

# MASTER PLAN SUBMISSION

# ONE METRO CENTER

0 METRO CENTER BLVD  
 WARWICK, RHODE ISLAND  
 ASSESSOR'S PLAT 278 LOT 145



LOCATION MAP NOT TO SCALE

## SHEET LIST TABLE

- 1 COVER SHEET
- 2 AERIAL AND HALF MILE RADIUS
- 3 EXISTING CONDITIONS PLAN
- 4 SITE LAYOUT PLAN
- 5 200' RADIUS MAP
- 6 LANDSCAPE PLAN & DETAILS

Z:\BPM\PROJECTS\2625-007 ONE METRO CENTER BOULEVARD\AUTOCAD DRAWINGS\2625-007-MSTR.DWG PLOT: 2/15/2022

**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

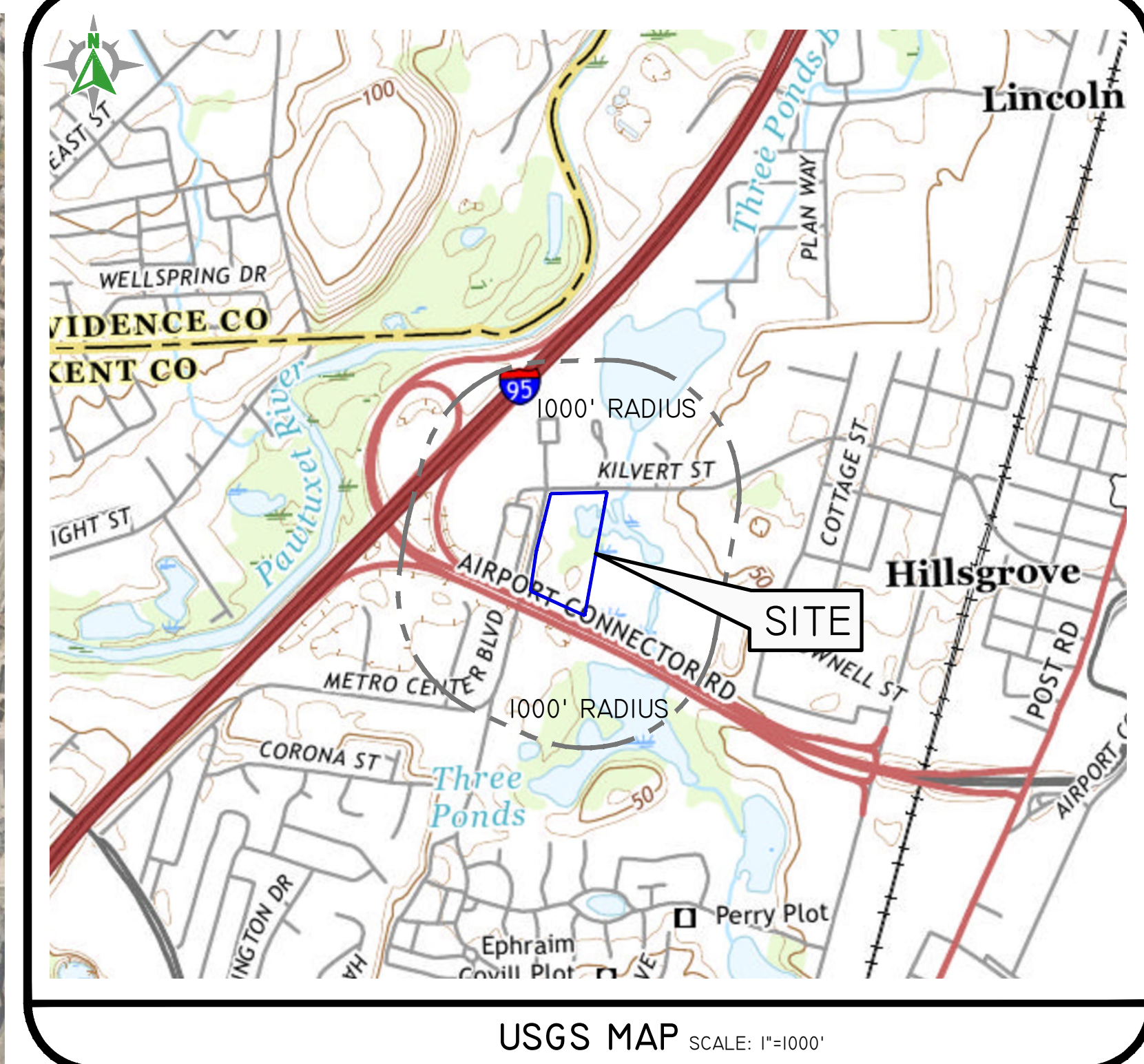
BRANDON D. CARR  
  
 REGISTERED  
 PROFESSIONAL ENGINEER  
 CIVIL

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NO.	DATE	DESCRIPTION	BY
1	02/03/22	MASTER PLAN SUBMISSION	K.P.R.
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COVER SHEET  
 ONE METRO CENTER BLVD  
 ASSESSOR'S PLAT 278 LOT 145  
 WARWICK, RHODE ISLAND  
 PREPARED FOR  
**AR BUILDING COMPANY**  
 310 SEVEN FIELD BLVD, SUITE 350 SEVEN FIELDS, PENNSYLVANIA 16046  
 TEL 724-741-7307  
 DRAWN BY: K.P.R. DESIGN BY: B.D.C.

