

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

1. THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - "ALTANSPS LAND TITLE SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JULY 10, 2020 AND LAST REVISED OCTOBER 22, 2020.
 - "FOUNDATION ENGINEERING STUDY", PREPARED BY ATC GROUP SERVICES, LLC, DATED SEPTEMBER 25, 2020.

PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.

2. ALL ACCESSIBLE (AKA ADA) PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.

3. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES.

4. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.

5. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND CONDITIONS OF APPROVAL, AND ALL APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL ENTITIES WITH JURISDICTION OVER THIS PROJECT.

6. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL PREVAIL OVER ANY OTHERS ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORTS AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER WORK.

7. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.

8. ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE RE-DOED OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH ADDITIONAL WORK.

9. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.

10. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE ENTIRE SITE PLAN AND THE LATEST ARCHITECTURAL/BUILDING PLANS "OF RECORD". ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN, WHERE APPLICABLE, CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER, ARCHITECT AND SITE ENGINEER, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.

11. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.

12. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.

13. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES, PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.

14. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE, BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, RE-PERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL, INTERCOMING CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION EQUIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION, AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS, RULES, REGULATIONS AND REQUIREMENTS. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.

15. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.

16. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE CONSTRUCTION MEAN, METHODS, TECHNIQUES OR PROCEDURES FOR COMPLETION OF THE WORKS SHOWN ON THESE PLANS, AND FOR ANY CONFLICTS OR DISCREPANCIES WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.

17. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY, SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES, AT ANY TIME.

18. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKERS COMPENSATION INSURANCE, EMPLOYERS LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (GL). ALL CONTRACTORS MUST HAVE THEIR GL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSURED AND TO PROVIDE CONTRACTUAL LIABILITY TO BE SUFFICIENT TO COVER THE BUSINESS AND OPERATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, INJURIES, CLAIMS, PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LATEST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.

19. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHOD CHECKING OR CONFORMANCE, COORDINATION OF THE MEANS AND METHODS, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. BOHLER ENGINEERING HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY REPORTED TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.

20. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING AND SUPERVISING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE WITH ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE IN NOTE 19 FOR JOB SITE SAFETY.

21. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS, ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND, INDEMNIFY AND HOLD HARMLESS THE ENGINEER, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, IN ACCORDANCE WITH PARAGRAPH 19 HEREIN, FOR AND FROM ALL FEES, ATTORNEY'S FEES, DAMAGES, COSTS, JUDICIAL PENALTIES AND THE LIKE RELATED TO SAME.

22. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTORS PRICE.

23. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED SUPPLEMENT.

24. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

25. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLANS) AND DESIGN, AND FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE ANY PHYSICAL SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

26. ALL DIMENSIONS MUST BE TO FACE OF CURB, EDGE OF PAVEMENT, OR EDGE OF BUILDING, UNLESS NOTED OTHERWISE.

27. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH CONFORMANCE TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.

28. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTRUCTIONS. CONTRACTOR AND OWNER SHALL DO SO TO THE EXTENT OF THEIR KNOWLEDGE AND SKILLS AND TO THE EXTENT OF THEIR REASONABLE DILIGENCE AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.

29. CONTRACTOR IS RESPONSIBLE TO MAINTAIN ON-SITE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) IN COMPLIANCE WITH EPA REQUIREMENTS FOR SITES WHERE ONE (1) ACRE OR MORE (UNLESS THE LOCAL JURISDICTION REQUIRES FEWER) IS DISTURBED BY CONSTRUCTION ACTIVITIES. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL ACTIVITIES, INCLUDING THOSE OF SUBCONTRACTORS, ARE IN COMPLIANCE WITH THE SWPPP, INCLUDING BUT NOT LIMITED TO LOGGING ACTIVITIES (MINIMUM ONCE PER WEEK AND AFTER RAINFALL EVENTS) AND CORRECTIVE MEASURES, AS APPROPRIATE.

30. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER, THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED.

GENERAL GRADING & UTILITY PLAN NOTES

1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION. SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED, IN WRITING, TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PIT PRIOR TO COMMENCEMENT OF CONSTRUCTION.

2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE, WHICHEVER IS GREATER. THE CONTRACTOR MUST USE, REFER TO, AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER. CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.

3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION. SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES, REGULATIONS, LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD, IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.

4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE ACTIVITY.

5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.

7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GRADE, TRAP REQUIREMENTS, SLOPES, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY INS CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE SITE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.

8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS AND APPURTENANCES REQUIRED BY THE UTILITY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE MUNICIPALITY TO CONFIRM THE PROPER WATER METER AND VAULT, PRIOR TO COMMENCING CONSTRUCTION.

9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.

10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTOR REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS BEING PERFORMED. ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED MUST BE COMPACTED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS, CURB, OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT. EARTHWORK ACTIVITIES INCLUDING, BUT NOT LIMITED TO, EXCAVATION, BACKFILL, AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. EARTHWORK ACTIVITIES MUST COMPLY WITH THE STANDARD STATE DOT SPECIFICATIONS FOR ROADWAY CONSTRUCTION (LATEST EDITION) AND ANY AMENDMENTS OR REVISIONS THERETO.

11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACT MUST BE AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL. FURTHER, CONTRACTOR IS FULLY RESPONSIBLE FOR EARTHWORK BALANCE.

12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING PROCEDURES.

13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR JOINT BUITS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.

14. THE TOPS OF EXISTING MANHOLES, INLET STRUCTURES, AND SANITARY CLEANOUT TOPS MUST BE ADJUSTED, AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.

15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.

16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE CONTRACTOR MUST EXTEND ALL LINES INCLUDING, BUT NOT LIMITED TO, CURBS, SIDEWALKS AND INLET STRUCTURES TO THE PROPERTY BOUNDARY. THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP DENS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THE DRAINAGE OR UTILITY PLAN, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.

17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS OR EXISTING TOPOGRAPHY LIMIT GRADATIONS), TO PREVENT PONDING. CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, ANY DISCREPANCIES THAT MAY OCCUR OR AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, MUST BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAID INDEMNIFY.

18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 1/4" GUTTER GRADE ABOVE CURB FACE. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

19. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.

20. CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING WORK ANY WORK.

21. WHERE RETAINING WALLS (WHETHER OR NOT THEY MEET THE JURISDICTIONAL DEFINITION) ARE IDENTIFIED ON PLANS, ELEVATIONS IDENTIFIED ARE FOR THE EXPOSED PORTION OF THE WALL. WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS.

22. STORM DRAINAGE PIPE UNLESS INDICATED OTHERWISE, ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH SILT TIGHT JOINTS. WHEN HOAR PIPE (HDP) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO ASHRAE 105 AND TO TYPE 3 (SMOOTH INTERIOR WITH STANDARD RIGID CORRUGATIONS) WITH GASKET FOR SILT TIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.

23. SANITARY SEWER PIPE MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERAL MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED, IN WRITING, OTHERWISE.

24. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL AND MEASURED CENTER OF INLET AND/OR MANHOLES STRUCTURE TO CENTER OF STRUCTURE.

25. STORMWATER ROOF DRAIN LOCATIONS ARE BASED ON PRELIMINARY ARCHITECTURAL PLANS. CONTRACTOR IS RESPONSIBLE FOR AND FOR VERIFYING LOCATIONS OF SAME BASED ON FINAL ARCHITECTURAL PLANS.

26. SEWERS CROSSING STREAMS AND/OR LOCATION WITHIN 10 FEET OF THE STREAM EMBANKMENT, OR WHERE SITE CONDITIONS SO INDICATE, MUST BE CONSTRUCTED OF STEEL, REINFORCED CONCRETE, DUCTILE IRON OR OTHER SUITABLE MATERIAL.

SEWERS CARRYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER SAME.

27. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION, ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.

28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER PURVEYOR. IN THE ABSENCE OF SUCH REQUIREMENTS, WATER MAIN PIPING MUST BE CEMENT-LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.

29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER, WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.

30. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND THEREIN, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE PROPERTY.

GENERAL DEMOLITION NOTES

1. THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:

- "ALTANSPS LAND TITLE SURVEY", PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JULY 10, 2020 AND LAST REVISED OCTOBER 22, 2020.
- "FOUNDATION ENGINEERING STUDY", PREPARED BY ATC GROUP SERVICES, LLC, DATED SEPTEMBER 25, 2020.

2. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.

3. BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.

4. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY. REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

5. CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REGULATIONS, STATUTES, ORDINANCES AND CODES.

6. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR TO:

A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES WITH JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK, AND DEMOLITION WORK.

B. NOTIFYING, AT A MINIMUM, THE MUNICIPAL ENGINEER, DESIGN ENGINEER, AND LOCAL SOIL CONSERVATION DISTRICT, 72 HOURS PRIOR TO THE START OF WORK.

C. INSTALLING THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL, MEASURES PRIOR TO SITE DISTURBANCE.

D. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR MUST CALL THE STATE ONE-CALL DAMAGE PROTECTION SYSTEM FOR UTILITY MARKOUT, IN ADVANCE OF ANY EXCAVATION. (1-888-344-7233)

E. LOCATING AND PROTECTING ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN AND ADJACENT TO THE LIMITS OF PROJECT ACTIVITIES. THE CONTRACTOR MUST USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.

F. PROTECTING AND MAINTAINING IN OPERATION, ALL ACTIVE UTILITIES AND SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.

G. ARRANGING FOR AND COORDINATING WITH THE APPLICABLE UTILITY SERVICE PROVIDERS) FOR THE TEMPORARY OR PERMANENT TERMINATION OF SERVICE BETWEEN THE SITE AND THE ADJACENT EXISTING UTILITIES AND SERVICES. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTIONAL AND UTILITY COMPANY REQUIREMENTS.

H. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES. WORK REQUIRED TO BE DONE "OFF-PEAK" IS TO BE DONE AT NO ADDITIONAL COST TO THE OWNER.

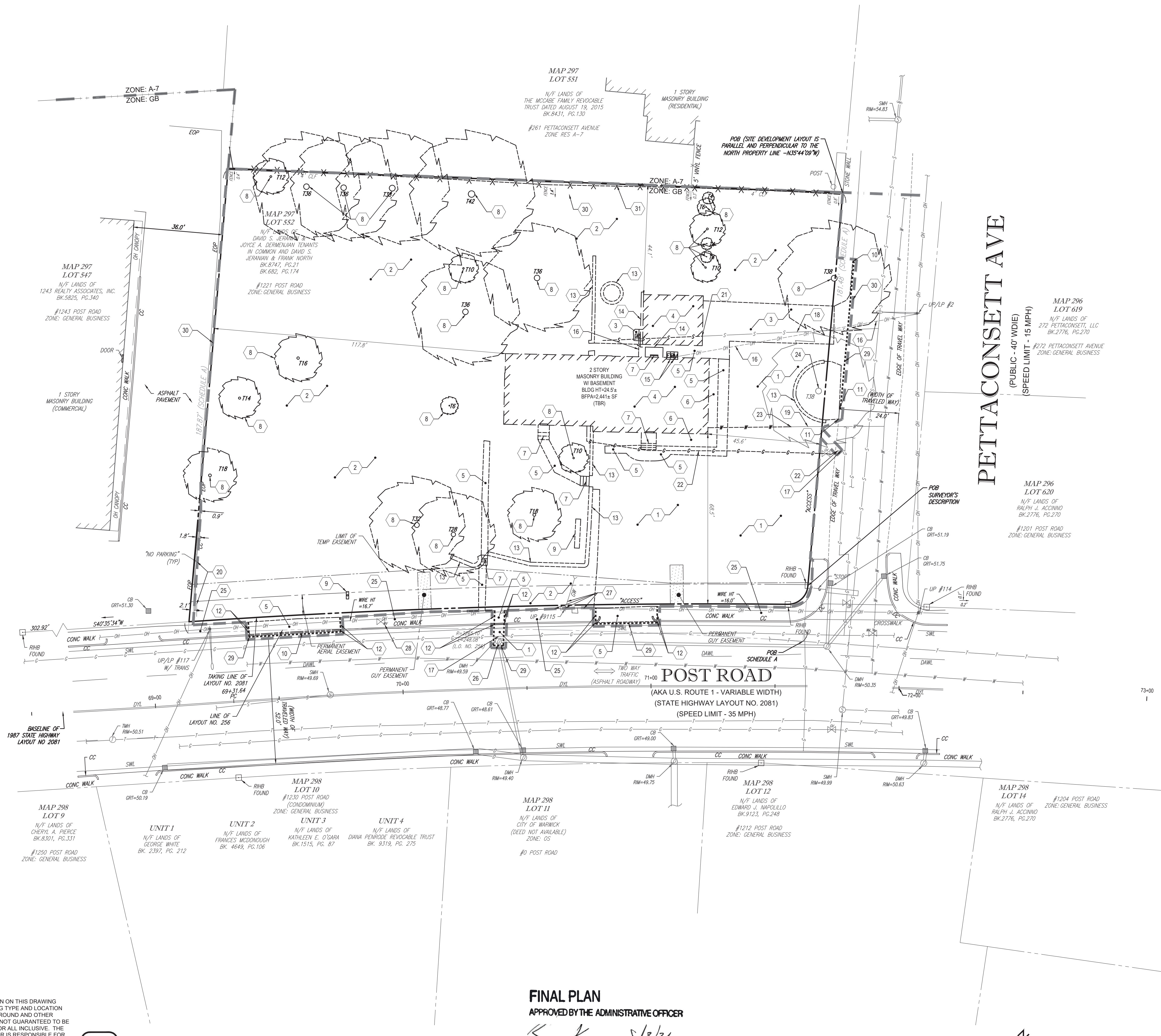
I. IN THE EVENT THE CONTRACTOR DISCOVERS ANY HAZARDOUS MATERIAL, THE REMOVAL OF WHICH IS NOT ADDRESSED IN THE PROJECT PLANS AND SPECIFICATIONS, THE CONTRACTOR MUST IMMEDIATELY CEASE ALL WORK AND IMMEDIATELY NOTIFY THE OWNER AND ENGINEER OF THE DISCOVERY OF SUCH MATERIALS.

7. THE FIRM OR ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY OR SUPERVISION. CONTRACTOR MUST PROCEED WITH THE DEMOLITION IN A SYSTEMATIC AND SAFE MANNER, FOLLOWING ALL THE OSHA REQUIREMENTS, TO ENSURE PUBLIC AND CONTRACTOR SAFETY.

8. THE CONTRACTOR MUST PROVIDE ALL "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE. THE CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN. THE CONTRACTOR MUST USE NEW MATERIAL FOR ALL REPAIRS. CONTRACTORS SHALL BE RESPONSIBLE FOR THE RESTORATION OF ANY ITEMS REPAIRED TO THE PRE-DEMOLITION CONDITION, OR BETTER. CONTRACTOR SHALL PERFORM ALL REPAIRS AT THE CONTRACTOR'S SOLE EXPENSE.

9. THE CONTRACTOR MUST NOT PERFORM ANY EARTH MOVEMENT ACTIVITIES, DEMOLITION OR REMOVAL OF FOUNDATION WALLS, FOOTINGS, OR OTHER MATERIALS WITHIN THE TRENCHES AND AREAS TO BE EXCAVATED AND

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GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- C. REMOVE ALL EXISTING SITE CONSTRUCTION AND DELETERIOUS MATERIALS UNLESS OTHERWISE NOTED.
- D. ALL DEMOLITION MATERIALS SHALL BECOME PROPERTY OF CONTRACTOR FOR PROPER DISPOSAL UNLESS OTHERWISE NOTED.
- E. ALL SURVEY MONUMENTS SHALL BE PROTECTED THROUGHOUT THE COMPLETION OF CONSTRUCTION. SHOULD ANY MONUMENTS BE DISTURBED, THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PROPERLY REINSTALL THE MONUMENTATION BY A QUALIFIED PROFESSIONAL.
- F. ALL SURVEY MONUMENTATION MUST BE PROTECTED THROUGHOUT THE COMPLETION OF CONSTRUCTION. SHOULD ANY MONUMENTATION BE DISTURBED, THE PROPERTY OWNER SHALL BE RESPONSIBLE TO PROPERLY REINSTALL THE MONUMENTATION BY A QUALIFIED PROFESSIONAL.

