PLAN MODIFICATIONS MUST BE DOCUMENTED. ANY AMENDMENTS TO CONTROL MEASURES WHICH INVOLVED THE PRACTICE OF ENGINEERING, MUST FIRST BE REVIEWED, SIGNED, AND STAMPED BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF RHODE ISLAND.
3. IF CORRECTIVE ACTIONS ARE REQUIRED, THE SITE OWNER AND OPERATOR MUST ENSURE THAT ALL CORRECTIVE ACTIONS ARE DOCUMENTED ON THE INSPECTION REPORT IN WHICH THE PROBLEM WAS FIRST DISCOVERED. THESE CORRECTIVE ACTIONS MUST BE DOCUMENTED, SIGNED, AND DATED BY THE SITE OPERATOR ONCE ALL NECESSARY REPAIRS HAVE BEEN COMPLETED.
4. SOIL EROSION AND SEDIMENT CONTROL INSPECTION REQUIREMENTS
MINIMUM FREQUENCY - EACH OF THE FOLLOWING AREAS MUST BE INSPECTED BY OR UNDER THE SUPERVISION OF THE OWNER AND OPERATOR AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND WITHIN TWENTY FOUR (24) HOURS AFTER ANY STORM EVENT WHICH GENERATES AT LEAST 0.25 INCHES OF RAINFALL PER TWENTY-FOUR (24) HOUR PERIOD AND/OR AFTER A SIGNIFICANT AMOUNT OF RUNOFF:
a. ALL AREAS THAT HAVE BEEN CLEARED, GRADED, OR EXCAVATED AND THAT HAVE NOT YET COMPLETED STABILIZATION;
b. ALL STORMWATER EROSION, RUNOFF, AND SEDIMENT CONTROL MEASURES (INCLUDING POLLUTION PREVENTION PRACTICES) INSTALLED AT THE SITE TO COMPLY WITH THIS PERMIT;
c. CONSTRUCTION MATERIAL, UNSTABILIZED SOIL STOCKPILES, WASTE, BORROW, OR EQUIPMENT STORAGE, AND MAINTENANCE AREAS THAT ARE COVERED BY THIS PERMIT AND ARE EXPOSED TO PRECIPITATION;
d. ALL AREAS WHERE STORMWATER TYPICALLY FLOWS WITHIN THE SITE, INCLUDING TEMPORARY DRAINAGE WAYS DESIGNED TO DIVERT, CONVEY, AND/OR TREAT STORMWATER;
e. ALL POINTS OF DISCHARGE FROM THE SITE;
f. ALL LOCATIONS WHERE TEMPORARY OR PERMANENT SOIL STABILIZATION MEASURES HAVE BEEN IMPLEMENTED.
g. ALL LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.

General Phasing

- PHASE 1 :
1. INSTALL PERIMETER EROSION CONTROLS AND PROTECT INFILTRATION BASINS.
2. ESTABLISH GROUND COVER ON THE SOUTHERN BERM ALONG THE WETLAND EDGE.
3. CONSTRUCT RIP RAP CHANNELS TO PERMANENTLY DIVERT OFF SITE RUN-ON AROUND THE PROJECT SITE.
4. CONSTRUCT DETENTION BASINS 1 AND 2 AND ESTABLISH GROUND COVER IN THE BASINS.
5. CONSTRUCT TEMPORARY SEDIMENT BASINS 1 AND 2.
PHASE 2:
1. PERFORM SITE EARTHWORK FOR BUILDING AND PARKING AREAS.
2. CONSTRUCT PERMANENT INFILTRATION BASINS AND ESTABLISH GROUND COVER.
3. CONNECT DRAINAGE PIPES TO PERMANENT BASINS AFTER GROUND COVER IS ESTABLISHED IN BASINS.

Local Permitting

A SOIL EROSION AND SEDIMENT CONTROL PERMIT MUST BE OBTAINED FROM THE CITY OF WARWICK BUILDING DEPARTMENT PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, INCLUDING VEGETATION CLEARING AND EARTHWORK.

Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

Table with 4 columns: No., Revision, Date, Apprd. containing revision history for RIDEM RESUBMISSION, PRELIMINARY/FINAL PERMITS, LOCAL COMMENTS, CONSTRUCTION DOCUMENTS, and FINAL PLAN APPROVAL.

Table with 2 columns: Designed by (AEC) and Checked by (RLC).

Construction February 22, 2022

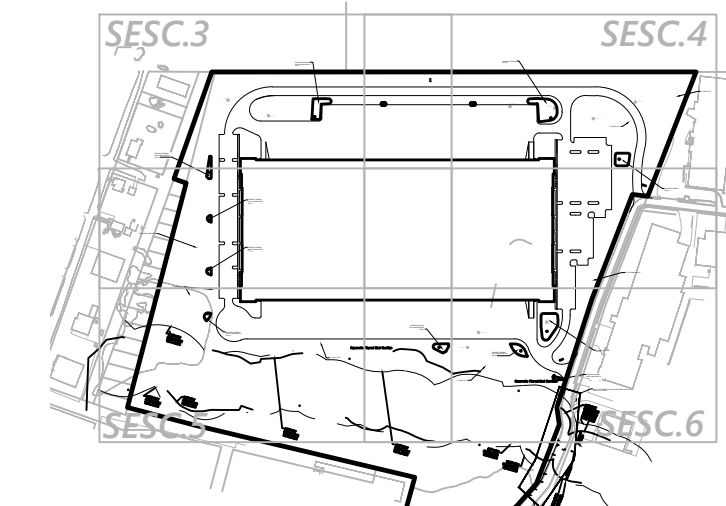
Not Approved for Construction

Soil Erosion and Sediment Control - Legend and General Notes

Professional Engineer stamp for RENE L. CODEGA, No. 6517, REGISTERED PROFESSIONAL ENGINEER. Includes drawing number and sheet information (Sheet 1 of 7).

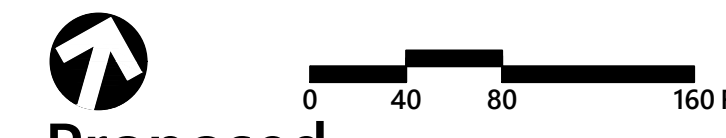


1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
Not To Scale

- Notes:**
- REFER TO SOIL EROSION AND SEDIMENT CONTROL PLAN REPORT FOR ADDITIONAL INFORMATION AND GUIDELINES.
 - TOTAL SITE AREA = 46.7 ACRES. TOTAL SITE DISTURBANCE = 33.3 ACRES.
 - LOCATION OF RECEIVING WATERS: TRIBUTARY TO WARWICK POND.
 - NO PORTION OF THE SITE FALLS WITHIN OR DIRECTLY DISCHARGES TO A NATURAL HERITAGE AREA (NHA), OR OTHERWISE IMPACTS THREATENED SPECIES OR HABITATS.
 - STOCKPILING MUST BE WITHIN PROJECT LIMIT OF WORK BUT OUTSIDE THE BMP AREAS SHOWN ON THE PLANS AND SUCH THAT CONSTRUCTION VEHICLES DO NOT DRIVE OVER THESE AREAS TO ACCESS THE STOCKPILES.
 - WASHOUT AND REFUELING AREAS MUST BE WITHIN PROJECT LIMITS BUT OUTSIDE THE BMP AREAS LISTED BELOW AND SHOWN ON THE PLANS.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

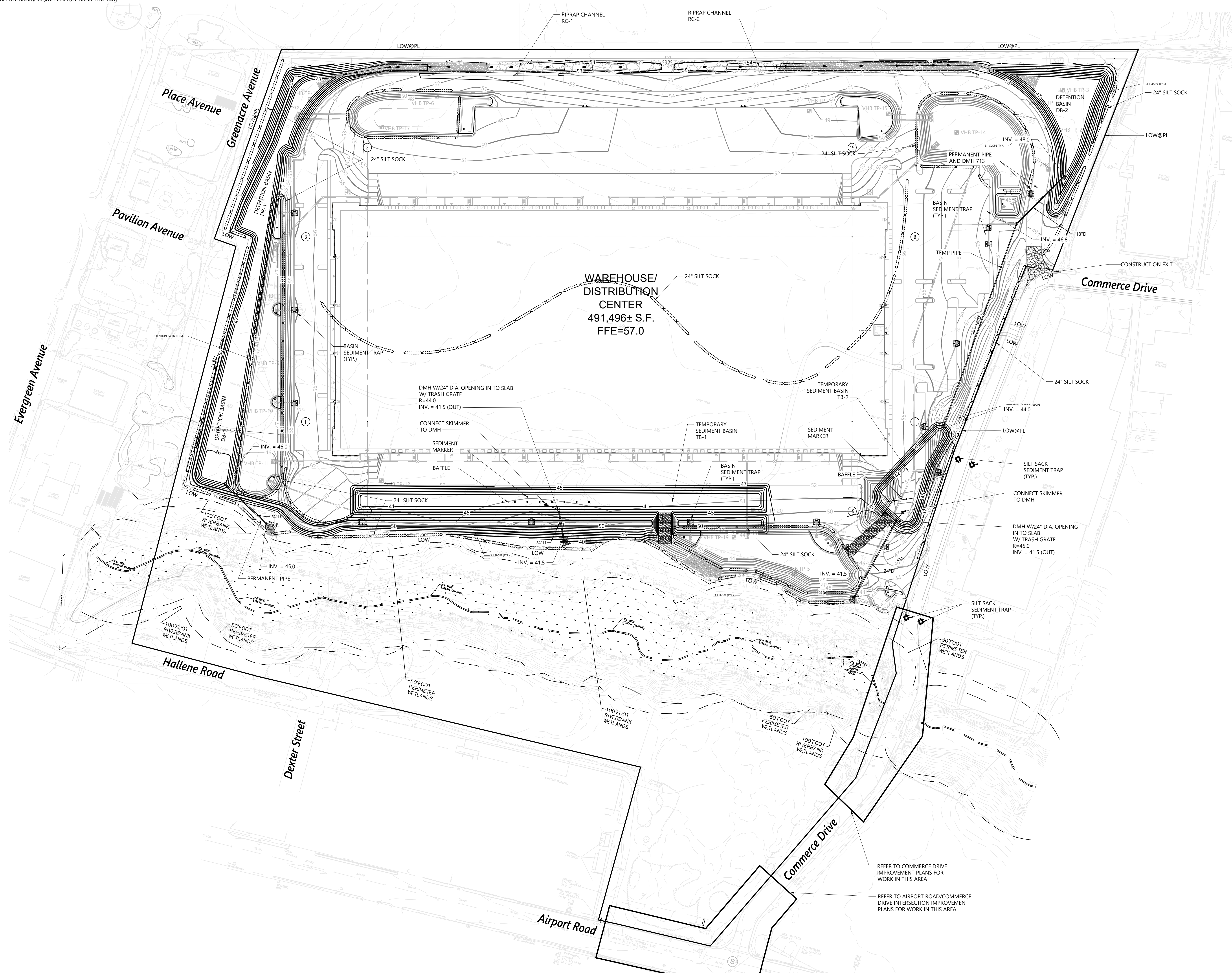
No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

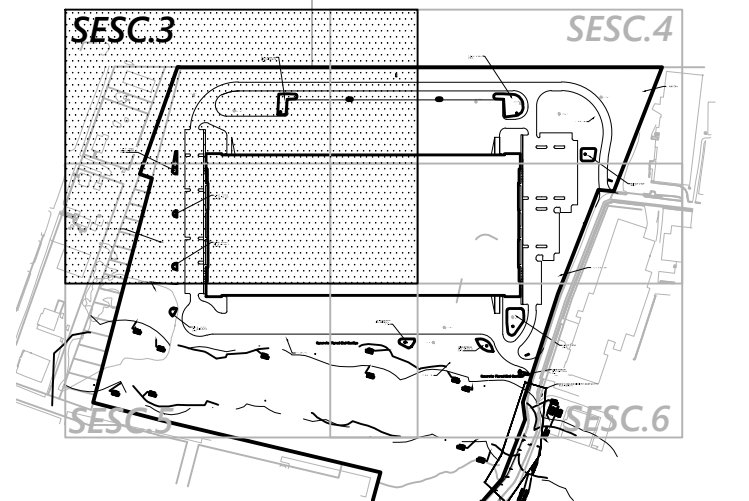
Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Not Approved for Construction
Soil Erosion and Sediment Control - Overall Plan

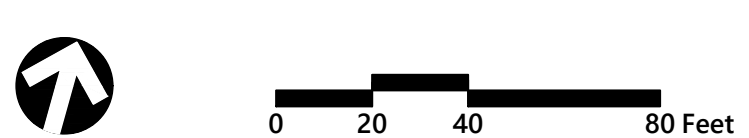
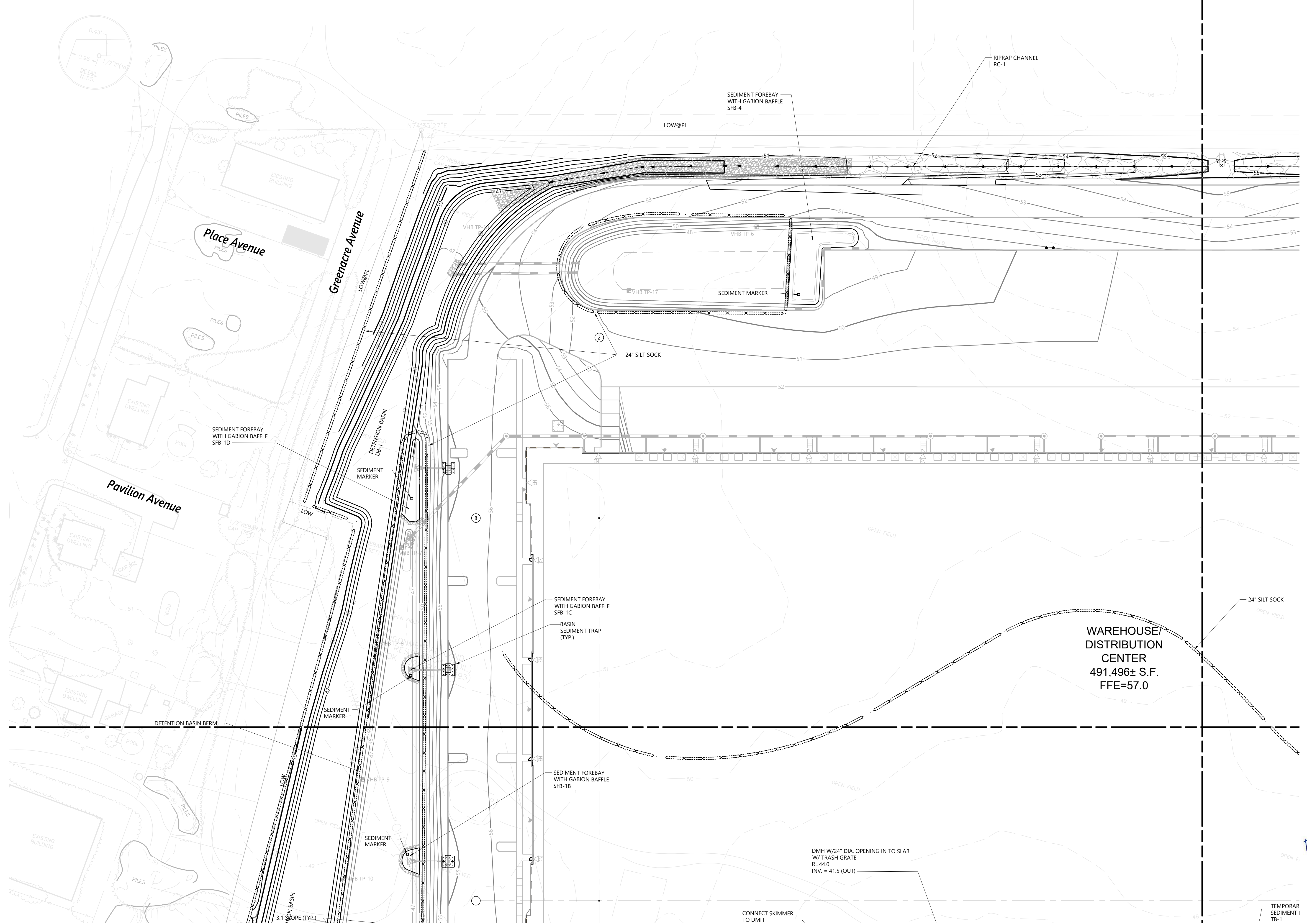
REGISTERED PROFESSIONAL ENGINEER
No. 6517
Project Number: 73180.00
Date: 2/22/2022

SESC.2
Sheet 2 of 7





Key
Not To Scale




Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appvd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

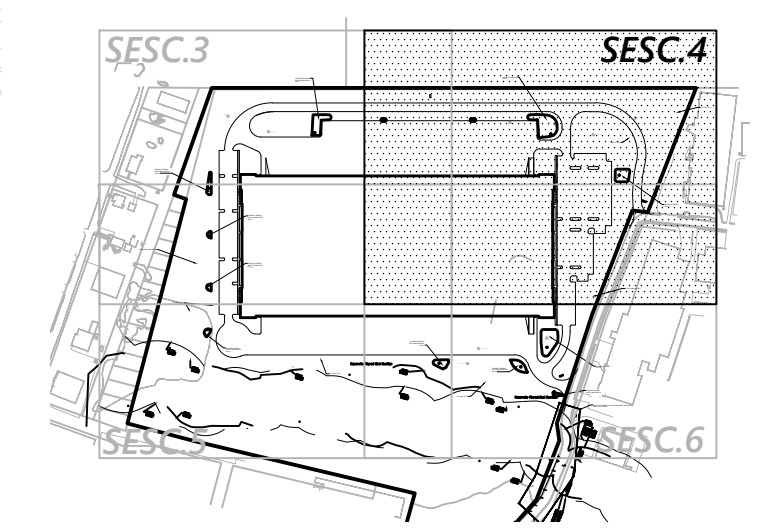
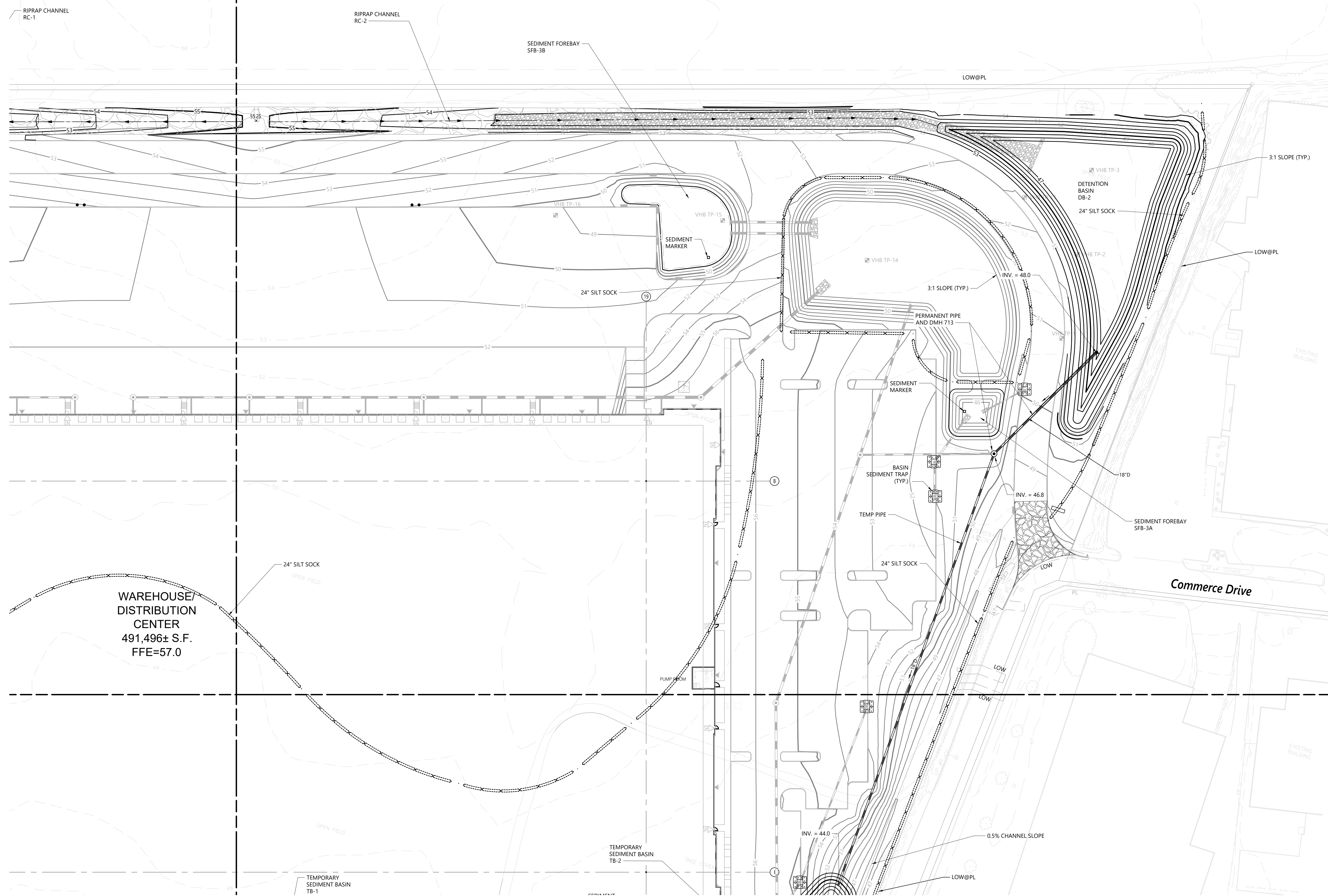
Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Not Approved for Construction
Soil Erosion and Sediment Control - Plan 1

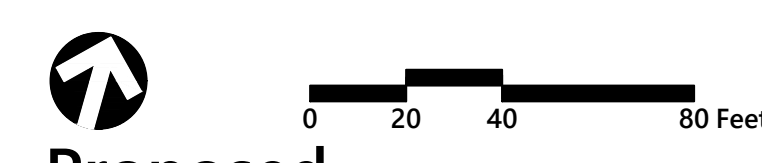
WAREHOUSE/DISTRIBUTION CENTER
491,496± S.F.
FFE=57.0


SESC.3
 Sheet 3 of 7
 Project Number 73180.00
 Date 2/22/2022

Saved Friday, January 28, 2022 5:16:24 PM ERICOBRENN Plotted Sunday, January 30, 2022 10:16:33 PM Ashley Cunha



Key
Not To Scale



Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appvd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

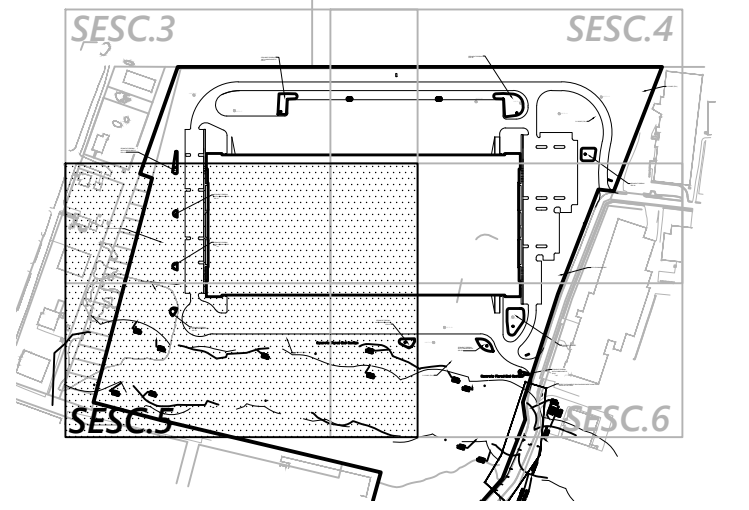
Not Approved for Construction
Soil Erosion and Sediment Control - Plan 2

R. Codega
RENÉE L. CODEGA
No. **6517**
REGISTERED PROFESSIONAL ENGINEER

SESC.4
Sheet **4** of **7**

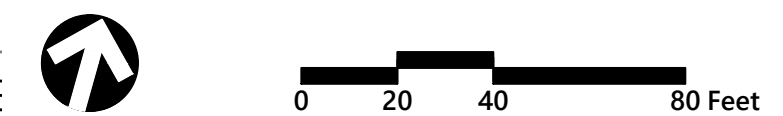
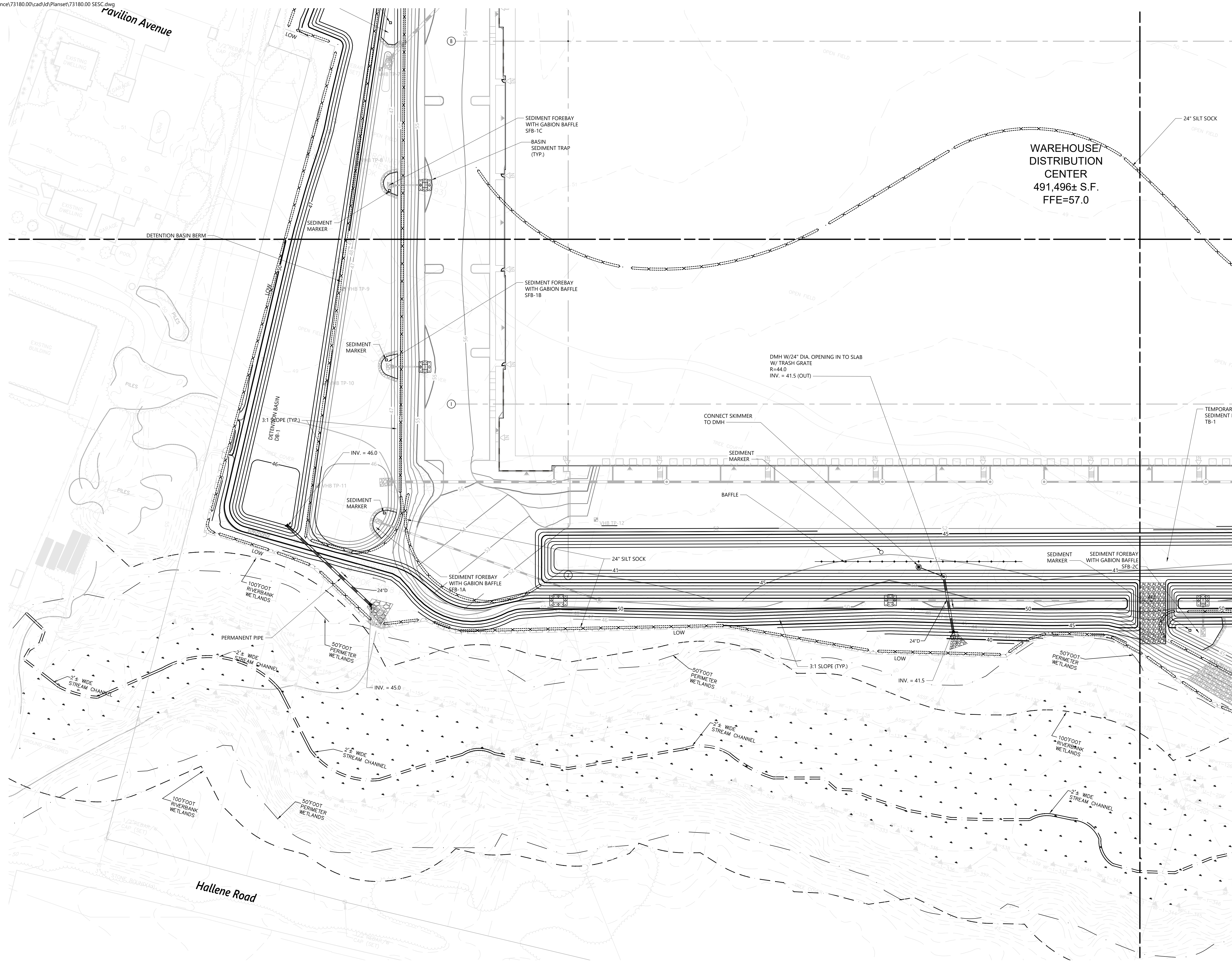
Project Number: **73180.00**

