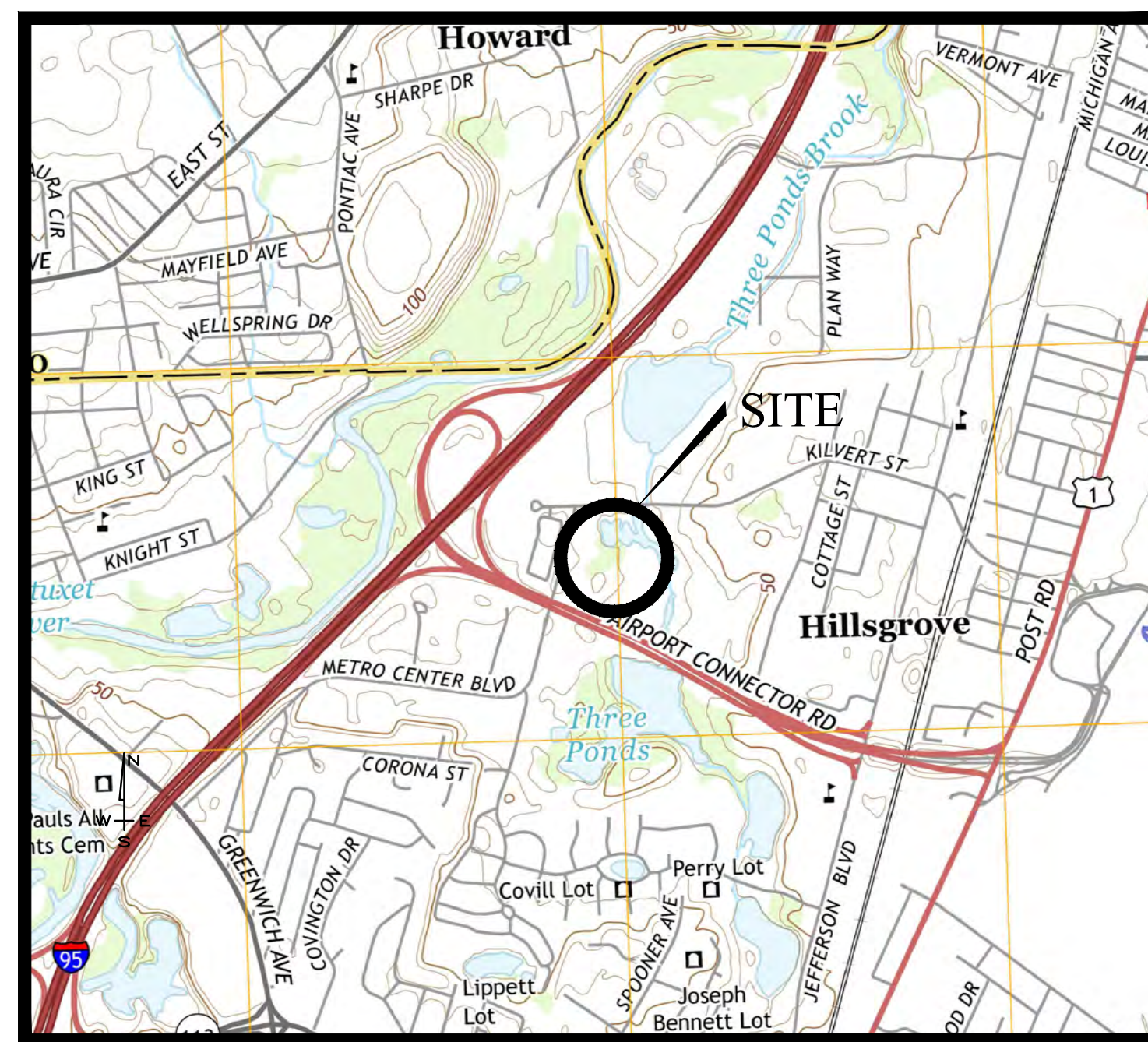


PROPOSED MASTER PLAN REVISION FOR ONE METRO CENTER

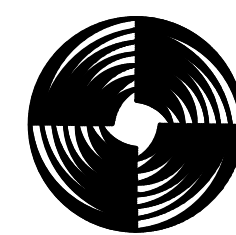
A.P. 278, LOT 145
ONE METRO CENTER BLVD
WARWICK, RHODE ISLAND 02886



LOCUS MAP
NOT TO SCALE

APPLICANT:
HILLSGROVE HOMES LLC
164 CENTERVILLE RD
WARWICK, RI 02886

OWNER:
ONEMETRO LLC
250 B CENTERVILLE RD UNIT 3
WARWICK, RI 02886



PREPARED BY:
GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
P.O. BOX 6145 PROVIDENCE, R.I. 02940
1-401-273-8000