Z:\BPM\PROJECTS\2625-007 ONE METRO CENTER BOULEVARD\AUTOCAD DRAWINGS\2625-007-MS1R.DWG PLOT: 2/25/2022



USGS MAP SCALE: 1"=1000'

PHOTO OBTAINED FROM NEARMAP.  
DATE OF PHOTOGRAPHY 03/27/2021  
SCALE: 1"=400'

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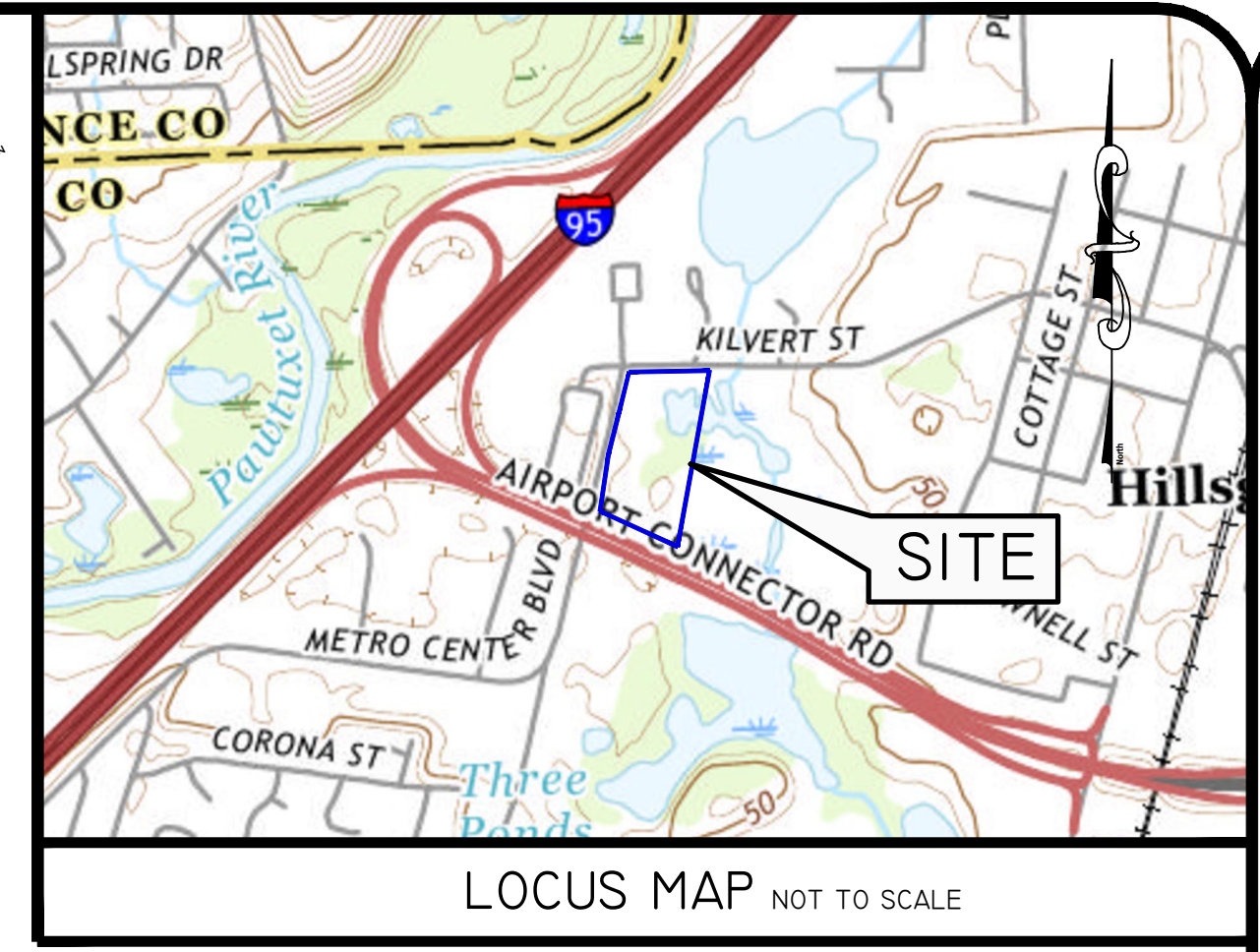
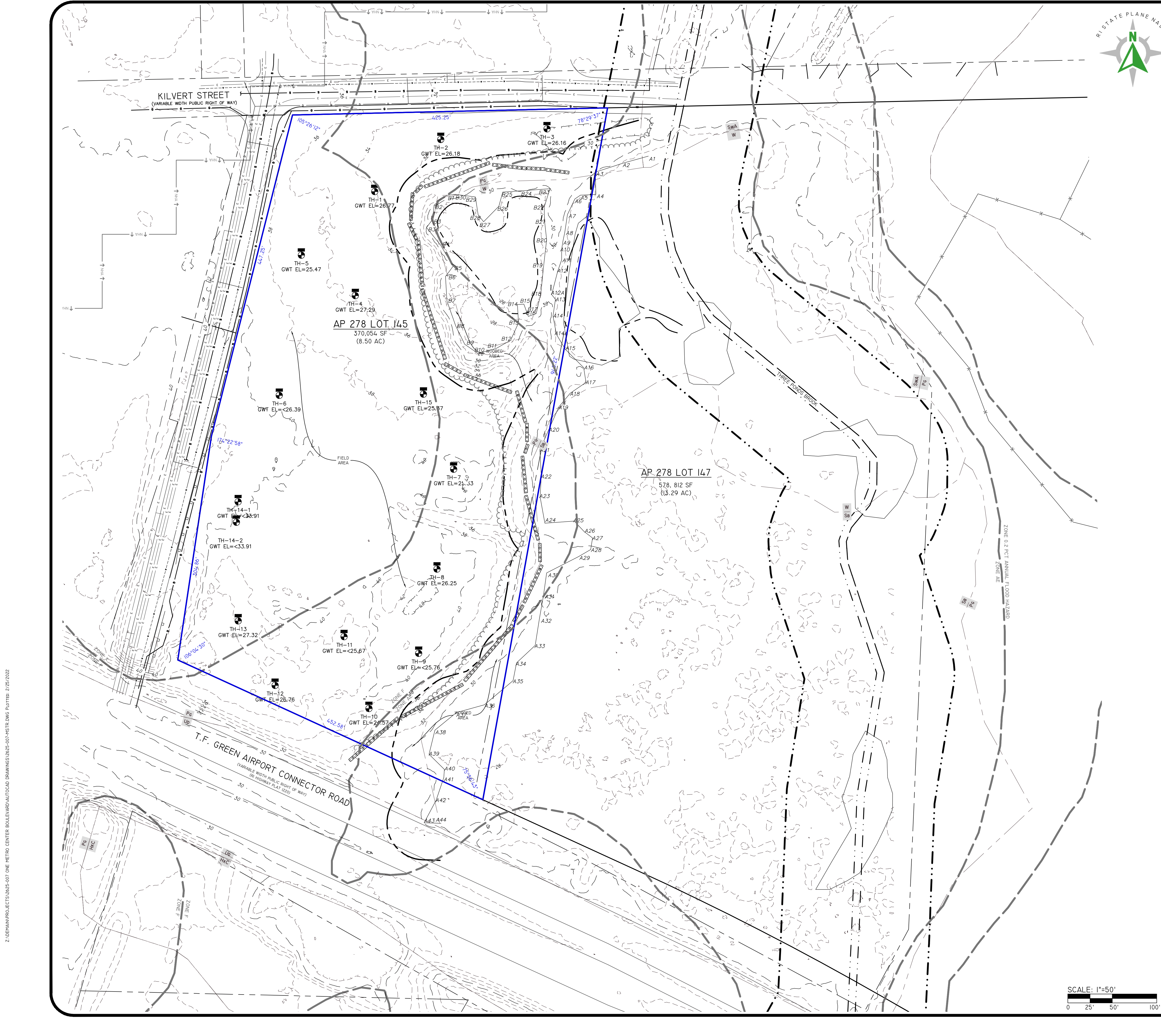
**BRANDON D. CARR**  
REGISTERED PROFESSIONAL ENGINEER  
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**AERIAL AND HALF MILE RADIUS**  
**ONE METRO CENTER BLVD**  
ASSESSOR'S PLAT 278 LOT 145  
WARWICK, RHODE ISLAND  
PREPARED FOR  
**AR BUILDING COMPANY**  
310 SEVEN FIELD BLVD, SUITE 350 SEVEN FIELDS, PENNSYLVANIA 16046  
TEL 724-741-7207