**WAREHOUSE/
DISTRIBUTION
CENTER**
491,496± S.F.
FFE=57.0



Key

Not To Scale



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: AEC Checked by: RLC

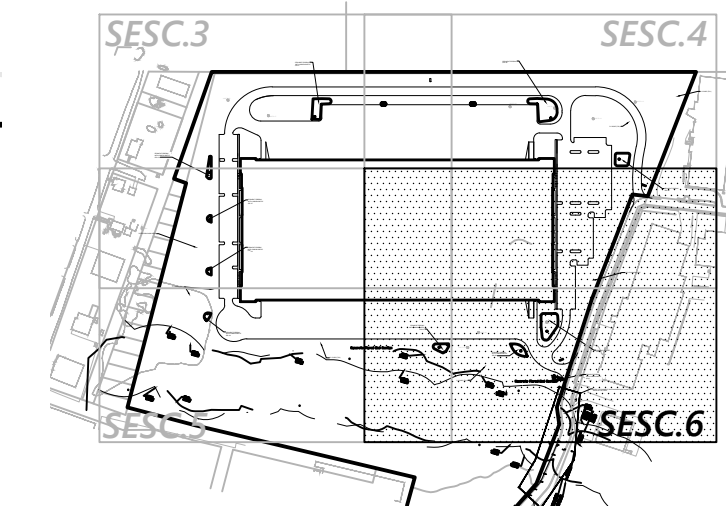
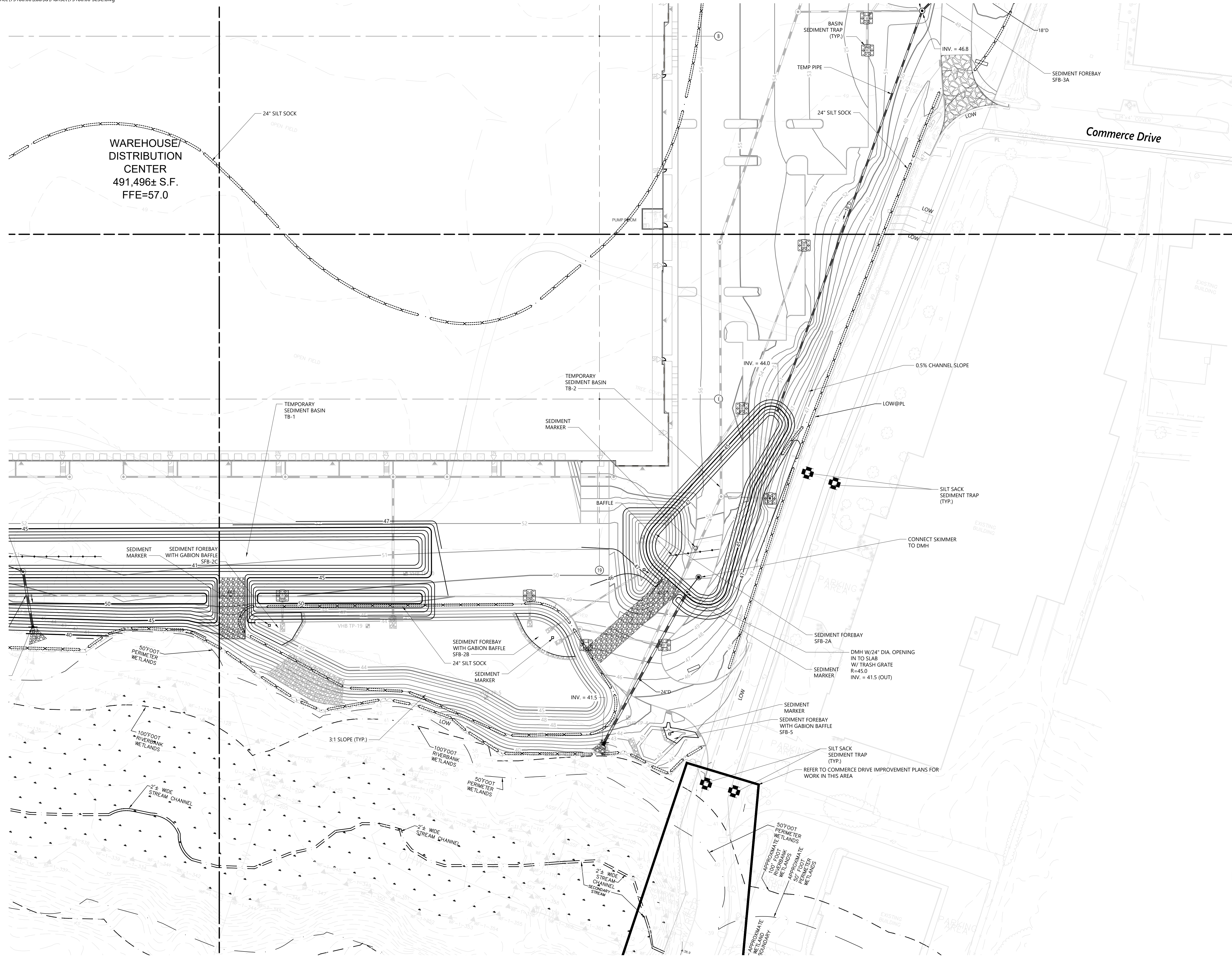
Issued for: Construction Date: February 22, 2022

Not Approved for Construction

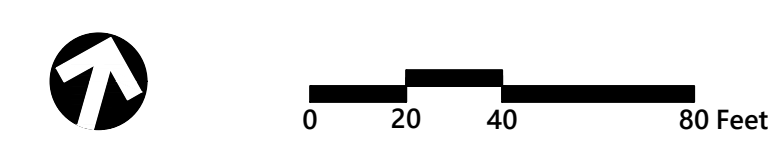
Soil Erosion and Sediment Control - Plan 3

Renée L. Codega
No. 6517
REGISTERED PROFESSIONAL ENGINEER
2/22/2022

SESC.5
Sheet 5 of 7
Project Number 73180.00



Key
Not To Scale



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

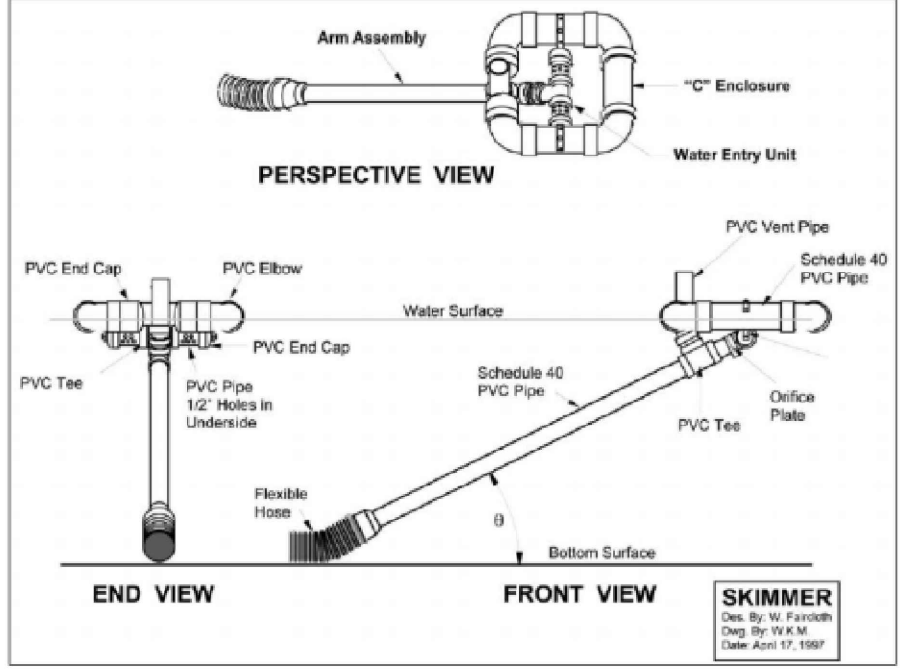
Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Not Approved for Construction
Soil Erosion and Sediment Control - Plan 4

Renée L. Codega
REGISTERED PROFESSIONAL ENGINEER
No. 6517
Project Number: 73180.00
Sheet 6 of 7
SESC.6
2/22/2022

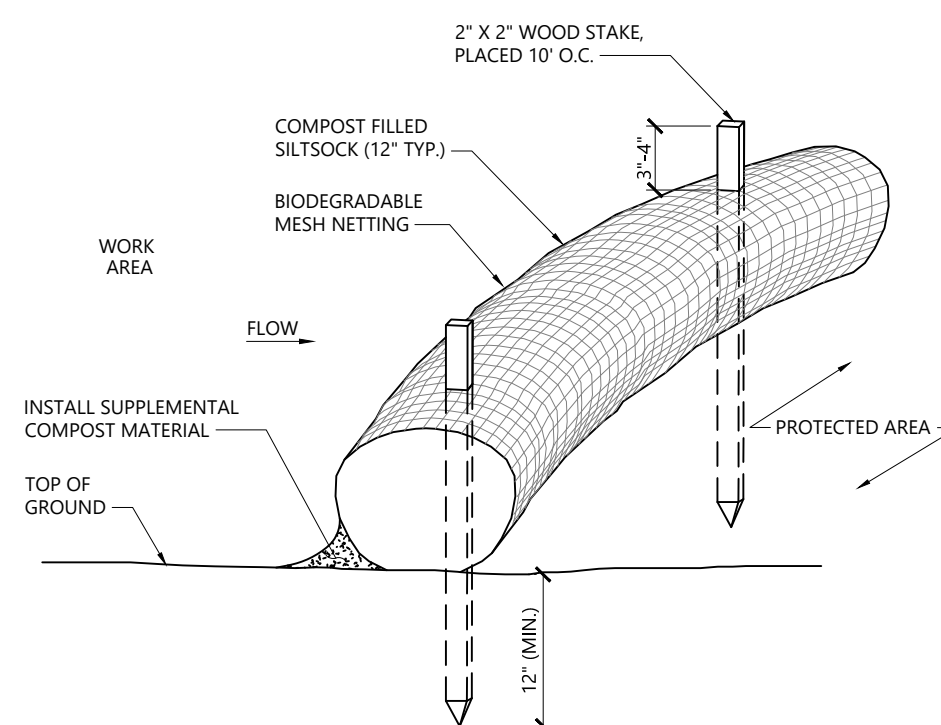
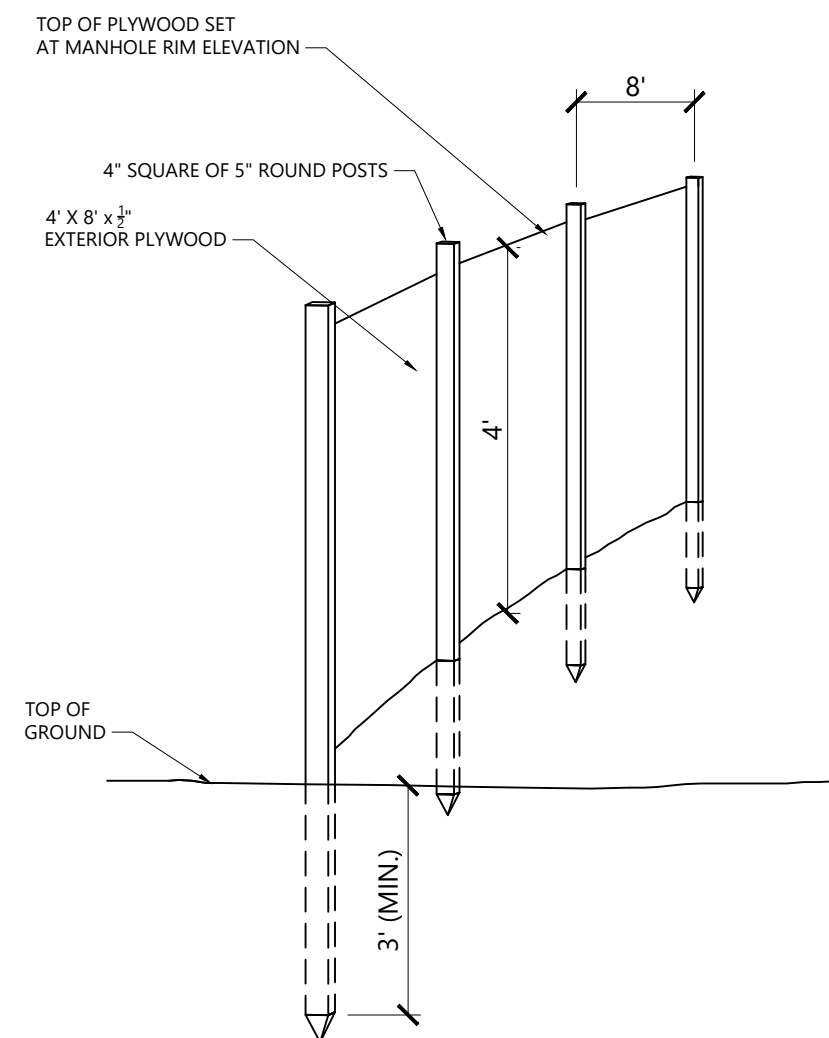
Section Six: Sediment Control Measures

Figure 13. Faircloth Skimmer Schematic Developed by Warren Faircloth, North Carolina



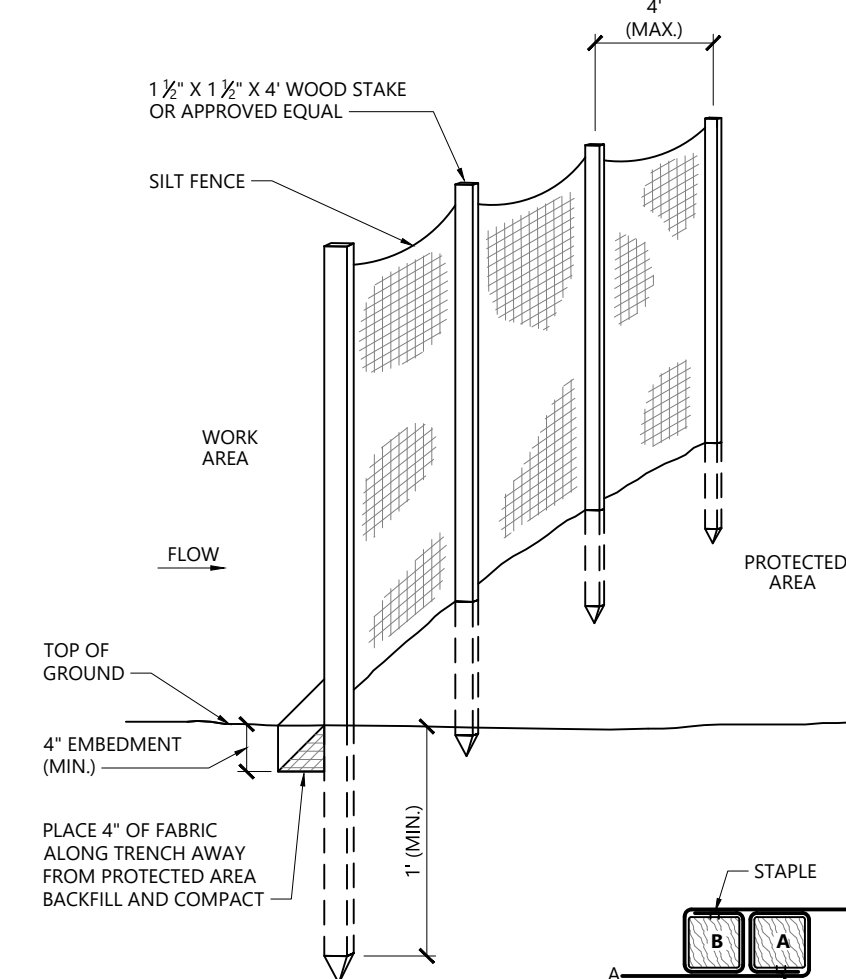
(Credit: 2002 Connecticut Guidelines for Soil Erosion and Sediment Control)

CONNECT FLEXIBLE HOSE TO MANHOLE

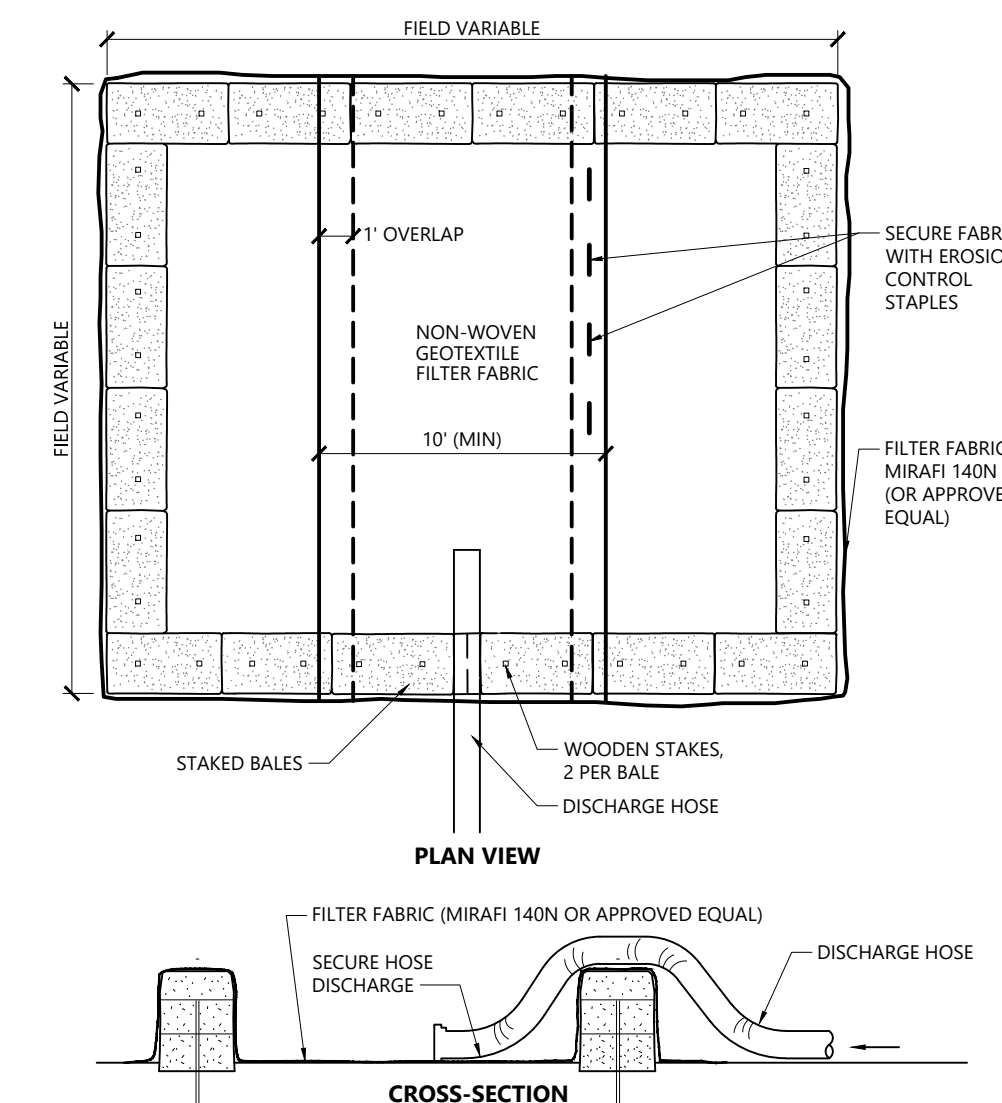


NOTES

1. SILT SOCK SHALL BE FILTREXX SILT SOCK, OR APPROVED EQUAL.
2. SILT SOCKS SHALL OVERLAP A MINIMUM OF 12 INCHES.
3. SILT SOCKS SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS, AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.
4. COMPOST MATERIAL SHALL BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
5. IF NON BIODEGRADABLE NETTING IS USED THE NETTING SHALL BE COLLECTED AND DISPOSED OF OFF SITE.



WOOD STAKE JOINT DETAIL



NOTES

1. NUMBER OF BALES MAY VARY DEPENDING ON SITE CONDITIONS.
2. THE BASIN TO BE SIZED TO PREVENT DISCHARGE WATER FROM OVERTOPPING BASIN.

NOTES

1. SEE SITE DETAILS FOR DETAILS OF FLARED END SECTIONS WITH STONE PROTECTION, RIP RAP CHANNELS, DRAIN MANHOLES, UTILITY TRENCH, OVERFLOW STONE SWALES, ANTI SEEPAGE COLLAR, AND DETENTION BASIN BERM SECTIONS.

Skimmer

N.T.S. Source: RIDEM SESC HANDBOOK (THRU 2016) REV

Baffle

N.T.S. Source: VHB REV

Siltsock - Erosion Control Barrier

N.T.S. Source: VHB LD_658

Silt Fence Barrier

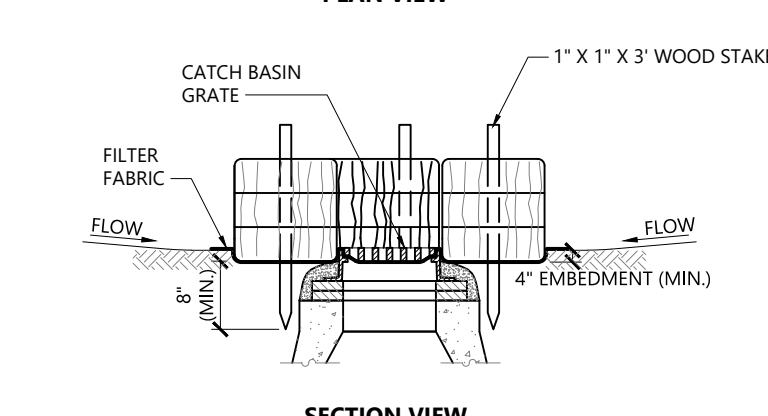
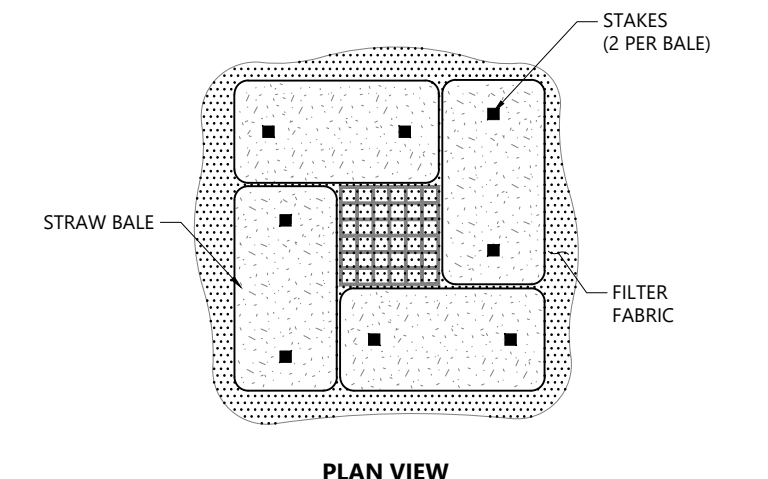
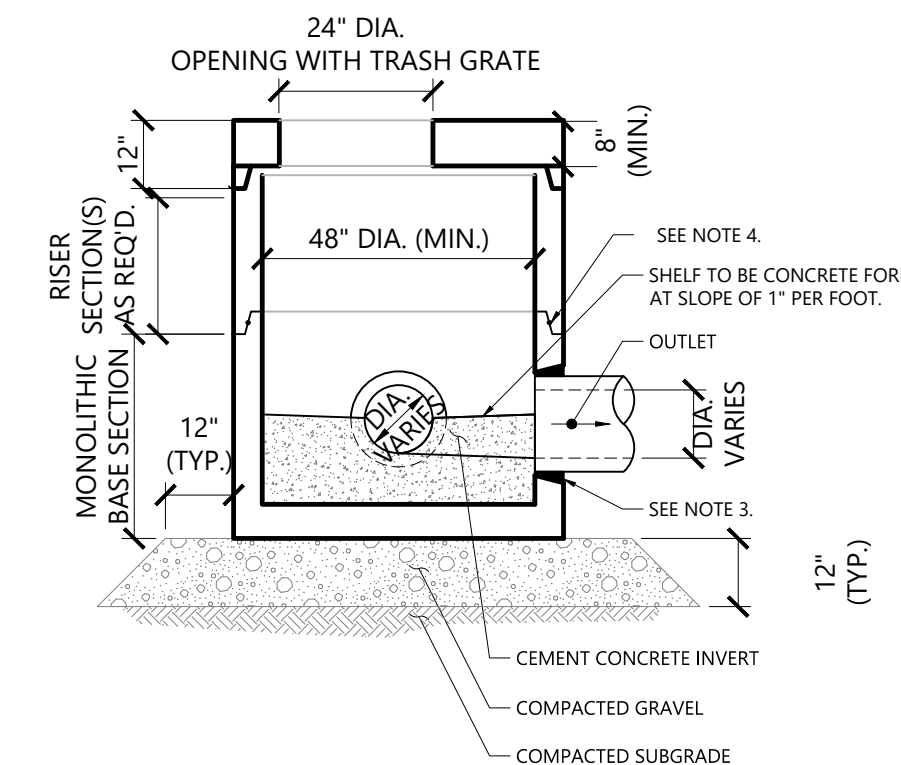
N.T.S. Source: VHB LD_650

Dewatering Straw Bale Basin

N.T.S. Source: VHB LD_690

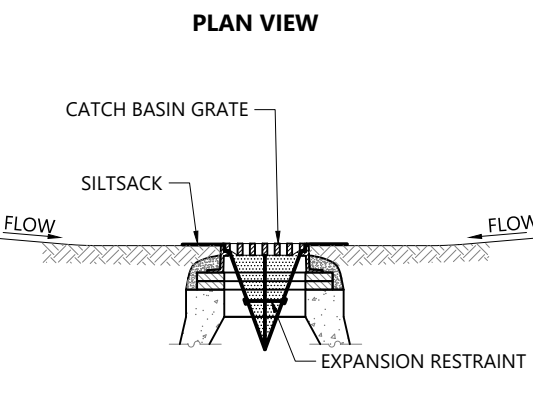
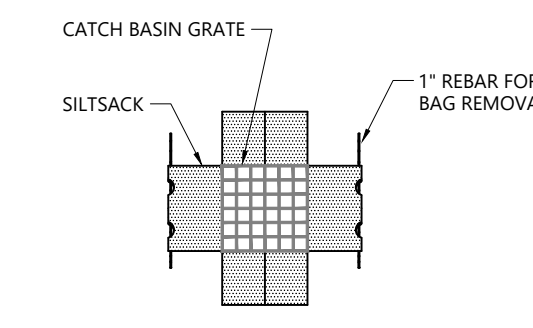
NOTES

1. ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING. DIAMETER OF STRUCTURES SHALL BE COORDINATED WITH PIPE CONFIGURATIONS.
2. PROVIDE OPENINGS FOR PIPES WITH 2" MAX CLEARANCE TO OUTSIDE OF PIPE. MORTAR ALL PIPE CONNECTIONS.
3. JOINT SEALANT BETWEEN PRECAST SECTIONS SHALL BE PERFORMED BUTYL RUBBER.