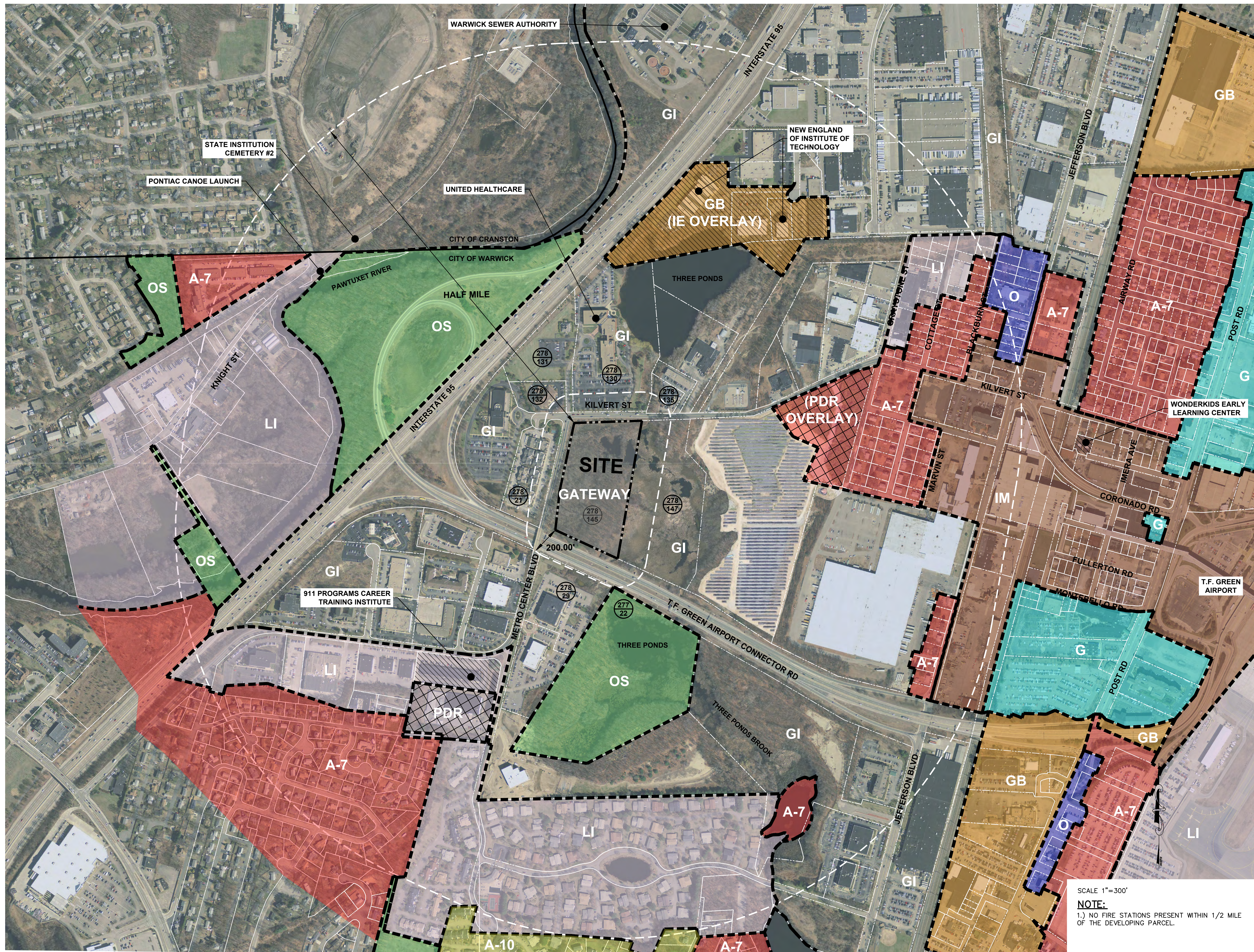
JOB NO. 7468-00
DATE: SEPTEMBER, 2023

SHEET INDEX

SHEET	PLAN TITLE	LATEST REVISION
-	COVER SHEET	
R-1	200' RADIUS/ VICINITY MAP	
C-1	GENERAL NOTES & LEGEND	
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MP-2	CONCEPTUAL LANDSCAPE PLAN	
	REFERENCE PLAN	
1	EXISTING CONDITIONS PLAN	



L:\7468-00_1 Metro Center (Caterpillar, Builders) - Warwick, RI\Map\01-Current\Master Plans Dwg\7468-00-MP-Vicinity Map.dwg 09/26/2023, kjyngang_09.17

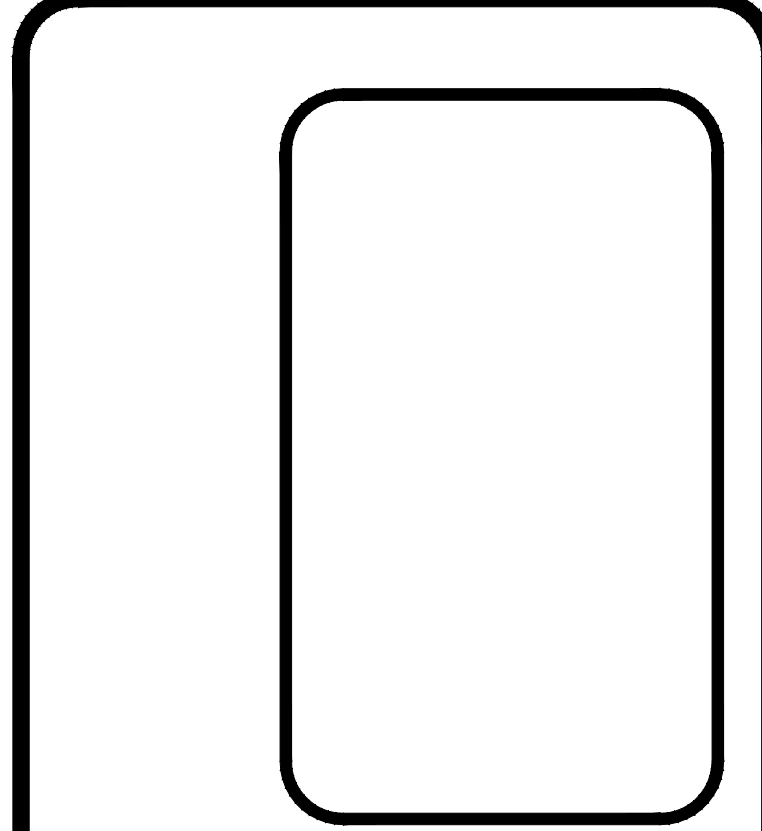


SCALE 1"=300'
 NOTE:
 1.) NO FIRE STATIONS PRESENT WITHIN 1/2 MILE OF THE DEVELOPING PARCEL.

1" = 300' 0 150 300 600 1200 1800 feet

PROPOSED MASTERPLAN REVISION
 ONE METRO CENTER
200' RADIUS/ VICINITY MAP
 FOR
 A.P. 278, LOT 145
 SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
 PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE



GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

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 the engineer/surveyor and have been
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 project at this site and are not to
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 location or owner without written
 consent of this owner or one of its
 directors.