DESIGN BY: K.P.R.  
DRAWN BY: K.P.R.  
CHECKED BY: B.D.C.



- GENERAL NOTES**
1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 278 LOT 145 IN THE CITY OF WARWICK, KENT COUNTY, RHODE ISLAND.
  2. THE OWNER OF AP 278 LOT 145 PER WARWICK GIS IS ONE METRO LLC.
  3. THE PARCEL IS LOCATED IN ZONE X, X SHADED 8 AE (EL 25) PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP 44003C0127G, DATED DECEMBER 3, 2010.
  4. THE PARCEL IS ZONED G1 PER THE ASSESSOR'S ONLINE DATABASE. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
  5. THERE WERE NO CEMETERIES, GRAVE SITES OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
  6. AP 278 LOT 145 FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON AUGUST 24, 28 AND SEPTEMBER 1, 2015. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
  7. ALL UNDERGROUND UTILITIES SHOWN ON THIS PLAN HAVE BEEN LOCATED FROM FIELD SURVEY OBSERVATIONS ONLY TOGETHER WITH EXISTING PLANS BY OTHERS. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR MISSING UNDERGROUND UTILITIES, EITHER IN SERVICE OR ABANDONED, NOT OBSERVED AT THE TIME OF THE SURVEY. (PLEASE CONTACT DIGSAFE 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 1-888-344-7233).
  8. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.

- PLAN REFERENCES:**
1. "FINAL RECORD PLAN MINOR SUBDIVISION PLAN 745 JEFFERSON BOULEVARD PLAT AP 277 LOTS 1 & 3 AND AP 278 LOTS 4 & 15 WARWICK, RHODE ISLAND" BY DIPRETE ENGINEERING FOR WHIPPLE, METCALF AND BARNES, LLC 3675 S. RAINBOW BOULEVARD, SUITE 107-659, LAS VEGAS, NV 89103 SCALE: 1"=200' DATED SEPTEMBER 24, 2013.
- DATUM NOTE:**
1. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