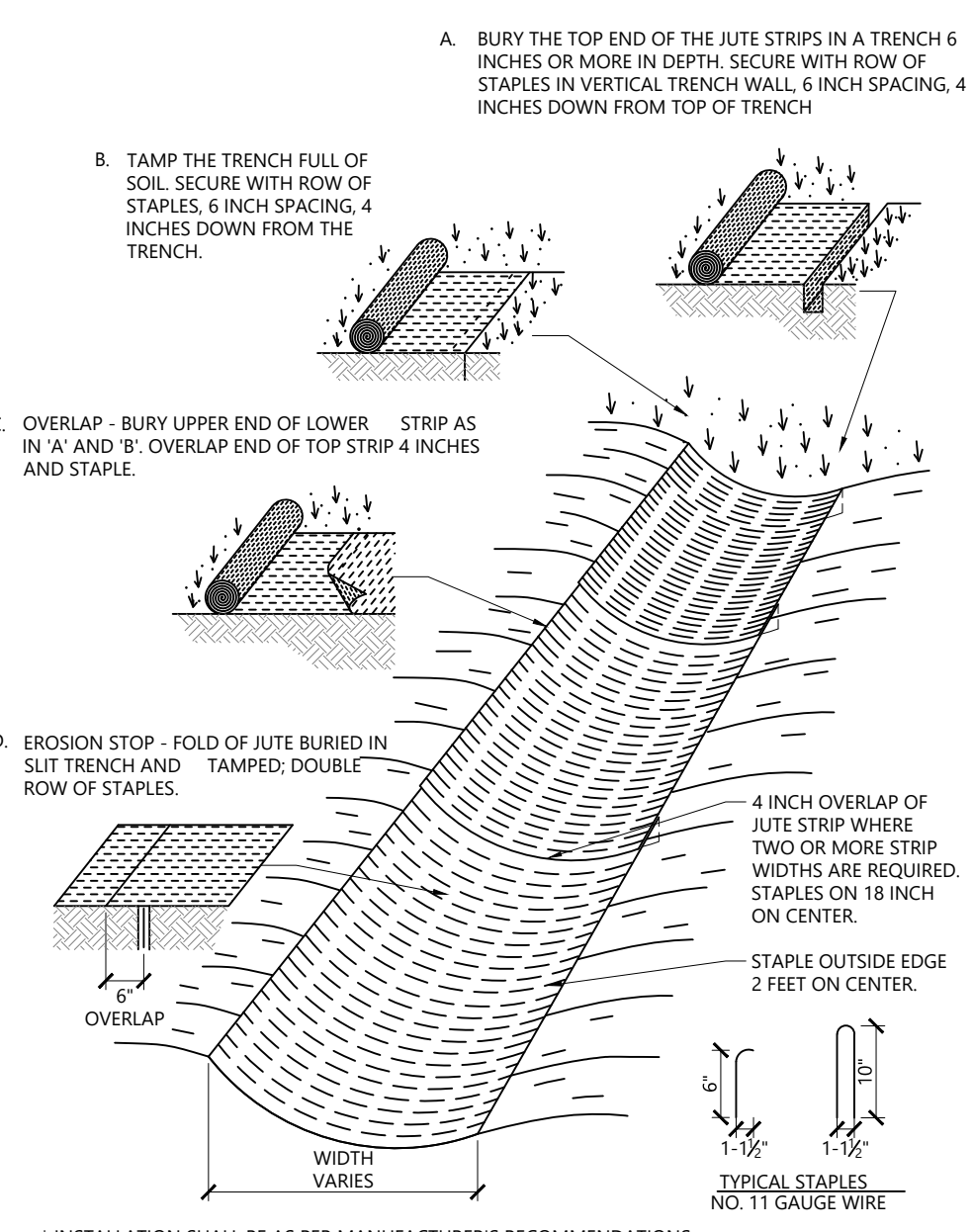
NOTES

1. ENCLOSE STRUCTURE WITH HAYBALES IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION. MAINTAIN UNTIL PAVING BINDER COURSE IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
2. IF GRATE IS AGAINST EXISTING CURB THEN BALES ARE TO BE PLACED AROUND THREE SIDES OF GRATE ONLY.
3. GRATE TO BE PLACED OVER FILTER FABRIC.
4. BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

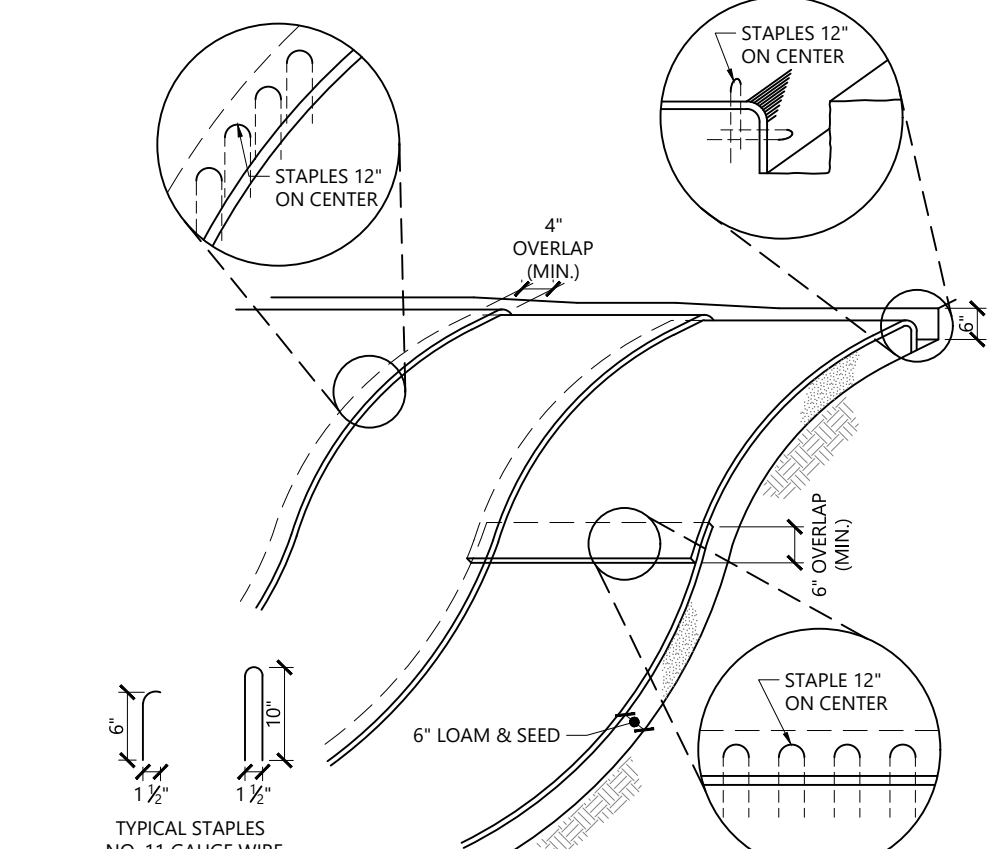


NOTES

1. INSTALL SILT SOCK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
2. GRATE TO BE PLACED OVER SILT SOCK.
3. SILT SOCK SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS AND REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.



* INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS



NOTES

1. BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6\"/>

Drain Manhole (DMH)

N.T.S. Source: VHB

Catch Basin Sediment Trap

1/16 LD_115 N.T.S. Source: VHB LD_673

Siltsock Sediment Trap

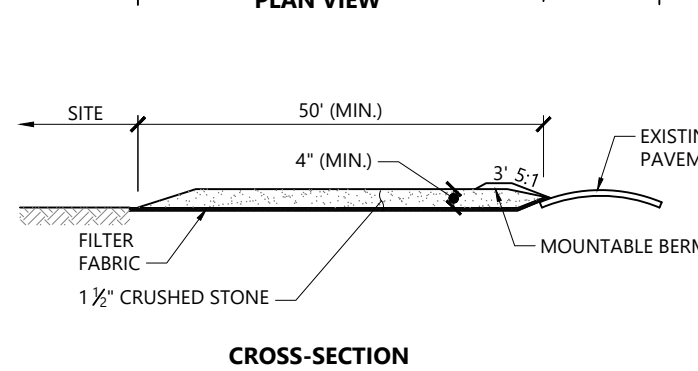
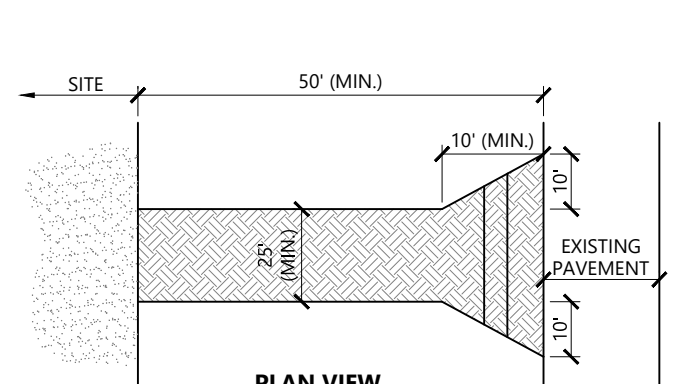
N.T.S. Source: VHB LD_674

Erosion Control Blanket Swale Installation

N.T.S. Source: VHB LD_681

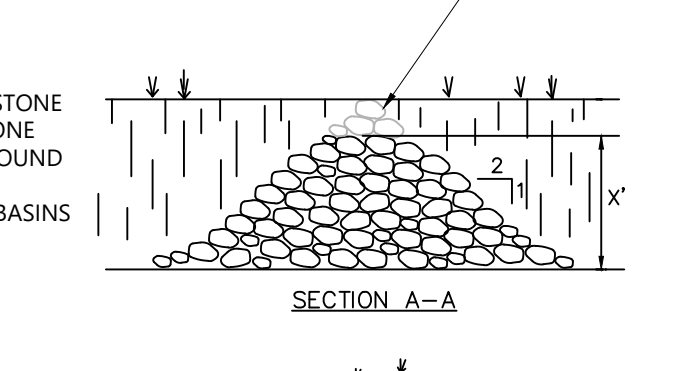
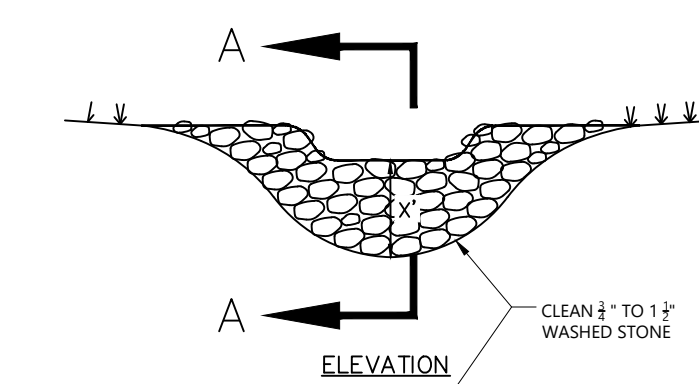
Erosion Control Blanket Slope Installation

N.T.S. Source: VHB LD_680



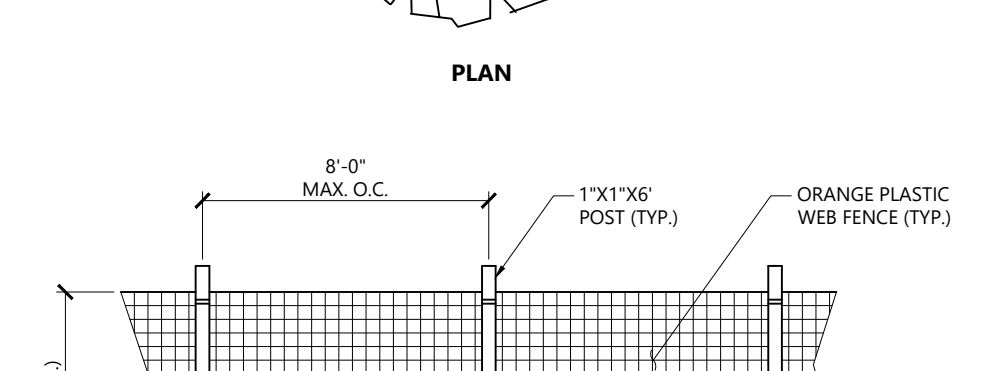
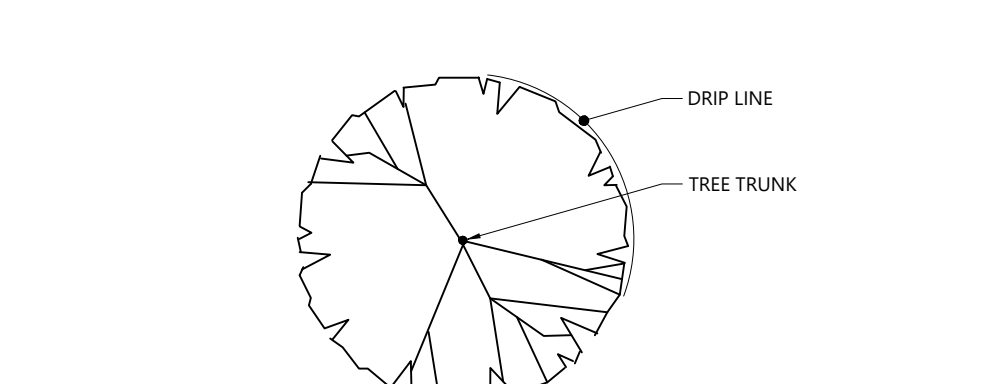
NOTES

1. EXIT WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
2. THE EXIT SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.
3. STABILIZED CONSTRUCTION EXIT SHALL BE REMOVED PRIOR TO FINAL FINISH MATERIALS BEING INSTALLED.



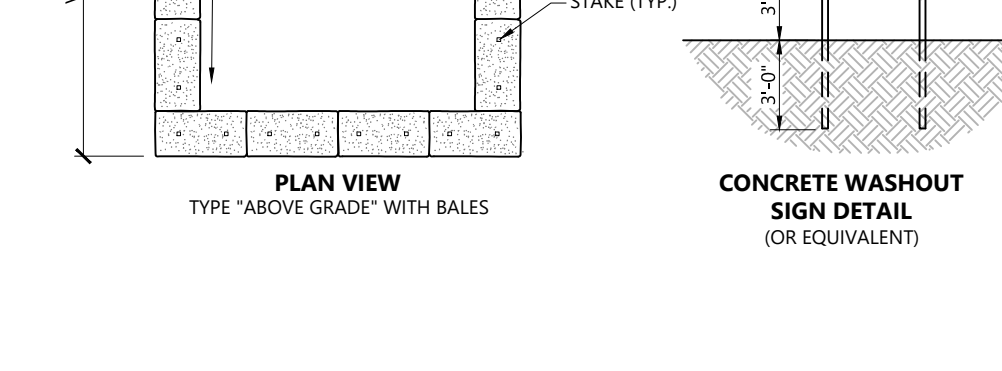
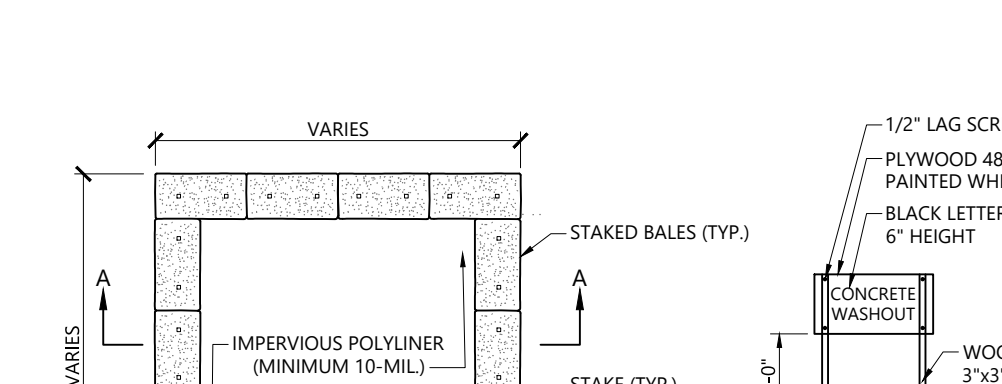
NOTES

THIS SECTION IS APPLICABLE FOR STONE CHECK DAMS, STONE CHECK BERMS, AROUND PIPE ENDS AND SEDIMENTATION BASINS



NOTES

1. INSTALL TREE PROTECTION FENCE AT THE DRIP LINE OF EXISTING TREES TO REMAIN.



NOTES

1. FINAL LOCATION TO BE DETERMINED BY CONTRACTOR BASED ON SITE CONDITIONS.
2. KEEP AS FAR FROM DRAINAGE CHANNELS AND WETLAND AREAS AS PRACTICAL.
3. Sumps to be cleaned and waste concrete removed and properly disposed of upon completion of work.

Sediment Marker

N.T.S. Source: VHB

Stabilized Construction Exit

1/16 LD_115 N.T.S. Source: VHB LD_682

Stone Check Dam

N.T.S. Source: VHB LD_682

Tree Protection Fence

N.T.S. Source: VHB LD_680

Concrete Washout

N.T.S. Source: VHB LD_680

Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

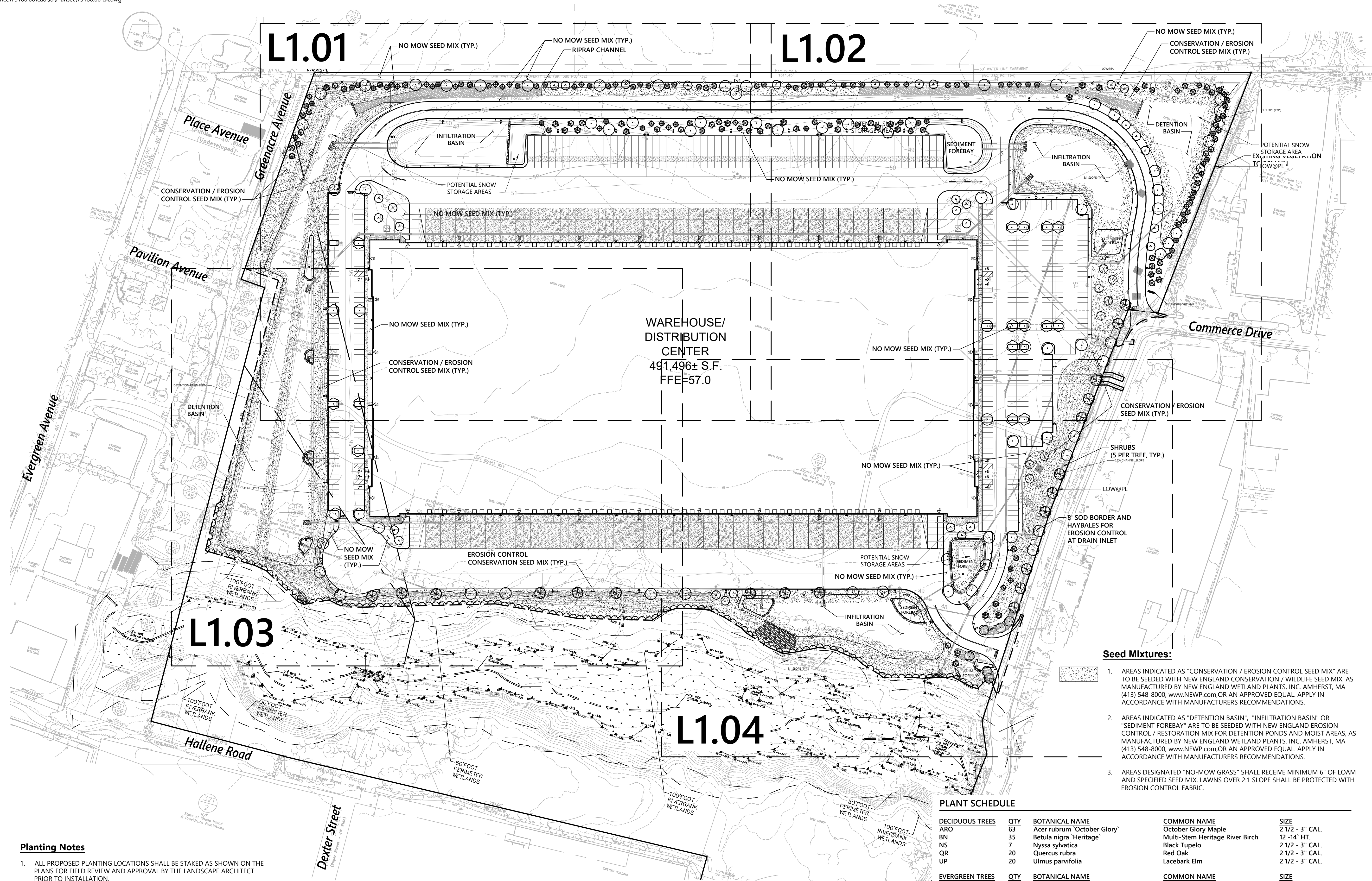
Designed by: AEC
Checked by: RLC
Issued for: Construction
Date: February 22, 2022

Not Approved for Construction
Soil Erosion and Sediment Control - Details

Renée L. Codega
No. 6517
REGISTERED PROFESSIONAL ENGINEER
Project Number: 73180.00



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



- Seed Mixtures:**
- AREAS INDICATED AS "CONSERVATION / EROSION CONTROL SEED MIX" ARE TO BE SEEDED WITH NEW ENGLAND CONSERVATION / WILDLIFE SEED MIX, AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (413) 548-8000, WWW.NEWP.COM, OR AN APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - AREAS INDICATED AS "DETENTION BASIN", "INFILTRATION BASIN" OR "SEDIMENT FOREBAY" ARE TO BE SEEDED WITH NEW ENGLAND EROSION CONTROL / RESTORATION MIX FOR DETENTION PONDS AND MOIST AREAS, AS MANUFACTURED BY NEW ENGLAND WETLAND PLANTS, INC. AMHERST, MA (413) 548-8000, WWW.NEWP.COM OR AN APPROVED EQUAL. APPLY IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS.
 - AREAS DESIGNATED "NO-MOW GRASS" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.

PLANT SCHEDULE

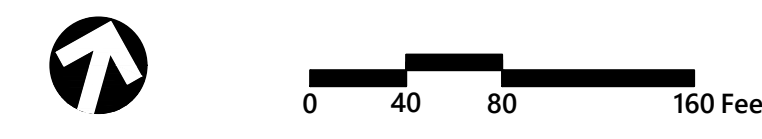
DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
ARO	63	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CAL.
BN	35	Betula nigra 'Heritage'	Multi-Stem Heritage River Birch	12 - 14" HT.
NS	7	Nyssa sylvatica	Black Tupelo	2 1/2 - 3" CAL.
QR	20	Quercus rubra	Red Oak	2 1/2 - 3" CAL.
UP	20	Ulmus parvifolia	Lacebark Elm	2 1/2 - 3" CAL.
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JV	123	Juniperus virginiana	Eastern Red Cedar	6 - 7' HT.
PG	50	Picea glauca	White Spruce	7 - 8' HT.
PS	8	Pinus strobus	White Pine	6 - 7' HT.
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CCI	6	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	2 1/2 - 3" CAL.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
CA	130	Ceanothus americanus	New Jersey Tea	18 - 24" SPD
CR	53	Cornus racemosa	Gray Dogwood	2 - 3" HT.
CS	57	Cornus sericea	Red Twig Dogwood	2 - 3" HT.
CSA	60	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	2 - 3" HT.
CSK	6	Cornus sericea 'Kelseyi'	Kelsey's Dwarf Red Twig Dogwood	24 - 30" HT.
HLQ	97	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea	3 GAL / 18" HT.
IGS	75	Ilex glabra 'Shamrock'	Shamrock Inkberry	2 - 3" HT.
JB	52	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	2 GAL.
PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
NW	43	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	2 GAL.
RF	12	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-eyed Susan	2 GAL.
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
PVS	165	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#2 POT

Planting Notes

- ALL PROPOSED PLANTING LOCATIONS SHALL BE STAKED AS SHOWN ON THE PLANS FOR FIELD REVIEW AND APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BELOW GRADE AND ABOVE GROUND UTILITIES AND NOTIFY OWNERS REPRESENTATIVE OF CONFLICTS.
- NO PLANT MATERIALS SHALL BE INSTALLED UNTIL ALL GRADING AND CONSTRUCTION HAS BEEN COMPLETED IN THE IMMEDIATE AREA. CONTRACTOR SHALL NOTIFY OWNER'S REPRESENTATIVE OF ANY CONFLICT.
- A 3-INCH DEEP MULCH PER SPECIFICATION SHALL BE INSTALLED UNDER ALL TREES AND SHRUBS, AND IN ALL PLANTING BEDS, UNLESS OTHERWISE INDICATED ON THE PLANS, OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- ALL TREES SHALL BE BALLED AND BURLAPPED, UNLESS OTHERWISE NOTED IN THE DRAWINGS OR SPECIFICATION, OR APPROVED BY THE OWNER'S REPRESENTATIVE.
- FINAL QUANTITY FOR EACH PLANT TYPE SHALL BE AS GRAPHICALLY SHOWN ON THE PLAN. THIS NUMBER SHALL TAKE PRECEDENCE IN CASE OF ANY DISCREPANCY BETWEEN QUANTITIES SHOWN ON THE PLANT LIST AND ON THE PLAN. THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES BETWEEN THE NUMBER OF PLANTS SHOWN ON THE PLANT LIST AND PLANT LABELS PRIOR TO BIDDING.
- ANY PROPOSED PLANT SUBSTITUTIONS MUST BE REVIEWED BY LANDSCAPE ARCHITECT AND APPROVED IN WRITING BY THE OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIALS INSTALLED SHALL MEET THE SPECIFICATIONS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND CONTRACT DOCUMENTS.
- ALL PLANT MATERIALS SHALL BE GUARANTEED FOR ONE YEAR FOLLOWING DATE OF FINAL ACCEPTANCE.
- AREAS DESIGNATED "LOAM & SEED" SHALL RECEIVE MINIMUM 6" OF LOAM AND SPECIFIED SEED MIX. LAWNS OVER 2:1 SLOPE SHALL BE PROTECTED WITH EROSION CONTROL FABRIC.
- ALL DISTURBED AREAS NOT OTHERWISE NOTED ON CONTRACT DOCUMENTS SHALL BE NO MOW SEED MIXED OR MULCHED AS DIRECTED BY OWNER'S REPRESENTATIVE.
- THIS PLAN IS INTENDED FOR PLANTING PURPOSES. REFER TO SITE / CIVIL DRAWINGS FOR ALL OTHER SITE CONSTRUCTION INFORMATION.