JOB NO. 7468-00	DRAWN BY K.Y.Y.
DWG. NO. 7468-00-Vicinity Map.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: SEPTEMBER 25, 2023

SHEET
R-1
 2 OF 5 SHEETS

GENERAL CONSTRUCTION NOTES:

- AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
- SITWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT NOT LIMITED TO THE FOLLOWING:WARWICK MAJOR LAND DEVELOPMENT APPROVAL, RIDOT PHYSICAL ALTERNATION PERMIT, RIDEM STORMWATER CONSTRUCTION PERMIT AND WATER QUALITY CERTIFICATION, WARWICK WATER DEPARTMENT CONNECTION PERMIT & WARWICK SEWER AUTHORITY (WSA) CONNECTION PERMIT.
- ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)'. NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY (ROW) SHALL CONFORM TO THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION (AMENDED MARCH 2018) WITH ALL REVISIONS AND APPENDA. STANDARD DETAILS FOR THIS WORK ARE R.I. STANDARD DETAILS 1998 EDITION (AMENDED JUNE 2019) WITH ALL REVISIONS.
- THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS; HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTOR'S CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
- THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
- METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF WARWICK AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION, THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AS AMENDED, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
- THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
- ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
- AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
- NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
- ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
- ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 INCLUDING ALL REVISIONS.
- REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
- ALL CURB RADI ARE 3' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
- PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
- WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
- PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
- IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

SURVEY REFERENCE :

- THE EXISTING CONDITIONS INDICATED HEREON IS BASED ON SURVEY PLAN ENTITLED "EXISTING CONDITIONS PLAN, ONE METRO CENTER, ASSESSORS PLAT 278, LOT 145, WARWICK, RHODE ISLAND", PREPARED BY DIPRETE ENGINEERING (REF. DWG2625-007-A01-EXCO-SBMP-INHS-20230914, DATED SEPTEMBER 30, 2015, LAST REVISED 9/14/23). THE EXISTING CONDITIONS INDICATED HAVE BEEN AUGMENTED WITH THE ADDITION OF MISCELLANEOUS SITE FEATURES IDENTIFIED FROM GIS AND CURSORY SITE OBSERVATION.

GENERAL UTILITY NOTES:

- THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
- ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. THE CONTRACTOR SHALL REFER TO THE WARWICK WATER DEPARTMENT RULES & REGULATIONS FOR THE SERVICE INSTALLATION & EXTENSION REQUIREMENTS OF WATER LINES.
- THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
- BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
- THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
- COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
- IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
- DOMESTIC AND FIRE PROTECTION WATER SERVICE IS PROVIDED TO THE PROPERTY BY THE WARWICK WATER DEPARTMENT. THE ONSITE WATER SYSTEM ON THE PROPERTY IS PRIVATE WATER PIPING AND SHALL BE (AWWA C901) DR9 POLYETHYLENE OR TYPE K COPPER FOR 2" SERVICES OR SMALLER, OR CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS FOR 4" SERVICES OR LARGER. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE WARWICK WATER DEPARTMENT REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION.
- GATE VALVES SHALL BE CAST IRON BODY BRONZE MOUNTED, COMPLETE WITH ROAD BOX AND SHALL CONFORM TO THE WARWICK WATER DEPARTMENT REGULATIONS, STANDARDS AND SPECIFICATIONS.
- ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
- ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE WARWICK SEWER AUTHORITY (WSA) REGULATIONS, STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE CITY OF WARWICK AND APPROVED, PRIOR TO ISSUANCE OF A PERMIT TO CONNECT TO PUBLIC SEWER SYSTEM.
- SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINT UNLESS NOTED OTHERWISE. CLEANOUTS SHALL BE INSTALLED AT BUILDING FACINGS (REFER PLUMBING SCHEDULES FOR ALL WORK WITHIN THE BUILDING). NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
- SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE.
- WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE OR BE EITHER DUCTILE IRON OR C900 BLUE BRUTE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
- WHENEVER NEW SEWER LINES CONNECT TO EXISTING SEWER MANHOLES THE CONTRACTOR SHALL REBUILD THE EXISTING SEWER MANHOLE CHANNEL TO ACCOMMODATE THE NEW CONNECTION.
- STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H-20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS), HANCOCK PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS
- GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
- ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
- TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
- SITE LIGHTING ELEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A PHOTOMETRICS PLAN TO THE CITY OF WARWICK PRIOR TO CONSTRUCTION. THE PLAN SHALL MEET THE APPLICABLE REQUIREMENTS OF THE CITY OF WARWICK. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE INSTALLATION OF LIGHT POLE BASES IN LOCATIONS INDICATED. REFER TO SITE LIGHTING PLANS FOR INSTALLATION REQUIREMENTS.
- WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE SANDY LANE RIGHT OF WAY, THE TRENCH MUST BE BACKFILLED WITH FLOWABLE FILL. ALL AREAS OF ROADWAY PAVEMENT DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER THE CITY OF WARWICK AND STATE STANDARDS AND SPECIFICATIONS.

GENERAL DRAINAGE & GRADING NOTES:

- THE MAXIMUM RUNNING SLOPE ALONG ANY SIDEWALK SHALL BE 5%. THE MAXIMUM CROSS SLOPE ACROSS ANY SIDEWALK SHALL BE 2%. A MINIMUM 5'x5' LANDING SHALL BE PROVIDED IN FRONT OF ALL BUILDING ENTRANCES.
- ALL ADAAG PARKING SPACES AND LOADING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.
- CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ALL GRATES AND COVERS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
- CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
- ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE CITY OF PROVIDENCE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

STORMWATER SYSTEM MAINTENANCE NOTES:

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS:
(RESPONSIBILITY OF CONTRACTOR)

- SILT BARRIER:**
MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
 - PAVED AREAS:**
PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
 - CATCH BASINS:**
ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
 - DRAIN MANHOLES:**
DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
 - STORMWATER BMPS:**
NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPS UNTIL UPGRADIENT AREAS ARE STABILIZED.
- POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS:
(RESPONSIBILITY OF OWNER)
- PAVED AREAS:**
PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEPED CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR OR AS NECESSARY.
 - CATCH BASINS:**
ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY, FRAMES AND GRATES ARE NOT DAMAGED, AND OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
 - DRAIN MANHOLES:**
ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED.
 - STORMWATER MANAGEMENT FACILITIES - REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER.**