KEY NOTES

- 1 EXIST. ASPHALT PAVEMENT (TO BE REMOVED)
- 2 EXIST. GRASS AREA (TO BE REMOVED)
- 3 EXIST. CONCRETE MAT (TO BE REMOVED)
- 4 EXIST. BUILDING (TO BE REMOVED)
- 5 EXIST. SIDEWALK (TO BE REMOVED)
- 6 EXIST. LANDSCAPED AREA (TO BE REMOVED)
- 7 EXIST. STEPS (TO BE REMOVED)
- 8 EXIST. TREE (TO BE REMOVED)
- 9 EXIST. SIGN (TO BE REMOVED)
- 10 EXIST. CONCRETE CURB (TO BE REMOVED)
- 11 LIMIT OF EXIST. ASPHALT PAVEMENT (TO BE REMOVED)
- 12 LIMIT OF EXIST. CONCRETE CURB AND SIDEWALK (TO BE REMOVED)
- 13 EXIST. WALL (TO BE REMOVED)
- 14 EXIST. CANOPY (TO BE REMOVED)
- 15 EXIST. ELEC. METER (TO BE REMOVED PER UTILITY COMPANY REQUIREMENTS)
- 16 EXIST. ELEC. (TO BE REMOVED PER UTILITY COMPANY REQUIREMENTS)
- 17 EXIST. GAS (TO REMAIN AND BE PROTECTED)
- 18 EXIST. SEWER (TO REMAIN AND BE PROTECTED)
- 19 EXIST. WATER (TO REMAIN AND BE PROTECTED)
- 20 EXIST. SIGN (TO REMAIN AND BE PROTECTED)
- 21 EXIST. SEWER (TO BE REMOVED)
- 22 EXIST. GAS (TO BE REMOVED)
- 23 EXIST. WATER (TO BE REMOVED)
- 24 EXIST. TREE (TO REMAIN AND BE PROTECTED)
- 25 EXIST. CONC. SIDEWALK AND CURB (TO REMAIN AND BE PROTECTED)
- 26 EXIST. DRAINAGE (TO REMAIN AND BE PROTECTED)
- 27 EXIST. UTILITY POLE, GUY WIRE AND OHW (TO REMAIN AND BE PROTECTED)
- 28 EXIST. WATER VALVE (TO REMAIN AND BE PROTECTED)
- 29 APPROX. SAWCUT LINE
- 30 APPROX. LIMIT OF WORK
- 31 EXIST. CHAIN LINK FENCE (TO BE REMOVED)

ENVIRONMENTAL GENERAL NOTES

- A. AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- B. IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- EXISTING CONDITIONS TO REMAIN.
 - - - EXISTING CONDITIONS TO BE REMOVED.

PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES
- THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY



PROJECT No.: W201149 SCALE: AS NOTED
 DRAWN BY / CHECKED BY: NDRM CAD I.D.: W201149ss0

JOSHUA G. SWERLING
 REGISTERED PROFESSIONAL ENGINEER
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PROJECT:
NEW O'REILLY AUTO PARTS STORE
1221 POST ROAD
WARWICK, RI #2
SITE DEMOLITION PLAN

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM # 4503
 DATE: 12-18-2020
 REVISION DATE: 04-27-2021
 07-02-2021

D1.1



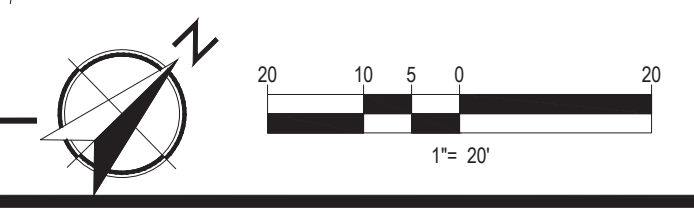
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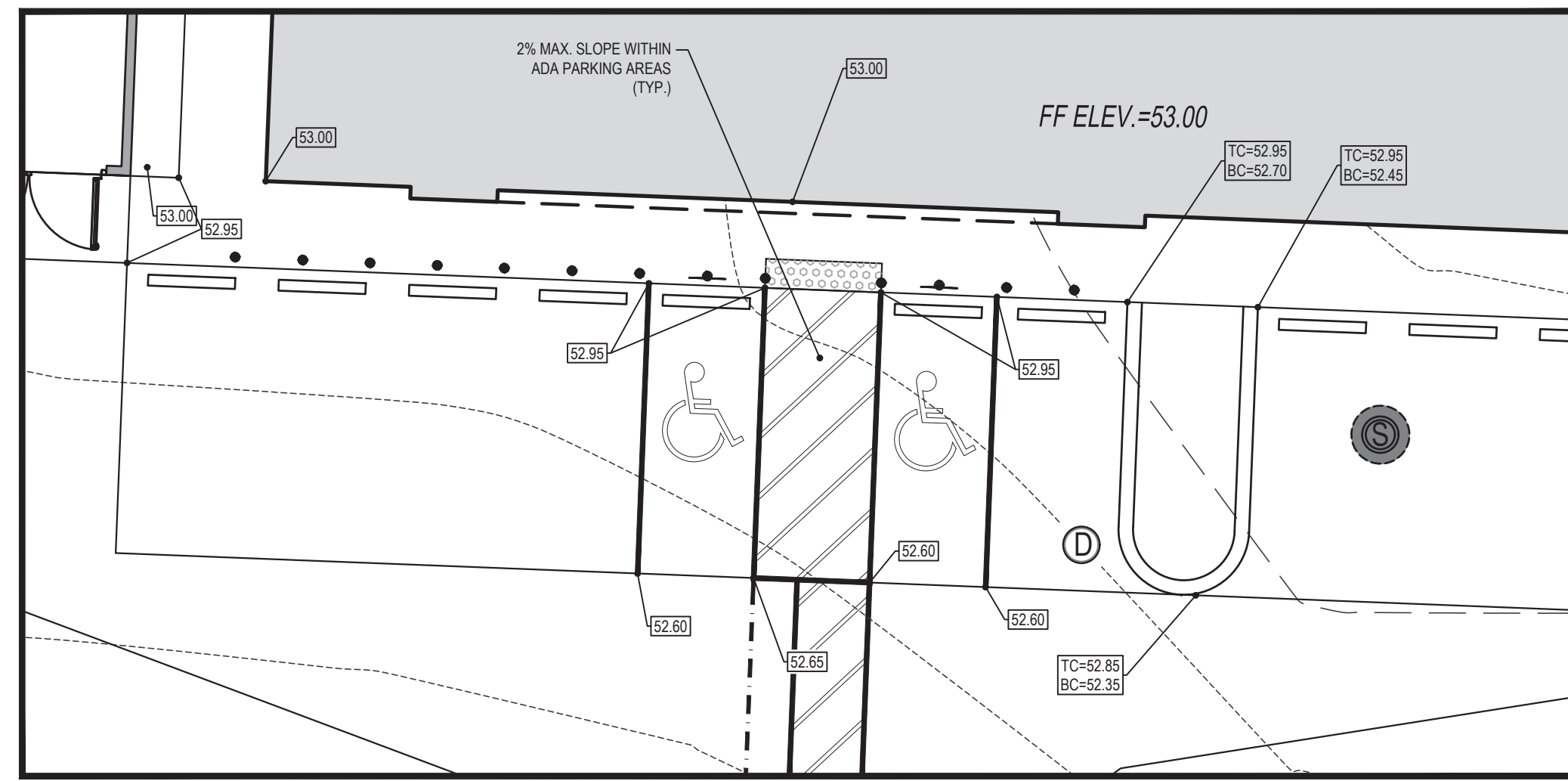
CAUTION: INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

1 SITE DEMOLITION PLAN
D1.1 SCALE: 1" = 20'-0"

FINAL PLAN
 APPROVED BY THE ADMINISTRATIVE OFFICER

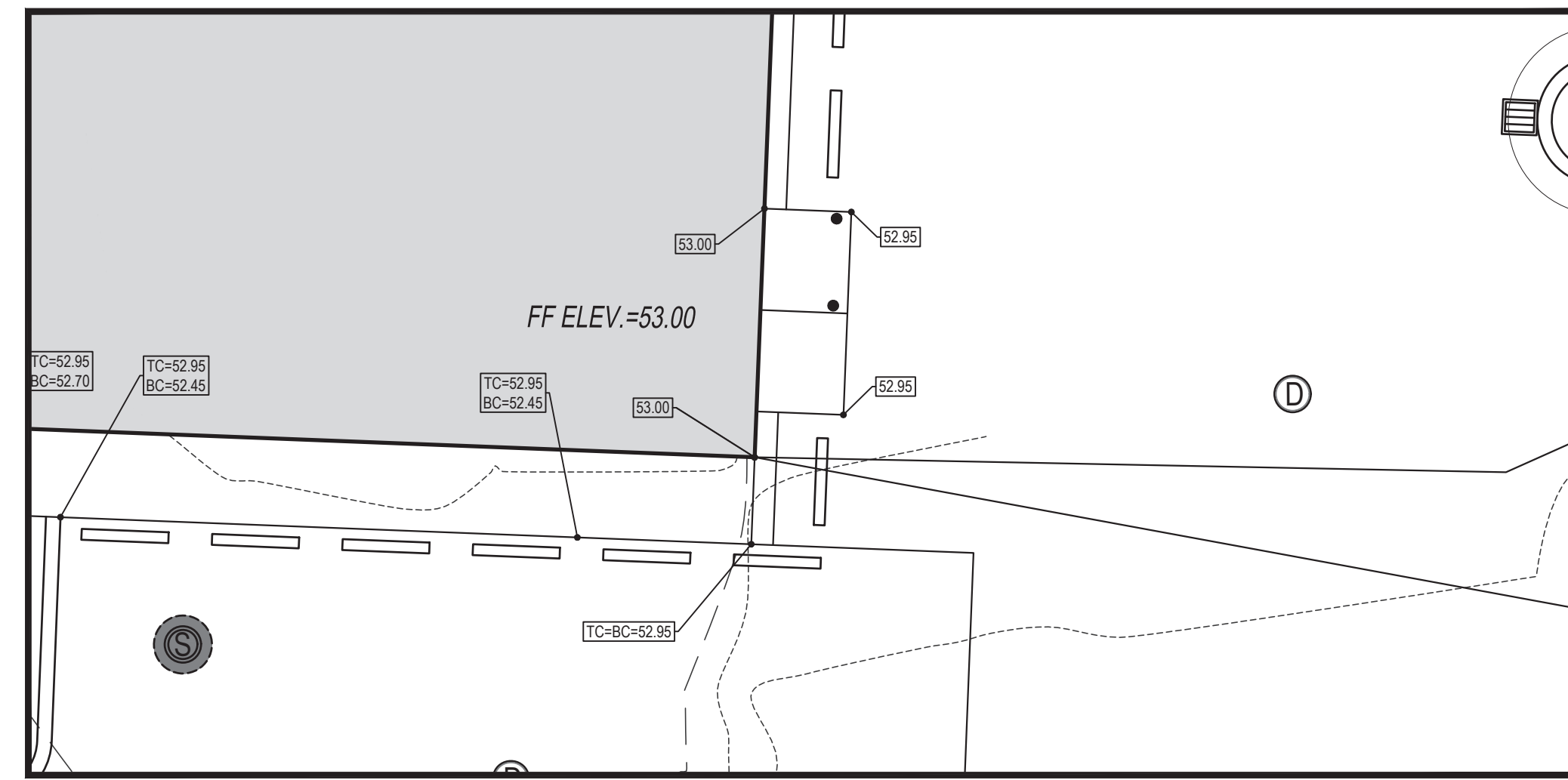
Sam King 8/3/21
 DATE





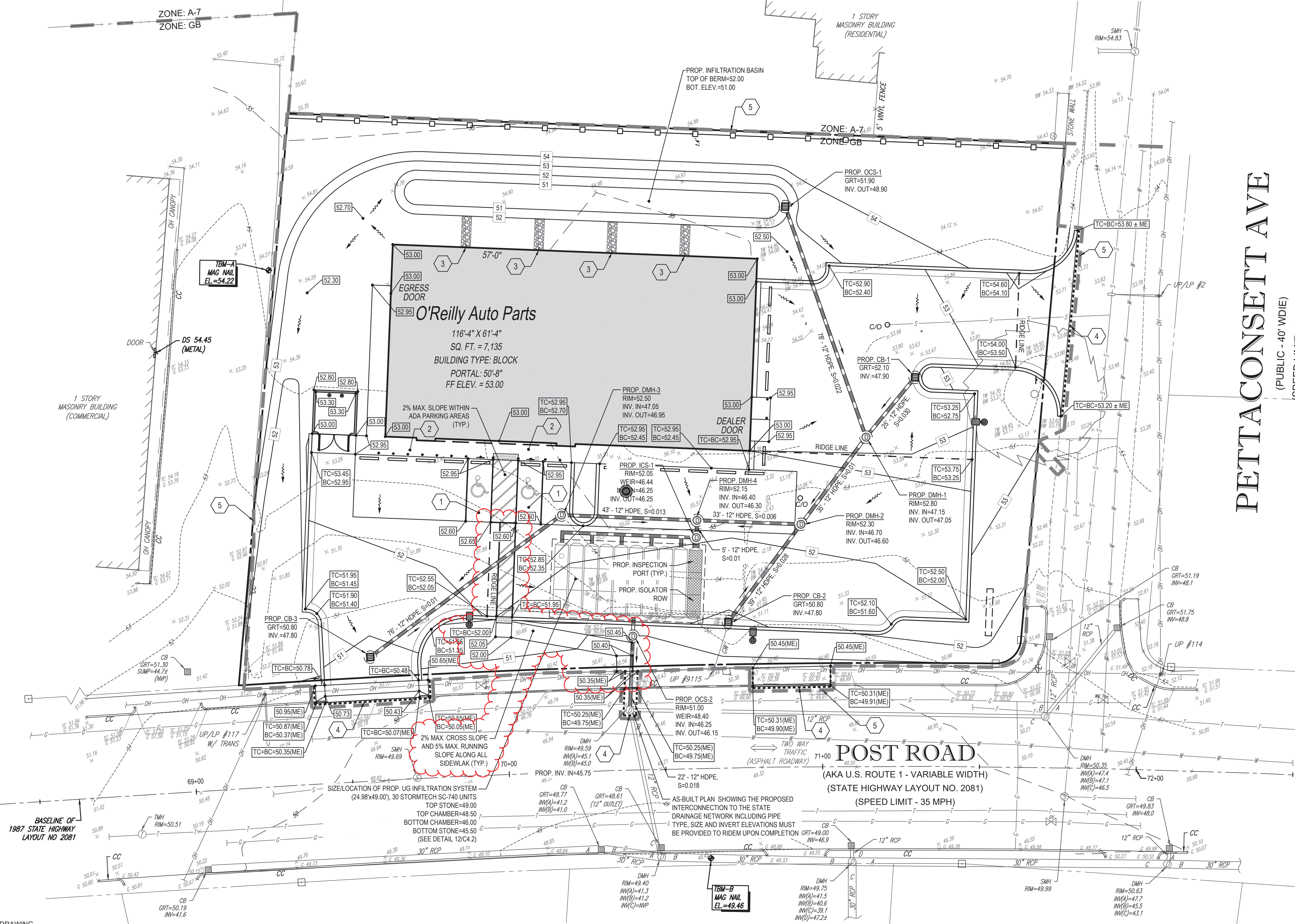
ADA AREA ENLARGEMENT

SCALE: 1"=10'



DEALER DOOR AREA ENLARGEMENT

SCALE: 1"=10'



FINAL PLAN
APPROVED BY THE ADMINISTRATIVE OFFICER

Sam Sui 8/3/21
DATE

CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

1 SITE GRADING PLAN
C1.1 SCALE: 1" = 20'-0"

GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- C. ACCESSIBLE PARKING AREAS TO SLOPE 2% MAXIMUM IN ALL DIRECTIONS. DESIGNATED ACCESSIBLE ROUTE TO SLOPE 5% MAXIMUM IN DIRECTION OF TRAVEL WITH 2% MAXIMUM CROSS SLOPE.

KEY NOTES

- 1 ACCESSIBLE PARKING AREA - SEE GENERAL NOTE C
- 2 ACCESSIBLE ROUTE - SEE GENERAL NOTE C
- 3 ROOF DRAIN, REFER TO ARCH. PLANS.
- 4 APPROX. SAWCUT LINE
- 5 APPROX. LIMIT OF WORK

SITE EXCAVATION REQUIREMENTS

- A. A GEOTECHNICAL ANALYSIS HAS BEEN PERFORMED ON THIS SITE. REFER TO PROJECT MANUAL.
- B. FOLLOW GEOTECHNICAL ANALYSIS RECOMMENDATIONS FOR SITE EXCAVATION REQUIREMENTS.
- C. REFER TO STRUCTURAL DRAWINGS FOR BUILDING EXCAVATION REQUIREMENTS.

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- EXISTING CONTOUR LINE
 - NEW CONTOUR LINE
 - NEW SPOT ELEVATION
- NOTE: REFER TO TYPICAL ABBREVIATIONS ON GENERAL NOTES SHEET FOR TYPICAL ABBREVIATIONS
- ◆ TEMPORARY BENCH MARK SYMBOL LOCATION
 - TBM-A ELEVATION: 54.22 FEET (NAVD 1988), (REFER SHEET SV1).
 - TBM-B ELEVATION: 49.46 FEET (NAVD 1988), (REFER SHEET SV1).