Plant Maintenance Notes

- CONTRACTOR SHALL PROVIDE COMPLETE MAINTENANCE OF THE LAWNS AND PLANTINGS. NO IRRIGATION IS PROPOSED FOR THIS SITE. THE CONTRACTOR SHALL SUPPLY SUPPLEMENTAL WATERING FOR NEW LAWNS AND PLANTINGS DURING THE ONE YEAR PLANT GUARANTEE PERIOD.
- CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, AND EQUIPMENT FOR THE COMPLETE LANDSCAPE MAINTENANCE WORK. WATER SHALL BE PROVIDED BY THE CONTRACTOR.
- WATERING SHALL BE REQUIRED DURING THE GROWING SEASON, WHEN NATURAL RAINFALL IS BELOW ONE INCH PER WEEK.
- WATER SHALL BE APPLIED IN SUFFICIENT QUANTITY TO THOROUGHLY SATURATE THE SOIL IN THE ROOT ZONE OF EACH PLANT.
- CONTRACTOR SHALL REPLACE DEAD OR DYING PLANTS AT THE END OF THE ONE YEAR GUARANTEE PERIOD. CONTRACTOR SHALL TURN OVER MAINTENANCE TO THE FACILITY MAINTENANCE STAFF AT THAT TIME.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	App'd
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: EJB
Checked by: RLC
Issued for: Construction
Date: February 22, 2022

Overall Planting Plan

Drawing Title: Overall Planting Plan

Drawing Number: L1.00

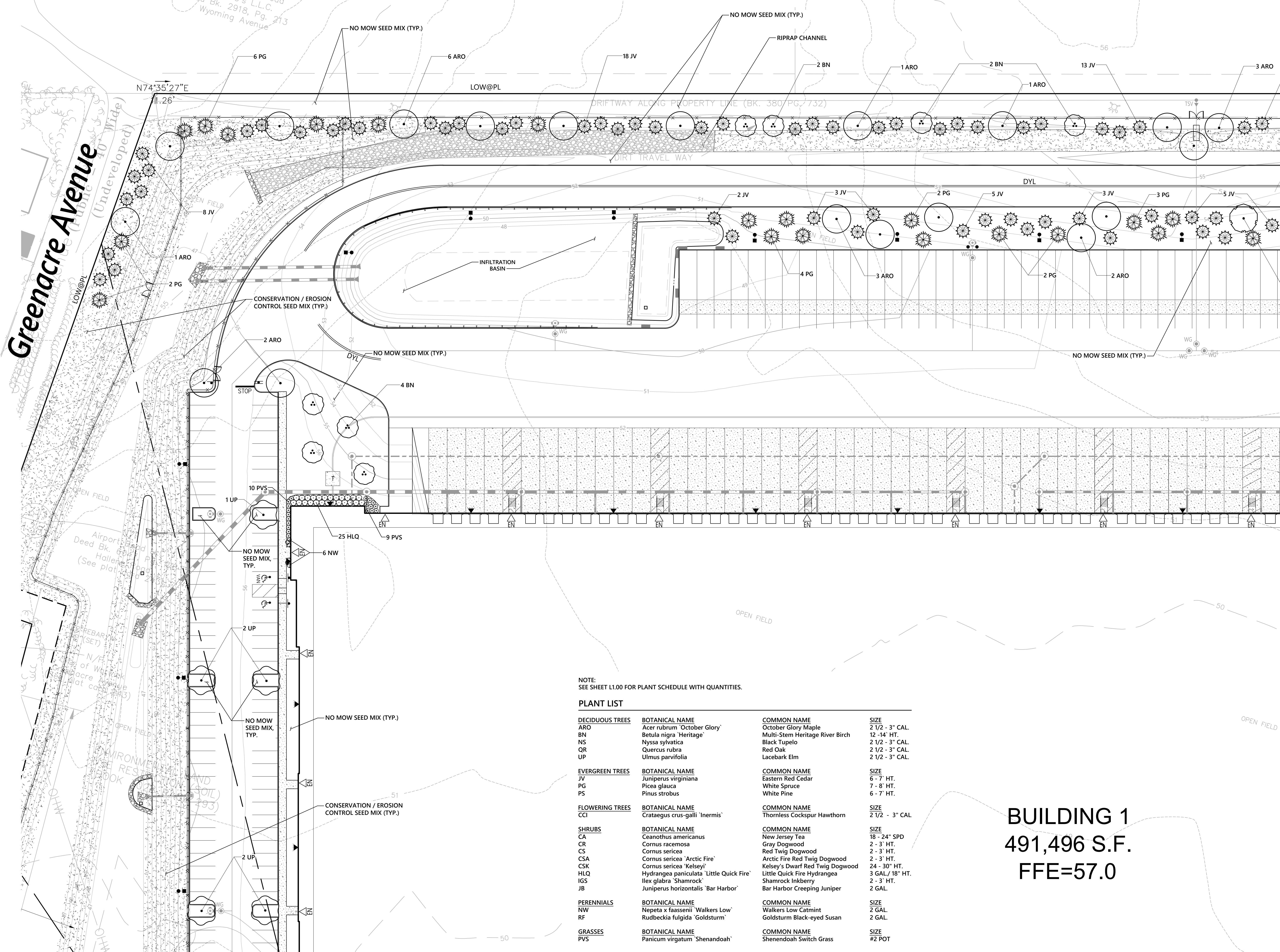
Sheet 1 of 6

Date: 1/28/2022

Project Number: 73180.00

N/F
Vincent P. Confredo
Seven C's L.L.C.
Deed Bk. 2918, Pg. 213
Wyoming Avenue

Greenacre Avenue
(Undeveloped)



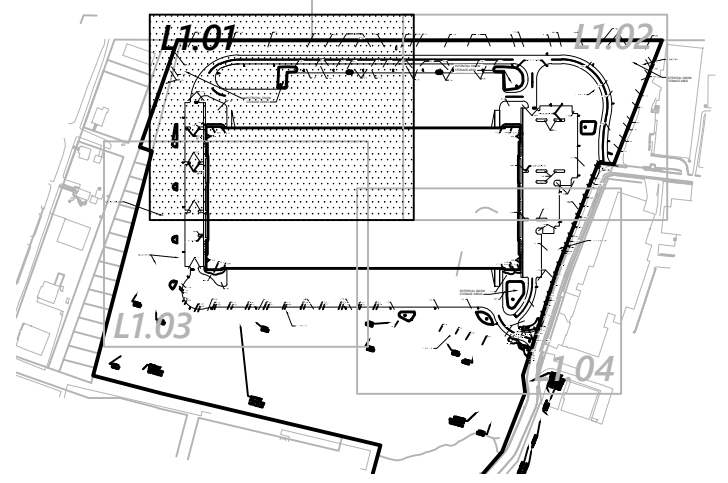
NOTE:
SEE SHEET L1.00 FOR PLANT SCHEDULE WITH QUANTITIES.

PLANT LIST

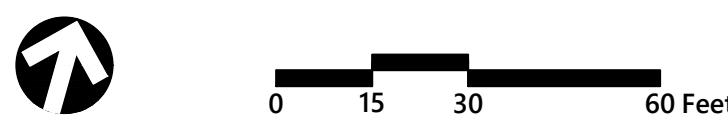
DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE
ARO	<i>Acer rubrum</i> 'October Glory'	October Glory Maple	2 1/2 - 3" CAL.
BN	<i>Betula nigra</i> 'Heritage'	Multi-Stem Heritage River Birch	12 - 14" HT.
NS	<i>Nyssa sylvatica</i>	Black Tupelo	2 1/2 - 3" CAL.
QR	<i>Quercus rubra</i>	Red Oak	2 1/2 - 3" CAL.
UP	<i>Ulmus parvifolia</i>	Lacebark Elm	2 1/2 - 3" CAL.
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE
JV	<i>Juniperus virginiana</i>	Eastern Red Cedar	6 - 7' HT.
PG	<i>Picea glauca</i>	White Spruce	7 - 8' HT.
PS	<i>Pinus strobus</i>	White Pine	6 - 7' HT.
FLOWERING TREES	BOTANICAL NAME	COMMON NAME	SIZE
CCI	<i>Crataegus crus-galli</i> 'Inermis'	Thornless Cockspur Hawthorn	2 1/2 - 3" CAL.
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
CA	<i>Ceanothus americanus</i>	New Jersey Tea	18 - 24" SPD
CR	<i>Cornus racemosa</i>	Gray Dogwood	2 - 3' HT.
CS	<i>Cornus sericea</i>	Red Twig Dogwood	2 - 3' HT.
CSA	<i>Cornus sericea</i> 'Arctic Fire'	Arctic Fire Red Twig Dogwood	2 - 3' HT.
CSK	<i>Cornus sericea</i> 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	24 - 30" HT.
HLQ	<i>Hydrangea paniculata</i> 'Little Quick Fire'	Little Quick Fire Hydrangea	3 GAL / 18" HT.
IGS	<i>Ilex glabra</i> 'Shamrock'	Shamrock Inkberry	2 - 3' HT.
JB	<i>Juniperus horizontalis</i> 'Bar Harbor'	Bar Harbor Creeping Juniper	2 GAL.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE
NW	<i>Nepeta x faassenii</i> 'Walkers Low'	Walkers Low Catmint	2 GAL.
RF	<i>Rudbeckia fulgida</i> 'Goldsturm'	Goldsturm Black-eyed Susan	2 GAL.
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE
PVS	<i>Panicum virgatum</i> 'Shenandoah'	Shenandoah Switch Grass	#2 POT

BUILDING 1
491,496 S.F.
FFE=57.0

vhb
1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100
vhb.com



Key
Not To Scale



Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	App'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

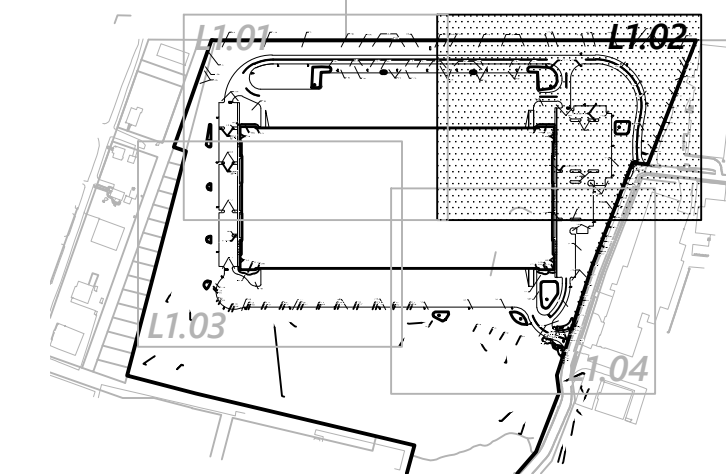
Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

Drawing Title: **Planting Plan 1**
Drawing Number: **L1.01**

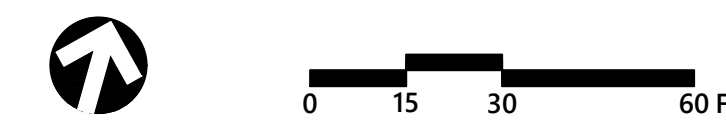
L1.01
Sheet of 6
2 of 6



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Key
Not To Scale



Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	App'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

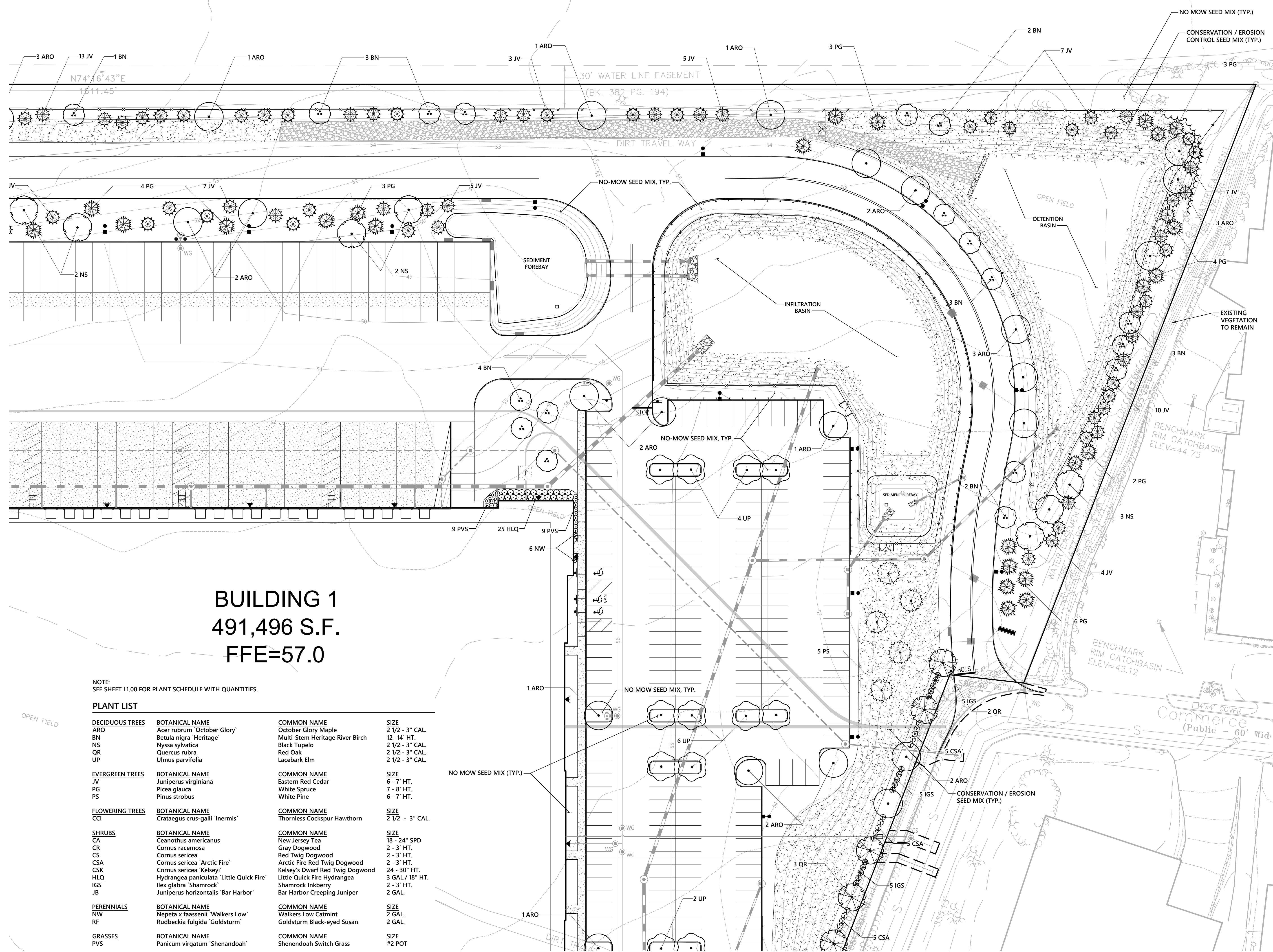
Drawing Title
Planting Plan 2



L1.02

Sheet 3 of 6

Project Number
73180.00



BUILDING 1
491,496 S.F.
FFE=57.0

NOTE:
SEE SHEET L1.00 FOR PLANT SCHEDULE WITH QUANTITIES.

PLANT LIST

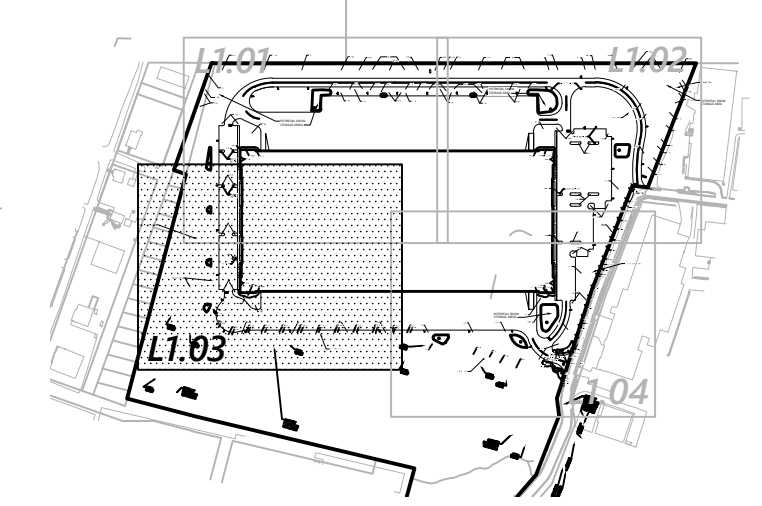
DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE
ARO	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CAL.
BN	Betula nigra 'Heritage'	Multi-Stem Heritage River Birch	12 - 14" HT.
NS	Nyssa sylvatica	Black Tupelo	2 1/2 - 3" CAL.
QR	Quercus rubra	Red Oak	2 1/2 - 3" CAL.
UP	Ulmus parvifolia	Lacebark Elm	2 1/2 - 3" CAL.
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE
JV	Juniperus virginiana	Eastern Red Cedar	6 - 7' HT.
PG	Picea glauca	White Spruce	7 - 8' HT.
PS	Pinus strobus	White Pine	6 - 7' HT.
FLOWERING TREES	BOTANICAL NAME	COMMON NAME	SIZE
CCI	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	2 1/2 - 3" CAL.
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
CA	Ceanothus americanus	New Jersey Tea	18 - 24" SPD
CR	Cornus racemosa	Gray Dogwood	2 - 3' HT.
CS	Cornus sericea	Red Twig Dogwood	2 - 3' HT.
CSA	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	2 - 3' HT.
CSK	Cornus sericea 'Kelseyi'	Kelsey's Dwarf Red Twig Dogwood	24 - 30" HT.
HLQ	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea	3 GAL/ 18" HT.
IGS	Ilex glabra 'Shamrock'	Shamrock Inkberry	2 - 3' HT.
JB	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	2 GAL.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE
NW	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	2 GAL.
RF	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-eyed Susan	2 GAL.
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#2 POT

Saved Friday, January 28, 2022 4:33:18 PM WHAGEN plotted Friday, January 28, 2022 5:06:52 PM Win-Hagen

BUILDING 1

491,496 S.F.

FFE=57.0

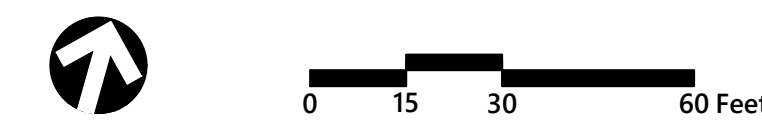
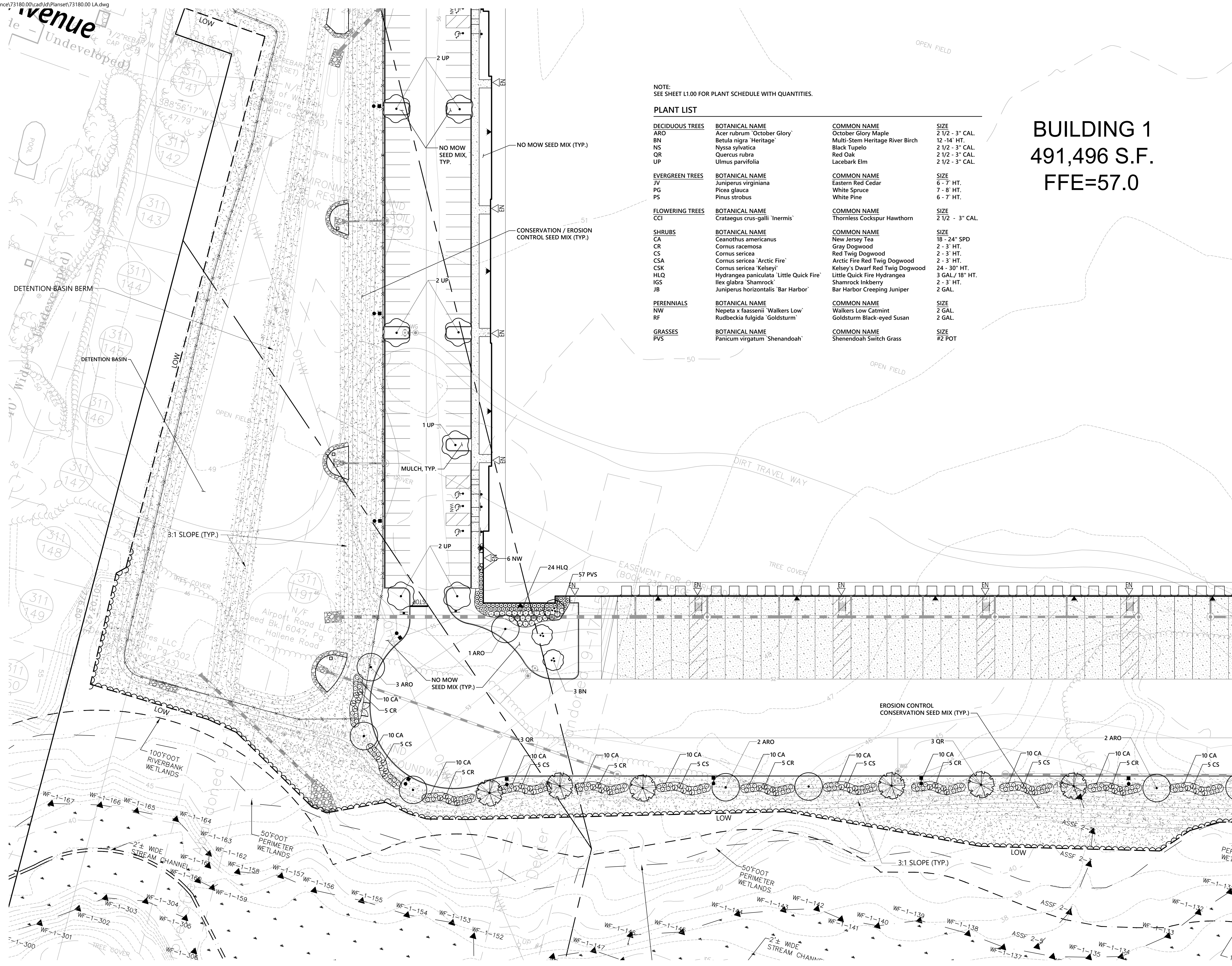


Key
Not To Scale

NOTE:
SEE SHEET L1.00 FOR PLANT SCHEDULE WITH QUANTITIES.

PLANT LIST

DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE
ARO	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CAL.
BN	Betula nigra 'Heritage'	Multi-Stem Heritage River Birch	12-14' HT.
NS	Nyssa sylvatica	Black Tupelo	2 1/2 - 3" CAL.
QR	Quercus rubra	Red Oak	2 1/2 - 3" CAL.
UP	Ulmus parvifolia	Lacebark Elm	2 1/2 - 3" CAL.
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE
JV	Juniperus virginiana	Eastern Red Cedar	6 - 7' HT.
PG	Picea glauca	White Spruce	7 - 8' HT.
PS	Pinus strobus	White Pine	6 - 7' HT.
FLOWERING TREES	BOTANICAL NAME	COMMON NAME	SIZE
CCI	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	2 1/2 - 3" CAL.
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
CA	Ceanothus americanus	New Jersey Tea	18 - 24" SPD
CR	Cornus racemosa	Gray Dogwood	2 - 3' HT.
CS	Cornus sericea	Red Twig Dogwood	2 - 3' HT.
CSA	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	2 - 3' HT.
CSK	Cornus sericea 'Kelsey'	Kelsey's Dwarf Red Twig Dogwood	24 - 30" HT.
HLQ	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea	3 GAL / 18" HT.
IGS	Ilex glabra 'Shamrock'	Shamrock Inkberry	2 - 3' HT.
JB	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	2 GAL.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE
NW	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	2 GAL.
RF	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-eyed Susan	2 GAL.
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#2 POT




Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
 Issued for: **Construction** Date: **February 22, 2022**

Planting Plan 3



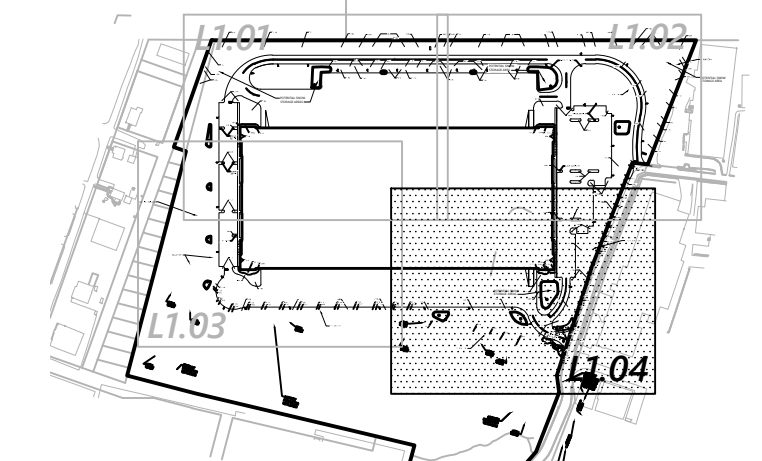
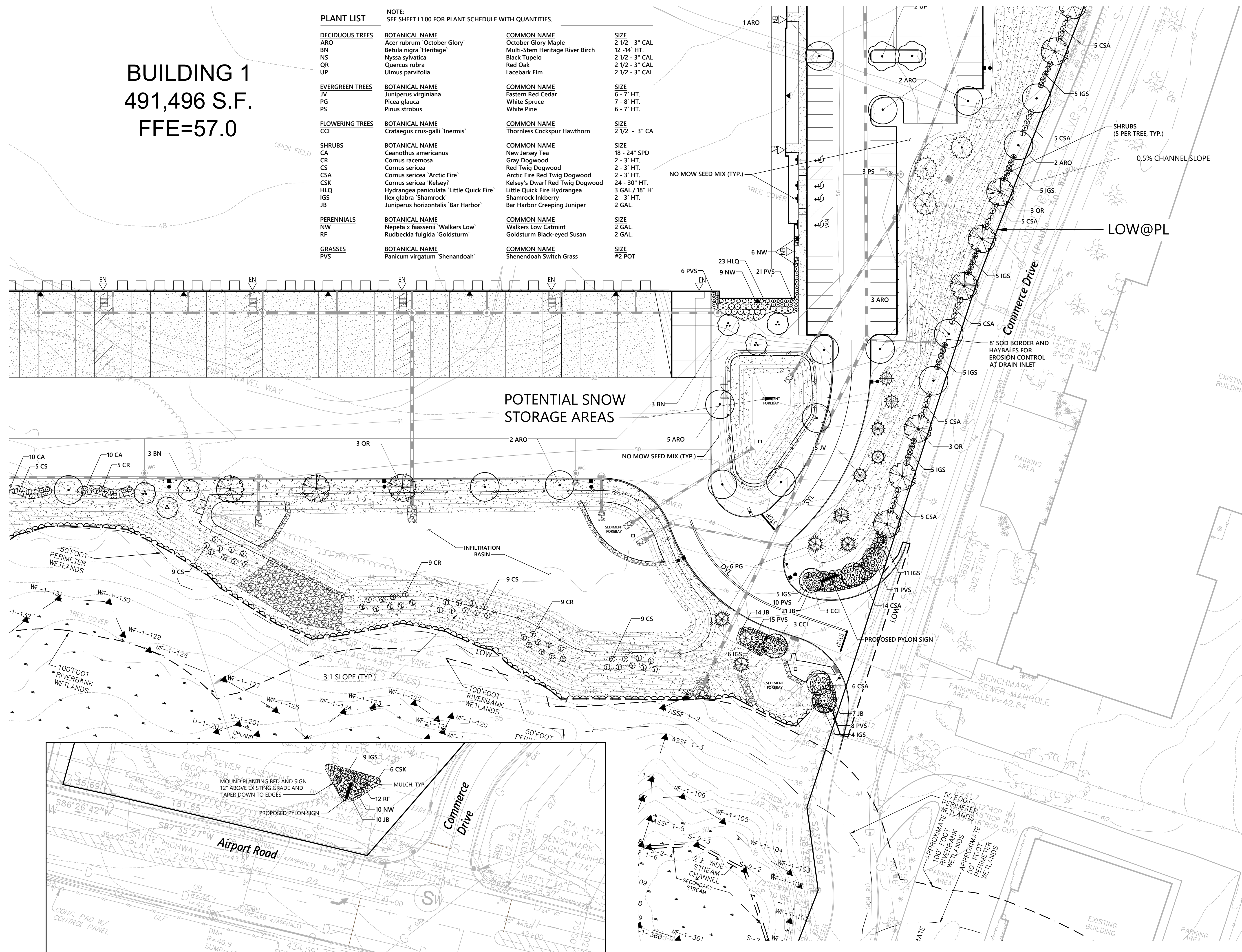
L1.03
Sheet 4 of 6



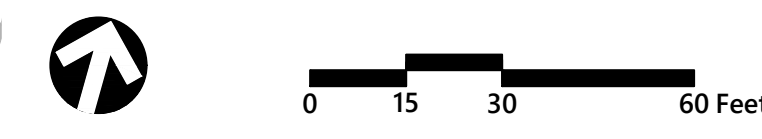
1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

BUILDING 1
491,496 S.F.
FFE=57.0

PLANT LIST		NOTE: SEE SHEET L1.00 FOR PLANT SCHEDULE WITH QUANTITIES.	
DECIDUOUS TREES	BOTANICAL NAME	COMMON NAME	SIZE
ARO	Acer rubrum 'October Glory'	October Glory Maple	2 1/2 - 3" CAL 12-14' HT.
BN	Betula nigra 'Heritage'	Multi-Stem Heritage River Birch	2 1/2 - 3" CAL
NS	Nyssa sylvatica	Black Tupelo	2 1/2 - 3" CAL
QR	Quercus rubra	Red Oak	2 1/2 - 3" CAL
UP	Ulmus parvifolia	Lacebark Elm	2 1/2 - 3" CAL
EVERGREEN TREES	BOTANICAL NAME	COMMON NAME	SIZE
JV	Juniperus virginiana	Eastern Red Cedar	6 - 7' HT.
PG	Picea glauca	White Spruce	7 - 8' HT.
PS	Pinus strobus	White Pine	6 - 7' HT.
FLOWERING TREES	BOTANICAL NAME	COMMON NAME	SIZE
CCI	Crataegus crus-galli 'Inermis'	Thornless Cockspur Hawthorn	2 1/2 - 3" CA
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE
CA	Ceanothus americanus	New Jersey Tea	18 - 24" SPD
CR	Cornus racemosa	Gray Dogwood	2 - 3' HT.
CS	Cornus sericea	Red Twig Dogwood	2 - 3' HT.
CSA	Cornus sericea 'Arctic Fire'	Arctic Fire Red Twig Dogwood	2 - 3' HT.
CSK	Cornus sericea 'Kelseyi'	Kelsey's Dwarf Red Twig Dogwood	24 - 30" HT.
HLQ	Hydrangea paniculata 'Little Quick Fire'	Little Quick Fire Hydrangea	3 GAL / 18" H'
IGS	Ilex glabra 'Shamrock'	Shamrock Inkberry	2 - 3' HT.
JB	Juniperus horizontalis 'Bar Harbor'	Bar Harbor Creeping Juniper	2 GAL.
PERENNIALS	BOTANICAL NAME	COMMON NAME	SIZE
NW	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	2 GAL
RF	Rudbeckia fulgida 'Goldsturm'	Goldsturm Black-eyed Susan	2 GAL.
GRASSES	BOTANICAL NAME	COMMON NAME	SIZE
PVS	Panicum virgatum 'Shenandoah'	Shenandoah Switch Grass	#2 POT