SITE LEGEND

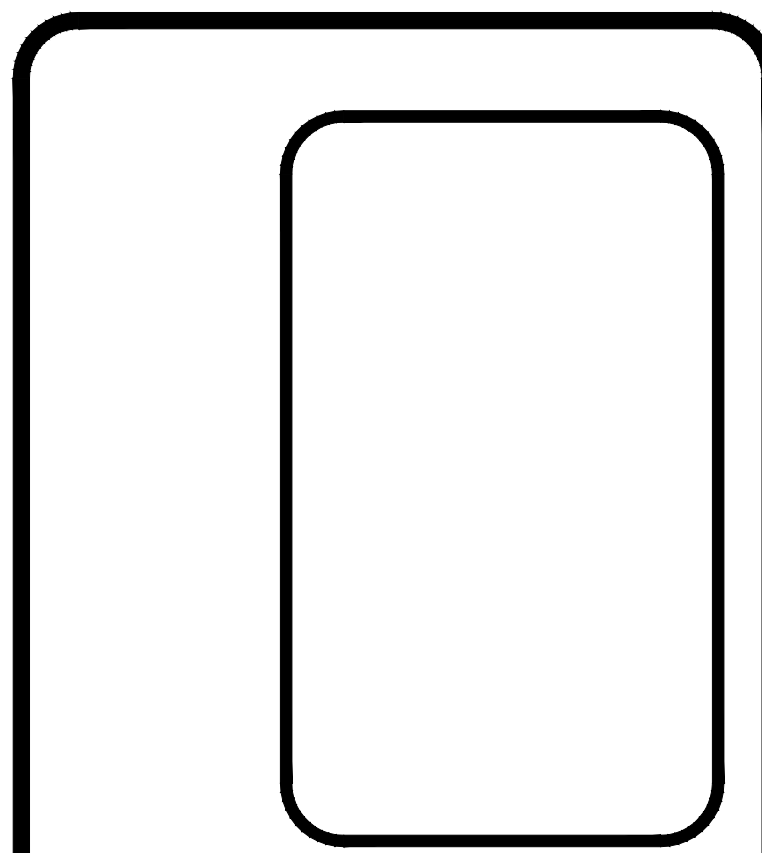
EXISTING	NEW	DESCRIPTION
		CENTERLINE (LAYOUT)
		STORM DRAIN
		ELECTRIC (UNDERGROUND)
		ROOF DRAIN
		GAS
		OVERHEAD WIRE
		PROPERTY LINE
		SANITARY SEWER
		FORCE MAIN
		TELEPHONE
		WATER
		CONTOUR
		SPOT GRADE
		CHAINLINK FENCE (CLF)
		STOCKADE FENCE (STKF)
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		CONCRETE THRUST BLOCK
		DRAIN MANHOLE
		FLARED END STRUCTURE
		SEWER MANHOLE
		WATER SERVICE
		UTILITY POLE
		FIRE HYDRANT
		GATE VALVE AND CURB BOX
		SIGN
		FIRE DEPARTMENT CONNECTION
		ELECTRIC MANHOLE (EMH)
		TELEPHONE MANHOLE (TMH)
		TRANSFORMER PAD
		GENERATOR PAD
		SIGHT LIGHT POLE
		TRAFFIC FLOW DIRECTION
		LIMIT OF DISTURBANCE
		COMPOST SILT SOCKS
		PAVEMENT SAWCUT & MATCH TO EXISTING

PROPOSED MASTERPLAN REVISION
ONE METRO CENTER

GENERAL NOTES & LEGEND

FOR
A.P. 278, LOT 145
SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE



GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, RI 02940
TEL. 401-273-6000

JOB NO. 7468-00	DRAWN BY K.Y.Y.
DWG. NO. 7468-00-Cover.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: SEPTEMBER 25, 2023

SHEET

C-1

3 OF 5 SHEETS

MATCH LINE

DEVELOPMENT SUMMARY

13 BUILDINGS, 78 UNITS

ZONING TABLE
A.P. 278, LOT 145
EX. ZONE: GATEWAY (1)

DESCRIPTION	REQUIRED	PROPOSED
MIN. LOT AREA	30,000 S.F.	±8.50 AC.
MAX. DENSITY (DU/AC)	N/A	-
MIN. LOT FRONTAGE	60'	>60'
MIN. LOT WIDTH	60'	>60'
MIN. FRONT YARD BUILDING SETBACK	10'	±12.7'
MIN. SIDE YARD BUILDING SETBACK	15'	±20.2'
MIN. REAR YARD BUILDING SETBACK	20'	±44.0'
MAX. BLDG HEIGHT	75'	<75'
MIN. LANDSCAPE AREA	10%	±64%