SPECIAL NOTE

PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

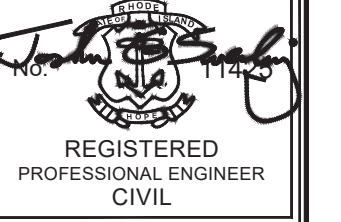
PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR GRADING & UTILITY NOTES
- THIS PLAN TO BE UTILIZED FOR SITE GRADING PURPOSES ONLY

BOHLER

PROJECT No.: W201149 SCALE: AS NOTED
DRAWN BY / CHECKED BY: ND/RM CAD I.D.: W201149ss0

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PROJECT:
NEW O'REILLY AUTO PARTS STORE
1221 POST ROAD
WARWICK, RI #2
SITE GRADING PLAN

O'Reilly AUTO PARTS

CORPORATE OFFICES
233 SOUTH PATTERSON
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C1.1

RHODE ISLAND DEPARTMENT OF TRANSPORTATION LEGEND

- (1.1.0) PRE-CAST CONCRETE CURB
- (7.6.0) CURB SETTING
- (7.1.1) 3'-0" PRECAST CONC. TRANSITION CURB
- (43.1.0) CEMENT CONCRETE SIDEWALK
- (43.4.0) DRIVEWAY TRANSITION DETAIL
- (43.5.0) CONCRETE DRIVEWAY

SYMBOLS LEGEND

- NOTE: REFER TO SURVEY FOR EXISTING CONDITIONS SYMBOLS LEGEND.
- [Hatched Box] NEW BUILDING CONSTRUCTION
 - [Dotted Box] AREA OF CONCRETE
 - [Horizontal Lines] AREA OF STANDARD DUTY PAVING
 - [Vertical Lines] AREA OF HEAVY DUTY PAVING
 - [Circle with Cross] NEW POLE SIGN LOCATION
 - [Circle with Square] NEW WHEEL STOP
 - [Circle with Triangle] NEW LIGHT POLE LOCATION

ZONING ANALYSIS TABLE

| ZONING DISTRICT | GENERAL BUSINESS (GB) DISTRICT | | |
|--|--|------------------|---|
| ZONE CRITERIA | REQUIRED | EXISTING | PROPOSED |
| MINIMUM LOT AREA | 6,000 SF | 42,857 SF | NO CHANGE |
| MINIMUM STREET FRONTAGE | 60 FT (1) | 158.9 FT | NO CHANGE |
| MIN. FRONT & CORNER SIDE SETBACK | 25 FT | 45.6 FT | 68.0 FT |
| MIN. SIDE SETBACK | 15 FT | 117.8 FT | 15.8 FT |
| MIN. REAR SETBACK | 40 FT (2) | 44.1 FT | 40.5 FT |
| MIN. LOT WIDTH | 60 FT (1) | 158.9 FT | NO CHANGE |
| LOADING SPACE | 60 FT x 14 FT | N/A | 60 FT x 14 FT |
| PARKING SPACES | 25 | N/A | 27 |
| FRONT PARKING / LANDSCAPING SETBACK | 10 FT | N/A | 10.0 FT |
| REAR PARKING / LANDSCAPING SETBACK | 20 FT (3) | N/A | 22.8 FT |
| PARKING CRITERIA (P x 18' W 24' ASIDE) | AUTO SALES & OTHER RETAIL = 1 SPACE PER 200 SF OF GROSS FLOOR AREA STORAGE = 1 SPACE PER 600 SF OF GROSS FLOOR AREA (3,475 SF / 200 SF) + (3,660 SF / 600 SF) = 24.70 OR 25 SPACES REQUIRED ACCESSIBLE PARKING* OVER 25 SPACES REQUIRE 1 ACCESSIBLE SPACE (2 PROVIDED, 1 VAN) | | |
| MIN. INTERIOR PARKING LANDSCAPE | 5% | N/A | PARKING AREA=5,255 SF INT. LANDSCAPE=8% (445 SF) |
| MIN. LANDSCAPED OPEN SPACE | 10% | ±7% (±30,552 SF) | ±41% (±17,380 SF) |
| MAX. BUILDING HEIGHT | 40 FT | ±24.5 FT | < 40 FT |

(Z)- ZONING RELIEF
 N/A = NOT APPLICABLE
 (1) ON CORNER LOTS, THE REQUIRED FRONTAGE AND WIDTH SHALL BE NECESSARY ONLY ON ONE STREET PROVIDED THE SECOND STREET FRONTAGE MAINTAINS THE MINIMUM OF 80% OF THE FRONT REQUIREMENT.
 (2) COMMERCIAL USE SHALL BE SETBACK A MINIMUM OF 40 FEET FROM AN ABUTTING RESIDENCE DISTRICT.
 (3) A 20-FOOT WIDE LANDSCAPE BORDER SHALL BE PROVIDED ALONG ANY PROPERTY LINE THAT ABUTS A RESIDENCE DISTRICT.

GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. ALL SITE DIMENSIONS TO THE GUTTER LINE OF CURB, CONCRETE OR PROPERTY LINE UNLESS OTHERWISE NOTED. CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND STARTING CONSTRUCTION.
- C. COORDINATE WORK WITH OTHER SITE RELATED DEVELOPMENT DRAWINGS.
- D. REFER TO STRUCTURAL PLANS FOR DEVELOPMENT OF SIDEWALKS ADJACENT TO FOUNDATIONS.
- E. ALL WORK WITHIN THE STATE'S ROW WILL CONFIRM TO RIDOT'S STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2014 EDITION AMENDED MARCH 2018, WITH ALL REVISIONS AND R.I. STANDARD DETAILS, 1998 EDITION AMENDED JUNE 2019, WITH ALL REVISIONS.
- F. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009, INCLUDING ALL REVISIONS.

KEY NOTES

- (1A) CONCRETE (STANDARD DUTY) PAVEMENT, REFER TO DETAIL 1A/C2.2 (1)
- (1B) CONCRETE (HEAVY DUTY) PAVEMENT, REFER TO DETAIL 1B/C2.2 (1)
- (2A) ASPHALT (STANDARD DUTY) PAVEMENT, REFER TO DETAIL 2A/C2.2 (1)
- (2B) ASPHALT (HEAVY DUTY) PAVEMENT, REFER TO DETAIL 2B/C2.2 (1)
- (3) CONCRETE CURB, REFER TO DETAIL 3/C2.2
- (4) DRAINAGE STRUCTURE, REFER TO SITE GRADING PLAN
- (5) CONCRETE SIDEWALK OR DOOR LANDING, REFER TO DETAIL 5/C2.2 (3)
- (6) CONCRETE APRON, REFER TO DETAIL 6/C2.2
- (7) STRIPING ARROW, REFER TO DETAIL 7/C2.2
- (8) ACCESSIBLE PARKING STRIPING, REFER TO DETAIL 8/C2.2
- (9) PARKING STALL STRIPING, REFER TO DETAIL 9/C2.2
- (10) ROLL DOWN CURB END TRANSITION, REFER TO DETAIL 10/C2.2
- (11) DETECTABLE WARNING SURFACE, REFER TO DETAIL 11/C2.2
- (12) ACCESSIBLE PARKING PAVEMENT SYMBOL STRIPING, REFER TO DETAIL 12/C2.2
- (13) STEEL BOLLARD, REFER TO DETAIL 13/C2.2 (4)
- (14) ACCESSIBLE PARKING SIGN IN BOLLARD, REFER TO DETAIL 14/C2.2
- (15) STOP SIGN, REFER TO DETAIL 15/C2.2
- (16) STOP BAR, REFER TO DETAIL 16/C2.2
- (17) INFILTRATION BASIN, REFER TO DETAIL 17/C2.2
- (18) ACCESSIBLE PARKING & SIDEWALK AREA
- (19) CONCRETE WHEEL STOP, REFER TO DETAIL 19/C2.2
- (20) PROPOSED RIP-RAP APRON (3'-4" STONE SIZE)
- (21) CONCRETE DRIVE APRON TO BE INSTALLED PER CITY DESIGN STANDARDS. IF NO STANDARDS, PROVIDE CONCRETE CONSTRUCTION PER DETAIL 18/C2.2
- (22) PROP. 6" HIGH SHADOW BOX WOOD FENCE.
- (23) INSTALL ON PROJECT SIDE 16" OFF PROPERTY LINE. REFER TO DETAIL 4/C2.3 NOT USED
- (24) NOT USED
- (25) NOT USED
- (26) REFUSE ENCLOSURE, REFER TO 1/C2.3 AND ARCHITECTURAL PLANS
- (27) CONCRETE MASONRY UNIT (CMU), REFER TO DETAIL 2/C2.3
- (28) NOT USED
- (29) PARKING LOT LIGHTING (REFER TO LIGHTING PLANS BY OTHERS)
- (30) STRIPING: PROVIDE 4" WIDE PARKING LOT STRIPING AS SHOWN. (6)
- (31) SIGN LOCATION: REFER TO ARCH. SHEET SG.1 (7) AND DETAIL 5/C2.3
- (32) SANITARY SEWER CLEANOUT. REFER TO SITE UTILITY PLAN
- (33) NOT USED
- (34) APPROX. LIMIT OF WORK
- (35) APPROX. SAWCUT
- (36) LANDSCAPED AREA
- (37) CROSSWALK
- (38) DRAINAGE CLEANOUT. REFER TO SITE GRADING PLAN

FOOTNOTES:
 (1) REFER TO PROJECT MANUAL
 (2) NOT USED
 (3) NOT USED
 (4) PROVIDE (2) AT REFUSE CONTAINER AREA, (2) AT SECTIONAL OVERHEAD FREIGHT DOOR, AND (9) AT FRONT ENTRY. REFER TO STRUCTURAL DRAWINGS FOR LAYOUT OF BOLLARDS ADJACENT TO BUILDING PERIMETER.
 (5) NOT USED
 (6) USE HIGHWAY MARKING PAINT - YELLOW (2 COATS)
 (7) SIGN OWNER FURNISHED AND INSTALLED (REFER TO SCOPE OF WORK SCHEDULE).

SPECIAL NOTE

PRIOR TO CONTRACT CLOSEOUT, CONTRACTOR SHALL SECURE THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE SITE SURVEY OF COMPLETED PROJECT CONDITIONS AND SUBMIT FOR REVIEW AND APPROVAL BY OWNER. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR GENERAL NOTES
- THIS PLAN TO BE UTILIZED FOR SITE LAYOUT PURPOSES ONLY



PROJECT No.: W201149 SCALE: AS NOTED
 DRAWN BY / CHECKED BY: NDRM CAD I.D.: W201149s90

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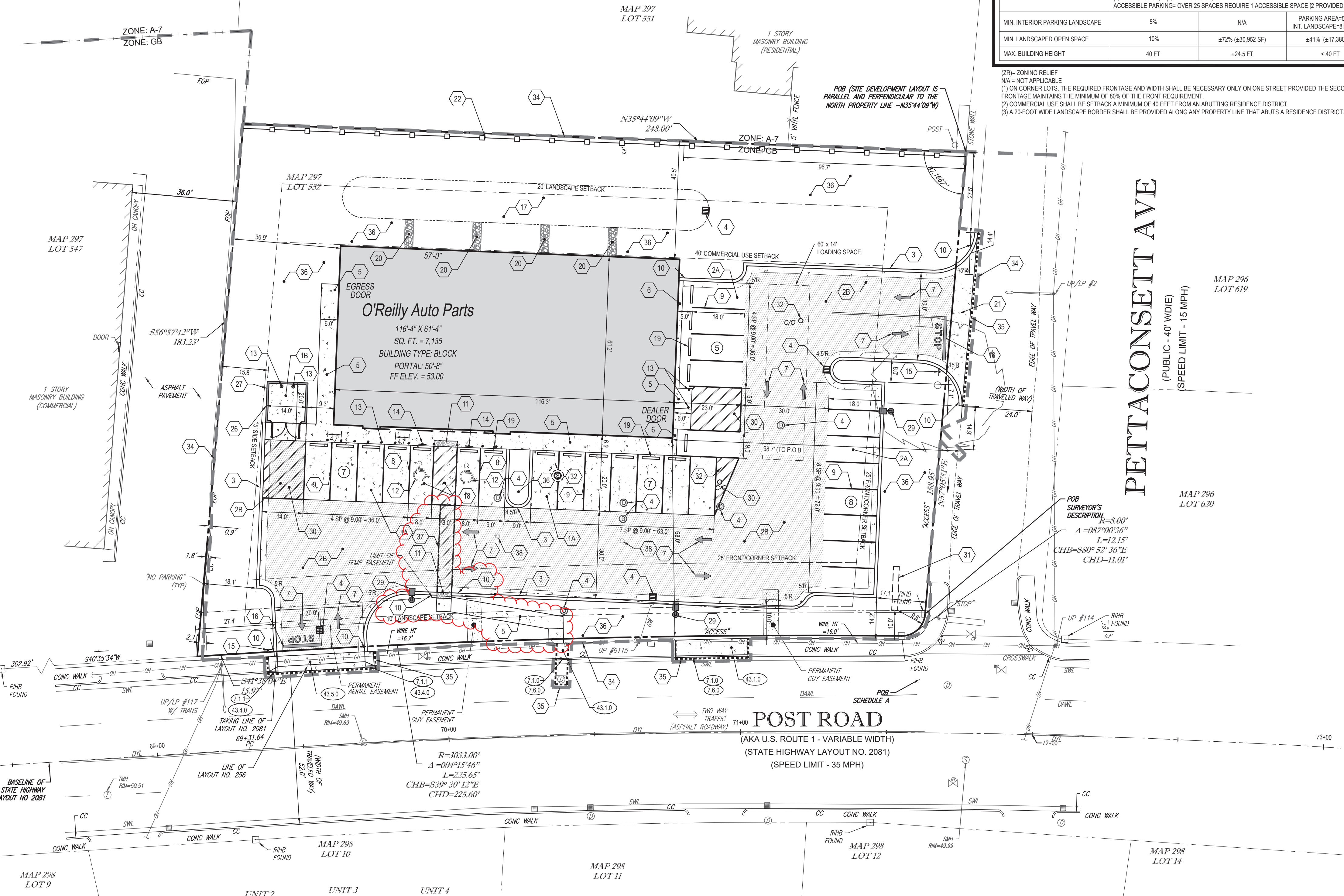
PROJECT:
NEW O'REILLY AUTO PARTS STORE
1221 POST ROAD
WARWICK, RI #2
SITE DEVELOPMENT PLAN

O'Reilly AUTO PARTS
 CORPORATE OFFICES
 233 SOUTH PATTERSON
 SPRINGFIELD, MISSOURI 65802
 (417) 862-2674 TELEPHONE

COMM # 4503
 DATE: 12-18-2020
 REVISION DATE: 04-27-2021

07-02-2021

C2.1



FINAL PLAN
 APPROVED BY THE ADMINISTRATIVE OFFICER

[Signature] 8/3/21
 DATE

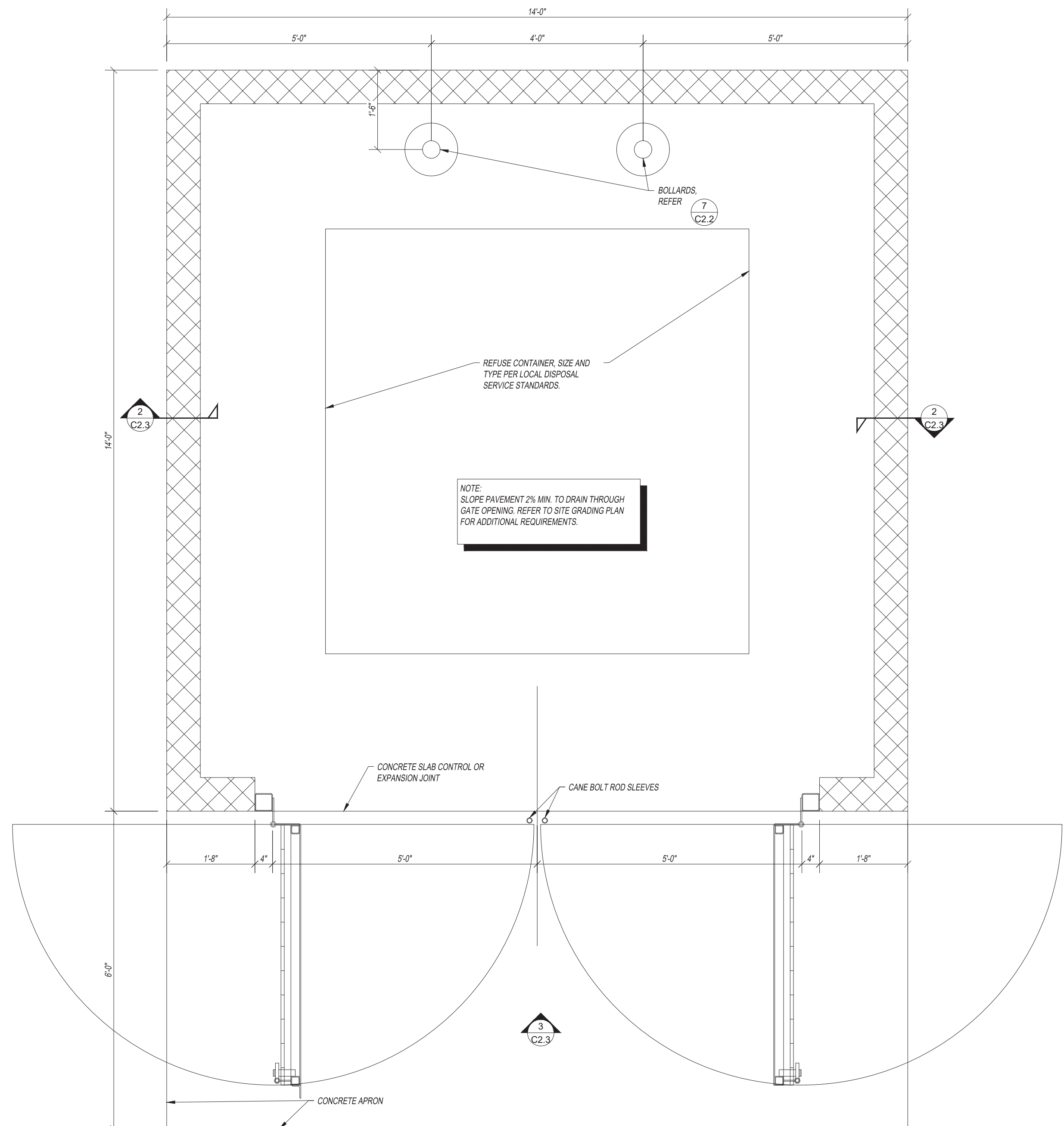
1 SITE DEVELOPMENT PLAN
C2.2 SCALE: 1" = 20'-0"



Know what's below
 Call before you dig.