**SOIL INFORMATION:**

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

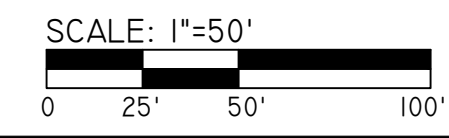
SOIL NAME DESCRIPTION

P6	PITS, GRAVEL
SWA	SWANSEA MUCK, 0 TO 1 PERCENT SLOPES
SB	SCARBORO MUCKY SANDY LOAM
W	WATER

**LEGEND**

NOT ALL ITEMS SHOWN WILL APPEAR ON THE SURVEY

BUILDING	ASSASSOR'S PLAT	▲/△	NAIL FOUND/SET
ASPHALT	N/F	●/●	DRILL HOLE FOUND/SET
AP	(D)	⊙/⊙	IRON ROD/PIPE FOUND/SET
N/F	(M)	⊠/⊠	BOUND FOUND/SET
(D)	(C)	⊕	SIGN
(M)	(CA)	⊖	BOLLARD
(C)	HC	⊗	SOIL EVALUATION
(CA)	PROPERTY LINE	⊙ CB	CATCH BASIN
HC	ASSESSOR'S LINE	⊙ DCB	DOUBLE CATCH BASIN
PROPERTY LINE	GUARDRAIL	⊙ DMH	DRAINAGE MANHOLE
ASSESSOR'S LINE	FENCE	⊙ FES	FLARED END SECTION
TREELINE	RETAINING WALL	⊙ GUY	GUY POLE
GUARDRAIL	STONE WALL	⊙ EMH	ELECTRIC MANHOLE/HANDHOLE
FENCE	MINOR CONTOUR LINE	⊙ UP	UTILITY/POWER POLE
RETAINING WALL	MAJOR CONTOUR LINE	⊙ SMH	SEWER/SEPTIC MANHOLE
STONE WALL	WATER LINE	⊙ SV	SEWER VALVE
MINOR CONTOUR LINE	SEWER LINE	⊙ C	CLEANOUT
MAJOR CONTOUR LINE	SEWER FORCE MAIN	⊙ H	HYDRANT
WATER LINE	GAS LINE	⊙ I	IRRIGATION VALVE
SEWER LINE	ELECTRIC LINE	⊙ W	WATER VALVE
SEWER FORCE MAIN	OVERHEAD WIRES	⊙ X	WELL
GAS LINE	DRAINAGE LINE	⊙ Y	MONITORING WELL
ELECTRIC LINE	WETLAND 50' PERIMETER	⊙ Z	UNKNOWN MANHOLE
OVERHEAD WIRES	RIVER/STREAM 100' PERIMETER	⊙ B-1	GAS VALVE
DRAINAGE LINE	SOIL LINE	⊙ B	WETLAND FLAG
WETLAND 50' PERIMETER	FEMA LINE	⊙ B-1	BENCH MARK
RIVER/STREAM 100' PERIMETER		⊙ B	BUSH
SOIL LINE		⊙ B-1	TREE
FEMA LINE		⊙ B	



**Diprete Engineering**

Two Stafford Court, Cranston, RI 02920  
tel:401-943-1000 fax:401-664-6906 www.diprete-eng.com

**Boston • Providence • Newport**

**BRANDON D. CARR**

REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN IS NOT TO BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS APPROVED BY THE CITY OF WARWICK. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE PLANS AND CONDITIONS IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE OR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

K.M.R.	DESIGNED BY	B.D.C.
B.D.C.	DRAWN BY	K.M.R.
K.M.R.	CHECKED BY	
	DATE	
	DESCRIPTION	
3	2/25/22	MASTER PLAN RESUBMISSION
2	1/25/22	MASTER PLAN SUBMISSION
1	09/20/21	PRE-APPLICATION PLAN SUBMISSION

**Existing Conditions Plan**

**ONE METRO CENTER BLVD**

ASSESSOR'S PLAT 278 LOT 145  
WARWICK, RHODE ISLAND

**AR BUILDING COMPANY**

310 SEVEN FIELD BLVD, SUITE 350 SEVEN FIELDS, PENNSYLVANIA 16046  
TEL 724-741-2307

Z:\DEPT\PROJECTS\1625-001 ONE METRO CENTER BOULEVARD\AUTOCAD DRAWINGS\1625-001-MSR.DWG PLOTTED: 2/15/2022



**DEVELOPMENT DATA:**

TOTAL SITE AREA:	8.5± ACRES
TOTAL NUMBER OF BUILDINGS:	3
WETLAND AREA:	0.8± ACRES
TOTAL DEVELOPABLE AREA:	7.7 ACRES

UNITS	BUILDING A	BUILDING B	BUILDING C	TOTAL
STUDIO	24	24	32	80
ONE BEDROOM	28	28	24	80
TWO BEDROOM	24	24	32	80
UNIT TOTAL:	76	76	88	240

**DIMENSIONAL REGULATIONS:**

CURRENT ZONING:	G1 UNDERLYING ZONE REQUIRED	GATEWAY REZONE REQUIRED	PROVIDED
MINIMUM LOT AREA:	60,000 SF	30,000 SF	936,000± SF
MINIMUM FRONTAGE AND LOT WIDTH:	60'	60' * (1 & 4)	104.2'
MINIMUM FRONT AND CORNER SIDE YARD:	25'	10'	40'
MINIMUM SIDE YARD:	15' * (3)	15'	61'
MINIMUM REAR YARD:	20' * (6)	20' * (6)	53'
MAXIMUM STRUCTURE HEIGHT:	45'	75'	70'
MINIMUM LANDSCAPE OPEN SPACE:	10%	10%	50%

\*ZONING REQUIREMENTS ARE CALCULATED ASSUMING A REZONE TO THE GATEWAY DISTRICT

**GATEWAY ZONING ORDINANCE REFERENCES:**

- FOOTNOTE 1: ON LOTS FRONTING ON ANY STREET CUL-DE-SAC, BOTH THE MINIMUM FRONTAGE AND LOT WIDTH SHALL BE AT LEAST 80 PERCENT OF THE REQUIREMENTS.
- FOOTNOTE 2: A COMMERCIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE SHALL BE SET BACK A MINIMUM OF 40 FEET FROM AN ABUTTING RESIDENCE DISTRICT, FOR OVERLAY DISTRICT, RESIDENTIAL PUD OVERLAY DISTRICT, AND OPEN SPACE DISTRICT, WHERE THE OPEN SPACE DISTRICT CONTAINS A PARCEL OF LAND 5,000 SQUARE FEET OR MORE INCLUDING WETLANDS, AS DEFINED IN SUBSECTION 200.14.6.
- FOOTNOTE 3: A COMMERCIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE IN AN INDUSTRIAL DISTRICT SHALL BE SET BACK AS REQUIRED IN FOOTNOTE (2) ABOVE. AN INDUSTRIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE SHALL BE SET BACK A MINIMUM OF 40 FEET FROM AN ABUTTING COMMERCIAL DISTRICT. A SETBACK OF 100 FEET SHALL BE REQUIRED WHEREVER SUCH INDUSTRIAL BUILDING OR USE ABUTS ANY DISTRICT LISTED IN FOOTNOTE (2) ABOVE.
- FOOTNOTE 4: IN CORNER LOTS, THE REQUIRED FRONTAGE AND WIDTH SHALL BE NECESSARY ONLY ON ONE STREET PROVIDED THAT THE SECOND STREET FRONTAGE MAINTAINS THE MINIMUM OF 80 PERCENT OF THE FRONTAGE REQUIREMENT.
- FOOTNOTE 6: ON CORNER LOTS, THE REAR SETBACK SHALL CONFORM TO THE SIDE SETBACK REQUIREMENTS.