Key
Not To Scale

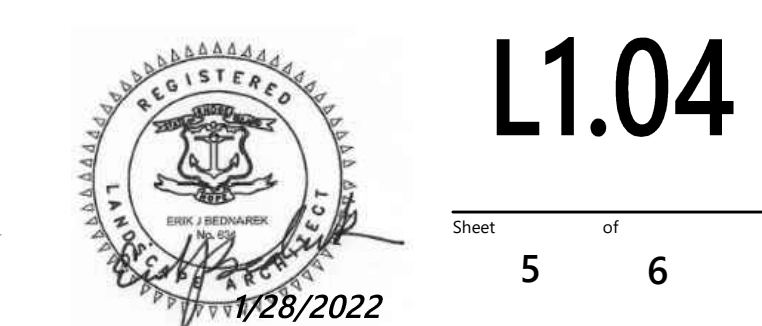


Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **AEC** Checked by: **RLC**
 Issued for: **Construction** Date: **February 22, 2022**

Drawing Title: **Planting Plan 4**
 Drawing Number: **L1.04**

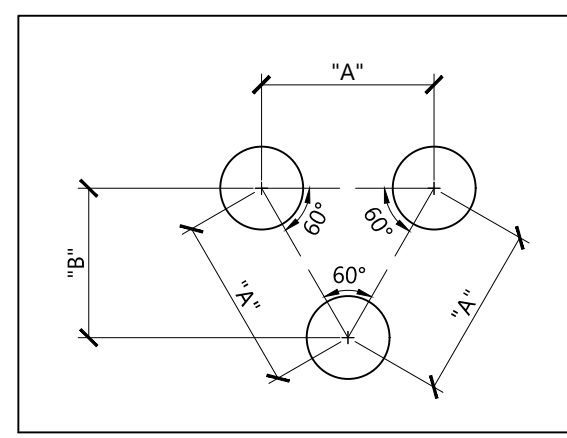
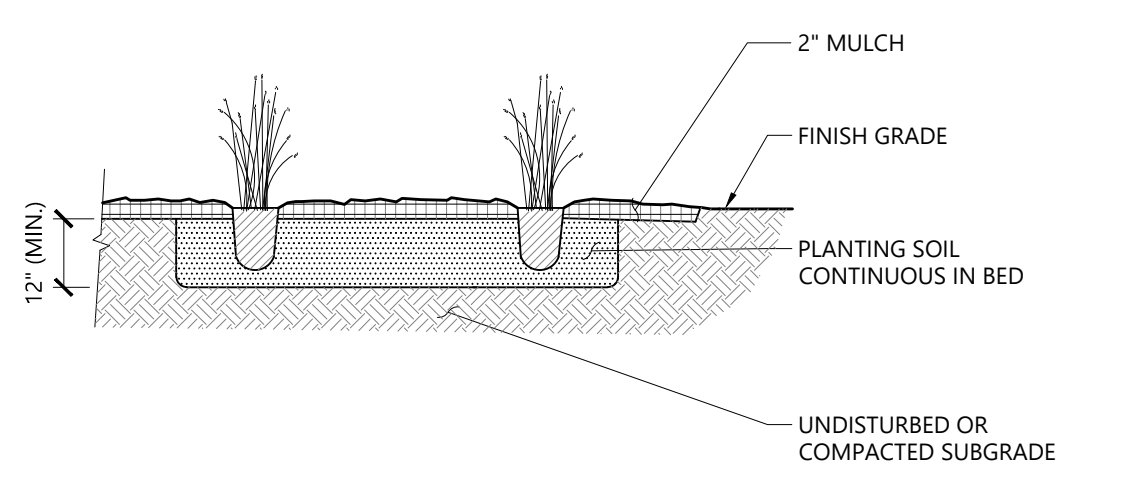


Saved Friday, January 28, 2022 5:08:57 PM WHAGEN Plotted Monday, January 31, 2022 1:31:21 PM Ashley Cumba

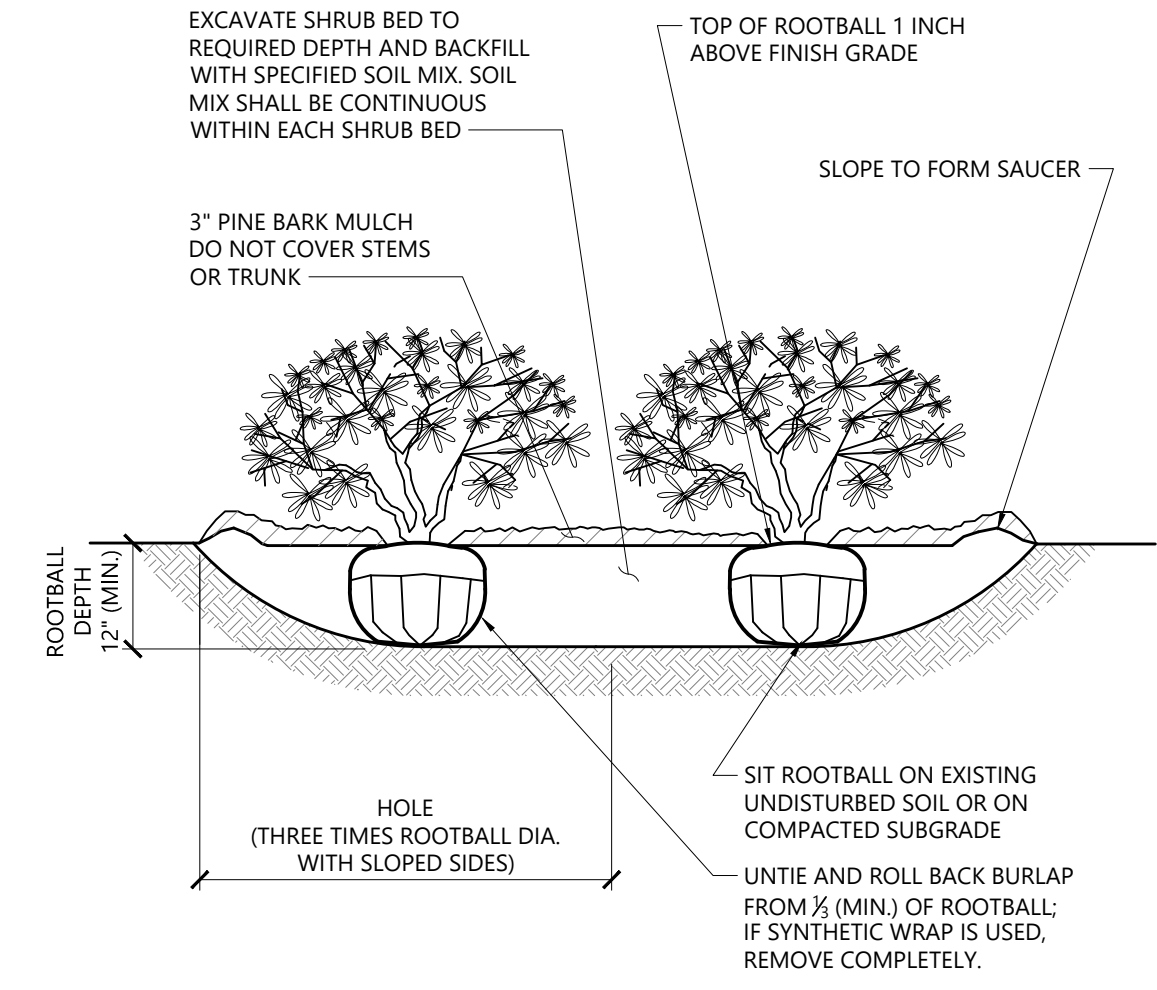
Entrance Enlargement

PLANT SPACING

PLANT SPACING("A")	ROW SPACING ("B")
6 IN. O.C.	5 IN. O.C.
8 IN. O.C.	7 IN. O.C.
10 IN. O.C.	8 1/2 IN. O.C.
12 IN. O.C.	10 1/2 IN. O.C.
15 IN. O.C.	13 IN. O.C.
18 IN. O.C.	16 IN. O.C.
24 IN. O.C.	21 IN. O.C.
30 IN. O.C.	26 IN. O.C.
36 IN. O.C.	30 IN. O.C.
48 IN. O.C.	42 IN. O.C.
54 IN. O.C.	48 IN. O.C.
60 IN. O.C.	54 IN. O.C.

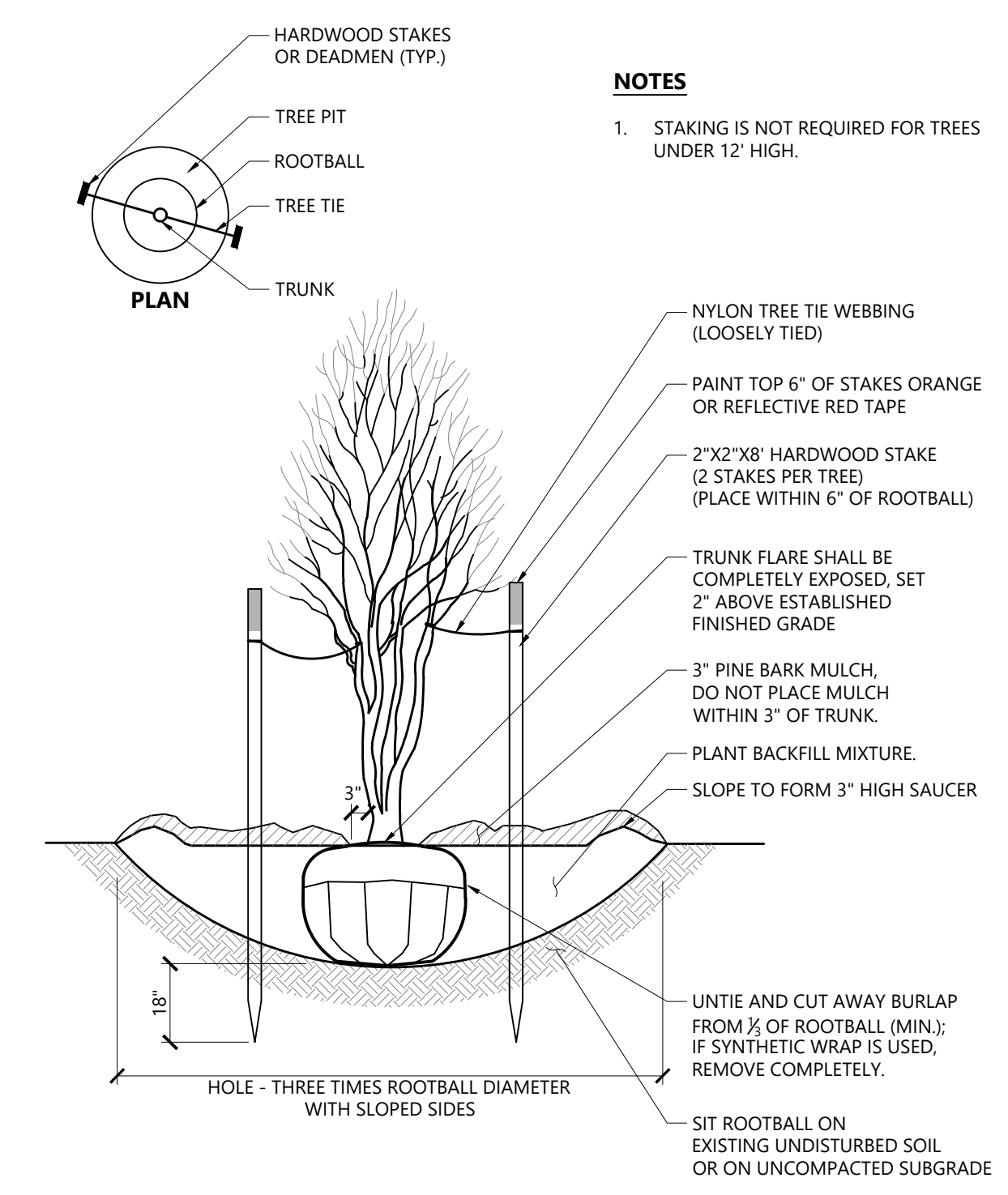



Perennial and Ornamental Grass Planting 1/16
N.T.S. Source: VHB LD_618

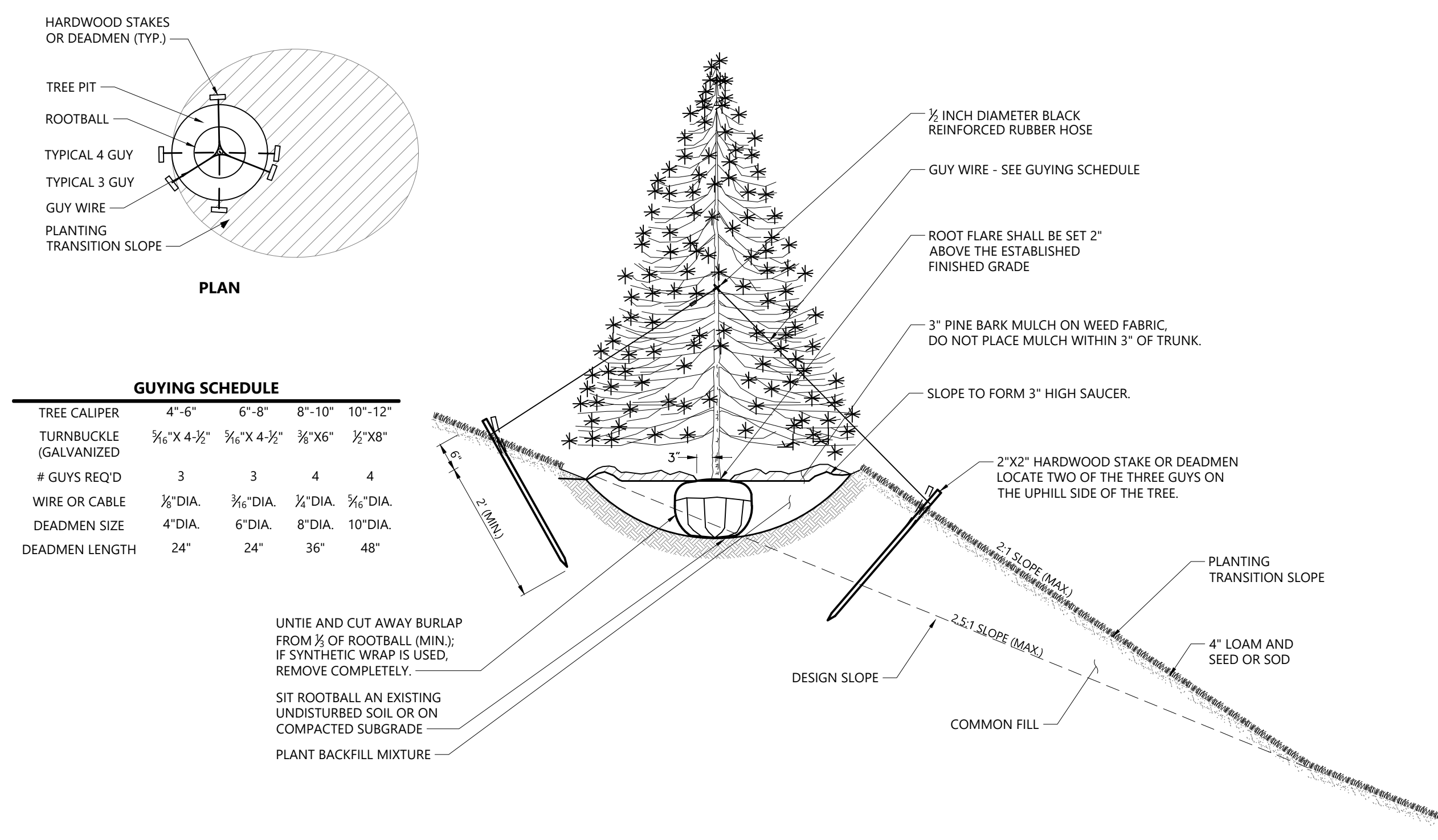


- NOTES**
1. LOOSEN ROOTS AT THE OUTER EDGE OF ROOTBALL OF CONTAINER GROWN SHRUBS.

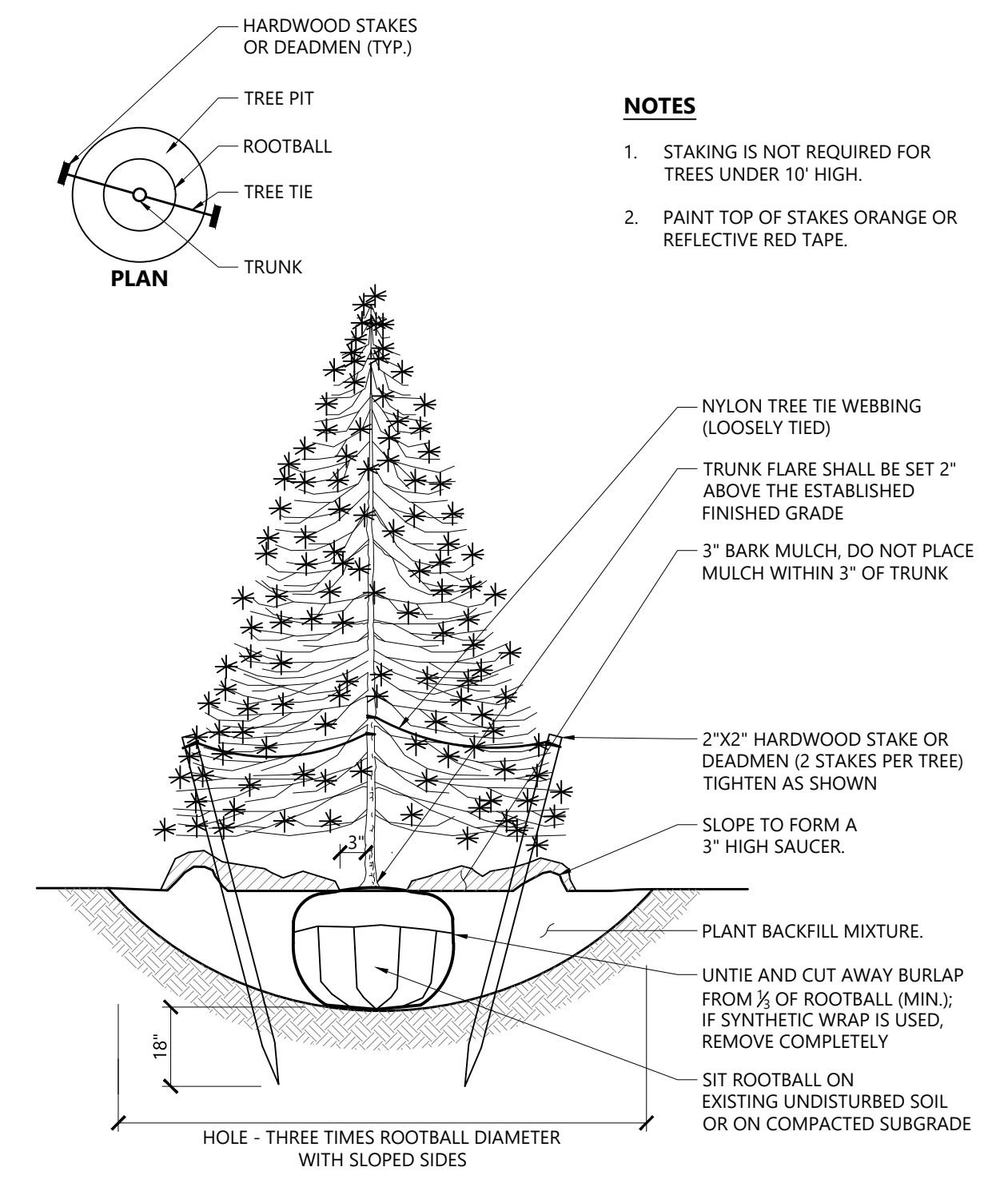
Shrub Bed Planting 1/16
N.T.S. Source: VHB LD_601



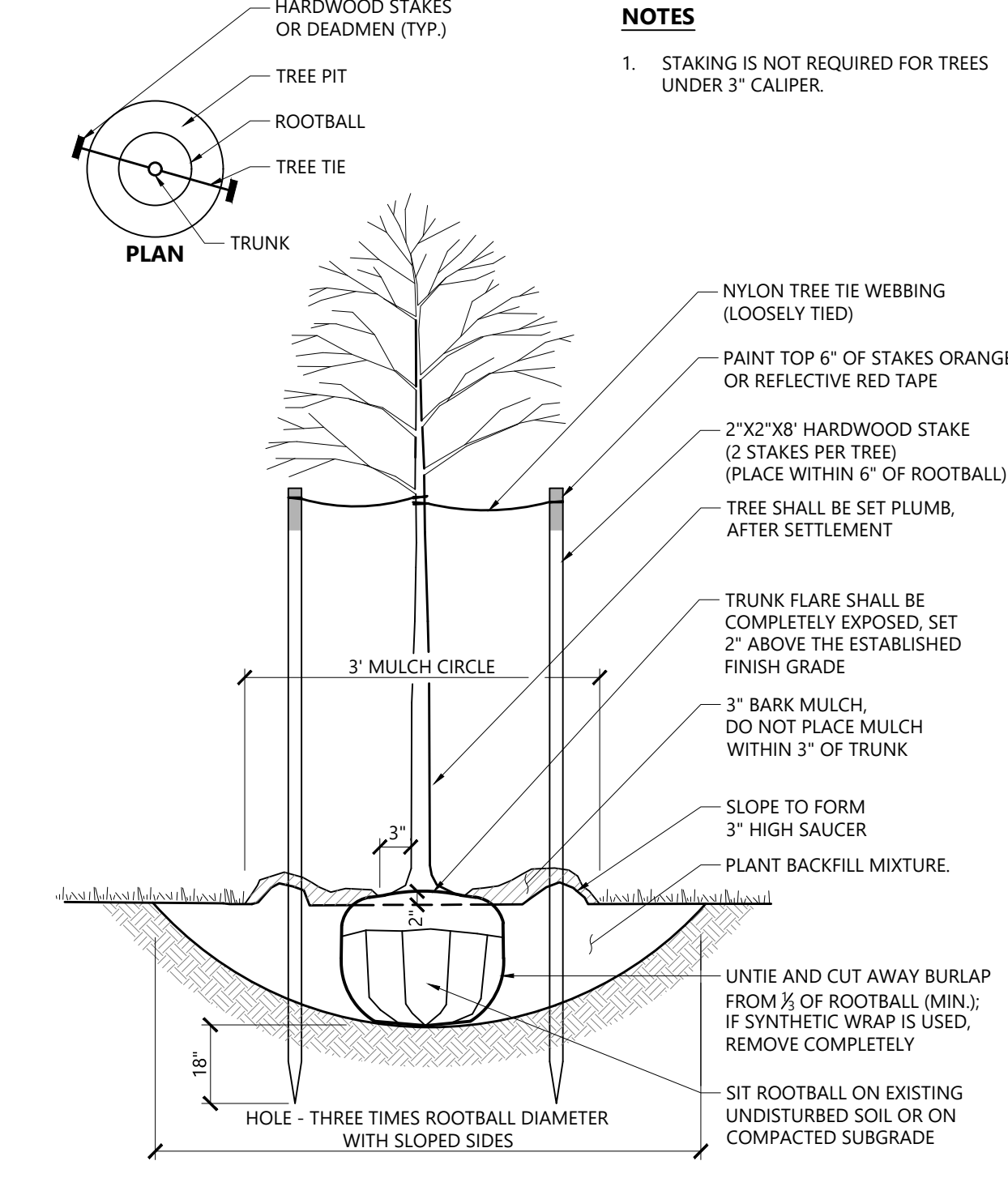
Multistem Tree Planting 1/16
N.T.S. Source: VHB LD_606



Tree Planting on Slope 1/16
N.T.S. Source: VHB LD_605S



Evergreen Tree Planting 1/16
N.T.S. Source: VHB LD_604



Tree Planting (For Trees Under 4" Caliper) 9/18
N.T.S. Source: VHB LD_602

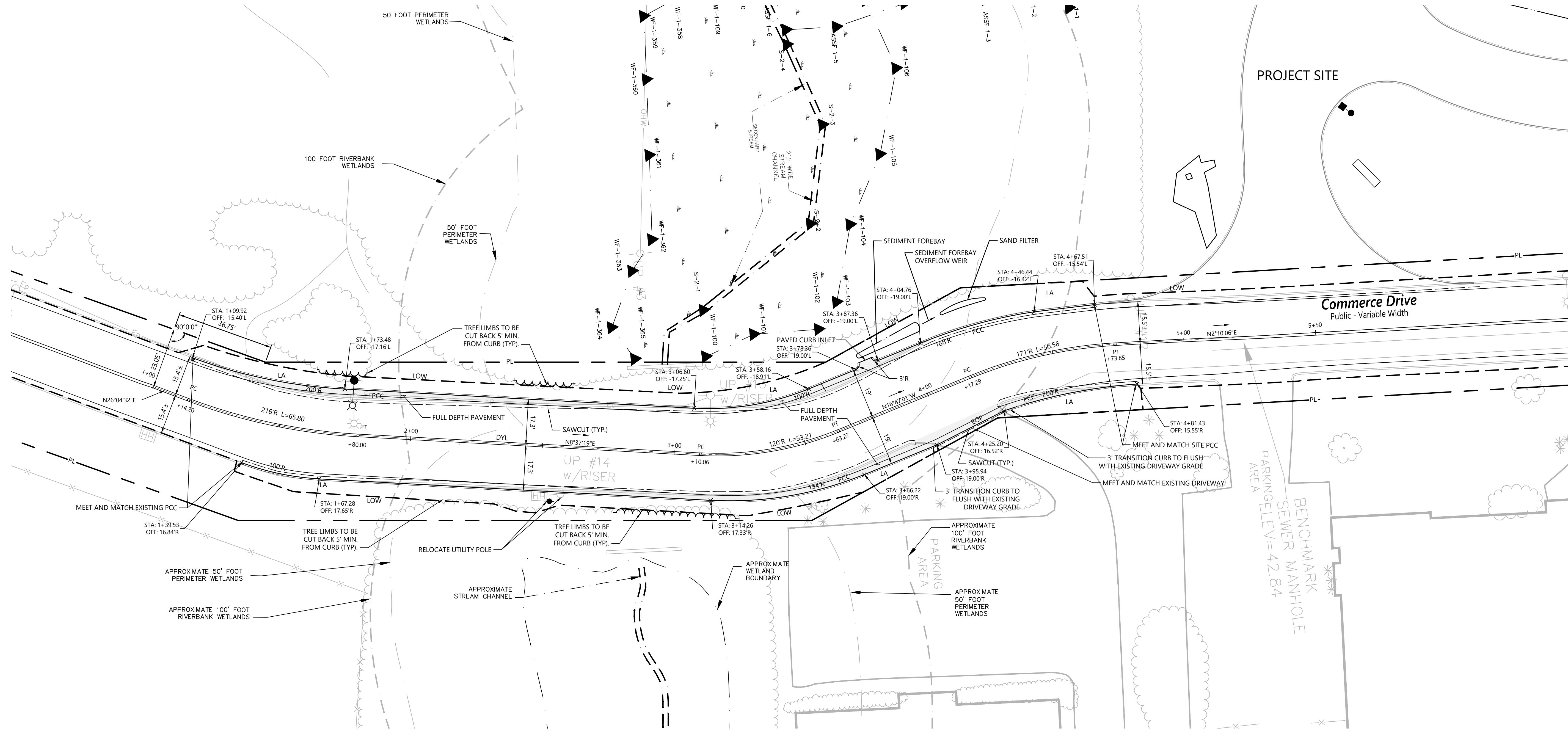
Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

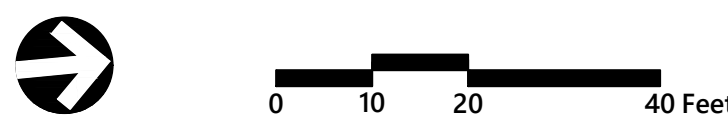
Designed by: AEC Checked by: RLC
Issued for: Construction Date: February 22, 2022

Planting Details

Drawing Number: L2.00
Sheet 6 of 6
Project Number: 73180.00
Date: 1/28/2022



- Notes**
1. CONTRACTOR SHALL MEET AND MATCH EXISTING ROADWAY AND DRIVEWAY LINES AND GRADES.
 2. ALL DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES AND MANHOLES, AND OTHER SUCH ITEMS SHOWN ON PLANS ARE PRESENT UNDER EXISTING CONDITIONS. RIM ELEVATIONS FOR ABOVE ITEMS SHALL BE SET FLUSH WITH THE FINAL PAVEMENT GRADE IN AREAS OF PAVEMENT RESTORATION, AS NEEDED.
 3. EXISTING CURBING TO BE REMOVED AND RESET AS NECESSARY.
 4. COORDINATION AND DESIGN OF GAS, LIGHTING, ELECTRIC, AND TELEPHONE IS BY NORTHPOINT DEVELOPMENT, LLC.
 5. AFTER ALL UTILITIES HAVE BEEN INSTALLED, SAWCUT AREAS MUST BE TEMPORARILY PATCHED AND ALLOWED TO SETTLE FOR A MINIMUM OF 90 DAYS. UPON COMPLETION OF SETTLEMENT PERIOD, CONTRACTOR TO MILL AND OVERLAY AS NOTED HEREIN. CONTRACTOR TO ADJUST TOP COURSE THICKNESS AS NEEDED TO CREATE SMOOTH TRANSITIONS FROM EXISTING PAVEMENT TO NEW PAVEMENT AND TO ENSURE NO LOW POINTS ALONG DRIVEWAY APRONS.