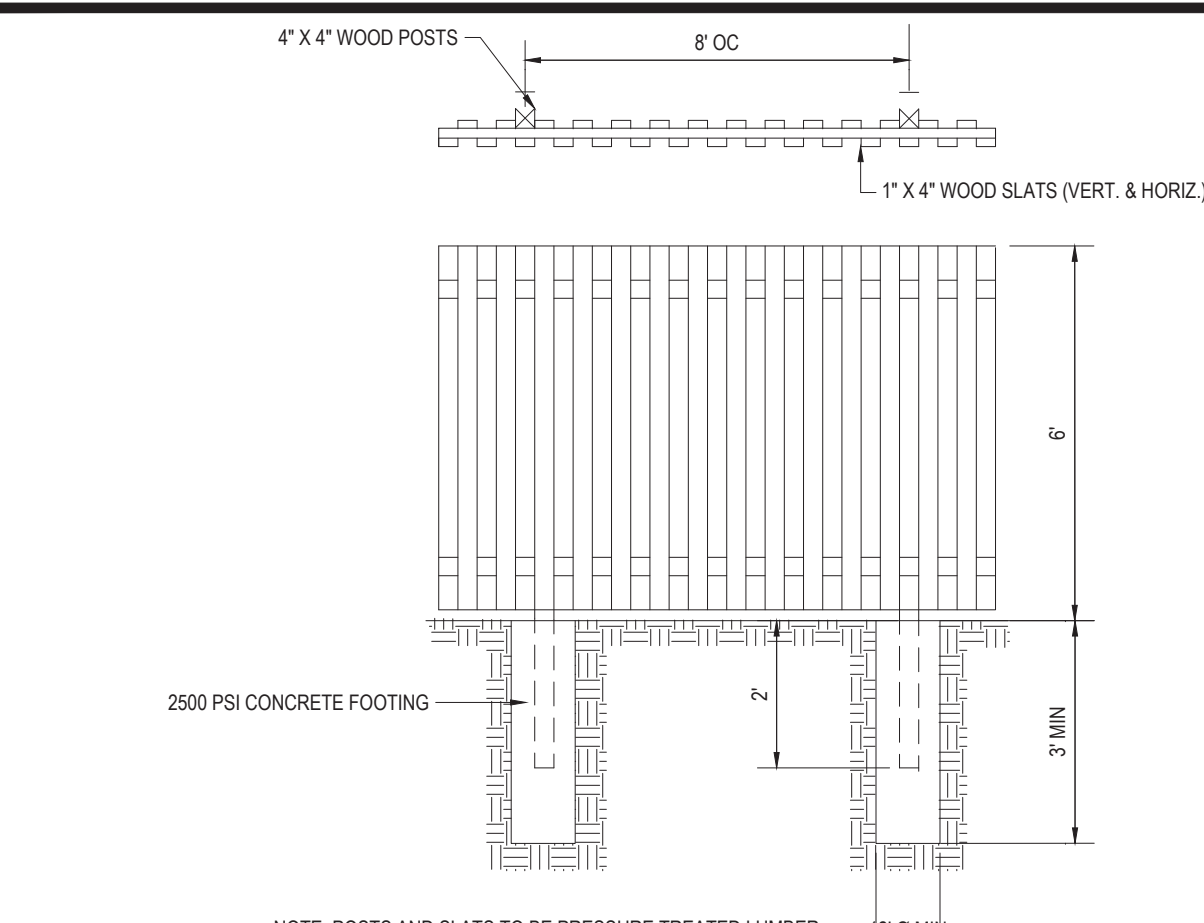
CAUTION:
 INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

I:\working\indiana\MA\PROJECTS\2020\20211802\Drawings\Site\SiteDevelopmentPlan_Schneider.dwg, 05-C2.1_Site, 10/20/2021 4:28:00 PM, nsherman, Xerox50/01.dwg, User:634, 1:1



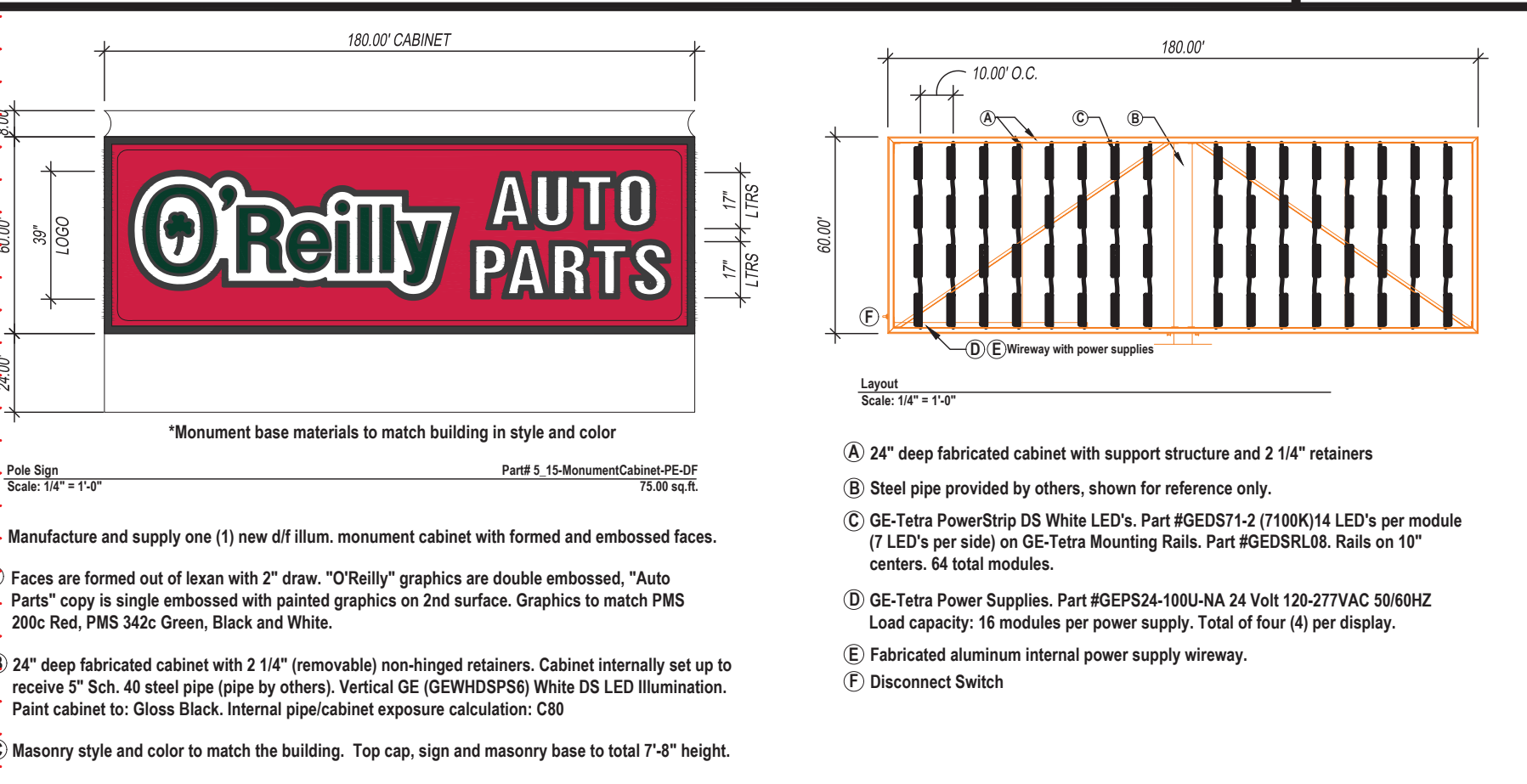
1 MASONRY SCREEN FENCE REFUSE ENCLOSURE PLAN

C2.3 SCALE: 3/4" = 1'-0"



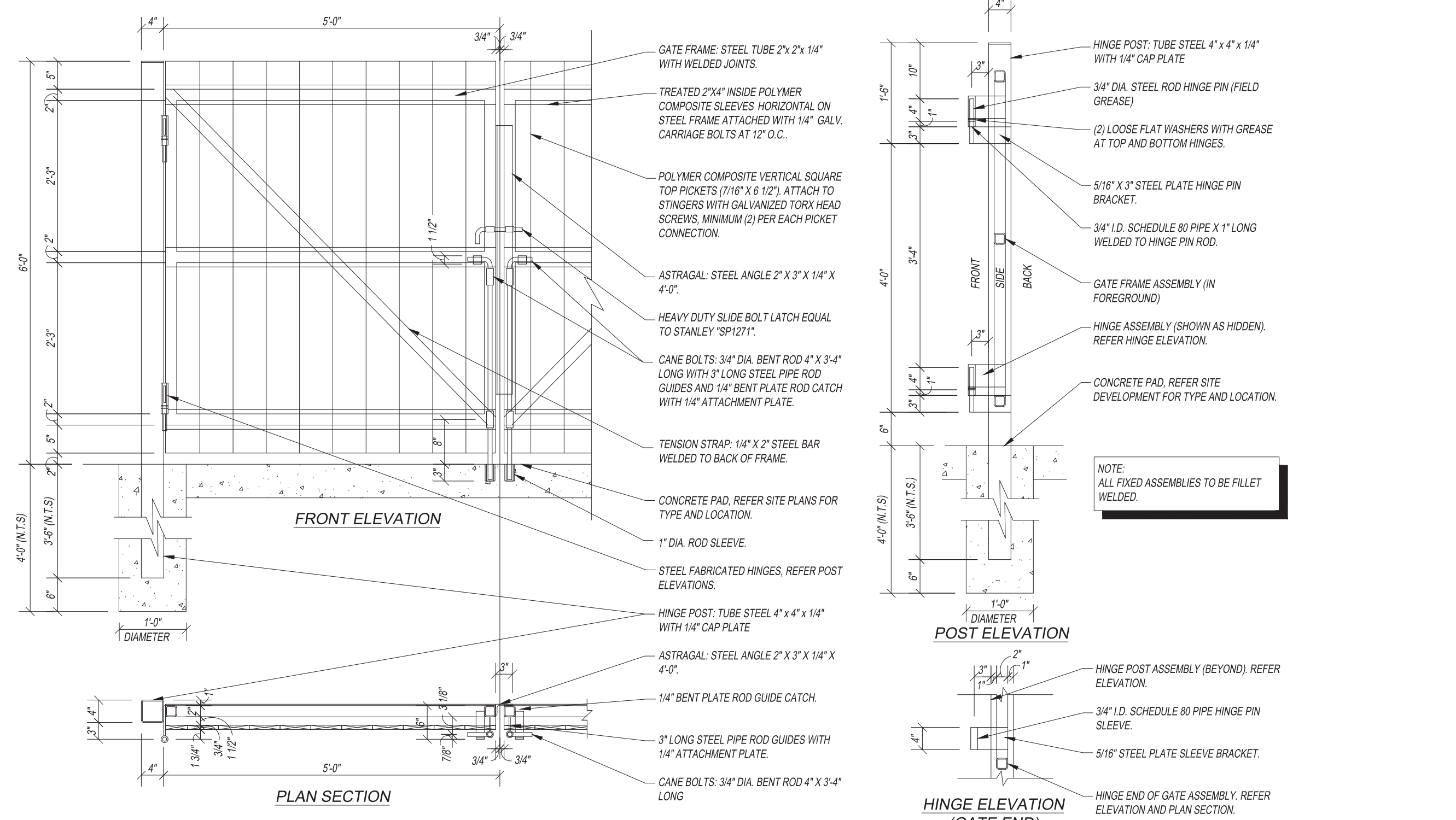
4 SHADOW BOX WOOD FENCE

C2.3 NOT TO SCALE



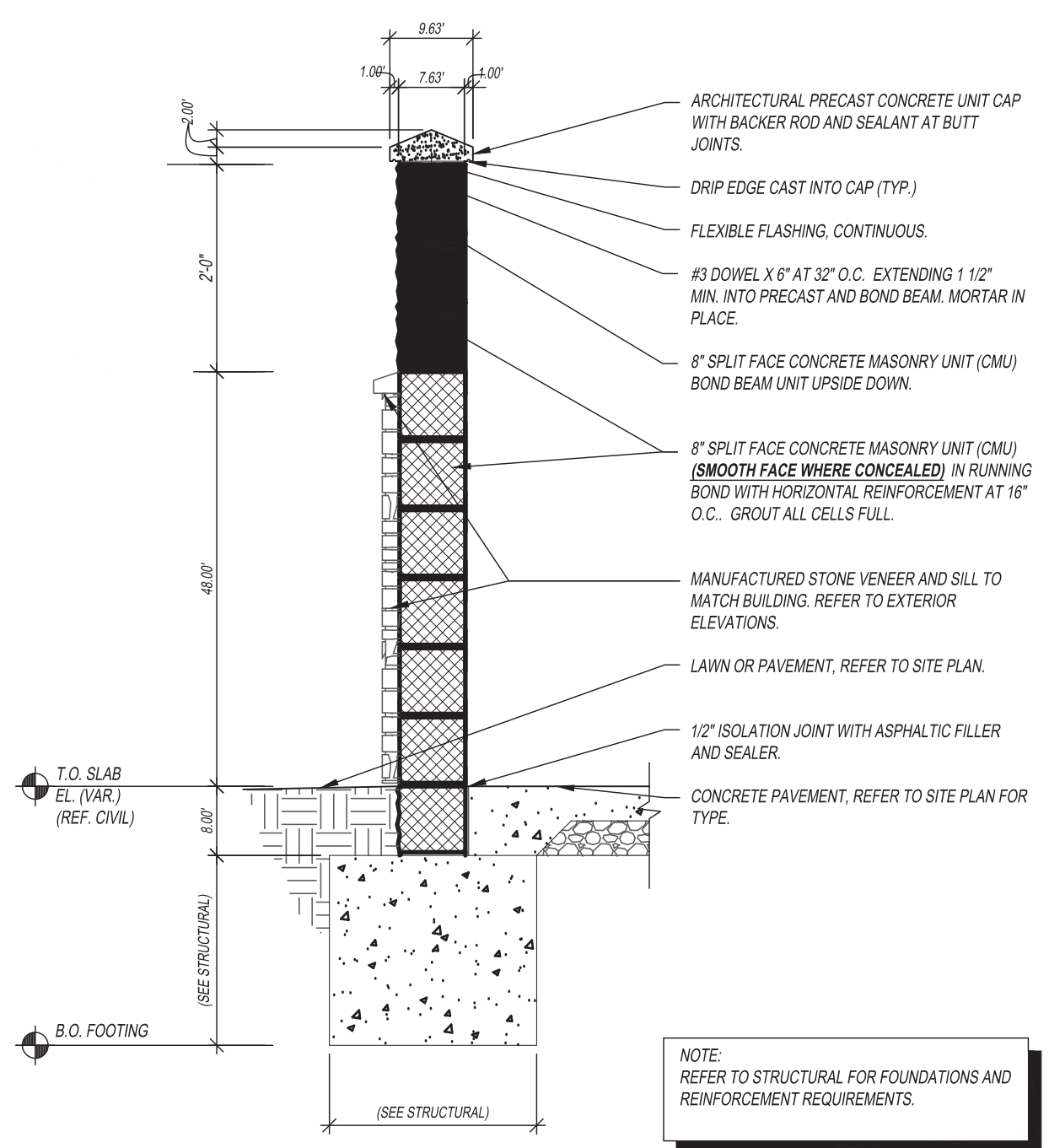
5 GROUND SIGN ELEVATION

C2.3 NOT TO SCALE



3 SCREEN FENCE GATE DETAILS

C2.3 SCALE: 3/4" = 1'-0"



2 MASONRY SCREEN FENCE SECTION

C2.3 SCALE: 3/4" = 1'-0"

GENERAL NOTES

(A) REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.

(B) DIMENSIONS ARE TO ROUGH FACE OF CONCRETE, MASONRY, FRAMING, OR CENTER LINE OF STRUCTURE UNLESS OTHERWISE INDICATED.

(C) REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR ADDITIONAL REQUIREMENTS.

(D) REFER TO ARCHITECTURAL EXTERIOR FINISH SCHEDULE FOR MATERIAL TYPES, COLORS, AND FINISHES. UNLESS OTHERWISE INDICATED PROVIDE FINISHES AS FOLLOWS:

1. ALL MASONRY SURFACES TO MATCH TEXTURES AND FIELD COLOR OF BUILDING. EXPOSED MASONRY INSIDE ENCLOSURE TO BE PRIMED AND PAINTED (2) COATS OF COLOR TO MATCH ENCLOSURE EXTERIOR MASONRY.
2. ALL EXPOSED ARCHITECTURAL PRECAST TO BE NATURAL CONCRETE COLOR IN SMOOTH FORM FINISH.
3. ALL NON-GALVANIZED METAL PARTS TO BE PRIMED AND PAINTED (2) COATS SHERWIN WILLIAMS SW648 "HUNT CLUB".
4. POLYMER COMPOSITE MATERIAL COLOR TO BE EQUAL TO FIBERON "COASTAL CEDAR", "JATOBÁ", OR "CEDAR". FINAL COLOR TO BE SELECTED FROM MANUFACTURER'S STANDARD SAMPLES.