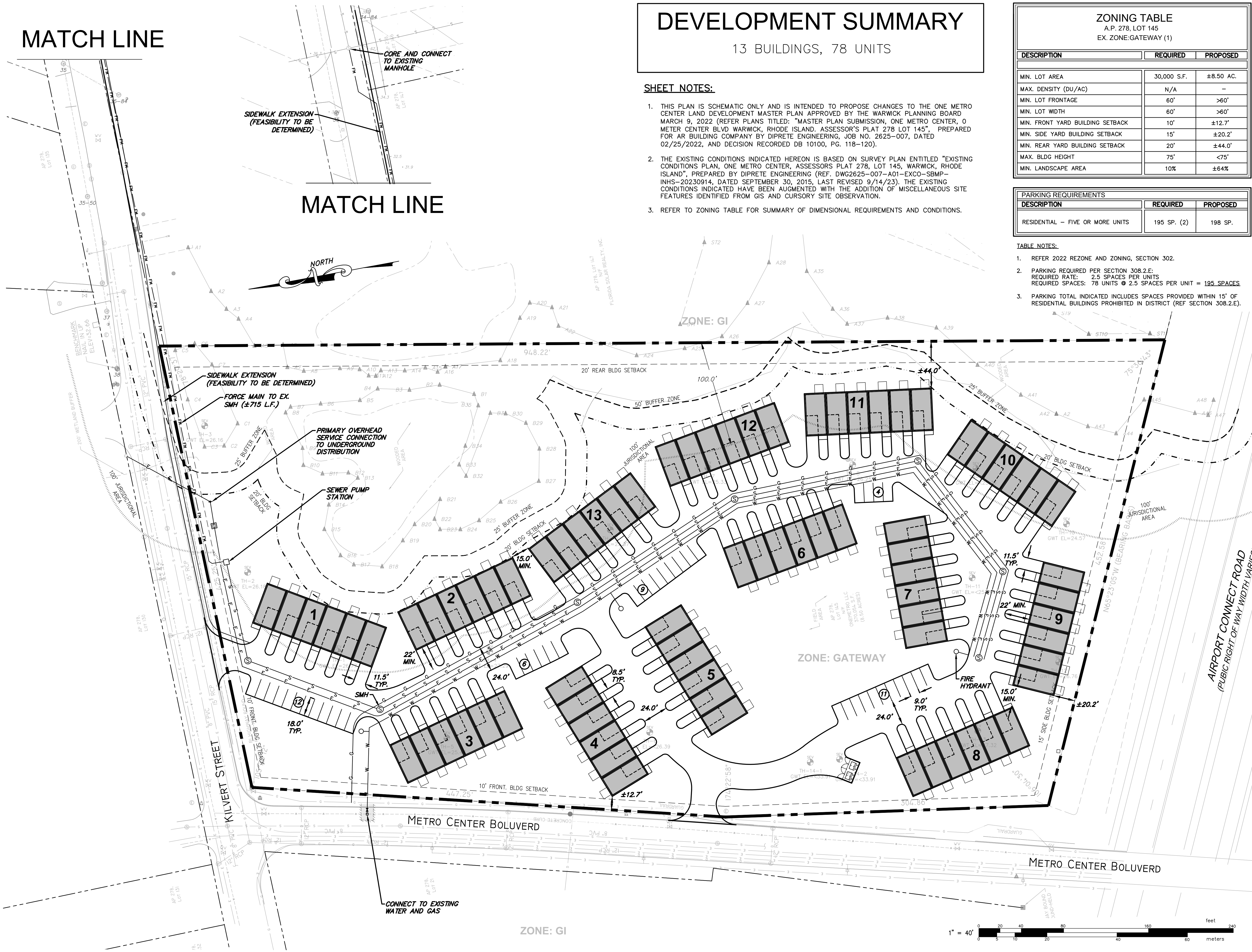
SHEET NOTES:

- THIS PLAN IS SCHEMATIC ONLY AND IS INTENDED TO PROPOSE CHANGES TO THE ONE METRO CENTER LAND DEVELOPMENT MASTER PLAN APPROVED BY THE WARWICK PLANNING BOARD MARCH 9, 2022 (REFER PLANS TITLED: "MASTER PLAN SUBMISSION, ONE METRO CENTER, 0 METER CENTER BLVD WARWICK, RHODE ISLAND, ASSESSOR'S PLAT 278 LOT 145", PREPARED FOR AR BUILDING COMPANY BY DIPRETE ENGINEERING, JOB NO. 2625-007, DATED 02/25/2022, AND DECISION RECORDED DB 10100, PG. 118-120).
- THE EXISTING CONDITIONS INDICATED HEREON IS BASED ON SURVEY PLAN ENTITLED "EXISTING CONDITIONS PLAN, ONE METRO CENTER, ASSESSOR'S PLAT 278, LOT 145, WARWICK, RHODE ISLAND", PREPARED BY DIPRETE ENGINEERING (REF. DWG2625-007-A01-EXCO-SBMP-INHS-20230914, DATED SEPTEMBER 30, 2015, LAST REVISED 9/14/23). THE EXISTING CONDITIONS INDICATED HAVE BEEN AUGMENTED WITH THE ADDITION OF MISCELLANEOUS SITE FEATURES IDENTIFIED FROM GIS AND CURSORY SITE OBSERVATION.
- REFER TO ZONING TABLE FOR SUMMARY OF DIMENSIONAL REQUIREMENTS AND CONDITIONS.

PARKING REQUIREMENTS		
DESCRIPTION	REQUIRED	PROPOSED
RESIDENTIAL - FIVE OR MORE UNITS	195 SP. (2)	198 SP.

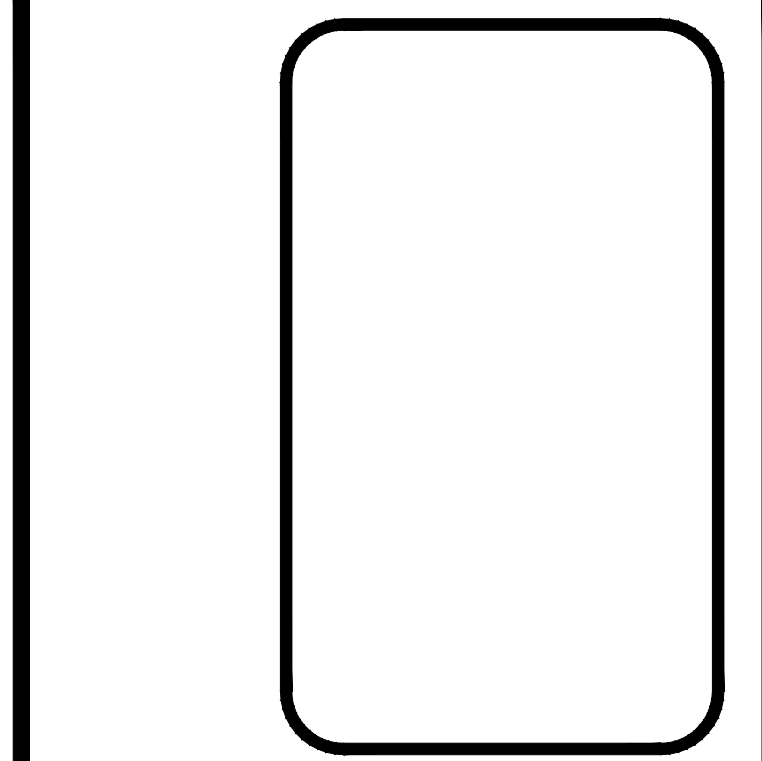
TABLE NOTES:

- REFER 2022 REZONE AND ZONING, SECTION 302.
- PARKING REQUIRED PER SECTION 308.2.E:
REQUIRED RATE: 2.5 SPACES PER UNITS
REQUIRED SPACES: 78 UNITS @ 2.5 SPACES PER UNIT = 195 SPACES
- PARKING TOTAL INDICATED INCLUDES SPACES PROVIDED WITHIN 15' OF RESIDENTIAL BUILDINGS PROHIBITED IN DISTRICT (REF SECTION 308.2.E).