Proposed Warehouse/Distribution Development
Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appvd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **EOB** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

**Commerce Drive
Layout and Materials Plan**

Drawing Number: **C6.01**

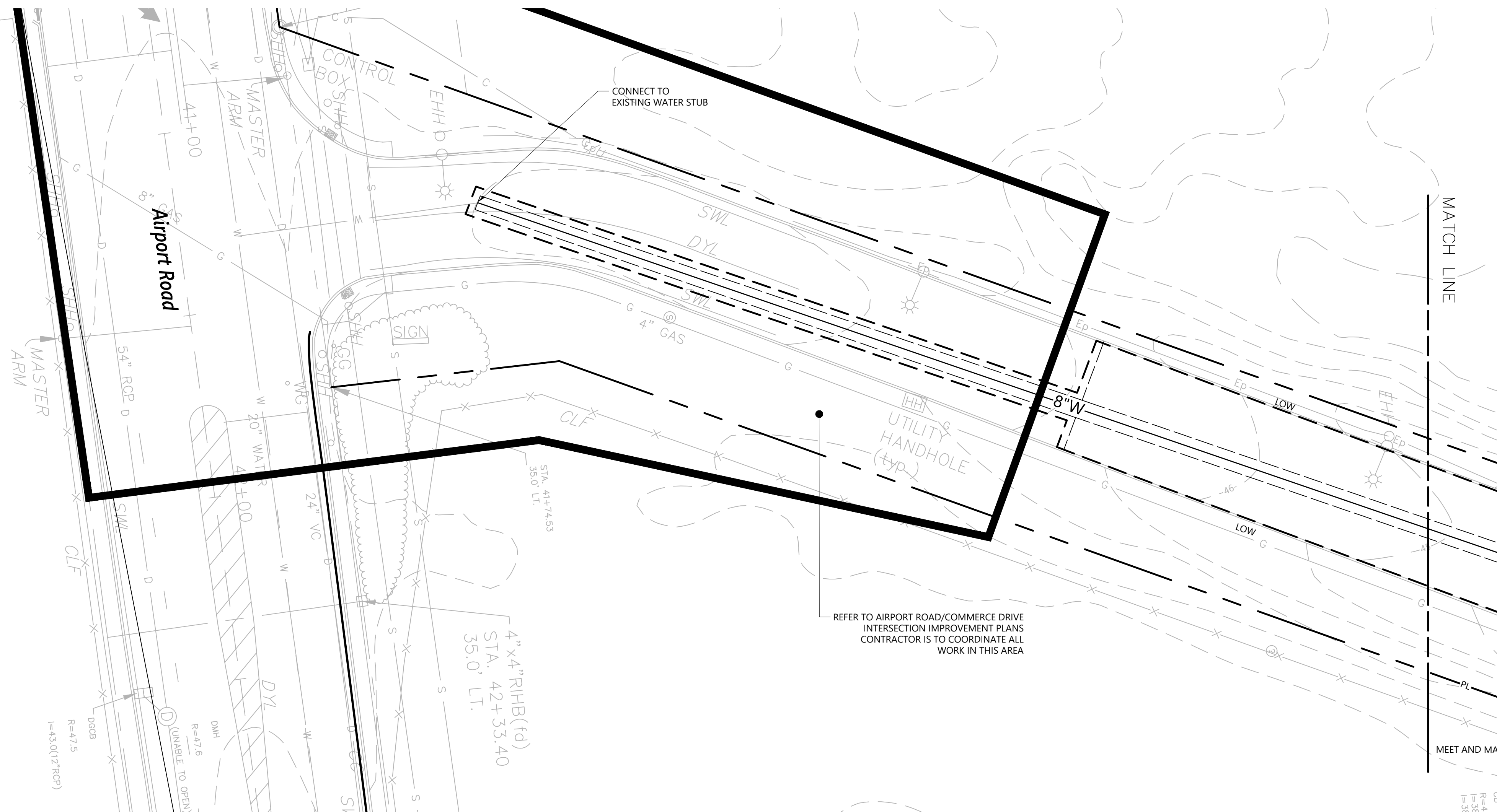
Sheet **1** of **4**

Project Number: **73180.00**

Professional Engineer: **RENEE L. CODEGA**, No. **6517**, Registered Professional Engineer, dated **2/22/2022**.

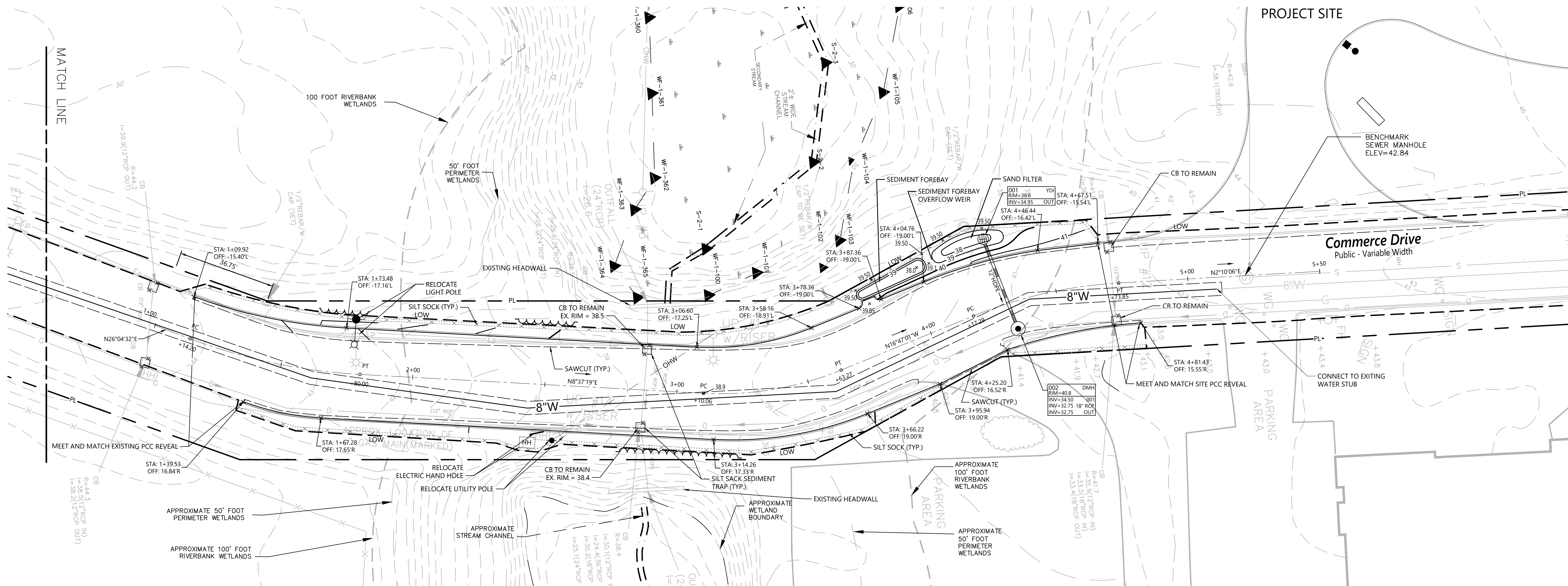


1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100



Notes

1. CONTRACTOR SHALL MEET AND MATCH EXISTING ROADWAY AND DRIVEWAY LINES AND GRADES.
2. ALL DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES AND MANHOLES, AND OTHER SUCH ITEMS SHOWN ON PLANS ARE PRESENT UNDER EXISTING CONDITIONS. RIM ELEVATIONS FOR ABOVE ITEMS SHALL BE SET FLUSH WITH THE FINAL PAVEMENT GRADE IN AREAS OF PAVEMENT RESTORATION, AS NEEDED.
3. EXISTING CURBING TO BE REMOVED AND RESET AS NECESSARY.
4. COORDINATION AND DESIGN OF GAS, LIGHTING, ELECTRIC, AND TELEPHONE IS BY NORTHPOINT DEVELOPMENT, LLC.
5. AFTER ALL UTILITIES HAVE BEEN INSTALLED, SAWCUT AREAS MUST BE TEMPORARILY PATCHED AND ALLOWED TO SETTLE FOR A MINIMUM OF 90 DAYS. UPON COMPLETION OF SETTLEMENT PERIOD, CONTRACTOR TO MILL AND OVERLAY AS NOTED HEREIN. CONTRACTOR TO ADJUST TOP COURSE THICKNESS AS NEEDED TO CREATE SMOOTH TRANSITIONS FROM EXISTING PAVEMENT TO NEW PAVEMENT AND TO ENSURE NO LOW POINTS ALONG DRIVEWAY APRONS.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	Appr'd.
1	RIDEM RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: **EOB** Checked by: **RLC**
Issued for: **Construction** Date: **February 22, 2022**

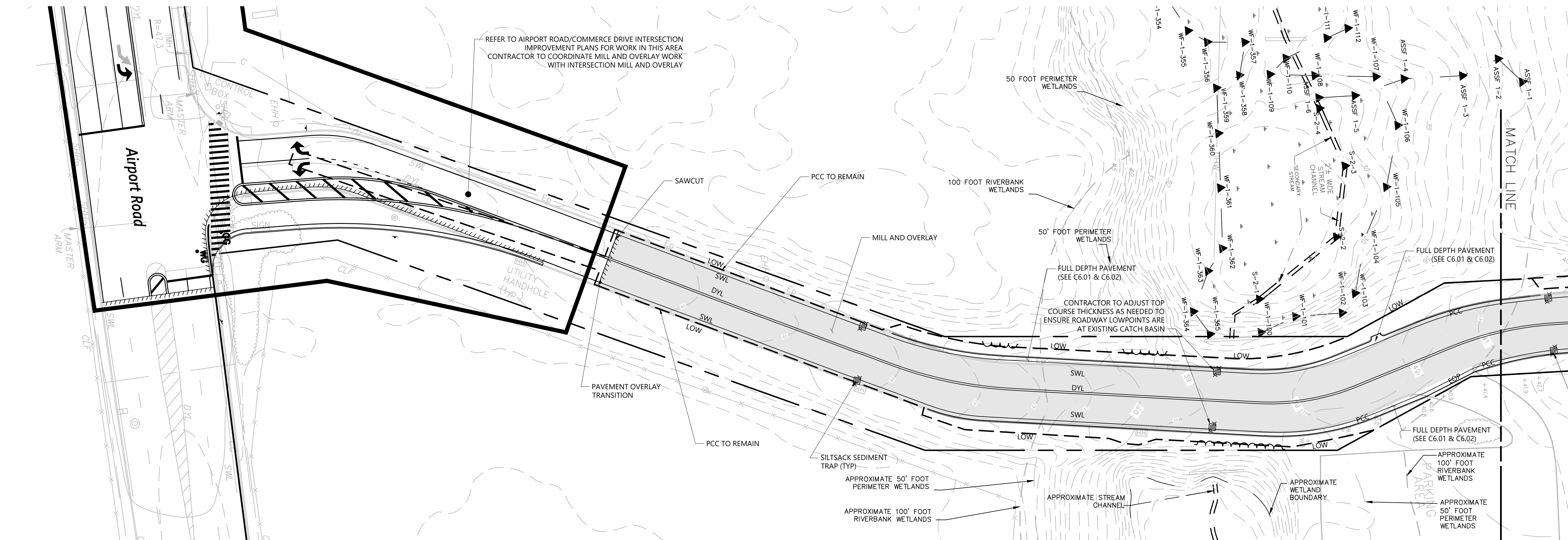
Commerce Drive Grading, Drainage, Erosion Control and Utility Plan

Drawing Number: **C6.02**
Sheet: **2** of **4**
Project Number: **73180.00**

REGISTERED PROFESSIONAL ENGINEER
No. **6517**
Date: **2/22/2022**



1 Cedar Street
Suite 400
Providence, RI 02903
401.272.8100

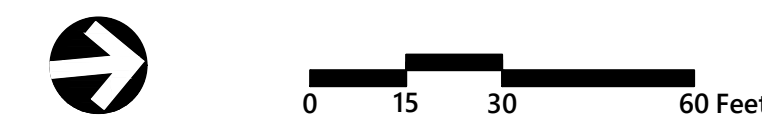


Notes

- CONTRACTOR SHALL MEET AND MATCH EXISTING ROADWAY AND DRIVEWAY LINES AND GRADES.
- CONTRACTOR SHALL MEET AND MATCH EXISTING GRADES AND WITH "PROPOSED AIRPORT ROAD/COMMERCE DRIVE IMPROVEMENTS" GRADES.
- ALL DRAIN AND SEWER MANHOLES, WATER VALVE COVERS, GAS GATES, ELECTRIC AND TELEPHONE PULL BOXES AND MANHOLES, AND OTHER SUCH ITEMS SHOWN ON PLANS ARE PRESENT UNDER EXISTING CONDITIONS. RIM ELEVATIONS FOR ABOVE ITEMS SHALL BE SET FLUSH WITH THE FINAL PAVEMENT GRADE IN AREAS OF PAVEMENT RESTORATION, AS NEEDED. THE CONTRACTOR SHALL PROTECT ALL CURB, SIDEWALK AND LANDSCAPING DURING PAVING OPERATIONS. ANY DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATION SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AND TO THE SATISFACTION OF THE CITY.
- TACK COAT PER RIDOT SPECIFICATIONS SHALL BE APPLIED AS REQUIRED ON ALL PAVED SURFACES.
- PRIOR TO PLACEMENT OF THE OVERLAY COURSE, GRASS AND SEDIMENT SHALL BE REMOVED FROM THE EDGES OF PAVEMENT IN ORDER TO FULLY EXPOSE THE EDGES OF PAVEMENT.
- CONTRACTOR TO COORDINATE WITH NORTHPOINT DEVELOPMENT, LLC AND CITY ENGINEER FOR ROAD CONSTRUCTION SCHEDULE.
- CONTRACTOR TO COORDINATE WITH NORTHPOINT DEVELOPMENT LLC'S REPRESENTATIVE FOR CONSTRUCTION OVERSIGHT.
- CONTRACTOR TO ADJUST TOP COURSE THICKNESS AS NEEDED TO CREATE SMOOTH TRANSITIONS FROM EXISTING PAVEMENT TO NEW PAVEMENT AND TO ENSURE NO LOW POINTS ALONG DRIVEWAY APRONS.
- AFTER ALL UTILITIES HAVE BEEN INSTALLED, SAWCUT AREAS MUST BE TEMPORARILY PATCHED AND ALLOWED TO SETTLE FOR A MINIMUM OF 90 DAYS. UPON COMPLETION OF SETTLEMENT PERIOD, CONTRACTOR TO MILL AND OVERLAY AS NOTED HEREIN. CONTRACTOR TO ADJUST TOP COURSE THICKNESS AS NEEDED TO CREATE SMOOTH TRANSITIONS FROM EXISTING PAVEMENT TO NEW PAVEMENT AND TO ENSURE NO LOW POINTS ALONG DRIVEWAY APRONS.

Pavement Markings Notes

- PAVEMENT MARKINGS SHALL CONFORM TO SECTION T.20 OF THE CURRENT RIDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AND THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES, CURRENT EDITION.
- THE MATERIAL SHALL BE APPLIED TO THE PAVEMENT BY EQUIPMENT DESIGNED AND MANUFACTURED SPECIFICALLY FOR THE APPLICATION OF PAVEMENT MARKINGS.
- USE ONLY SKILLED WORKMEN WHO ARE EXPERIENCED AND NORMALLY EMPLOYED IN THE WORK OF INSTALLING PAVEMENT MARKINGS. SUPPLY ALL THE NECESSARY EQUIPMENT AND MATERIALS REQUIRED FOR THE WORK.
- PAINT MARKINGS SHALL BE APPLIED AT A MINIMUM THICKNESS OF 15+ 1 MIL. THERMOPLASTIC MARKINGS SHALL BE APPLIED AT 125 TO 188 MILS THICKNESS.
- PAVEMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE LAYOUT SHOWN ON THE DRAWINGS. NO PAINT SHALL BE APPLIED TO NEW BITUMINOUS PAVEMENT UNTIL THE TOP COURSE HAS CURED AT LEAST ONE WEEK, AND ALLOW TWO WEEKS CURING FOR NEWLY INSTALLED BITUMINOUS CONCRETE CURBING.
- ALL MARKINGS SHALL BE APPLIED IN ONE COAT WITH BRUSH, SPRAY, OR MARKING MACHINE OVER DRY CLEAN PAVEMENT SURFACES, WHEN THE ATMOSPHERIC TEMPERATURE IS AT OR ABOVE 40°F AND WHEN THE WEATHER IS OTHERWISE FAVORABLE IN THE OPINION OF THE ENGINEER.
- THE CONTRACTOR SHALL PROTECT THE BUILDINGS, WALKS, PAVEMENT, CURBING, TREES, SHRUBS, MULCH AND OTHER SITE FIXTURES FROM OVER-SPRAY OF PAINT AND DAMAGE FROM MARKING OPERATIONS.
- TRAFFIC SHALL NOT BE PERMITTED ON THE PAVEMENT UNTIL THE PAINT IS THOROUGHLY DRY AND/OR THE THERMOPLASTIC MARKINGS ARE COMPLETELY CURED.



Proposed Warehouse/Distribution Development

Hallene Road
Warwick, Rhode Island

No.	Revision	Date	App'd.
1	RIDOT RESUBMISSION	9/14/2021	
2	PRELIMINARY/FINAL PERMITS	10/08/2021	
3	LOCAL COMMENTS	1/03/2022	
4	CONSTRUCTION DOCUMENTS	1/28/2022	
5	FINAL PLAN APPROVAL	2/22/2022	

Designed by: EOB
Checked by: RLC
Issued for: Construction
Date: February 22, 2022

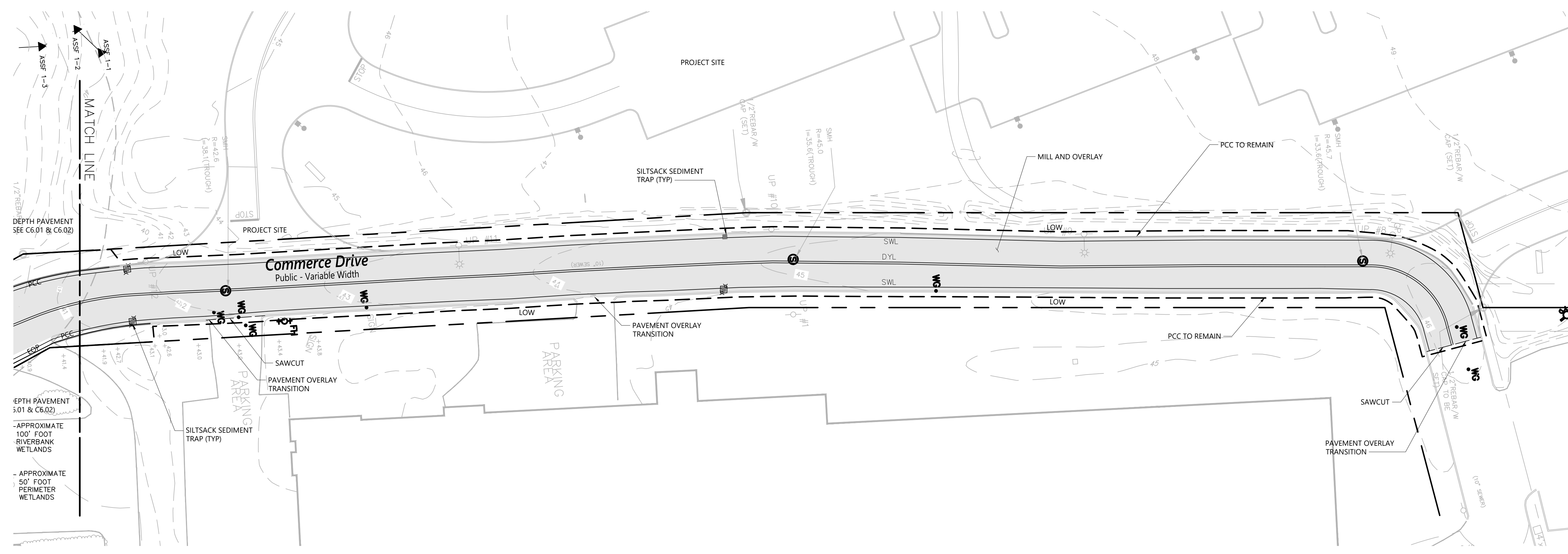
Commerce Drive Pavement Rehabilitation Plan

Drawing Number: **C6.03**

Sheet 3 of 4

Project Number: 73180.00

REGISTERED PROFESSIONAL ENGINEER
No. 6517
RENEE L. CODEGA
2/22/2022



CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY	MEASUREMENT SPECIFICATION
COMPREHENSIVE BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION	CLASS III
TOPOGRAPHIC SURVEY (FIELD AREA)	T-1
TOPOGRAPHIC SURVEY (TREADED AREA)	T-3

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE AN ALTA/NSPS SURVEY OF LOT 191 ON ASSESSOR'S 311 IN THE CITY OF WARWICK, RHODE ISLAND.

BY: Samuel A. White, Jr.
 SAMUEL A. WHITE LICENSE NO. 1781
 LS A59-COA

CERTIFICATION:

TO: NP Airport Road Warwick, LLC., Chicago Title Insurance Company and VHB.

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4-6(c), 7(b)(1), 8, 9, 11, 13, 14, 16 and 17 of Table A thereof. The Fieldwork was completed on January 21, 2021.

Date of Plot or Map: January 12, 2021
 By: Samuel A. White, Jr.
 Garofalo & Associates, Inc.
 Registered Professional Land Surveyor No. 1781
 Date: January 15, 2021

The property described and shown hereon is the same property described in Chicago Title Insurance Company Commitment No. 8981888/dated November 19, 2020 and Revised February 18, 2021 at 8:00 a.m..

LEGEND

- LOCUS PROPERTY LINE
- ASSESSORS LINE
- 311/78 ASSESSORS MAP NO.
- 311/78 ASSESSORS LOT NO.
- EASEMENT LINE
- 1" CONTOUR
- 10'-CONTOUR
- GAS LINE
- DRAIN LINE
- SEWER LINE
- WATER LINE
- COMMUNICATION LINE
- OVERHEAD WIRES
- TREE LINE
- FENCE
- RETAINING WALL
- CURB LINE
- EDGE OF PAVEMENT
- DRIVE (UNPAVED)
- WETLAND LINE
- ELECTRIC PAINT LINE
- GAS PAINT LINE
- SPOT-GRADE
- X XX.X TREE/SHRUB
- ▲ WF-172 WETLAND FLAG
- UTILITY POLE
- LIGHT POLE
- SMH SEWER MANHOLE
- DMH DRAIN MANHOLE
- DCB CATCH BASIN
- WG WATER GATE
- FH FIRE HYDRANT
- UH UTILITY HANDHOLE
- TL TRAFFIC SIGNAL SIGN
- SHH UNKNOWN OBJECT
- EHH SIGNAL HANDHOLE
- EG ELECTRIC HANDHOLE
- CC GAS GATE
- CLF CONCRETE CURB
- CLF CHAIN LINK FENCE
- DYL DOUBLE YELLOW LINE
- SWL SHOULDER WHITE LINE
- SB STONE BOUND
- CB CONCRETE BOUND
- GB GRANITE BOUND
- RHIB RHODE ISLAND HIGHWAY BOUND
- PK NAIL (fd) PK NAIL
- IP IRON PIPE
- (fd) FOUND

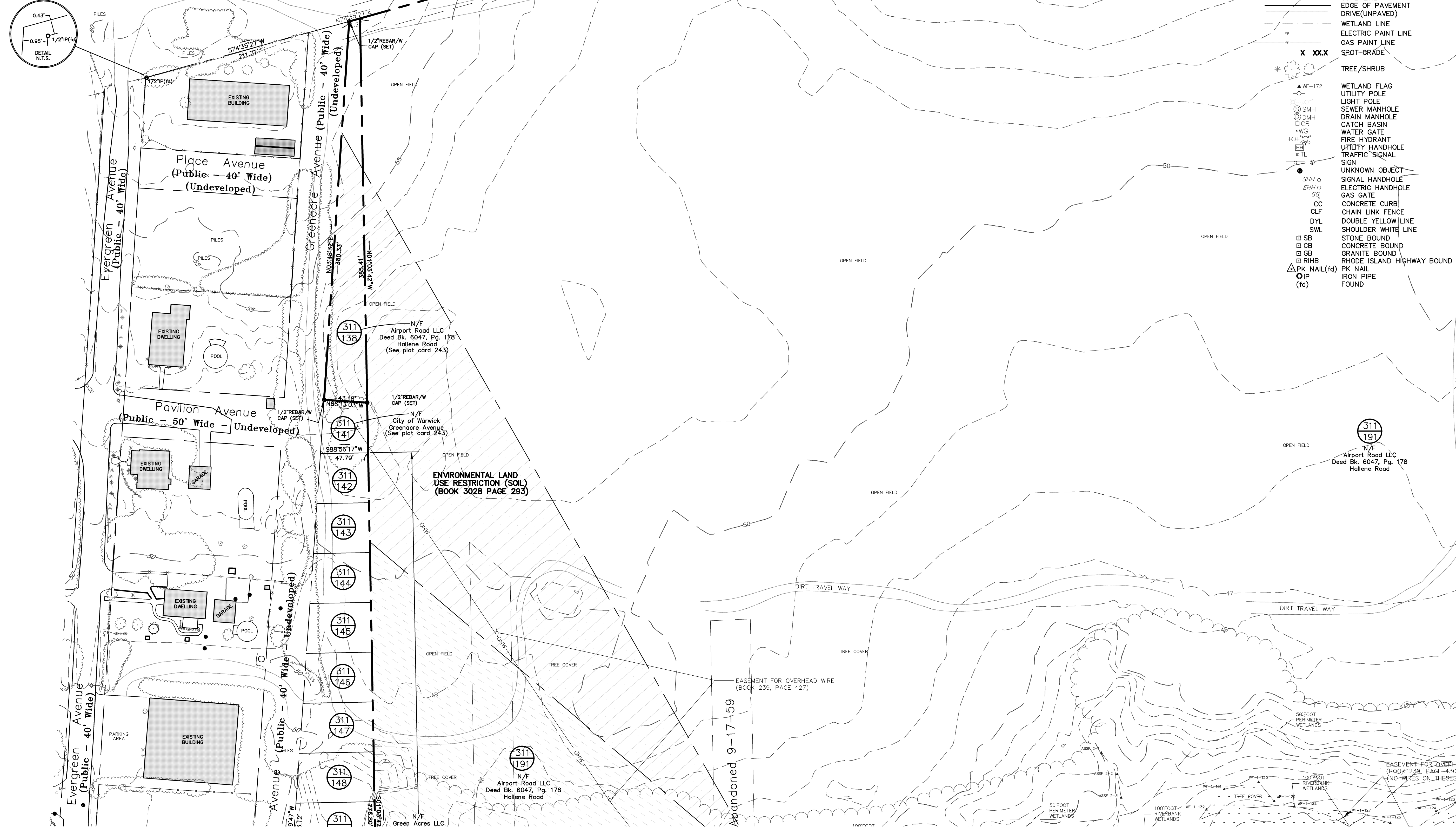
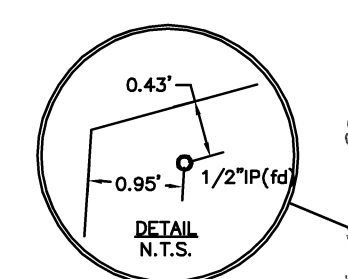
ALTA/NSPS LAND TITLE SURVEY
 FOR
 GREEN ACRES LLC & AIRPORT ROAD LLC
 AP 311 LOTS 138 & 191
 SITUATED ON
 AIRPORT ROAD
 WARWICK, RHODE ISLAND
 PREPARED FOR
 V.H.B.