JOSHUA G. SWERLING
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PROJECT:
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FINAL PLAN
APPROVED BY THE ADMINISTRATIVE OFFICER
Steve Lee 8/3/21
DATE

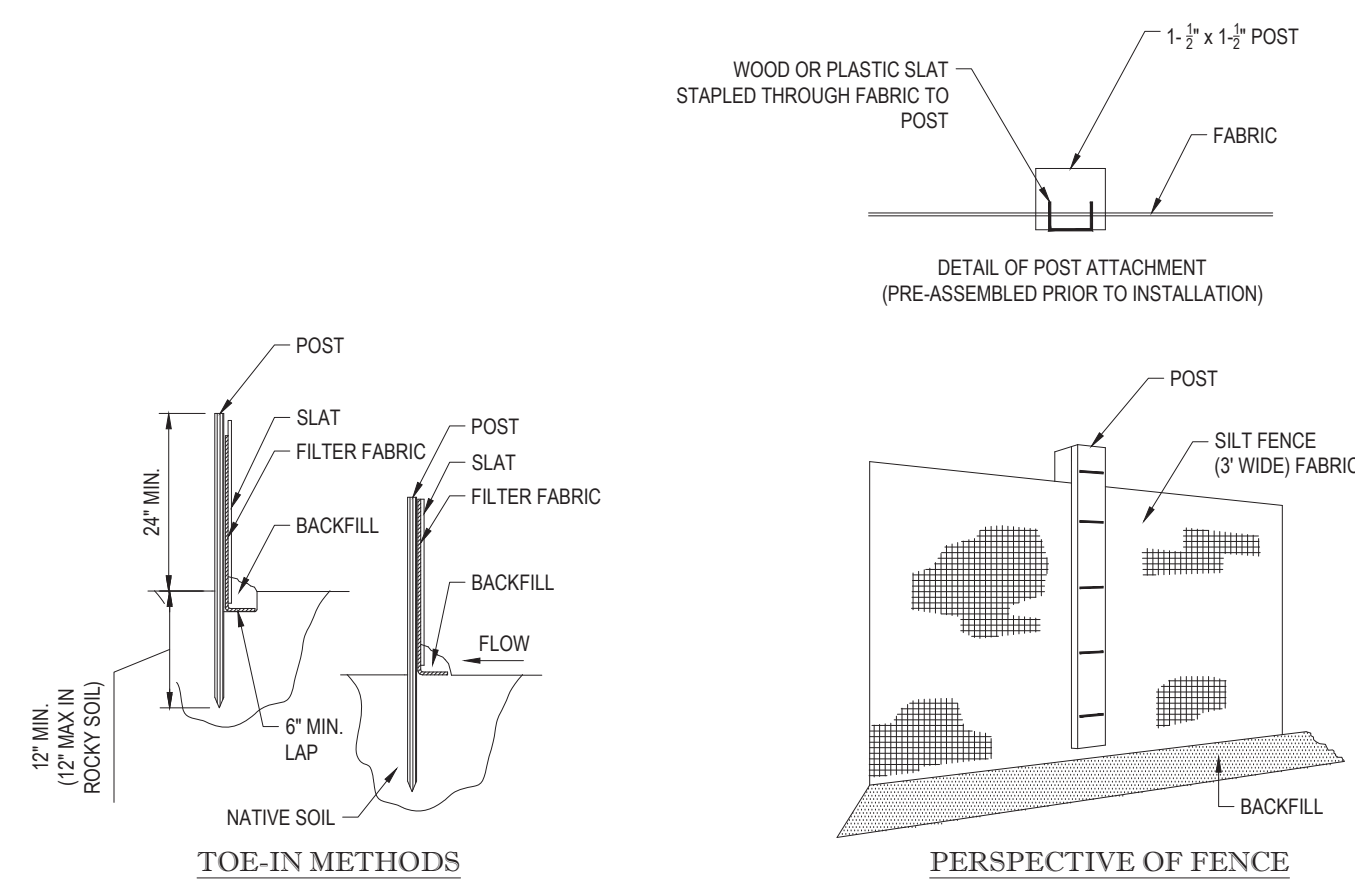
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PROJECT No.: W201149 SCALE: AS NOTED
DRAWN BY / CHECKED BY: NDR/ML CAD I.D.: W201149ss0

C2.3

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- INSTALLATION:
- EXCAVATE A 6" x 6" TRENCH ALONG THE LINE OF EROSION CONTROL OF THE SITE.
 - UNROLL SILTATION FENCE AND POSITION THE POSTS AGAINST THE BACK (DOWNSTREAM) WALL OF THE TRENCH (NET SIDE AWAY FROM FLOW DIRECTION).
 - DRIVE THE POST INTO THE GROUND UNTIL THE NETTING IS LAYING ACROSS THE TRENCH BOTTOM.
 - LAY THE TOE-IN FLAP OF THE FABRIC ONTO THE UNDISTURBED BOTTOM OF THE TRENCH, BACKFILL THE TRENCH AND TAMP THE SOIL. TOE-IN CAN ALSO BE ACCOMPLISHED BY LAYING FABRIC FLAP ON UNDISTURBED GROUND AND PILING & TAMPING FILL AT THE BASE.

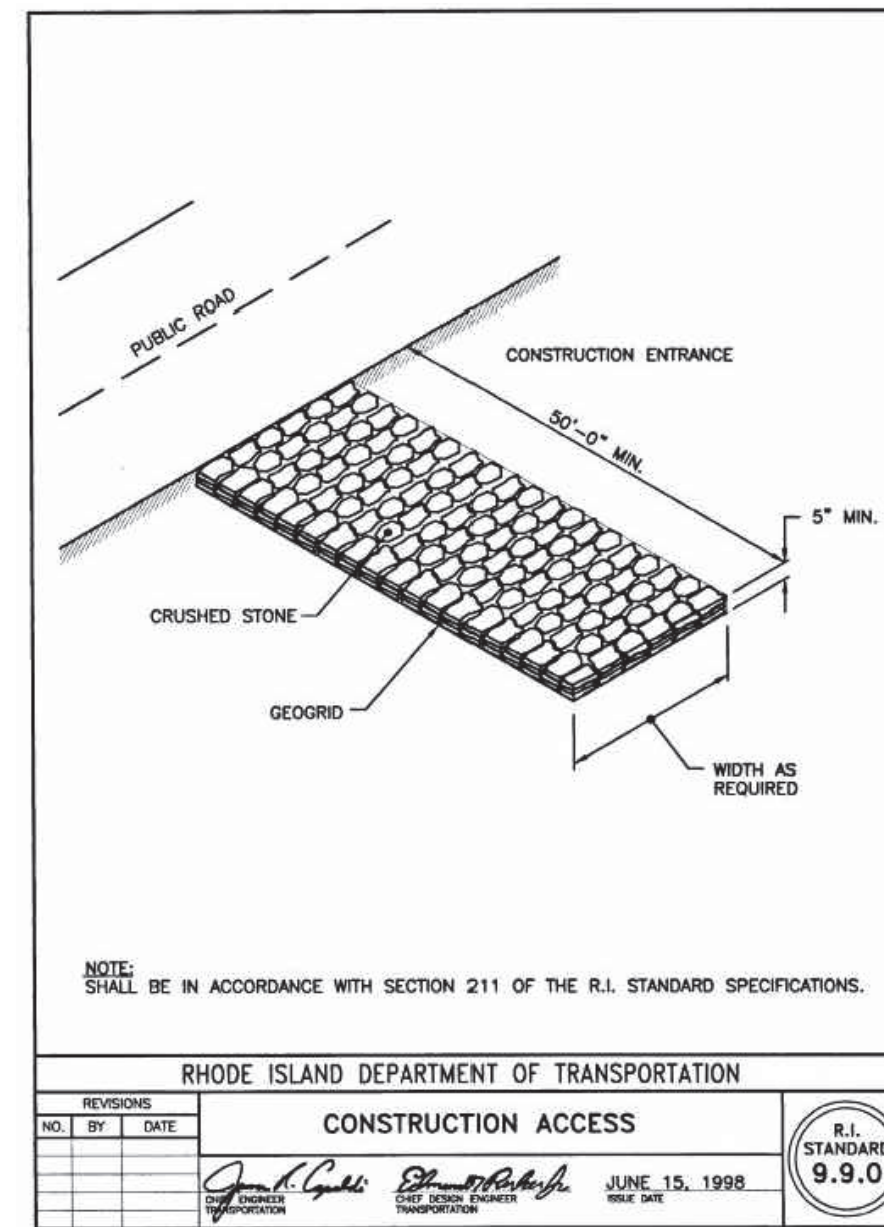


1 TYP. SILTATION FENCE DETAIL

C3.2 SCALE: NTS

2 CONSTRUCTION ACCESS

C3.2 SCALE: NTS



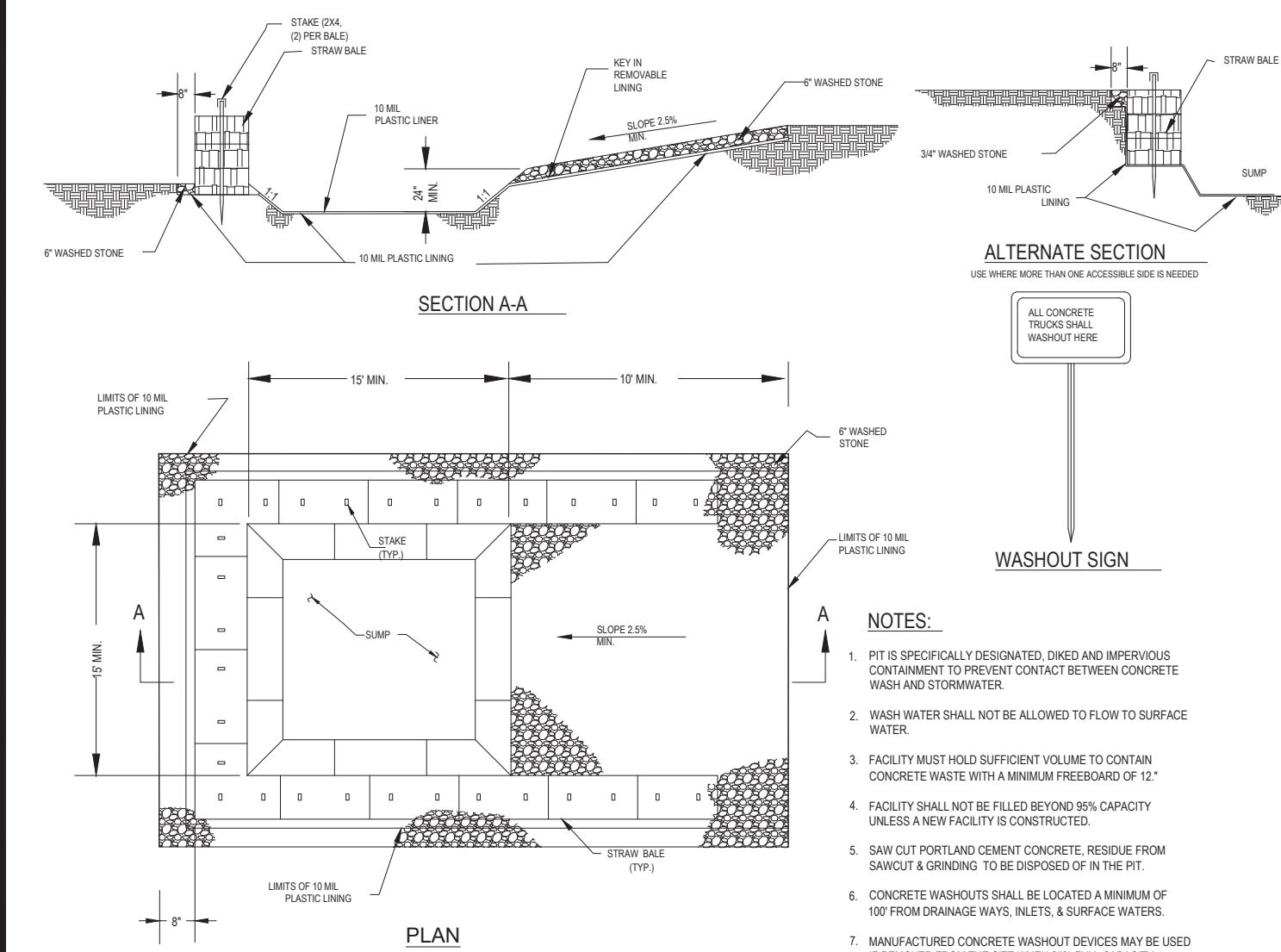
| REVISIONS | | |
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RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CONSTRUCTION ACCESS
JUNE 15, 1998
R.I. STANDARD SPECIFICATIONS 9.9.0

- WINTER CONSTRUCTION PERIOD: NOVEMBER 1 THROUGH APRIL 15.
- WINTER EXCAVATION AND EARTHWORK SHALL BE DONE SUCH THAT NO MORE THAN 1 ACRE OF THE SITE IS WITHOUT STABILIZATION AT ANY ONE TIME.
- EXPOSED AREA SHOULD BE LIMITED TO THAT WHICH CAN BE MULCHED IN ONE DAY PRIOR TO ANY SNOW EVENT.
- CONTINUATION OF EARTHWORK OPERATION ON ADDITIONAL AREAS SHALL NOT BEGIN UNTIL THE EXPOSED SOIL SURFACE ON THE AREA BEING WORKED HAS BEEN STABILIZED SUCH THAT NO LARGER AREA OF THE SITE IS WITHOUT EROSION CONTROL PROTECTION AS LISTED IN ITEM 2 ABOVE.
- AN AREA SHALL BE CONSIDERED TO HAVE BEEN STABILIZED WHEN EXPOSED SURFACES HAVE BEEN EITHER MULCHED WITH STRAW OR STRAW AT A RATE OF 100 LB. PER 1,000 SQUARE FEET (WITH OR WITHOUT SEEDING) OR DORMANT SEEDING, MULCHED AND ADEQUATELY ANCHORED BY AN APPROVED ANCHORING TECHNIQUE.
- BETWEEN THE DATES OF OCTOBER 15 AND APRIL 15, LOAM OR SEED WILL NOT BE REQUIRED. DURING PERIODS OF ABOVE FREEZING TEMPERATURES THE SLOPES SHALL BE FINE GRADED AND EITHER PROTECTED WITH MULCH OR TEMPORARILY SEEDED AND MULCHED UNTIL SUCH TIME AS THE FINAL TREATMENT CAN BE APPLIED. IF THE DATE IS AFTER NOVEMBER 1ST AND IF THE EXPOSED AREA HAS BEEN LOADED, FINAL GRADED AND IS SMOOTH, THEN THE AREA MAY BE DORMANT SEEDING AT A RATE OF 200-300% HIGHER THAN SPECIFIED FOR PERMANENT SEED AND THEN MULCHED. IF CONSTRUCTION CONTINUES DURING FREEZING WEATHER, ALL EXPOSED AREAS SHALL BE CONTINUOUSLY GRADED BEFORE FREEZING AND THE SURFACE TEMPORARILY PROTECTED FROM EROSION BY THE APPLICATION OF MULCH. SLOPES SHALL NOT BE LEFT UNEXPOSED OVER THE WINTER OR ANY OTHER EXTENDED TIME OF WORK SUSPENSION UNLESS TREATED IN THE ABOVE MANNER, UNTIL SUCH TIME AS WEATHER CONDITIONS ALLOW DITCHES TO BE FINISHED WITH THE PERMANENT SURFACE TREATMENT. EROSION SHALL BE CONTROLLED BY THE INSTALLATION OF BALES OF STRAW OR STONE CHECK DAMS IN ACCORDANCE WITH THE STANDARD DETAILS.
- MULCHING REQUIREMENTS:
- BETWEEN THE DATES OF NOVEMBER 1ST AND APRIL 15TH ALL MULCH SHALL BE ANCHORED BY EITHER PEG LINE, MULCH NETTING OR WOOD CELLULOSE FIBER.
- MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL DRAINAGE WAYS WITH A SLOPE GREATER THAN 3% FOR SLOPE EXPOSED TO DIRECT WINDS AND FOR ALL OTHER SLOPES GREATER THAN 8%.
- MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- AFTER NOVEMBER 1ST THE CONTRACTOR SHALL APPLY DORMANT SEEDING OR MULCH AND ANCHORING ON ALL BARE EARTH AT THE END OF EACH WORKING DAY.
- DURING THE WINTER CONSTRUCTION PERIOD ALL SNOW SHALL BE REMOVED FROM AREAS OF SEEDING AND MULCHING PRIOR TO PLACEMENT.
- STOCKPILING OF MATERIALS (DIRT, WOOD, CONSTRUCTION MATERIALS, ETC.) MUST REMAIN COVERED AT ALL TIMES TO MINIMIZE ANY DUST PROBLEMS THAT MAY OCCUR WITH ADJACENT PROPERTIES AND TO PROVIDE MAXIMUM PROTECTION AGAINST EROSION RUNOFF.
- EXISTING CATCH BASIN STRUCTURES SHALL BE PROTECTED UNTIL SUCH TIME AS THEY ARE REMOVED.

- ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE DONE AS SET FORTH IN THE MOST CURRENT STATE SEDIMENT AND EROSION CONTROL MANUAL.
- THOSE AREAS UNDERGOING ACTUAL CONSTRUCTION WILL BE LEFT IN AN UNTREATED OR UNVEGETATED CONDITION FOR A MINIMUM TIME. AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 15 DAYS OF FINAL GRADING AND TEMPORARILY STABILIZED WITHIN 30 DAYS OF INITIAL DISTURBANCE OF THE SOIL. IF THE DISTURBANCE IS WITHIN 100 FEET OF A STREAM OR POND, THE AREA SHALL BE STABILIZED WITHIN 7 DAYS OR PRIOR TO ANY STORM EVENT (THIS WOULD INCLUDE WETLANDS).
- SEDIMENT BARRIERS (SILT FENCE, STRAW BARRIERS, ETC.) SHOULD BE INSTALLED PRIOR TO ANY SOIL DISTURBANCE OF THE CONTRIBUTING DRAINAGE AREA ABOVE THEM. MULCH NETTING SHALL BE USED TO ANCHOR MULCH IN ALL AREAS WITH SLOPES GREATER THAN 15% AFTER OCTOBER 1ST THE SAME APPLIES FOR ALL SLOPES GREATER THAN 8%.
- INSTALL SILTATION BARRIER AT TOE OF SLOPE TO FILTER SILT FROM RUNOFF. SEE SILTATION BARRIER DETAILS FOR PROPER INSTALLATION. SILTATION BARRIER WILL REMAIN IN PLACE PER NOTE #5.
- ALL EROSION CONTROL STRUCTURES WILL BE INSPECTED, REPLACED AND/OR REPAIRED EVERY 7 DAYS AND IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL OR SNOW MELT OR WHEN NO LONGER SERVICEABLE DUE TO SEDIMENT ACCUMULATION OR DECOMPOSITION. SEDIMENT DEPOSITS SHOULD BE REMOVED AFTER EACH STORM EVENT. THEY MUST BE REMOVED WHEN DEPOSITS REACH APPROXIMATELY ONE HALF THE HEIGHT OF THE BARRIER. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPSLOPE ARE STABILIZED BY TURF.
- NO SLOPES, EITHER PERMANENT OR TEMPORARY, SHALL BE STEEPER THAN TWO TO ONE (2:1).
- IF FINAL SEEDING OF THE DISTURBED AREAS IS NOT COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST, USE TEMPORARY MULCH (DORMANT SEEDING MAY BE ATTEMPTED AS WELL) TO PROTECT THE SITE AND DELAY SEEDING UNTIL THE NEXT RECOMMENDED SEEDING PERIOD.
- TEMPORARY SEEDING OF DISTURBED AREAS THAT HAVE NOT BEEN FINAL GRADED SHALL BE COMPLETED 45 DAYS PRIOR TO THE FIRST KILLING FROST TO PROTECT FROM SPRING RUNOFF PROBLEMS.
- DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO THE SITE AND REGRADED ONTO OPEN AREAS.
- REVEGETATION MEASURES WILL COMMENCE UPON COMPLETION OF CONSTRUCTION EXCEPT AS NOTED ABOVE. ALL DISTURBED AREAS NOT OTHERWISE STABILIZED WILL BE GRADED, SMOOTHED, AND PREPARED FOR FINAL SEEDING AS FOLLOWS:
 - SIX INCHES OF LOAM WILL BE SPREAD OVER DISTURBED AREAS AND SMOOTHED TO A UNIFORM SURFACE.
 - APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST. IF SOIL TESTING IS NOT FEASIBLE ON SMALL OR VARIABLE SITES, OR WHERE TIMING IS CRITICAL, FERTILIZER MAY BE APPLIED AT THE RATE OF 800 LB PER ACRE OR 18.4 LB PER 1,000 SF USING 10-20-20 OR EQUIVALENT. APPLY GROUND LIMESTONE (EQUIVALENT TO 50% CALCIUM PLUS MAGNESIUM OXIDE) AT A RATE OF 3 TONS PER ACRE (138 LB PER 1,000 SF).
 - FOLLOWING SEED BED PREPARATION, DITCHES AND BACK SLOPES WILL BE SEEDING TO A MIXTURE OF 47% CREEPING RED FESCUE, 5% REDTOP, AND 48% TALL FESCUE. THE LAWN AREAS WILL BE SEEDING TO A MIXTURE OF 44% KENTUCKY BLUEGRASS, 44% CREEPING RED FESCUE, AND 12% PERENNIAL RYEGRASS. SEEDING RATE IS 1.03 LBS PER 1,000 SF LAWN QUALITY SOD MAY BE SUBSTITUTED FOR SEED.
 - STRAW MULCH AT THE RATE OF 70-90 LBS PER 1,000 SF. A HYDRO-APPLICATION OF WOOD OR PAPER FIBER SHALL BE APPLIED FOLLOWING SEEDING. A SUITABLE BINDER SUCH AS CURASOL OR RMB PLUS WILL BE USED ON STRAW MULCH FOR WIND CONTROL.
- ALL TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED ONCE THE SITE IS STABILIZED.
- WETLANDS WILL BE PROTECTED WITH STRAW BALES AND/OR SILT FENCE INSTALLED AT THE EDGE OF THE WETLAND OR THE BOUNDARY OF WETLAND DISTURBANCE.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL HAVE AN EXPOSURE WINDOW OF NOT MORE THAN 7 DAYS.
- ALL AREAS WITHIN 100 FEET OF A FLAGGED WETLAND OR STREAM SHALL FOLLOW APPROPRIATE EROSION CONTROL MEASURES PRIOR TO EACH STORM IF NOT BEING ACTIVELY WORKED.

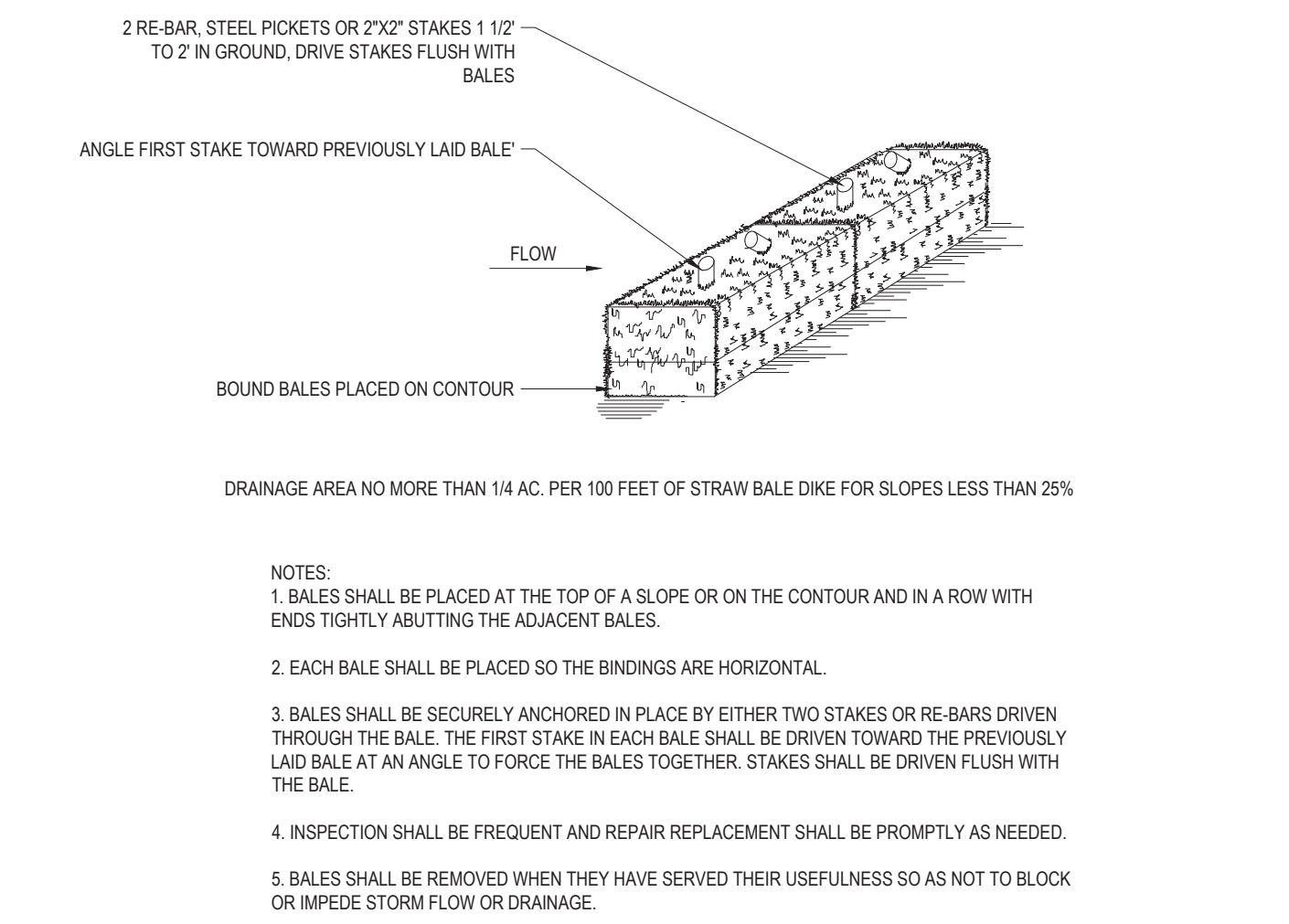
EROSION CONTROL NOTES DURING WINTER CONSTRUCTION



5 CONCRETE WASHOUT AREA

C3.2 SCALE: NTS

EROSION & SEDIMENT CONTROL NOTES

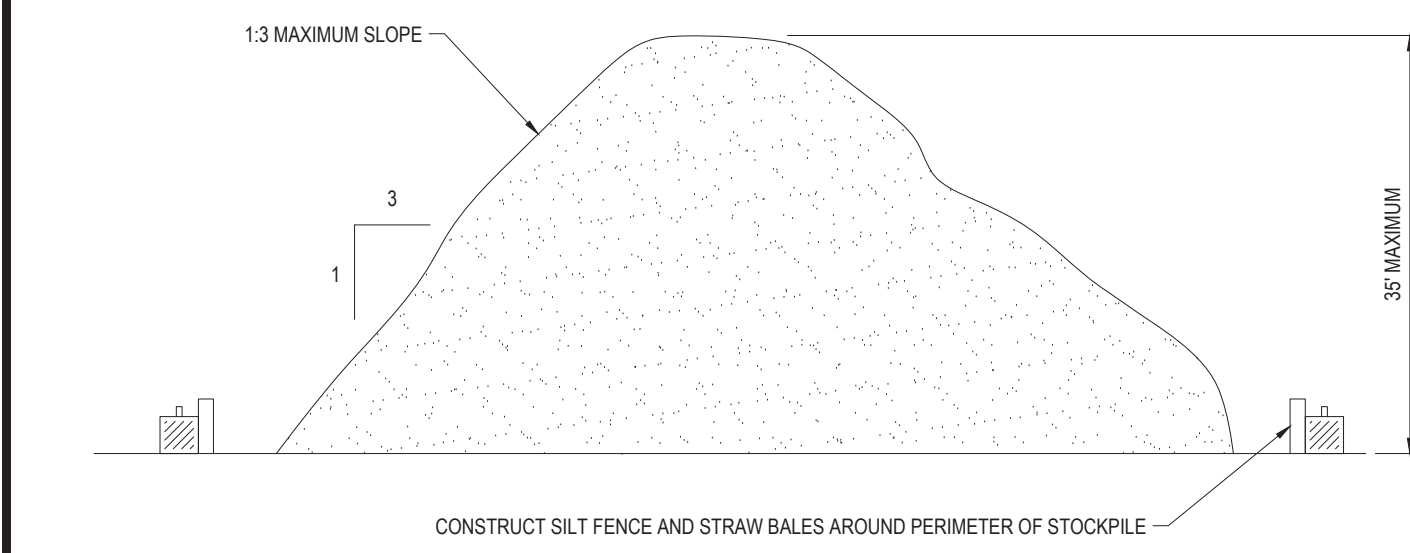


3 STRAW BALE DETAIL

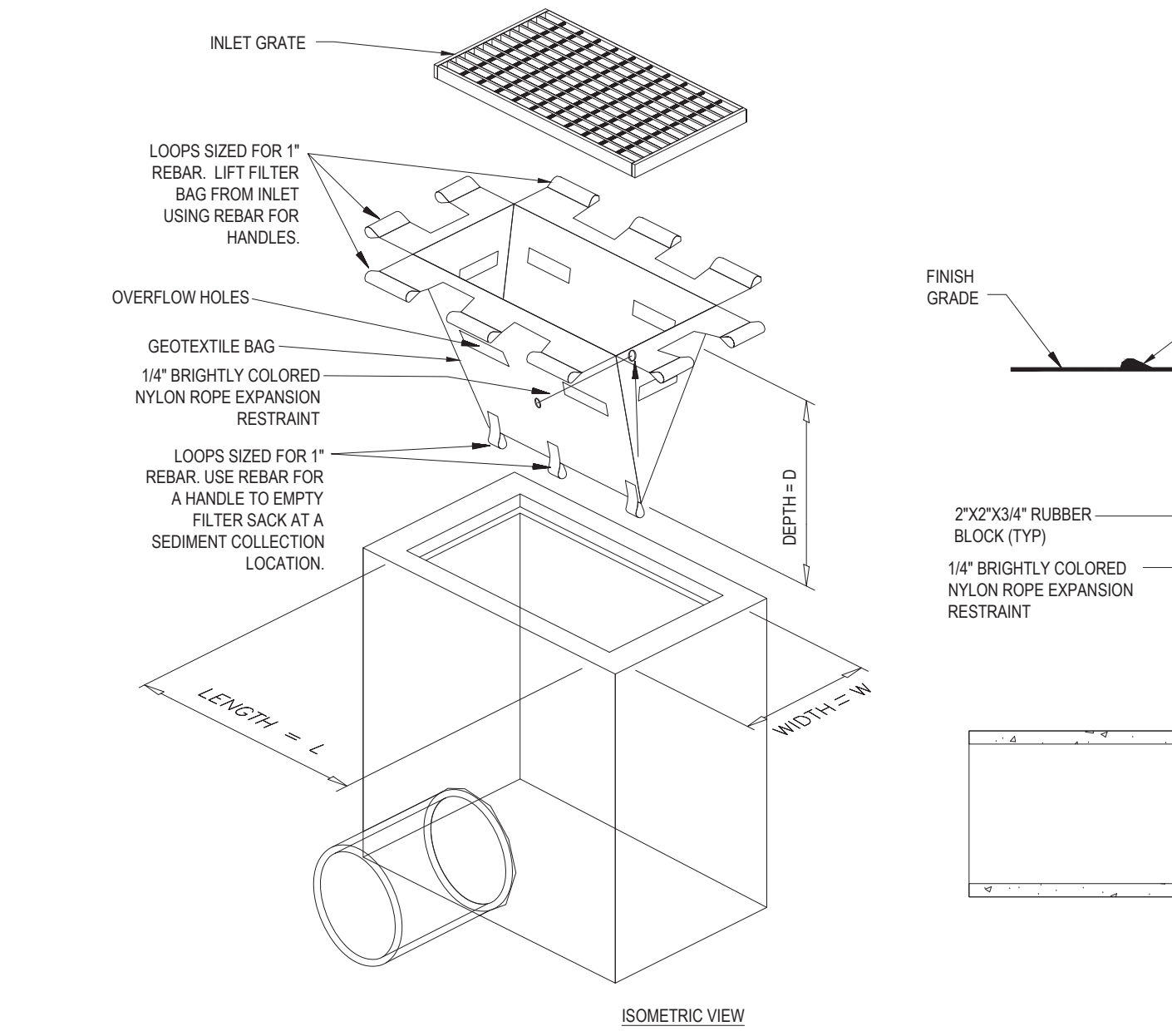
C3.2 SCALE: NTS

4 TEMPORARY STOCKPILE DETAIL

C3.2 SCALE: NTS



- THE FOLLOWING CONSTRUCTION SEQUENCE IS RECOMMENDED:
- INSTALLATION OF STABILIZED CONSTRUCTION ENTRANCE/EXIT (AS SHOWN)
 - INSTALLATION OF EROSION CONTROL BARRIER (STRAW BALES AND SILT FENCE) (AS SHOWN)
 - INSTALLATION OF INLET PROTECTION IN STREET (AS SHOWN)
 - DEMOLITION OF EXISTING SITE PAVEMENT AND AMENITIES (SEE DEMOLITION PLAN)
 - CLEARING AND GRUBBING
 - EARTHWORK AND EXCAVATION/FILLING AS NECESSARY
 - CONSTRUCTION OF UTILITIES AND DRAINAGE
 - STABILIZE PERMANENT LAWN AREAS AND SLOPES WITH TEMPORARY SEEDING
 - INSTALLATION OF INLET PROTECTION OF ONSITE UTILITIES (AS SHOWN)
 - CONSTRUCTION OF BUILDINGS
 - CONSTRUCTION OF ALL CURBING AND LANDSCAPE ISLANDS AS INDICATED ON THE PLANS
 - SPREAD TOPSOIL ON SLOPED AREAS AND SEED AND MULCH
 - FINAL GRADING OF ALL SLOPED AREAS
 - PLACE 6" TOPSOIL ON SLOPES AFTER FINAL GRADING COMPLETED. FERTILIZE, SEED, AND MULCH SEED MIXTURE TO BE INSTALLED AS REQUIRED.
 - PAVE PARKING LOT
 - LANDSCAPING PER LANDSCAPING PLAN
 - REMOVE EROSION CONTROLS AS DISTURBED AREAS BECOME STABILIZED TO 70% STABILIZATION OR GREATER.