PROPOSED MASTERPLAN REVISION
ONE METRO CENTER
SITE LAYOUT PLAN
FOR
A.P. 278, LOT 145
SITUATED AT
**ONE METRO CENTER BLVD
WARWICK, RI**
PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE
1	18' UNITS	KYY	05/19/23
2	GENERAL LAYOUT UPDATE	KYY	08/03/23
3	UPDATED WETLAND BUFFER	KYY	08/25/23
4	GENERAL SITE MOD.	KYY	09/18/23
5	MASTER PLAN	KYY	09/26/23



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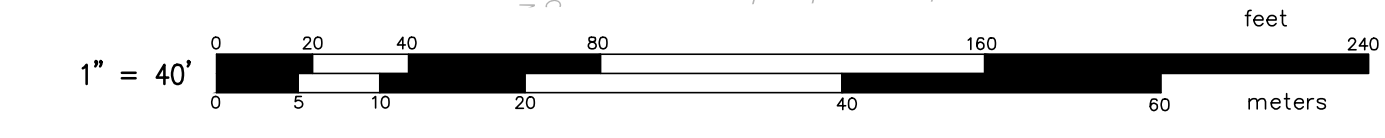
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JOB NO. 7468-00	DRAWN BY K.Y.Y.
DWG. NO. 7468-00-MP.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: SEPTEMBER 25, 2023

SHEET
MP-1
4 OF 5 SHEETS

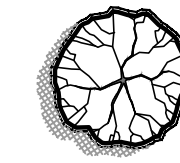
L:\7468-00_1 Metro Center (Caterpillar Builders) - Warwick, RI\Map\01-Current\Master Plans\Draws\7468-00-MP.dwg 09/26/2023 kyipeng 09:58



MATCH LINE

MATCH LINE

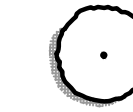
PLANT LIST:



CANOPY TREE:

SCIENTIFIC NAME:
ACRE RUBRUM 'FRANKSRED'
GLEDTISIA TR. 'INTERMIS 'SKYCOLE'
TILIA CORDATA

COMMON NAME:
RED SUNSET SWAMP MAPLE
SKYLINE HONEY LOCUST
LITTLELEAF LINDEN



FLOWERING TREE:

SCIENTIFIC NAME:
AMELANCHIER 'AUTUMN BRILLIANCE'
PRUNUS SERRULATA 'MOUNT FUJI'

COMMON NAME:
AUTUMN BRILLIANCE SHADBLOW
MT. FUJI FLOWERING CHERRY



EVERGREEN TREE:

SCIENTIFIC NAME:
JUNIPERUS SCOPULORUM 'MOONGLOW'
JUNIPERUS VIRGINIANA
PINUS STROBUS
THUJA PLICATA

COMMON NAME:
MOONGLOW JUNIPER
EASTERN RED CEDAR
EASTERN WHITE PINE
WESTERN RED CEDAR

SHRUBS, PERENNIAL & GROUND COVER :

SCIENTIFIC NAME:
AZLEA 'DELAWARE VALLEY WHITE'
BUXUS MICRO. 'GREEN WINTER GREEN'
ILEX GLABRA 'COMPACTA'
ROSA KNOCK OUT PINK
RUDBECKIA HIRTA
PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'
JUNIPERUS CONFERTA 'BLUE PACIFIC'
HEMEROCALLIS 'JOAN SENIOR'

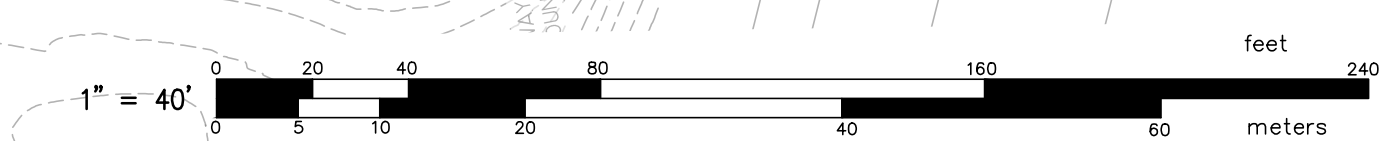
COMMON NAME:
WHITE AZALEA
WINTER GEM BOXWOOD
COMPACT INKBERRY HOLLY
KNOCK OUT PINK ROSE
BLACK EYED SUSAN'S
LITTLE BUNNY FOUNTAIN GRASS
SHORE JUNIPER
JOAN SENIOR DAYLILY

LANDSCAPE REQUIREMENTS

ITEM	REQUIRED	PROPOSED
LANDSCAPE AREA	± 37,005 S.F. (10%)	236,966± S.F. (64%)