NO.	REVISION	BY	DATE
1.	TITLE REVIEW COMMENTS	SAW	1/2021
2.	TITLE REVIEW COMMENTS	SAW	1/2021
3.	WETLANDS BUFFER		
	AND PROP COR.	SAW	2/2021
4.	COMMERCE DRIVE INFO	SAW	4/2021

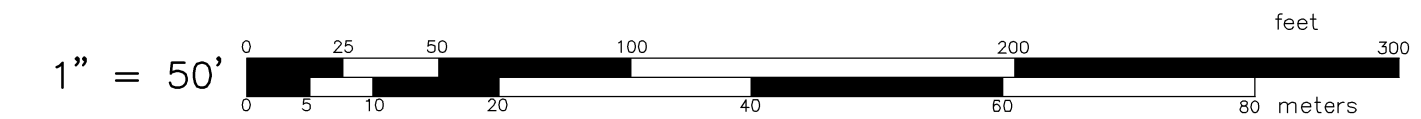
SAMUEL A. WHITE, JR.
 No. 1781
 PROFESSIONAL
 LAND SURVEYOR
 1-19-2021
 2-11-2021
 5-13-2021

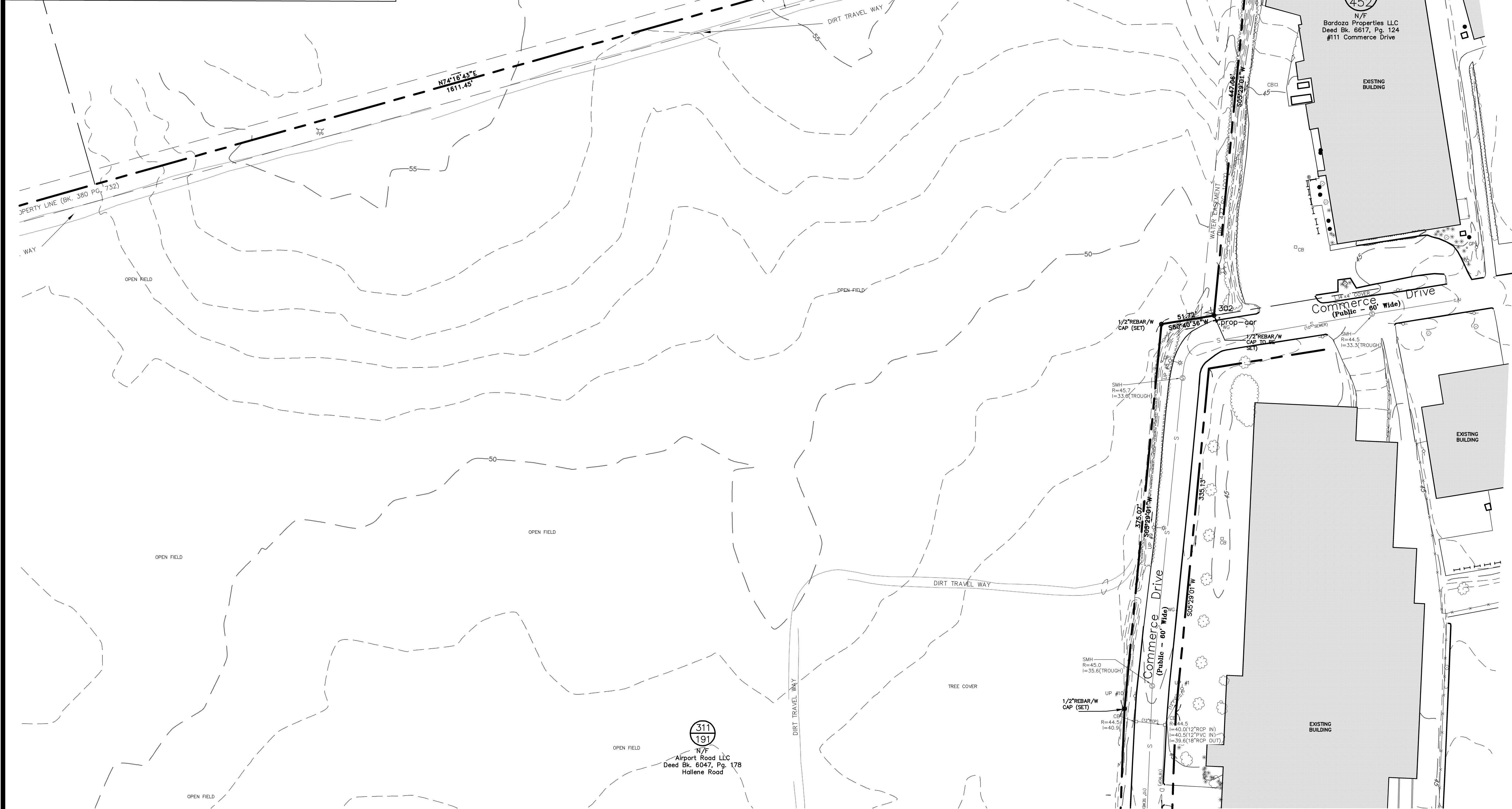
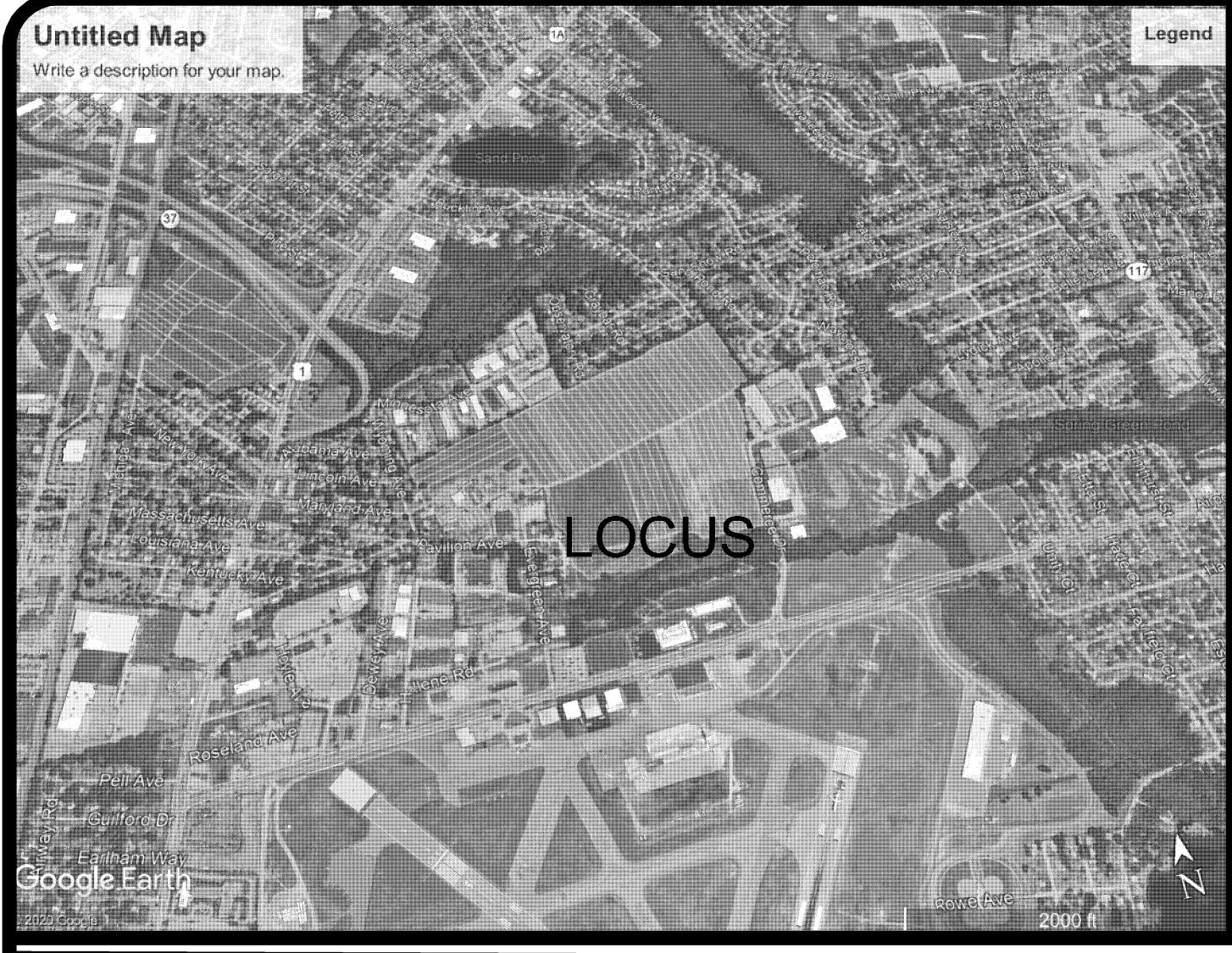
GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
 85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

JOB NO. 7298-00	DRAWN BY R.S.E.
DWG. NO. 7298-00.dwg	CHECKED S.A.W.
SCALE: 1"=50'	APPROVED S.A.W.
SHEET	DATE: JANUARY 15 2021



SEE SHEET 6 OF 6 FOR NOTES, REFERENCES, EXCEPTIONS TO TITLE, AND DEED DESCRIPTION. SEE SHEET 2 FOR LOCUS





311
193
N/F
Vincent P. Confreda
Seven C's L.L.C.
Deed Bk. 2918, Pg. 213
Wyoming Avenue

311
191
N/F
Airport Road LLC
Deed Bk. 6047, Pg. 178
Hallene Road

312
452
N/F
Bardoza Properties LLC
Deed Bk. 6617, Pg. 124
#111 Commerce Drive

ALTA/NSPS LAND TITLE SURVEY
FOR
GREEN ACRES LLC & AIRPORT ROAD LLC
AP 311 LOTS 138 & 191
SITUATED ON
AIRPORT ROAD
WARWICK, RHODE ISLAND
PREPARED FOR
V.H.B

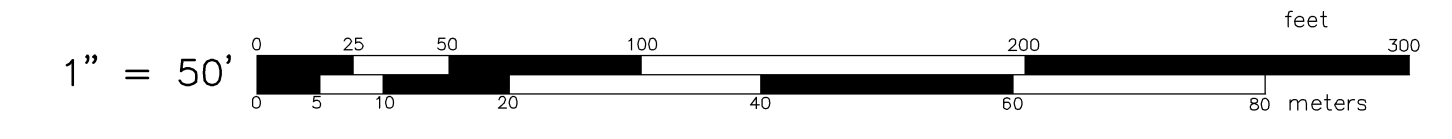
NO.	REVISION	BY	DATE
1.	TITLE REVIEW COMMENTS	SAW	1/2021
2.	TITLE REVIEW COMMENTS	SAW	1/2021
3.	WETLANDS BUFFER AND PROP COR.	SAW	2/2021
4.	COMMERCE DRIVE INFO	SAW	4/2021

SAMUEL A. WHITE, JR.
No. 1781
PROFESSIONAL
LAND SURVEYOR
1-19-2021
2-11-2021
5-19-2021

GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS \ SURVEYORS
LAND PLANNERS \ ENVIRONMENTAL SCIENTISTS
85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

JOB NO. 7298-00	DRAWN BY R.S.E.
DWG. NO. 7298-00.dwg	CHECKED S.A.W.
SCALE: 1"=50'	APPROVED S.A.W.
SHEET	DATE: JANUARY 15 2021

SEE SHEET 6 OF 6 FOR NOTES, REFERENCES, EXCEPTIONS TO TITLE, AND DEED DESCRIPTION.





ALTA/NSPS LAND TITLE SURVEY
 FOR
 GREEN ACRES LLC & AIRPORT ROAD LLC
 AP 311 LOTS 138 & 191
 SITUATED ON
 AIRPORT ROAD
 WARWICK, RHODE ISLAND
 PREPARED FOR
 V.H.B

NO.	REVISION	BY	DATE
1.	TITLE REVIEW COMMENTS	SAW	1/2021
2.	TITLE REVIEW COMMENTS	SAW	1/2021
3.	WETLANDS BUFFER AND PROP COR.	SAW	2/2021
4.	COMMERCE DRIVE INFO	SAW	4/2021

SAMUEL A. WHITE, JR.
 No. 1781
 PROFESSIONAL
 LAND SURVEYOR
 1-19-2021
 2-11-2021
 5-13-2021

GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
 85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

JOB NO. 7298-00	DRAWN BY R.S.E.
DWG. NO. 7298-00.dwg	CHECKED S.A.W.
SCALE: 1"=50'	APPROVED S.A.W.
SHEET	DATE: JANUARY 15 2021

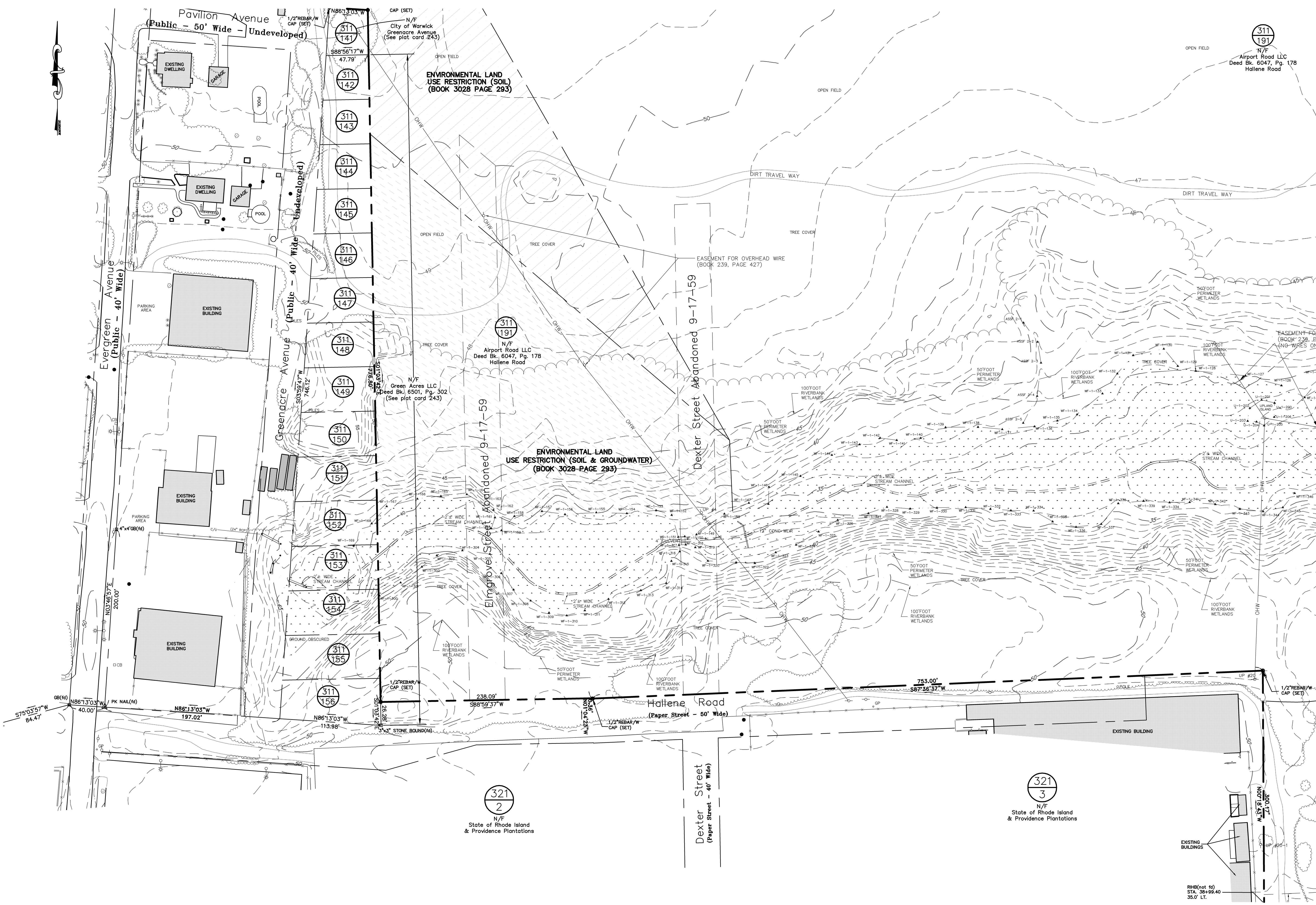
3

OF 6 SHEETS

SEE SHEET 6 OF 6 FOR NOTES, REFERENCES, EXCEPTIONS TO TITLE, AND DEED DESCRIPTION. SEE SHEET 2 FOR LOCUS

321
 3
 N/F
 State of Rhode Island
 & Providence Plantations

311
 191
 N/F
 Airport Road LLC
 Deed Bk. 6047, Pg. 178
 Hallene Road



ALTA/NPS LAND TITLE SURVEY
 FOR
GREEN ACRES LLC & AIRPORT ROAD LLC
 AP 311 LOTS 138 & 191
 SITUATED ON
AIRPORT ROAD
WARWICK, RHODE ISLAND
 PREPARED FOR
V.H.B.

NO.	REVISION	BY	DATE
1.	TITLE REVIEW COMMENTS	SAW	1/2021
2.	TITLE REVIEW COMMENTS	SAW	1/2021
3.	WETLANDS BUFFER AND PROP COR.	SAW	2/2021
4.	COMMERCE DRIVE INFO	SAW	4/2021

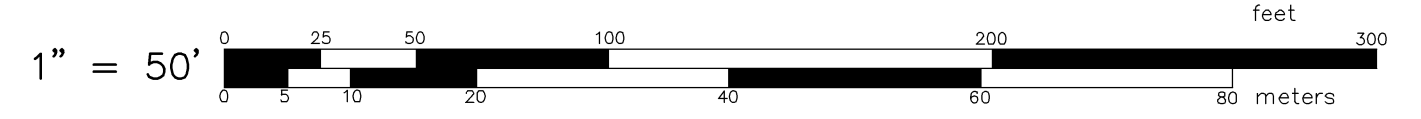
SAMUEL A. WHITE, JR.
 No. 1781
 PROFESSIONAL LAND SURVEYOR
 1-19-2021
 2-11-2021
 5-18-2021

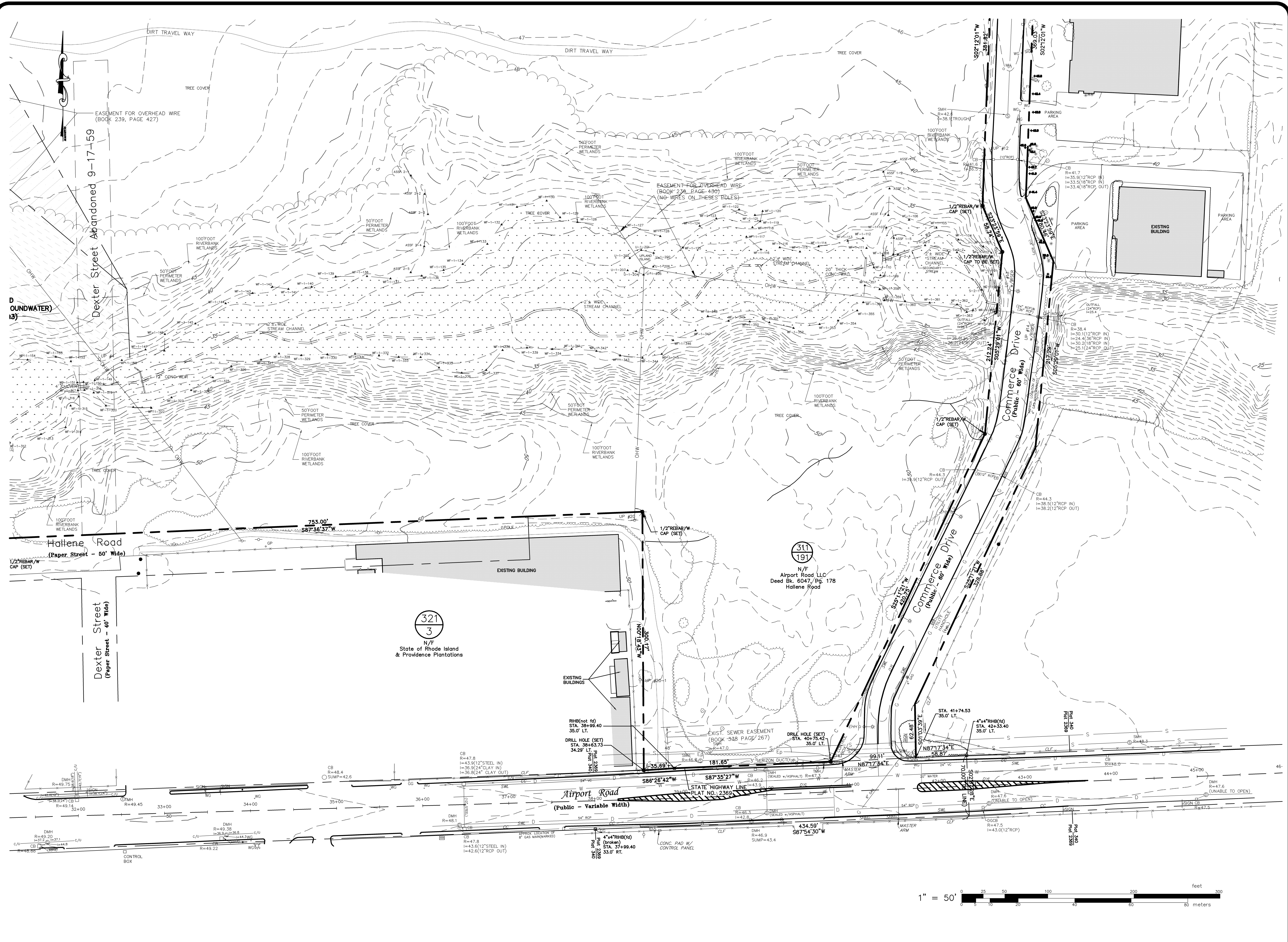
GAROFALO
GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
 85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

JOB NO. 7298-00	DRAWN BY R.S.E.
DWG. NO. 7298-00.dwg	CHECKED S.A.W.
SCALE: 1"=50'	APPROVED S.A.W.
	DATE: JANUARY 15 2021

SHEET
 4
 OF 6 SHEETS

SEE SHEET 6 OF 6 FOR NOTES, REFERENCES, EXCEPTIONS TO TITLE, AND DEED DESCRIPTION. SEE SHEET 2 FOR LOCUS





ALTA/NSPS LAND TITLE SURVEY
 FOR
 GREEN ACRES LLC & AIRPORT ROAD LLC
 AP 311 LOTS 138 & 191
 SITUATED ON
 AIRPORT ROAD
 WARWICK, RHODE ISLAND
 PREPARED FOR
 V.H.B

NO.	REVISION	BY	DATE
1.	TITLE REVIEW COMMENTS	SAW	1/2021
2.	TITLE REVIEW COMMENTS	SAW	1/2021
3.	WETLANDS BUFFER AND PROP COR.	SAW	2/2021
4.	COMMERCE DRIVE INFO	SAW	4/2021

SAMUEL A. WHITE, JR.
 No. 1781
 PROFESSIONAL
 LAND SURVEYOR
 1-10-2021
 2-11-2021
 5-18-2021

GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS \ SURVEYORS
 LAND PLANNERS \ ENVIRONMENTAL SCIENTISTS
 85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

JOB NO. 7298-00	DRAWN BY R.S.E.
DWG. NO. 7298-00.dwg	CHECKED S.A.W.
SCALE: 1"=50'	APPROVED S.A.W.
	DATE: JANUARY 15 2021

SHEET
 5
 OF 6 SHEETS

SEE SHEET 6 OF 6 FOR NOTES, REFERENCES, EXCEPTIONS TO TITLE, AND DEED DESCRIPTION. SEE SHEET 2 FOR LOCUS MAP

PLAN REFERENCES

- 1.) PLAT BOOK 1 PAGE 70 - RIGHTS IN AND TO THE PUBLIC & PLATTED STREETS SHOWN ON THE "CARTER BROWN PLAT", EXCEPTING THOSE ABANDONED, SEPT. 16, 1959.
2.) VOLUME 380 PAGE 733 - RIGHTS IN AND TO HALLENE ROAD
3.) PLAT CARD #243 - BUILDING RESTRICTIONS ASSOCIATED WITH THE "FRANK E. HOXSIE PLAT NO.1"
4.) VOLUME 380 PAGE 733 - HEIGHT RESTRICTIONS
5.) PLAN ENTITLED "SURVEY OF LAND, FOREST LAND CO. A.P. 311, LOTS 138 & 191, WARWICK, RHODE ISLAND" PREPARED BY WATERMAN ENGINEERING CO., SCALE: 1"=100', DATED APRIL, 1995, PROJECT NO. P95.001
6.) EXISTING CONDITIONS SURVEY FOR A.P.311 LOTS 138 & 191 SITUATED ON AIRPORT ROAD WARWICK, RHODE ISLAND PREPARED FOR CARPIONATO PROPERTIES BY GAROFALO ASSOCIATES, INC. DATED JULY 22, 2005 DWG NO 6231-ECS SCALE 1"=40'.
7.) RHODE ISLAND DEPARTMENT OF TRANSPORTATION STATE TRAFFIC COMMISSION STATEWIDE SIGNALIZATION CONTRACT 3A AIRPORT RD. AT COMMERCE DR. SCALE 1"=20'

SURVEYOR DEED DESCRIPTION A.P. 311 LOT 191

That certain tract or parcel of land with all buildings and improvements thereon situated northerly of Airport Road in the City of Warwick, County of Kent, state of Rhode Island is herein bounded and described;

Beginning at the most southeasterly corner of the herein described parcel, said corner being locate at the intersection of the northerly highway line of Airport Road with the westerly street line of Commerce Drive, said point being located at station 40+75.42 left thirty five and 00/100 (35.00') feet as shown on State Highway Plat 2369;

Thence proceeding south 87°35'27" west along said highway line a distance of one hundred eighty one and 65/100 (181.65') feet to a point said point being located at station 38+99.40 left thirty five and 00/100 (35.00') feet as shown on said highway plat;

Thence proceeding south 86°26'42" west a distance of thirty five and 69/100 (35.69') feet to a point said point being located at station 35+63.73 left thirty four and 29/100 (34.29') feet as shown on said highway plat;

Thence proceeding north 00°18'43" west a distance of three hundred and 17/100 (300.17') feet to a point; Thence proceeding south 87°36'37" west a distance of seven hundred fifty three and 00/100 (753.00') feet to a point;

Thence proceeding north 01°04'23" west a distance of zero and 36/100 (0.36') feet to a point;

Thence proceeding south 88°59'37" west a distance of two hundred thirty eight and 09/100 (238.09') feet to a point, the last four (4) courses bounded westerly southerly, westerly and southerly by land now or formerly the State of Rhode Island, said point is located north 01°03'42" west a distance of twenty six and 28/100 (26.28') feet from an existing stone bound;

Thence proceeding north 01°03'42" west a distance of seven hundred seventy six and 80/100 (776.80') feet to a point;

Thence continuing north 01°03'42" west a distance of three hundred eighty five and 41/100 (385.41') feet to a point; bounded westerly by land now or formerly of Airport Road LLC herein after described as A.P. 311 Lot 138;

Thence proceeding north 74°16'43" east a distance of one thousand six hundred eleven and 45/100 (1611.45') feet to a point, the last two (2) courses bounded northerly by land now or formerly of Vincent P. Confreda Seven C'S L.L.C., said point being located south 74°16'43" east a distance of one hundred forty one and 42/100 (141.42') feet from an existing granite bound;

Thence proceeding south 05°29'01" west a distance of four hundred forty seven and 06/100 (447.06') feet to a point on the northerly street line of Commerce Drive, bounded easterly by land now or formerly of Ranaldi reality L.L.C.;

Thence proceeding south 80°40'36" west along the northerly street line of said Commerce Drive a distance of fifty one and 72/100 (51.72') feet to a point;

Thence proceeding south 05°29'01" west along the westerly street line of said Commerce Drive a distance of three hundred seventy five and 07/100 (375.07') feet to a point;

Thence proceeding south 02°12'01" west along the westerly street line of said Commerce Drive a distance of three hundred eighty one and 82/100 (381.82') feet to a point;

Thence proceeding south 23°23'59" east along the westerly street line of said Commerce Drive a distance of fifty eight and 24/100 (58.24') feet to a point;

Thence proceeding south 05°29'01" west along said westerly street line of said Commerce Drive a distance of two hundred twelve and 24/100 (212.24') feet to a point;

Thence proceeding south 25°11'21" west along the westerly street line of said Commerce Drive a distance of four hundred twenty and 75/100 (420.75') feet to the point and place of beginning;

Said parcel contains 2,024,976 square feet or 46.48 acres more or less.