6 FILTER SACKS (GRADED INLETS)

C3.2 SCALE: NTS

| LOW TO MODERATE FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE | | |
|--|-------------|------------------|
| PROPERTIES | TEST METHOD | UNITS |
| GRAB TENSILE STRENGTH | ASTM D-4632 | 300 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4833 | 120 LBS |
| MULLEN BURST | ASTM D-3786 | 800 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 120 LBS |
| UV RESISTANCE | ASTM D-4355 | 80 % |
| APPARENT OPENING SIZE | ASTM D-4751 | 40 US SIEVE |
| FLOW RATE | ASTM D-4491 | 40 GAL/MIN/SQ FT |
| PERMITTIVITY | ASTM D-4491 | 0.55 SEC -1 |

| MODERATE TO HIGH FLOW GEOTEXTILE FABRIC SPECIFICATION TABLE | | |
|---|-------------|-------------------|
| PROPERTIES | TEST METHOD | UNITS |
| GRAB TENSILE STRENGTH | ASTM D-4632 | 265 LBS |
| GRAB TENSILE ELONGATION | ASTM D-4632 | 20 % |
| PUNCTURE | ASTM D-4833 | 135 LBS |
| MULLEN BURST | ASTM D-3786 | 420 PSI |
| TRAPEZOID TEAR | ASTM D-4533 | 45 LBS |
| UV RESISTANCE | ASTM D-4355 | 90 % |
| APPARENT OPENING SIZE | ASTM D-4751 | 20 US SIEVE |
| FLOW RATE | ASTM D-4491 | 200 GAL/MIN/SQ FT |
| PERMITTIVITY | ASTM D-4491 | 1.5 SEC -1 |

- REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.
- GEOTEXTILE SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.
- PLACE AN OIL ADSORBENT PAD OR PILLOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.
- INSPECT PER REGULATORY REQUIREMENTS.
- THE WIDTH "W" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.
- THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.
- THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

DO NOT USE IN PAVED AREAS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.
TO BE USED IN EXISTING RIGHT OF WAY

STAGE OF CONSTRUCTION NOTES

FINAL PLAN
APPROVED BY THE ADMINISTRATIVE OFFICER
Sam K... 8/3/21
DATE

BOHLER
PROJECT No.: W201149 SCALE: AS NOTED
DRAWN BY / CHECKED BY: ND/RM CAD I.D.: W201149s90

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| | |
|----------|------------|
| COMM # | 4503 |
| DATE: | 12-18-2020 |
| REVISION | |
| DATE: | 04-27-2021 |
| | 07-02-2021 |

C3.2

GENERAL NOTES

- A. REFER TO PROJECT MANUAL FOR ADDITIONAL REQUIREMENTS.
- B. SITE CONDITIONS BASED UPON SURVEY PROVIDED BY OWNER. FIELD VERIFY EXISTING CONDITIONS BY DETAILED INSPECTION PRIOR TO SUBMITTING BID AND BEGINNING CONSTRUCTION. NOTIFY ARCHITECT IF EXISTING CONDITIONS DEVIATE SUBSTANTIALLY FROM THOSE INDICATED HEREIN.
- C. ALL UTILITY WORK MUST BE APPLIED FOR VIA UTILITY PERMIT APPLICATIONS WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION (RIDOT).
- D. ALL WATER PIPES AND VALVES SHALL HAVE A MINIMUM DEPTH OF 5 FT PER THE WARWICK WATER DIVISION.

KEY NOTES

- 1 PROP. 1" TYPE K COPPER WATER SERVICE. REFER TO DETAIL 1/C4.2 AND ARCH.MEP PLANS. GC TO COORDINATE WITH WATER DEPT. PRIOR TO CONSTRUCTION (1)
- 2 IRRIGATION LINE. SIZE/LOCATION TO BE COORDINATED WITH IRRIGATION CONTRACTOR
- 3 GAS LINE PER GAS COMPANY REQUIREMENTS (2)
- 4 GAS METER. REFER TO MECHANICAL PLANS BY OTHERS (2)
- 5 GC TO CONNECT TO EXIST. GAS SERVICE PER GAS COMPANY REGULATIONS. GC SHALL VERIFY THE SIZE, LOCATION AND CONDITION OF EXIST. SERVICE WITHIN THE R.O.W. PRIOR TO CONSTRUCTION. (2)
- 6 UNDERGROUND ELECTRIC AND TELEPHONE CONDUITS. (2)
- 7 ELECTRIC METER. REFER TO MECHANICAL PLANS. (2)
- 8 6" SDR-35 PVC SEWER LINE. REFER TO DETAIL 2/C4.2
- 9 SANITARY CLEANOUT TO GRADE. REFER TO DETAIL 5/C4.2
- 10 SEWER CONNECTION. ANTICIPATED INVERT 44.00 (GC TO VERIFY LOCATION AND INVERT OF SEWER STUB & NOTIFY ENGINEER IF ANY CONFLICTS OCCUR PRIOR TO CONSTRUCTION). (2)
- 11 GC TO COORDINATE NEW UNDERGROUND ELECTRIC AND TELEPHONE SERVICE CONNECTION TO EXISTING UTILITY POLE & POLE-MOUNTED TRANSFORMER. (2)
- 12 GC TO CONNECT TO EXIST. 3/4" WATER SERVICE PER WATER DEPARTMENT REGULATIONS. GC SHALL VERIFY THE SIZE, LOCATION AND CONDITION OF EXIST. WATER STUB PRIOR TO CONSTRUCTION. (1)
- 13 STORM PIPING. REFER TO DETAIL 11/C4.2 AND SITE GRADING PLAN
- 14 APPROX. SAWCUT LINE
- 15 APPROX. LIMIT OF WORK
- 16 SANITARY SEWER MANHOLE. REFER TO DETAIL 13/C4.2
- 17 UTILITY CROSSING. GC TO VERIFY INV. OF EXISTING UTILITY AND NOTIFY ENGINEER OF ANY CONFLICTS PRIOR TO CONSTRUCTION.
- 18 NOT USED
- 19 PRECAST CONCRETE DEEP SUMP CATCH BASIN. REFER TO DETAIL 3/C4.2
- 20 PRECAST CONCRETE DRAIN MANHOLE. REFER TO DETAIL 4/C4.2

(1) PER WATER DEPARTMENT REQS'
(2) GC TO COORDINATE WITH UTILITY COMPANY PRIOR TO CONSTRUCTION

ENVIRONMENTAL GENERAL NOTES

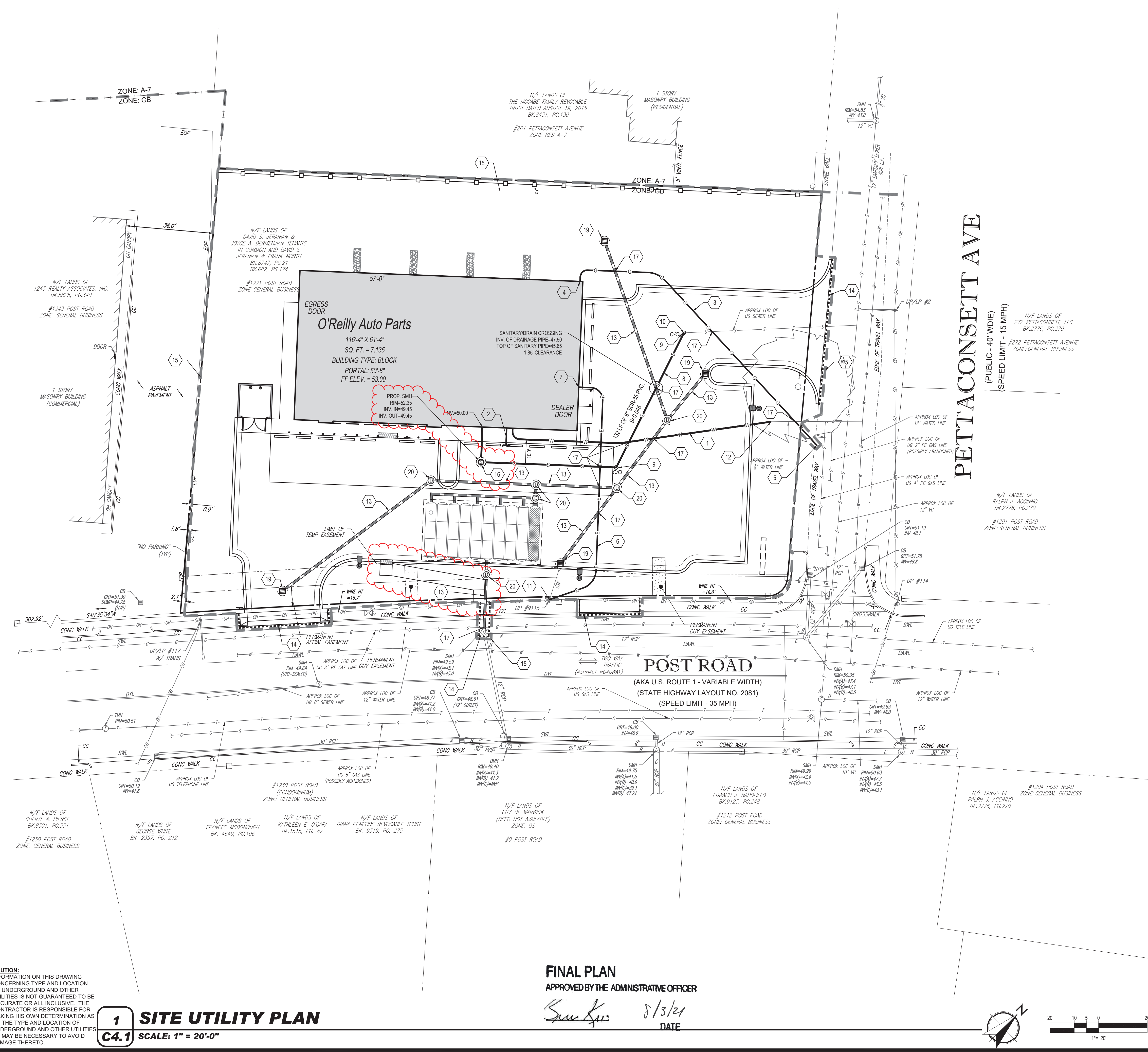
- A. AN ENVIRONMENTAL ANALYSIS HAS BEEN PERFORMED ON THE EXISTING SITE. REFER TO PROJECT MANUAL.
- B. IF THIS PROJECT CONTAINS HAZARDOUS MATERIALS, CONTRACTOR TO PROVIDE WORK REQUIRED FOR PROPER REMOVAL, HANDLING, AND DISPOSAL PER ENVIRONMENTAL ANALYSIS RECOMMENDATIONS.

PLAN REFERENCES

- REFER TO GENERAL NOTES SHEET FOR DEMOLITION NOTES
- THIS PLAN TO BE UTILIZED FOR DEMOLITION/REMOVAL PURPOSES ONLY

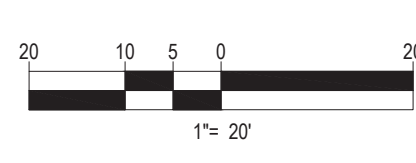
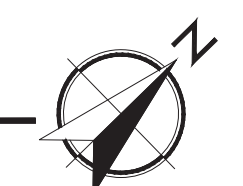


PROJECT No.: W201149 SCALE: AS NOTED
DRAWN BY / CHECKED BY: NDRM CAD I.D.: W201149s90



FINAL PLAN
APPROVED BY THE ADMINISTRATIVE OFFICER

Signature 8/3/21
DATE

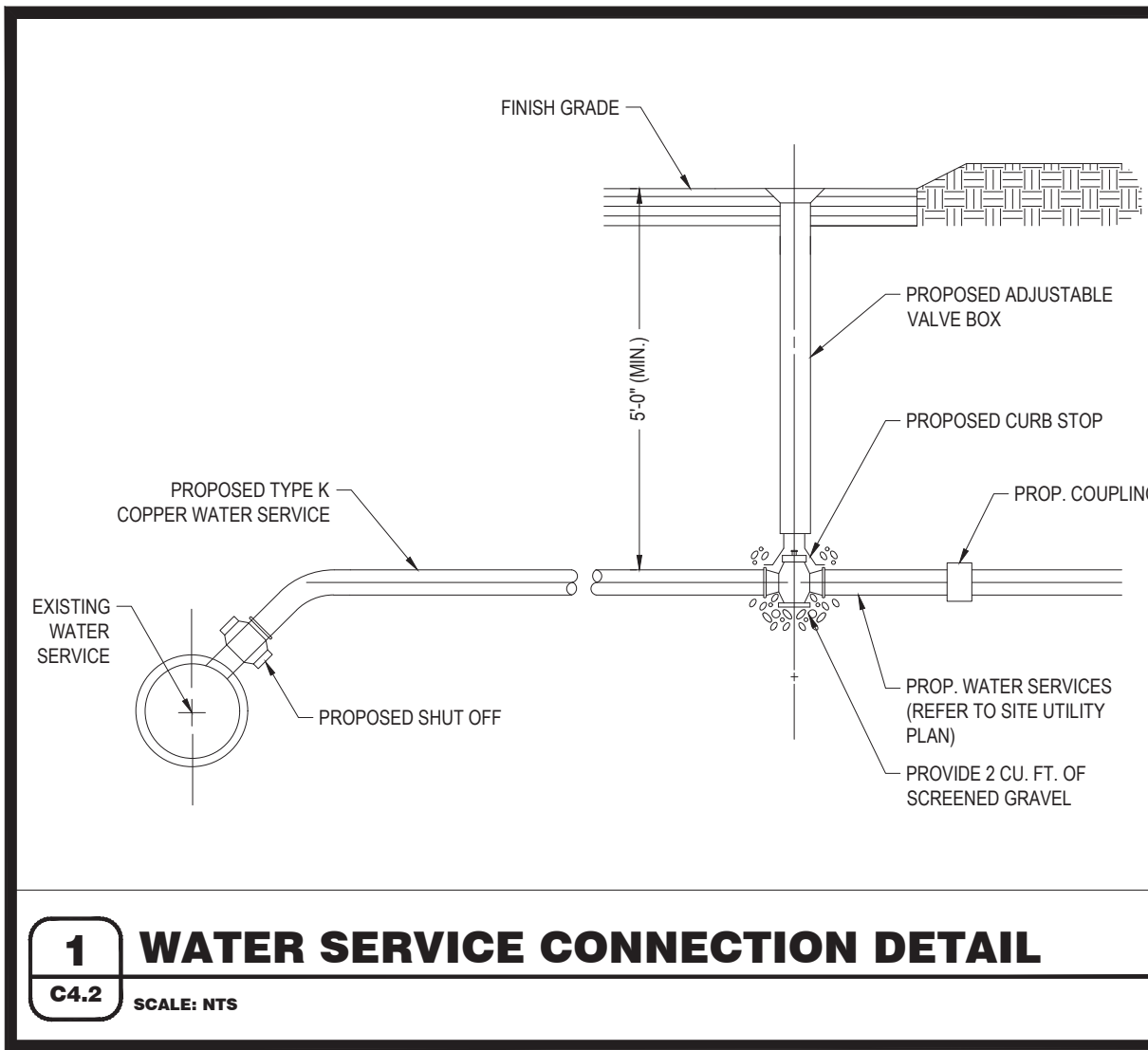


Know what's below
Call before you dig.