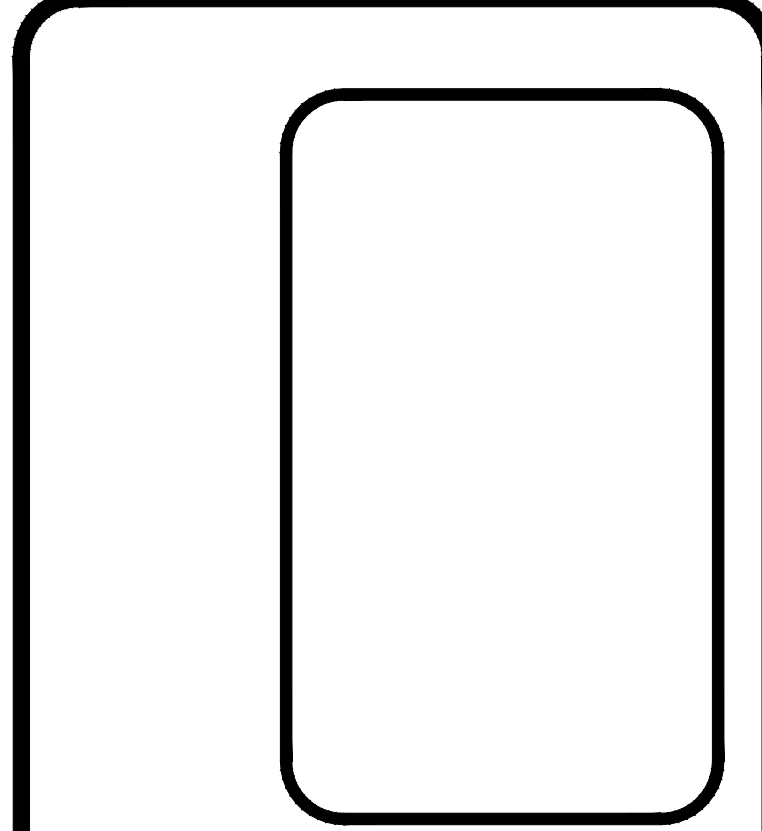
NOTES:

1. REQUIRED LANDSCAPING (10% DEVELOPMENT PARCEL)
LOT AREA x 15% = 370,054± S.F. x 0.10 = 37,005± S.F.
PROVIDED LANDSCAPE AREA = 236,966 ± S.F.



PROPOSED MASTERPLAN REVISION
ONE METRO CENTER
CONCEPTUAL LANDSCAPE PLAN
FOR
A.P. 278, LOT 145
SITUATED AT
ONE METRO CENTER BLVD
WARWICK, RI
PREPARED FOR
HILLSGROVE HOMES LLC

NO.	REVISION	BY	DATE



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GAROFALO & ASSOCIATES, INC.
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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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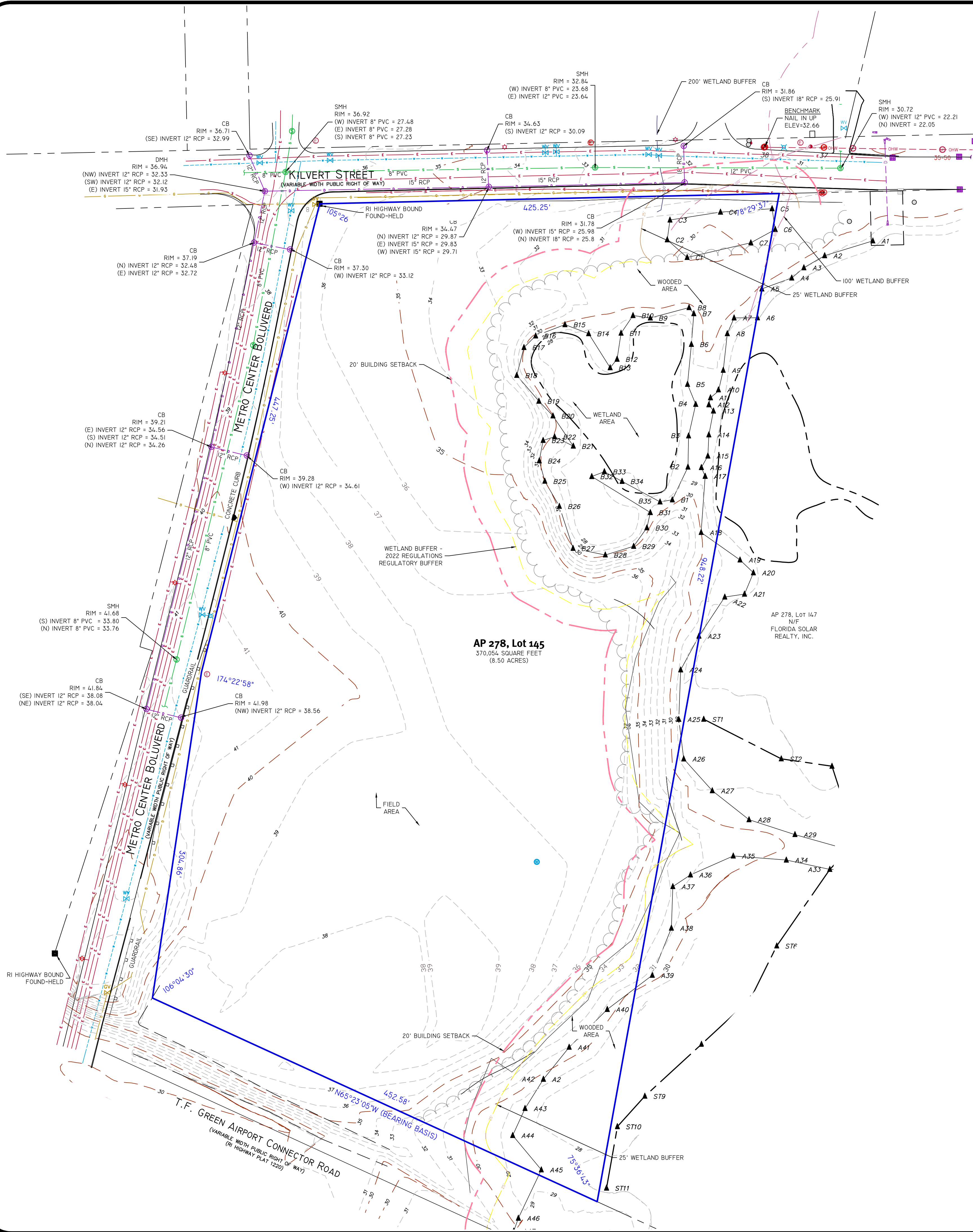
JOB NO. 7468-00
DWG. NO. 7486-00-MP.dwg
SCALE: AS SHOWN