Said parcel is subject to easements of record.

SURVEYORS DEED DESCRIPTION A.P. 311 LOT 138

That certain tract or parcel of land with all buildings and improvements thereon situated easterly of Greenacres Avenue in the City of Warwick, County of Kent, State of Rhode Island is herein bounded and described;

Commencing at a granite bound located at the intersection of the northerly street line of Hallene Road with the westerly street line of Evergreen Avenue;

Thence proceeding south 86°13'03" west a distance of two hundred thirty seven and 00/100 (237.02') feet to a point;

Thence proceeding north 03°59'47" east along the easterly street line of said Greenacer Avenue a distance of eight hundred and 22/100 (800.22') feet to the point and place of beginning of the herein described parcel said corner being the most southwesterly corner of the parcel;

Thence proceeding north 03°48'32" east along the easterly street line of Greenacres Avenue a distance of three hundred eighty and 33/100 (380.33') feet to the most northwesterly corner of the herein described parcel;

Thence proceeding north 74°35'27" east a distance of eleven and 26/100 (11.26') feet to the most northeasterly corner of the herein described parcel, bounded northerly by land now or formerly of Vincent P. Confreda, or the most northwesterly corner of the before herein described parcel A.P. 311 Lot 191;

Thence proceeding south 01°03'42" east a distance of three hundred eighty five and 41/100 (385.41') feet to a point;

Thence proceeding north 86°13'03" west a distance of forty three and 18/100 (43.18') feet to the point and place of beginning, bounded southerly by land now or formerly of the City of Warwick;

Said parcel contains 10,347 square feet or 0.24 acres more or less.

LEGAL DESCRIPTION CERTIFICATION:

TITLE DESCRIPTION AND THE SURVEYOR'S DESCRIPTION ARE THE SAME PROPERTY.

TITLE DEED DESCRIPTION:

SHEET 4 OF 6

That certain tract or parcel of land with all buildings and improvements thereon situated northerly of Airport Road in the City of Warwick, County of Kent, State of Rhode Island is herein bounded and described: Beginning at the most southeasterly corner of the herein described parcel, said corner being located at the intersection of the northerly Highway line of Airport Road with the westerly street line of Commerce Drive, said point being located at station 40+75.42 left thirty-five and 00/100 (35.00') feet as shown on State Highway Plat 2369; Thence proceeding south 83°35'27" west along said highway line a distance of one hundred eighty-one and 65/100 (181.65) feet to a point, said point being located at station 38+99.40 left thirty-five and 00/100 (35.00') feet as shown on said highway plat; Thence proceeding south 86°26'42" west a distance of thirty-five and 69/100 (35.69) feet to a point, said point being located at station 35+63.73 left thirty-four and 29/100 (34.29) feet as shown on said highway plat; Thence proceeding north 00°18'43" west a distance of three hundred and 17/100 (300.17) feet to a point; Thence proceeding south 87°36'37" west a distance of seven hundred fifty-three and 00/100 (753.00) feet to a point; Thence proceeding north 01°04'23" west a distance of zero and 36/100 (0.36) feet to a point; Thence proceeding south 88°59'37" west a distance of two hundred thirty-eight and 09/100 (238.09) feet to a point, the last four (4) courses bounded westerly, southerly, westerly and southerly by land now or formerly of the State of Rhode Island, said point is located 01°03'42" west a distance of twenty-six and 28/100 (26.28) feet from an existing stone bound; Thence proceeding north 01°03'42" west a distance of seven hundred seventy-six and 80/100 (776.80) feet to a point; Thence proceeding north 86°13'03" west a distance of forty-three and 18/100 (43.18) feet to a point on the easterly street line of Greenacre Avenue, an undeveloped street, the last two (2) courses bounded westerly and southerly by land now or formerly of Kathleen Perri and in part by land now or formerly of the City of Warwick, Rhode Island; Thence proceeding north 03°46'57" east along the easterly street line of said Greenacre Avenue a distance of three hundred eighty and 33/100 (380.33) feet to a point, said point being the most northwesterly corner of the herein described parcel; Thence proceeding north 74°35'27" east a distance of eleven and 26/100 (11.26) feet to a point; Thence proceeding north 74°16'43" east a distance of one thousand six hundred eleven and 45/100 (1611.45) feet to a point, the last two (2) courses bounded northerly by land now or formerly of Vincent P. Confreda Seven C'S L.L.C., said point being located south 74°16'43" east a distance of one hundred forty-one and 42/100 (141.42) feet from an existing granite bound; Thence proceeding south 05°29'01" west a distance of four hundred forty-seven and 06/100 (447.06) feet to a point on the northerly street line of Commerce Drive, bounded easterly by land now or formerly of Ranaldi Realty, LLC. Thence proceeding south 80°40'36" west along the northerly street line of said Commerce Drive a distance of fifty-one and 72/100 (51.72) feet to a point; Thence proceeding south 05°29'01" west along the westerly street line of said Commerce Drive a distance of three hundred seventy-five and 07/100 (375.07) feet to a point; Thence proceeding south 02°12'01" west along the westerly street line of said Commerce Drive a distance of three hundred eighty-one and 82/100 (381.82) feet to a point; Thence proceeding south 23°23'59" east along the westerly street line of said Commerce Drive a distance of fifty-eight and 24/100 (58.24) feet to a point; Thence proceeding south 05°29'01" west along said westerly street line of said Commerce Drive a distance of two hundred twelve and 24/100 (212.24) feet to a point; Thence proceeding south 25°11'21" west along the westerly street line of said Commerce Drive a distance of four hundred twenty and 75/100 (420.75) feet to the point and place of beginning.

TITLE EXCEPTIONS:

8. Easement from Oscar R. Hallene and Launa C. Hallene to The Narragansett Electric Company dated November 3, 1951 and recorded January 16, 1952 in Book 239 at Page 427 of the land evidence records of the City of Warwick (PLOTTED) (NO WIDTH WERE THE POLES ARE) (AFFECTS)

9. Easement from Oscar R. Hallene and Laurina C. Hallene to The Narragansett Electric Company and New England Telephone and Telegraph Company dated November 13, 1951 and recorded January 16, 1952 in Book 239 at Page 430 of the Land Evidence Records of the City of Warwick. (PLOTTED) (NO WIDTH WERE THE POLES ARE) (AFFECTS)

10. Sewer Easement from M. Edgar Fain, Albert Pilavin, Irving Jay Fain and Norman M. fain, of the City of warwick, dated July 18, 1963 and recorded July 29, 1963 in Book 338 at Page 267 of the Land Evidence Records of the City of Warwick. (PLOTTED) (WIDTH 48') (AFFECTS)

11. Rights of others in and to (a) a driftway or path along the northerly line of the land, and (b) a driftway across the land as it now exists or may be enforced, as referenced to in that certain Quitclaim Deed from William L. Mayer, et als, to William L. mayer, et als, as co-partners d/b/a The Forest Company dated May 15, 1967 and recorded July 12, 1967 in Book 380 at Page 730 of the Land Evidence Record of the City of Warwick. (PLOTTED) (NO WIDTH) (AFFECTS)

12. Right of Way and Easement from The Forest Company to the City of warwick dated August 24, 1967 and recorded September 12, 1967 in Book 382 at Page 194 of the Land Evidence Records of the City of Warwick. (PLOTTED) (WIDTH 30') (AFFECTS)

13. Right of way and Easement from Forest Co. to the City of Warwick dated May 10, 1976 and recorded July 13, 1976 in Book 477 at Page 1007, to the extent that same is still in effect. (PLOTTED)(WIDTH 12.5') (AFFECTS) 12" WATER MAIN IS IN PLACE

14. Easement from Forest Co. to Airport park, a Rhode Island general partnership dated July 14, 1976 and recorded July 27, 1976 in Book 478 at Page 416 of the Land Evidence records of the City of Warwick. (COMMERCE DRIVE) (PLOTTED)(WIDTH 60') (AFFECTS)

15. Right of Way and Easement from Forest Co. to City of Warwick dated July 14, 1976 and recorded March 11, 1977 in File 1, Drawer 1, Card 818 of the Land Evidence Records of the City of Warwick. (SAME AS BOOK 477 PAGE 1007) (PLOTTED)(WIDTH 12.5') (AFFECTS)

16. Declaration of Environmental Land Usage Restriction by The Forest Company dated November 16, 1998 and recorded November 23, 1998 in Book 3028 at Page 293 of the Land Evidence Records of the City of Warwick. (PLOTTED) (AFFECTS)

17. Any regulations for control of height of the buildings located on the land by reason of Federal and / or state control of glide angles in connection with T.F. Green Airport. (AFFECTS PROPERTY) (LOCATION CAN NOT BE DETERMINED BY THE RECORDED DOCUMENT)

18. Public and private rights in the platted streets shown on the Carter Brown Plat, which plat is recorded in Plat Book 1 at Page 70 and (copy) on Plat Card 47. except insofar as the public rights have been affected by that certain Order No. 0-59-42 of the Warwick City Council entitled, "Order on the abandonment of Certain Streets and Avenue" entered September 17, 1959 and recorded in City Council Records Book 3 at Pages 150 and 151. (AFFECTS PROPERTY)(PLOTTED)

19. That portion of the subject property consisting of Lots Nos. 88,89 and 90 on that plat entitled, "The Frank E. Hoxsie Plat No. 1 Warwick, RI Walter J. Grady Engr., December 1912" which plat is recorded on Plat Card 243 are subject to the restriction that any dwelling or building placed upon said lots shall not be placed within ten (10) feet of the sidewalk or the street. (DOES AFFECT PROPERTY)(LOTS 138, 141 & 142 A.P. 311 ABUTORS.)

20. Rights of others in and to the waters of any brooks and streams flowing through or along the land. (PLOTTED) (AFFECTS)

21. Matters and conditions as shown on that certain plan entitled, "Existing Conditions Survey for 138 & 191 situated on Airport Road Warwick, Rhode Island prepared for Carpionato Properties" date: July 22, 2005 Scale 1"=40' Dwg. No. 6231-ecs. Dwg by Garofalo & Associates, Inc. as follows:

- a. 30' Water line easement (Book 382 at Page 194 runs along Northerly Property line.
b. 25' Water line easement (Book 476 at page 110 runs along easterly property boundary.
c. Driftway (Book 380 at Page 732) runs along northerly property line.
d. Driftway (Book 148 at Page 292) runs through property.
e. Easement for overhead wire (Book 239 at Page 427).
f. Environmental Land Use Restriction area (Book 3028 at Page 293) located in westerly portion of property.
g. Existing Sewer Easement (Book 338 at Page 267) runs over property along Airport Road.
h. Possible encroachment of 3' Verizon Duct along Airport Road. (PLOTTED) (AFFECTS)

22. Farm Forest or Open Space Notice regarding Plat 311, Lot 138 recorded in Book 7226 at Page 263 of the Warwick Land Evidence Records. (PLOTTED)(DOES AFFECT)

23. Farm Forest or Open Space Notice regarding Plat 311 Lot 191 recorded in Book 7226 at Page 264 of the Warwick Land Evidence Records. (PLOTTED) (AFFECTS)

24. Zoning Letter recorded in Book 7433 at Page 162 of the Warwick Land Evidence Records. (AFFECTS PROPERTY) (SHOULD BE COMMENTED ON BY ZONING ATTORNEY) AS TO AFFECT ON PROPERTY NOT A SURVEY ISSUE

ZONING DATA: LI - (LOCUS) SETBACKS: FRONT - 25', SIDE - 15'(3), REAR - 20'(3). MIN. LOT AREA - 6,000 S.F. MIN. FRONTAGE - 60' MIN. LOT WIDTH - 60' MAX. BLDG. HEIGHT - 45' MIN. LANDSCAPED OPEN SPACE - 10%. (2) COMMERCIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE SHALL BE SET BACK A MINIMUM OF 40' FROM AN ABUTTING RESIDENCE DISTRICT, FOR OVERLAY DISTRICT, RESIDENTIAL PUD OVERLAY DISTRICT, AND OPEN SPACE DISTRICT, WHERE THE OPEN SPACE DISTRICT CONTAINS A PARCEL OF LAND 5,000 S.F. OR MORE INCLUDING WETLANDS, AS DEFINED IN SUBSECTION 200.146. (3) A COMMERCIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE IN AN INDUSTRIAL DISTRICT SHALL BE SET BACK AS REQUIRED FOOTNOTE (2) ABOVE. AN INDUSTRIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE SHALL BE SETBACK A MINIMUM OF 40' FROM AN ABUTTING COMMERCIAL DISTRICT. A SETBACK OF 100' SHALL BE REQUIRED WHEREVER SUCH INDUSTRIAL BUILDING OR USE ABUTS ANY DISTRICT LISTED IN FOOTNOTE (2) ABOVE. REFER TO CITY OF WARWICK ZONING ORDINANCE FOR FURTHER INFORMATION.

PARCEL DATA: A.P. 311, LOT 191 N/F AIRPORT ROAD LLC DEED BK. 6047, PG. 178 479-489 AIRPORT ROAD WARWICK, RHODE ISLAND AREA: 2,024,976 S.F.± OR 46.48 Ac.±

PARCEL DATA: A.P. 311, LOT 138 N/F AIRPORT ROAD LLC DEED BK. 6047, PG. 178 HALLENE ROAD WARWICK, RHODE ISLAND AREA: 10,347 S.F.± OR 0.24 Ac.±

STREET INDEX: AIRPORT ROAD, COMMERCE DRIVE, GREENACRES AVENUE

TITLE REVIEW NOTES:

NOTES 5B. RIGHTS OF WAY AND ACCESS

iii. GREENACERS AVE., PLACE AVE., PAVILION AVE., ARE PUBLIC STREETS BUT ARE NOT DEVELOPED ALSO THERE IS PROPERTY BELONGING TO OTHERS (ABUTTORS) THAT DOES NOT ALLOW THIS PARCEL TO HAVE ACCESS TO THEM.

iv. THE DIRT TRAVEL WAYS ARE FARM ROADS USED BY THE FARM THAT IS USING THE PROPERT AT THIS TIME FOR FARMING AND ARE NOT USED BY THE PUBLIC FOR ACCESS TO OR FRM THE PROPERTY.

v. SEE iv ABOVE.

NOTES 5C. LINES OF POSSESSION AND IMPROVEMENTS ALONG THE BOUNDARIES

I PLEASE EXPLAIN IN MORE DETAIL AS THERE IS NO ENCROACHMENTS IN THE FIELD ACROSS THE BOUNDARIES BY THIS PARCEL OR BY ABUTOR.

NOTES 6B BOUNDARY, DESCRIPTION, DIMENSIONS, AND CLOSURES

ii NOTE ON PLAN UNDER SURVEYORS DESCRIPTION

NOTES 6C EASEMENTS, SERVITUDES, RIGHTS OF WAY, ACCESS AND DOCUMENTS

iii. SAID SITE HAS ACCESS TO AIRPORT ROAD AND COMMERCE DRIVE & GREENACRES AVENUE.

iv. PAPER ROAD IS A ROAD THAT HAS BEEN DELINEATED IN A DEED OR RECORD PLAN BUT HAS NOT BEEN DEVELOPED (IE NO PAVEMENT CURBING UTILITIES ETC.)

vi. ALL ABUTTERS AS LISTED ON THE PLAN SHOW THE DEED BOOK AND PAGE FROM THE RECORDED INFORMATION FROM THE CITY OF WARWICK RECORDS

vii. THIS REQUEST IS A ZONING ISSUE NOT A SURVEY ISSUE COMMENT SURVEYOR WOULD NEED A COPY OF THE ZONING OPINION.

NOTES 6D PRESENTATIONS

2(b) THERE ARE NO BUILDINGS ON THIS SITE.

2(e) A VICINITY MAP HAS BEEN ADDED TO THE PLAN

vi. ALL ABUTTERS AS LISTED ON THE PLAN SHOW THE DEED BOOK AND PAGE FROM THE RECORDED INFORMATION FROM THE CITY OF WARWICK RECORDS

vii. THIS REQUEST IS A ZONING ISSUE NOT A SURVEY ISSUE COMMENT SURVEYOR WOULD NEED A COPY OF THE ZONING OPINION.

TABLE A

- 1. WILL BE SET AFTER SURVEY HAS BEEN APPROVED
2. ADDRESS IS AHOWN IN PROPERTY DATA BOX.
3. WET LANDS ARE SHOWN ON THE PLAN BY WETLANDS INVENTORY MAPS SURVEYOR IS LOCATING AND WILL BE SHOWN ON FINAL PLANS.
4. GROSS AREA IS SHOWN IN PROPERTY DATA BOX.
5. VERTICAL RELIEF IS BEING PREPARED FOR THE FINAL DESIGN PLANS.
9. THERE ARE NO PARKING STRIPES OR PARKING AREAS ON THIS SITE.
13. ADJOINING OWNERS ARE SHOW ON THE PLAN WITH AP AND LOT NUMBERS AND DEED BOOK AND PAGES.
16. NO EVIDENCE OF RECENT EARTH MOVING BUILDINGT CONSTRUCTION WERE OBSERVED DURING THE SURVEY.
17. NO KNOWN CHANGES IN STREET RIGHT OF WAYS OR STREET OR SIDEWALK CONSTRUCTION OR REPAIR WERE OBSERVED DURING SURVEY.

NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. (PLEASE CONTACT DIGSAFE PRIOR TO CONSTRUCTION @ 1-888-344-7233)

2. PROJECT IS LOCATED WITHIN ZONE X(AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN), AS SHOWN ON F.E.M.A. FLOOD INSURANCE RATE MAP FOR THE CITY OF WARWICK, KENT COUNTY, RHODE ISLAND, COMMUNITY PANEL NO. 44003C131H, HAVING AN EFFECTIVE DATE OF SEPTEMBER 18, 2013.

3. TOPOGRAPHY PREPARED FROM ON THE GROUND SURVEY, HORIZONTAL DATUM-RHODE ISLAND STATE PLANE COORDINATE NAD 83, VERTICAL DATUM-NAVD 88 (MSL), CONTOUR INTERVAL 1. ALL BUILDING OUTLINES REPRESENT ROOF LINES UNLESS OTHERWISE NOTED.

4. WETLANDS WERE DELINEATED ON THE GROUND BY VHB AND LOCATED BY SURVEY METHODS BY GAROFALO & ASSOCIATES, INC ON JANUARY 19, 2021

5. SAID PARCELS HAVE ACCESS TO AIRPORT ROAD, COMMERCE DRIVE AND GREENACRES AVENUE (GREENACRES IS PUBLIC BUT UNDEVELOPED)

SHEET 5 OF 6

ALTA/NSPS LAND TITLE SURVEY FOR GREEN ACRES LLC & AIRPORT ROAD LLC AP 311 LOTS 138 & 191 SITUATED ON AIRPORT ROAD WARWICK, RHODE ISLAND PREPARED FOR V.H.B

Table with 4 columns: NO., REVISION, BY, DATE. Contains revision history for title review comments, wetlands buffer, and commerce drive info.

Professional seal for Samuel A. White, Jr., Professional Land Surveyor, No. 1781. Includes dates 1-19-2021, 2-11-2021, 5-13-2021.

GAROFALO & ASSOCIATES, INC. CIVIL & STRUCTURAL ENGINEERS SURVEYORS LAND PLANNERS ENVIRONMENTAL SCIENTISTS. 85 CORLISS STREET, P.O. BOX 6145, PROVIDENCE, R.I. 02940, TEL. 401-273-6000

Table with 2 columns: JOB NO., DWG. NO., SCALE, DRAWN BY, CHECKED, APPROVED, DATE. Includes job details and approval information.

SHEET 6 OF 6 SHEETS

LOTS DEPICTED ON THIS PLAT OR PLAN SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOT LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995. (AS AMENDED).

INTENT
THE INTENT OF THIS PLAN IS TO MERGE, A.P. 311 LOT 138 WITH A.P. 311 LOT 191.

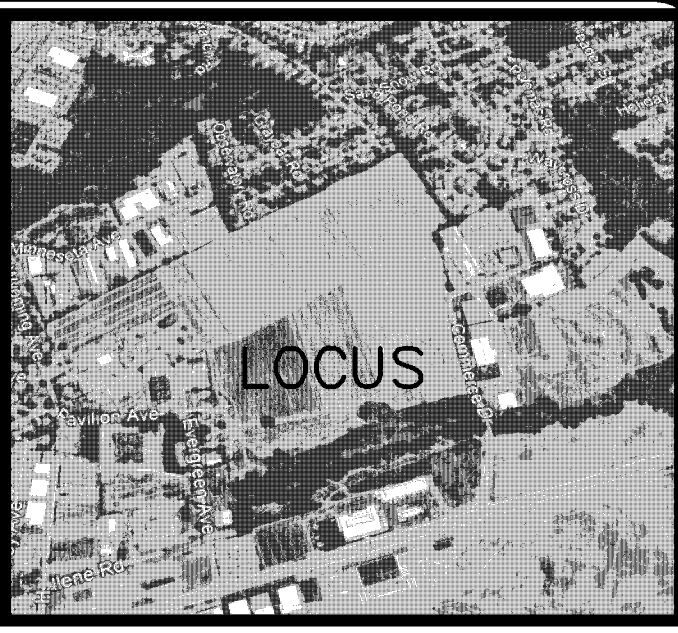
311
78
N/F
Vincent P. Confreda Seven C's L.L.C.
Bk. 2918, Pg. 213

311
193
N/F
Vincent P. Confreda Seven C's L.L.C.
Bk. 2918, Pg. 213

312
452
N/F
Bardoza Properties LLC
Bk. 6617, Pg. 124

311
138
N/F
NP Airport Road
Warwick, LLC
Bk. 9857, Pg. 23
(See plat card 243)

311
191
N/F
NP Airport Road
Warwick, LLC
Bk. 9857, Pg. 23



LOCUS
NOT TO SCALE

ZONING DATA

L1 - (LOCUS)
SETBACKS:
FRONT - 25'
SIDE - 15'(3)
REAR - 20'(3)
MIN. LOT AREA - 6,000 S.F. MIN.
FRONTAGE - 60'
MIN. LOT WIDTH - 60'
MAX. BLDG. HEIGHT - 45'
MIN. LANDSCAPED OPEN SPACE - 10%
REFER TO CITY OF WARWICK ZONING ORDINANCE FOR FURTHER INFORMATION.

PLAN REFERENCES

- 1.) PLAT BOOK 1 PAGE 70 - RIGHTS IN AND TO THE PUBLIC & PLATTED STREETS SHOWN ON THE "CARTER BROWN PLAT", EXCEPTING THOSE ABANDONED, SEPT. 16, 1959.
- 2.) VOLUME 380 PAGE 733 - RIGHTS IN AND TO HALLENE ROAD
- 3.) PLAT CARD #243 - BUILDING RESTRICTIONS ASSOCIATED WITH THE "FRANK E. HOXSIE PLAT NO.1"
- 4.) VOLUME 380 PAGE 733 - HEIGHT RESTRICTIONS
- 5.) PLAN ENTITLED "SURVEY OF LAND, FOREST LAND CO. A.P. 311, LOTS 138 & 191, WARWICK, RHODE ISLAND" PREPARED BY WATERMAN ENGINEERING CO., SCALE: 1"=100', DATED APRIL, 1995, PROJECT NO. P95.001
- 6.) EXISTING CONDITIONS SURVEY FOR A.P.311 LOTS 138 & 191 SITUATED ON AIRPORT ROAD WARWICK, RHODE ISLAND PREPARED FOR CARPINATO PROPERTIES BY GAROFALO ASSOCIATES, INC. DATED JULY 22, 2005 DWG NO 6231-ECS SCALE 1"=40'.
- 7.) RHODE ISLAND DEPARTMENT OF TRANSPORTATION STATE TRAFFIC COMMISSION STATEWIDE SIGNALIZATION CONTRACT 3A AIRPORT RD. AT COMMERCE DR. SCALE 1"=20'

ORIGINAL PARCEL DATA

A.P. 311, LOT 138
N/F
NP AIRPORT ROAD WARWICK, LLC
DEED BK. 9857, PG. 23
HALLENE ROAD
WARWICK, RHODE ISLAND
AREA: 10,347 S.F.±
OR 0.24 Ac.±

ORIGINAL PARCEL DATA

A.P. 311, LOT 191
N/F
NP AIRPORT ROAD WARWICK, LLC
DEED BK. 9857, PG. 23
479-489 AIRPORT ROAD
WARWICK, RHODE ISLAND AREA:
2,024,976 S.F.±
OR 46.48 Ac.±

NEW PARCEL DATA

LOTS 138 AND 191 COMBINED
NEW AREA = 2,035,323 F.F.±
OR 46.72 ACRES±

STREET INDEX

AIRPORT ROAD
COMMERCE DRIVE
GREENACRES AVENUE
HALLENE ROAD

CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

COMPREHENSIVE BOUNDARY SURVEY - CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO DELETE THE LOT LINE IN BETWEEN LOT 138 AND 191 ON ASSESSOR'S MAP 311 IN THE CITY OF WARWICK.

I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.

BY: Samuel A. White, Jr.
SAMUEL A. WHITE LICENSE NO. 1781
LS A59-COA

LEGEND

□ SB STONE BOUND	ASSESSORS MAP NO.
□ CB CONCRETE BOUND	ASSESSORS LOT NO.
□ GB GRANITE BOUND	FENCE
○ IP IRON PIPE	CURB LINE
○ FOUND WETLAND FLAG ▲ WF-172	EDGE OF PAVEMENT
△ PK NAIL(fD) PK NAIL	DRIVE(UNPAVED)
□ RIHB RHODE ISLAND HIGHWAY BOUND	WETLAND LINE
— PROPERTY LINE	
— ASSESSORS LINE	
— EASEMENT LINE	

311
78

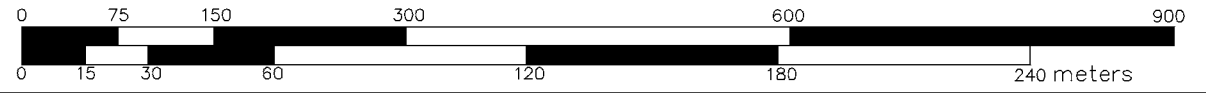
311
138

311
191

321
3

321
2

1" = 150'



ADMINISTRATIVE SUBDIVISION
NP AIRPORT ROAD
WARWICK, LLC
AP 311 LOTS 138 & 191
SITUATED ON
AIRPORT ROAD
WARWICK, RHODE ISLAND
PREPARED FOR
V.H.B.

NO.	REVISION	BY	DATE

Samuel A. White, Jr.

PROFESSIONAL
LAND SURVEYOR

12-13-2021

GAROFALO

GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS
SURVEYORS/LAND PLANNERS
ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

JOB NO. 7298.00	DRAWN BY L.F.A.
DWG. NO. 7298-00-ADMINSUB	CHECKED S.A.W.
SCALE: 1"=150'	APPROVED S.A.W.
SHEET	DATE: DEC. 13, 2021

1 OF SHEETS