**PARKING REGULATIONS:**

PARKING USE:	MULTI-FAMILY	1.5 SPACES PER DWELLING UNIT
PARKING REQUIREMENT:	200 UNITS	1.5 X 200 = 300 SPACES
BUILDING UNITS:	6 SPACES	2 SPACES
REQUIRED PARKING CALCULATIONS:	300 (TOTAL)	
ADA PARKING REQUIREMENT:	30 (COVERED)	
ADA VAN PARKING REQUIREMENT:	8	
PARKING SPACES:	270 (SURFACE)	
ADA PARKING SPACES:	8	
PARKING SPACE SIZE:	9' X 18'	9' X 18'
PARKING AISLE WIDTH:	24'	24'

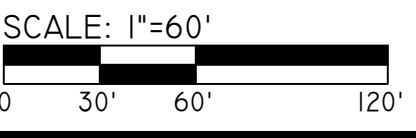
**GENERAL NOTES:**

- THE SITE IS PROPOSED TO BE BUILT IN (1) PHASE.
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND SEWER.
- THE DRAINAGE SYSTEM WILL MEET THE RHODE ISLAND DEM AND CITY OF WARWICK REQUIREMENTS FOR SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS, CULVERTS, AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
- DETAILED SOIL EROSION AND SEDIMENT CONTROL MEASURES TO BE INCORPORATED AT THE PRELIMINARY DESIGN STAGE AND WILL CONFORM TO THE RIDEM BEST MANAGEMENT PRACTICES.

**PROPOSED LEGEND:**

NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE
	BUILDING SETBACKS
	RETAINING WALL
	BUILDING FOOTPRINT
	BUILDING OVERHANG
	ASPHALT PAVEMENT
	CONCRETE
	NATIONAL HERITAGE AREAS
	WETLAND 50' PERIMETER
	RIVER/STREAM 100' PERIMETER
	4'-5" BERM @ 3:1 SLOPE



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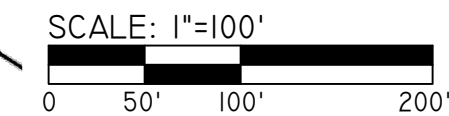
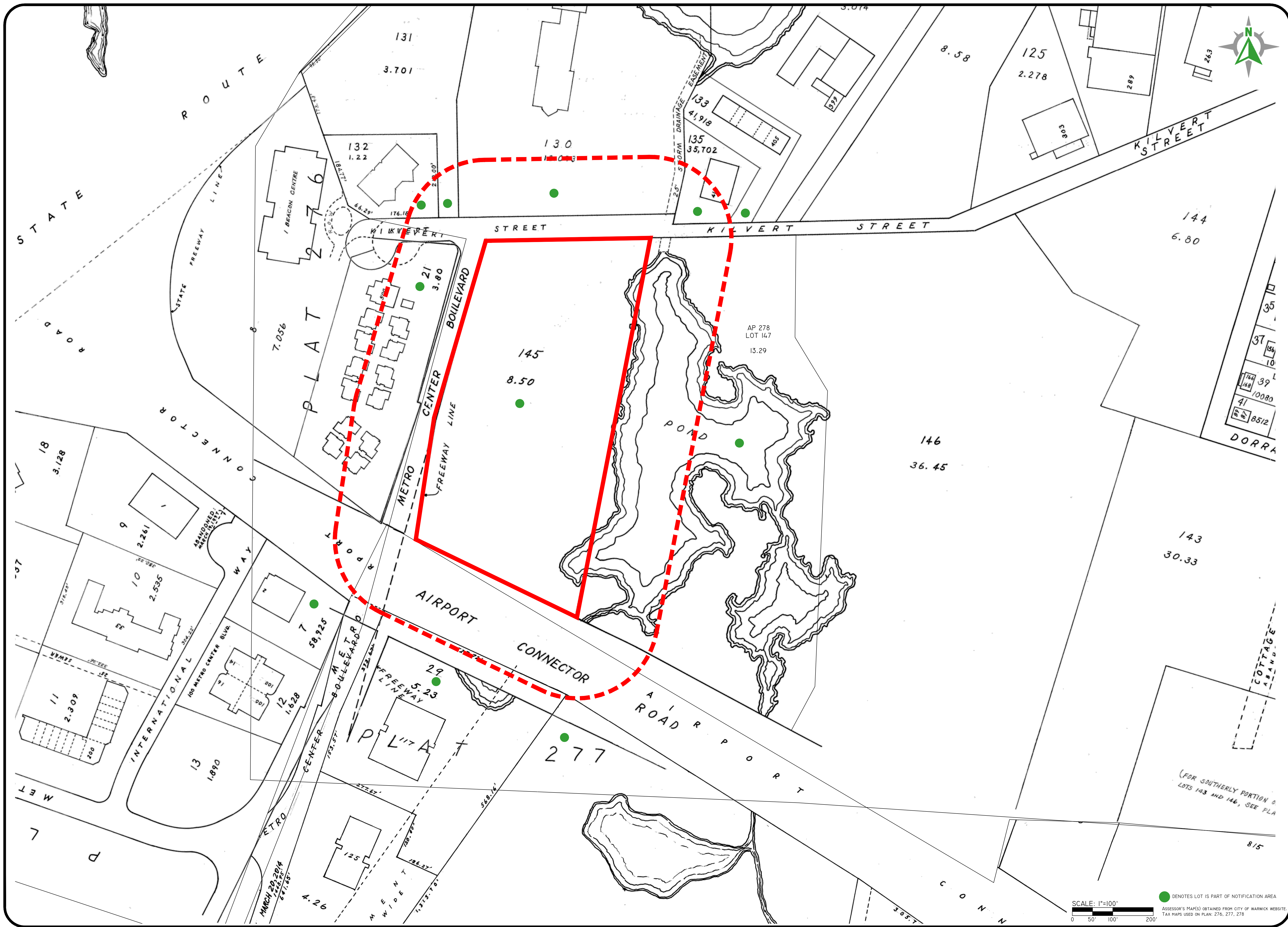
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NO.	DATE	DESCRIPTION	DESIGN BY
1	07/20/21	PRELIMINARY PLAN SUBMISSION	B.D.C.
2	07/27/22	MASTER PLAN SUBMISSION	B.D.C.
3	11/30/21	MASTER PLAN SUBMISSION	K.R.R.
4	09/30/21	MASTER PLAN SUBMISSION	K.R.R.
5	07/20/21	PRELIMINARY PLAN SUBMISSION	B.D.C.