DRAWN BY K.Y.Y.
CHECK BY S.S.H.
APPROVED S.S.H.
DATE: SEPTEMBER 25, 2023

SHEET
MP-2
5 OF 5 SHEETS

L:\7468-00_1 Metro Center (Caterpillar Building) - Warwick, RI\Map\01-Current\Master Plans\Draws\7468-00-MP.dwg 09/26/2023 kykyang 10:06

Z:\BENHAN\PROJECTS\2625-007 ONE METRO CENTER BOULEVARD\AUTOCAD DRAWINGS\2625-007-ADJ-EXC-2022.DWG PLOTTED: 9/14/2023



LEGEND

—	WATER LINE	123/1234	DEED BOOK/PAGE	●	BOLLARD
—	SEWER LINE	AP	ASSESSOR'S PLAT	○	SOIL EVALUATION
—	SEWER FORCE MAIN	HC	HANDICAPPED	○	CATCH BASIN
—	GAS LINE	N/F	NOW OR FORMERLY	○	DOUBLE CATCH BASIN
—	ELECTRIC LINE	LC	LANDSCAPING	○	WATER VALVE
—	OVERHEAD WIRES	(R)	RECORD	○	GAS VALVE
—	DRAINAGE LINE	(CA)	CHORD ANGLE	▲	WETLAND FLAG
—	MINOR CONTOUR LINE	▲	NAIL/SPIKE	○	DRAINAGE MANHOLE
—	MAJOR CONTOUR LINE	●	DRILL HOLE	○	FLARED END SECTION
—	PROPERTY LINE	○	IRON ROD/PIPE	○	GUY POLE
—	ASSESSORS LINE	○	BOUND	○	ELECTRIC MANHOLE
—	TREELINE	○	SIGN POST	○	UTILITY/POWER POLE
—	GUARDRAIL	○	SEWER MANHOLE	○	LIGHTPOST
—	FENCE	○	SEWER CLEANOUT	○	WELL
—	RETAINING WALL	○	HYDRANT	○	MONITORING WELL
—	STONE WALL	○	IRRIGATION VALVE	○	BENCH MARK
—		○	UNKNOWN MANHOLE	○	TREE



- GENERAL NOTES**
- THE PARCEL IS FOUND ON ASSESSOR'S PLAT 278 LOT 145 IN THE CITY OF WARWICK, KENT COUNTY, RHODE ISLAND.
 - THE OWNER PER DEED BOOK 8904, PAGE 115 IS ONEMETRO, LLC.
 - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, AND X SHADED. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44030C0127H, MAP REVISED OCTOBER 2, 2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
 - THE PARCEL IS ZONED G1 BASED ON THE ASSESSOR'S ONLINE DATABASE. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
 - THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
 - FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING IN AUGUST AND SEPTEMBER, 2015 AND APRIL AND OCTOBER 2022. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
 - ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
 - THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
 - WETLAND LOCATIONS SHOWN BASED ON FIELD SURVEY BY DIPRETE ENGINEERING. WETLAND FLAGS WERE DELINEATED BY LEC ENVIRONMENTAL CONSULTANTS, INC.
 - CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

- PLAN REFERENCES:**
- "FINAL RECORD PLAN MINOR SUBDIVISION PLAN 745 JEFFERSON BOULEVARD PLAT AP 277 LOTS 1 & 3 AND AP 278 LOTS 4 & 115 WARWICK, RHODE ISLAND" BY DIPRETE ENGINEERING FOR WHIPPLE, METCALF AND BARNES, LLC 3675 S. RAINBOW BOULEVARD, SUITE 107-659, LAS VEGAS, NV 89103 SCALE: 1"=200' DATED SEPTEMBER 24, 2013.

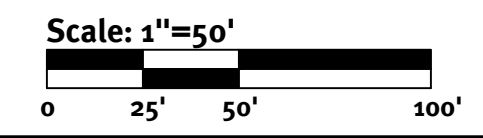
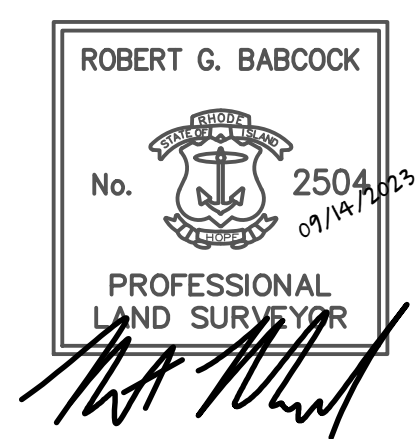
- UTILITY NOTES**
- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C, AS DEFINED IN CIVASCE STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
 - ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
 - PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
 - DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

SURVEYOR'S CERTIFICATE

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- COMPREHENSIVE BOUNDARY SURVEY CLASS I
- TOPOGRAPHIC SURVEY CLASS T-4

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: PERIMETER RETRACEMENT WITH TOPOGRAPHY FOR SITE ENGINEERING AND PERMITTING.



DIPRETE ENGINEERING

Two Stafford Court, Cranston, RI 02920
tel:401-943-1000 fax:401-664-6006 www.diprete-eng.com

Boston • Providence • Newport

NO.	DATE	DESCRIPTION	BY:
1	09-14-2023	WETLAND BUFFER ADDED	J.L.S.
2	08-30-2023	C-SERIES WETLAND FLAG ADDED	J.L.S.
3	11-17-2022	EXISTING CONDITIONS PLAN	J.L.S.
4	09-20-2022	EXISTING CONDITIONS PLAN	J.L.S.
5	09-20-2022	EXISTING CONDITIONS PLAN	J.L.S.
6	09-20-2022	EXISTING CONDITIONS PLAN	J.L.S.
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99	09-20-2022	EXISTING CONDITIONS PLAN	J.L.S.
100	09-20-2022	EXISTING CONDITIONS PLAN	J.L.S.

Existing Conditions Plan

ONE METRO CENTER
ASSESSOR'S PLAT 278 LOT 145
WARWICK, RHODE ISLAND

PREPARED FOR:
MICHAEL INTEGLIA & COMPANY
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