DESIGN BY: K. R. R.

**SITE LAYOUT PLAN**  
**ONE METRO CENTER BLVD**  
 ASSESSOR'S PLAT 278 LOT 145  
 WARWICK, RHODE ISLAND  
 PREPARED FOR:  
**AR BUILDING COMPANY**  
 310 SEVEN FIELD BLVD., SUITE 350 SEVEN FIELDS, PENNSYLVANIA 16046  
 TEL: 724-741-7207

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● DENOTES LOT IS PART OF NOTIFICATION AREA  
ASSESSOR'S MAP(S) OBTAINED FROM CITY OF WARWICK WEBSITE  
TAX MAPS USED ON PLAN: 276, 277, 278

**200' RADIUS MAP**  
**ONE METRO CENTER BLVD**

ASSESSOR'S PLAT 278 LOT 145  
WARWICK, RHODE ISLAND  
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DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROFESSIONAL ENGINEER OF RHODE ISLAND. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES INFORMATION FROM THE NEARBY COMMUNITY UTILITIES. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO OMISSIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	BY
1	03/20/21	PRELIMINARY PLAN SUBMISSION	K.P.R.
2	02/25/22	MASTER PLAN SUBMISSION	B.P.C.
3	02/25/22	MASTER PLAN SUBMISSION	K.P.R.
4	02/25/22	FINAL PLAN SUBMISSION	B.P.C.
5	02/25/22	FINAL PLAN SUBMISSION	K.P.R.

DESIGN BY: K.P.R.E.

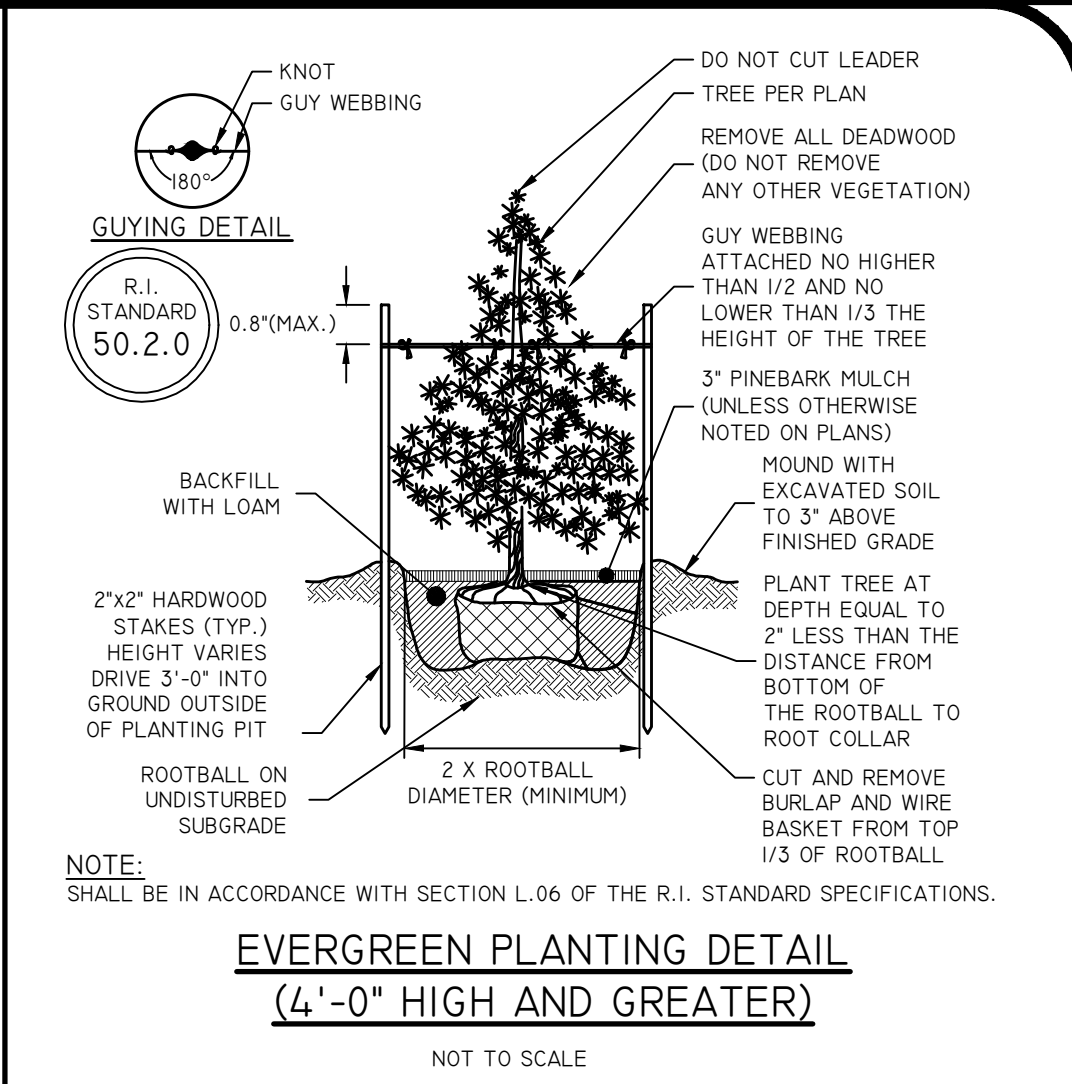
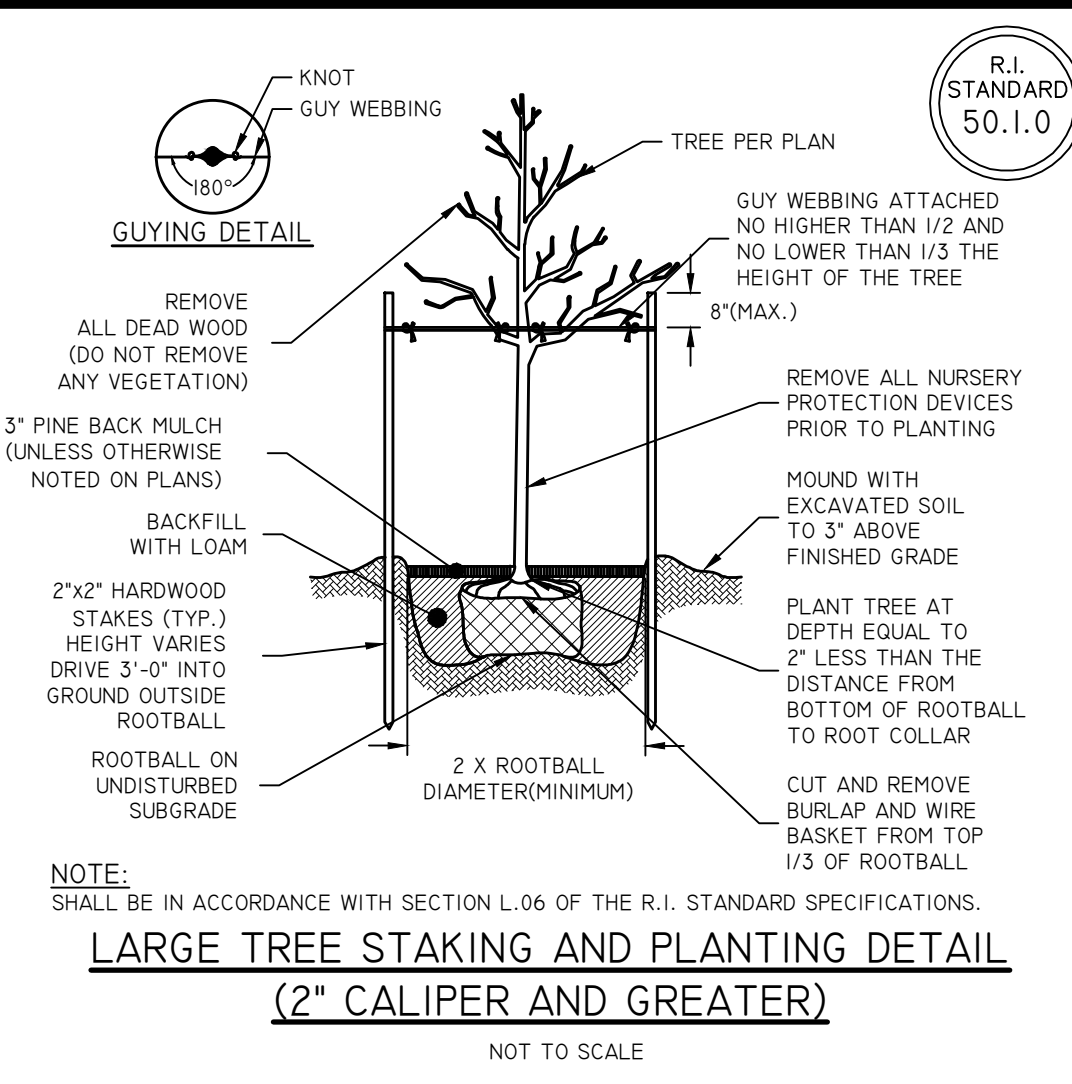


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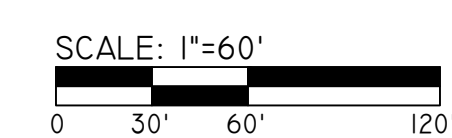
**PLANTING NOTES:**

- CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS BY NOTIFYING DIG-SAFE (811) AT LEAST 72 HOURS PRIOR TO ANY CONSTRUCTION OR SITE PREPARATION AND ANY/OR ALL LOCAL UTILITY COMPANIES AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH ALL LOCAL STATE AND FEDERAL REGULATIONS BY THE CONTRACTOR. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR THIS PROJECT.
- CONTRACTOR TO PROVIDE A ONE (1) YEAR GUARANTEE FOR ALL MATERIALS. CONTRACTOR GUARANTEES THAT PLANTS WILL REMAIN HEALTHY FOR ONE (1) GROWING SEASON. CONTRACTOR TO MAINTAIN ALL PLANTING AND LAWNS UNTIL FINAL PROJECT ACCEPTANCE. GUARANTEE PERIOD TO COMMENCE AT FINAL ACCEPTANCE. ANY REPLACEMENT PLANTS SHALL BE OF THE SAME SIZE AND SPECIES AS SPECIFIED WITH NEW GUARANTEE COMMENCING ON THE DATE OF REPLACEMENT.
- ALL PLANT MATERIAL SHALL CONFORM, IN ALL RESPECTS, TO THE GUIDELINES OF "THE AMERICAN STANDARD FOR NURSERY STOCK," LATEST EDITION, PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, INC. ALL PLANTS SHALL BE NURSERY GROWN AND SHALL HAVE BEEN GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS.
- PLANT SUBSTITUTION SELECTION MUST BE APPROVED BY LANDSCAPE ARCHITECT AND/OR OWNER PRIOR TO INSTALLATION.
- ALL PLANTS TO BE PLANTED SO THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS TO THEIR ORIGINAL GRADE BEFORE DIGGING.
- CREATE SAUCER AROUND INDIVIDUAL PLANTS CAPABLE OF HOLDING WATER. ALL PLANTS TO BE FLOODED WITH CLEAN WATER TWICE WITHIN THE FIRST 24 HOURS OF PLANTING. ADDITIONAL WATERING SHALL BE MADE AS REQUIRED TO KEEP PLANTS FROM WILTING AND DRYING OUT UNTIL FINAL ACCEPTANCE.
- ALL PLANTS TO RECEIVE A MINIMUM OF TWO (2) INCHES OF UNDYED, SHREDDED PINE BARK MULCH AND SHALL COVER PLANTING BEDS AS SHOWN ON DRAWINGS UNLESS OTHERWISE NOTED.
- TRIM BROKEN AND DEAD BRANCHES FROM TREES AND SHRUBS AFTER PLANTING. NEVER CUT A LEADER.
- MINIMUM BRANCHING HEIGHT FOR ALL SHADE TREES SHALL BE A MINIMUM OF SEVEN FEET ABOVE FINISHED GRADE TO MEET ADA STANDARDS.
- CONTRACTOR TO LOAM AND SEED ALL DISTURBED LANDSCAPE AREAS OUTSIDE OF THE PLANTING BEDS USING AN ENDOPHYTE ENHANCED MIX AT A RATE OF 5-7 LBS. PER 1,000 SF (AVAILABLE AT ALLENS SEED IN EXETER, RI) OR AS DIRECTED BY TOWN/OWNER UNLESS OTHERWISE NOTED. ANY SOO (TURF) UTILIZED SHALL BE DROUGHT TOLERANT ENDOPHYTES OR PREDOMINANTLY FESCUE IN CHARACTER.
- RECOMMENDED DATES FOR PLANTING ARE APRIL 15 TO JUNE 15 AND SEPTEMBER 15 TO NOVEMBER 15.
- ALL LANDSCAPED AREAS SHALL BE KEPT FREE OF WEEDS AND DEBRIS. ALL VEGETATION WITHIN SAID AREAS SHALL BE MAINTAINED FREE OF PHYSICAL DAMAGE CAUSED BY CHEMICALS, INSECTS, DISEASES, LACK OF WATER OR OTHER CAUSES. DAMAGED PLANTS SHALL BE REPLACED WITH THE SAME OR SIMILAR VEGETATION ON AN ANNUAL BASIS.
- LOAM MOVED ON SITE TO BE STOCKPILED AND RETAINED AND TO BE USED AS REQUIRED FOR THE LANDSCAPE DESIGN. LOAM SHALL NOT BE MIXED WITH ANY UNSUITABLE MATERIALS OR SUBSOIL. EXCESS LOAM TO REMAIN ON THE OWNER'S PROPERTY AND ONLY REMOVED WITH THE OWNER'S PERMISSION. NEW LOAM SHALL BE FRIABLE, FERTILE, MEDIUM TEXTURED SANDY LOAM THAT IS FREE OF TOXIC MATERIALS FOR HEALTHY PLANT GROWTH AND SURVIVAL. LOAM SHALL BE FREE OF MATTER 1" OR GREATER IN DIAMETER AND WHEN TESTED SHALL HAVE A PH BETWEEN 5.5 AND 7.5. CONTRACTOR TO PROVIDE 8 INCHES OF GOOD QUALITY LOAM AND/OR REUSE EXISTING LOAM TO PROVIDE A MINIMUM 6 INCH DEPTH.
- IRRIGATION AND LIGHTING BY OTHERS.
- THIS PLAN IS FOR LANDSCAPE PLANTING ONLY.



**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	BJ	3	Betula jacquemontii	Whitebarked Himalayan Birch	12-14' HT CLUMP
	CKC	12	Cornus kousa	Kousa Dogwood	2.5/3" CAL B&B
	GT	16	Gleditsia triacanthos inermis 'Halka'	Halka Thornless Honey Locust	2.5/3" CAL B&B
	KP	7	Koelreuteria paniculata	Golden Rain Tree	2.5/3" CAL B&B
	PSK	9	Prunus serrulata 'Kwanzan'	Flowering Cherry	2/2.5" CAL B&B
	PO	7	Prunus x okame	Okame Cherry	3.5/4" CAL B&B
	PC	9	Pyrus calleryana 'Chanticleer'	Chanticleer Pear	2.5/3" CAL B&B
	SJ	1	Styrax japonicus	Japanese Snowbell	7/8' CLUMP
	TC	10	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	2.5/3" CAL B&B
	ZS	22	Zelkova serrata 'Green Vase'	Green Vase Zelkova	2.5/3" CAL B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT
	PG	18	Picea glauca	White Spruce	7/8' HT



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PROFESSIONAL ENGINEER  
 LANDSCAPE ARCHITECT  
 LICENSE NO. 431  
 LANDSCAPE ARCHITECT

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DESIGN BY: B.D.C.

**LANDSCAPE PLAN & DETAILS**  
 ONE METRO CENTER BLVD  
 ASSESSOR'S PLAT 278 LOT 145  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
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SHEET **6** OF 6

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