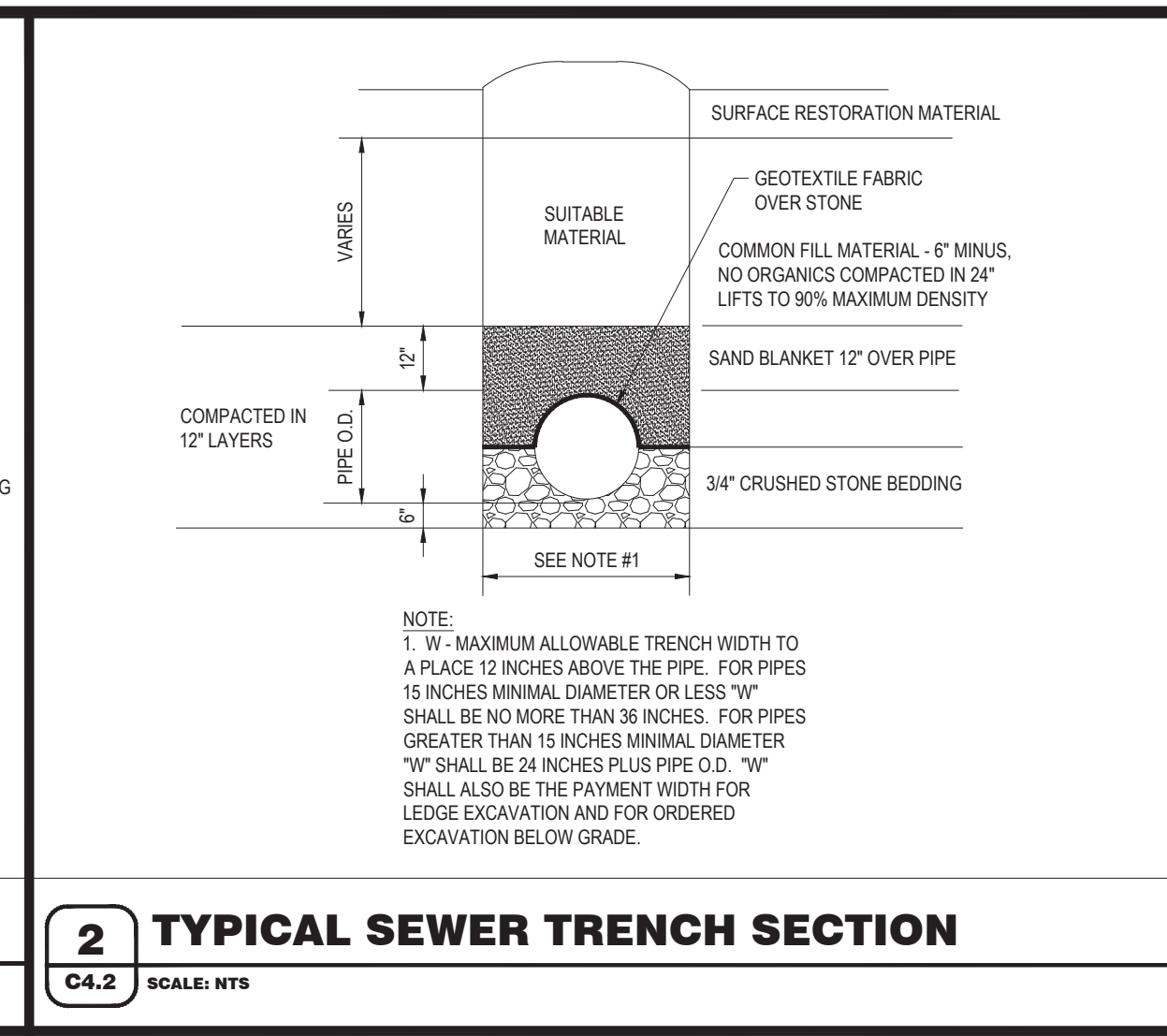
CAUTION:
INFORMATION ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATION AS TO THE TYPE AND LOCATION OF UNDERGROUND AND OTHER UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

1 SITE UTILITY PLAN
SCALE: 1" = 20'-0"

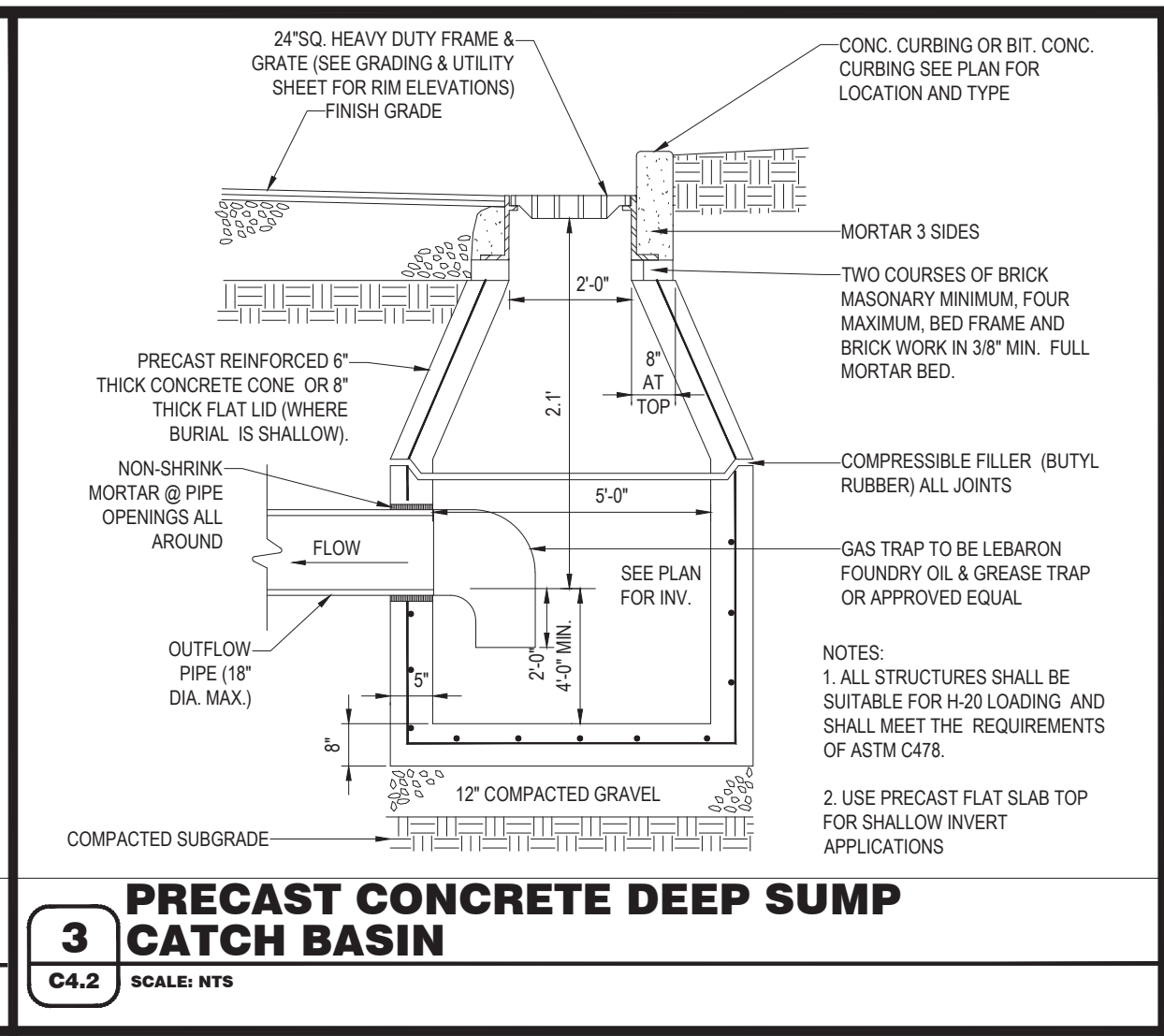
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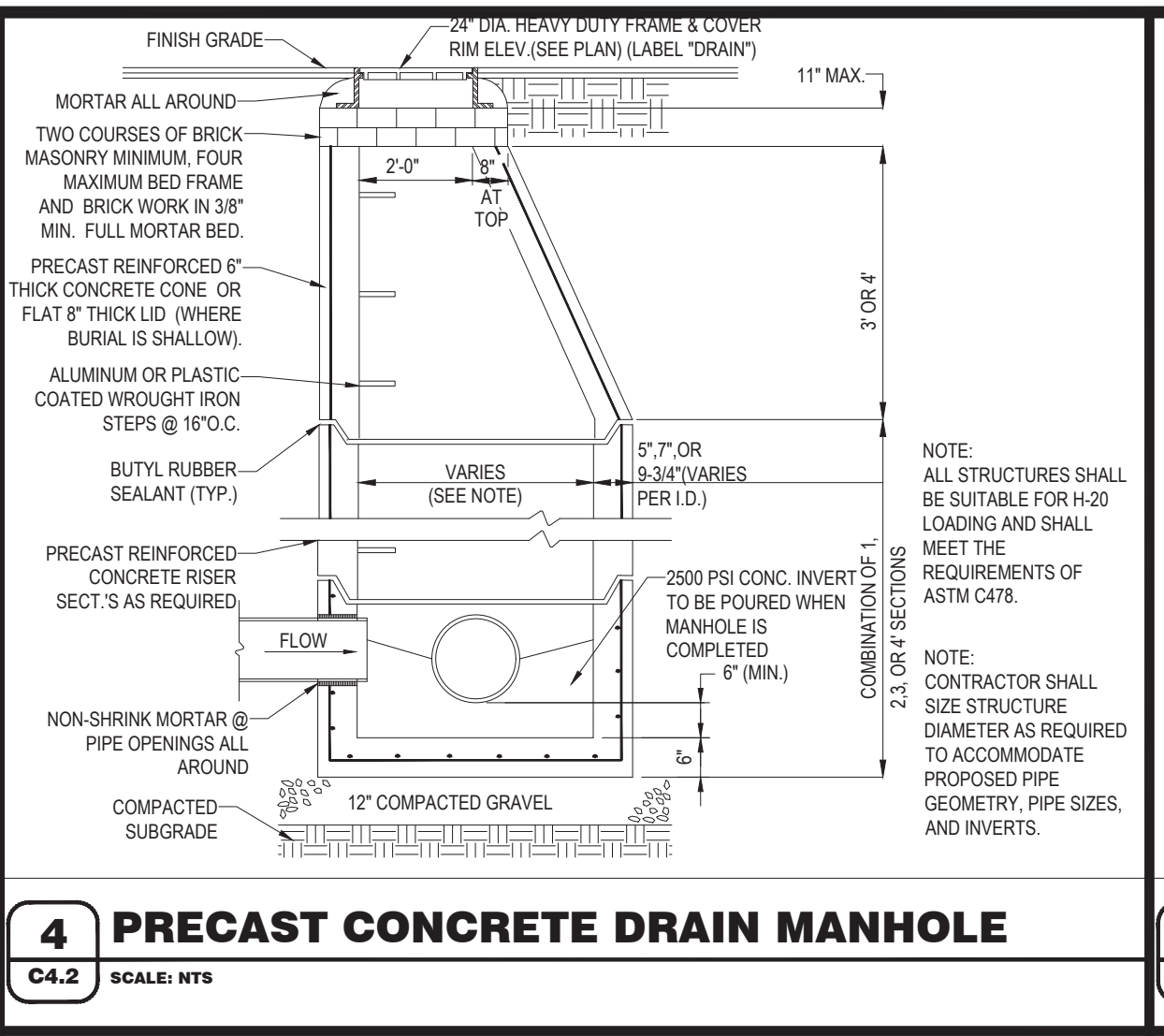
1 WATER SERVICE CONNECTION DETAIL
C4.2 SCALE: NTS



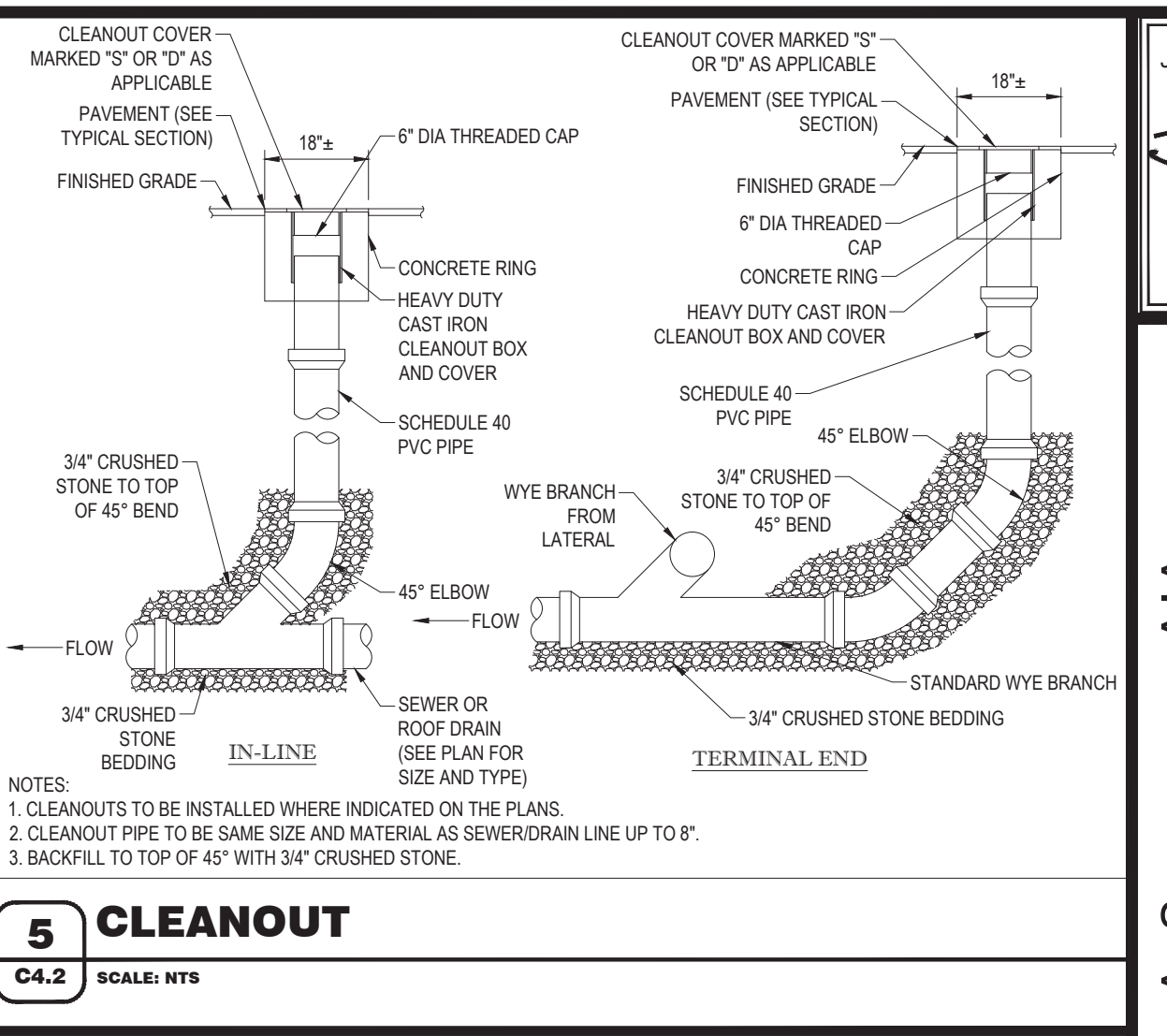
2 TYPICAL SEWER TRENCH SECTION
C4.2 SCALE: NTS



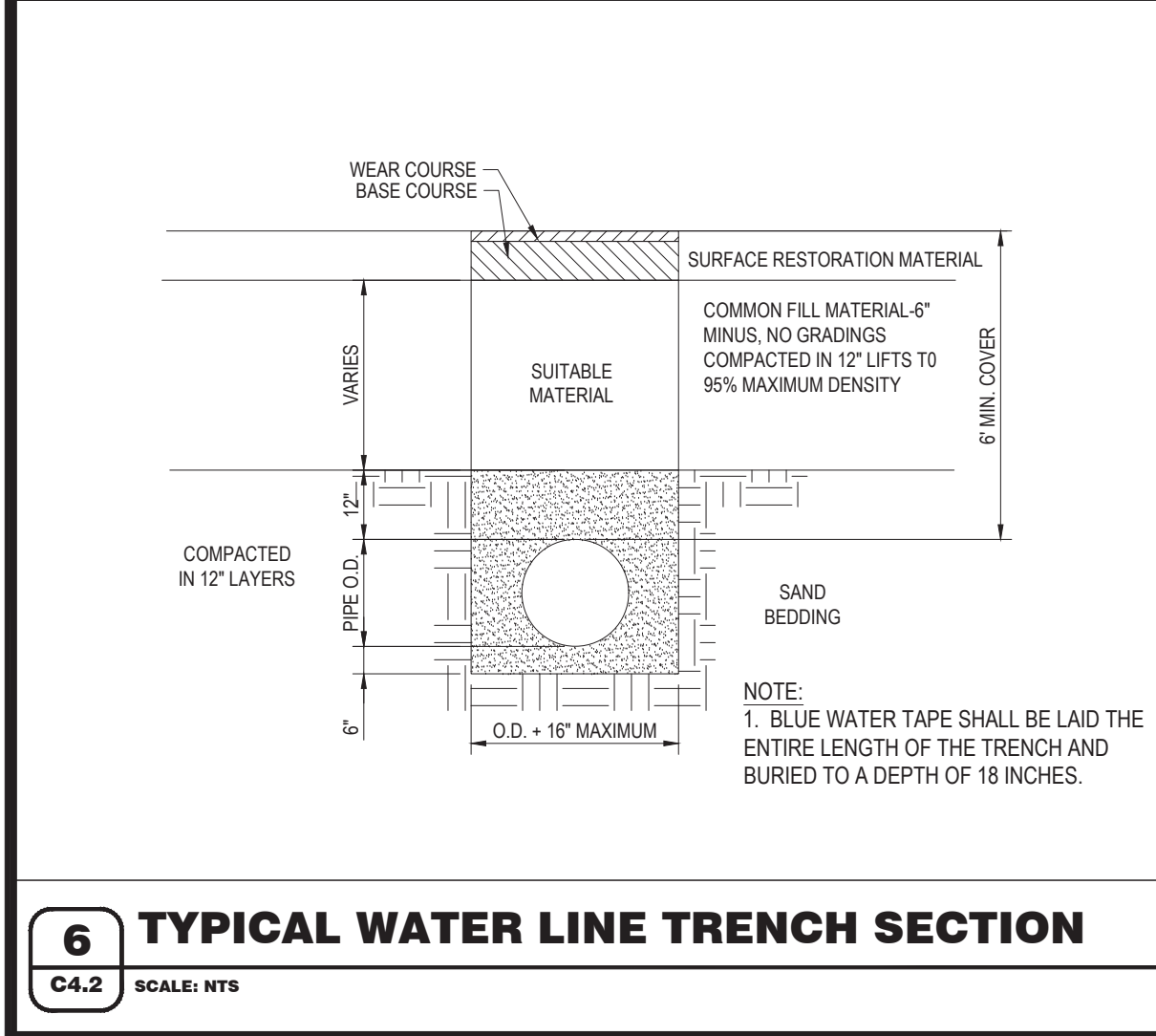
3 PRECAST CONCRETE DEEP SUMP CATCH BASIN
C4.2 SCALE: NTS



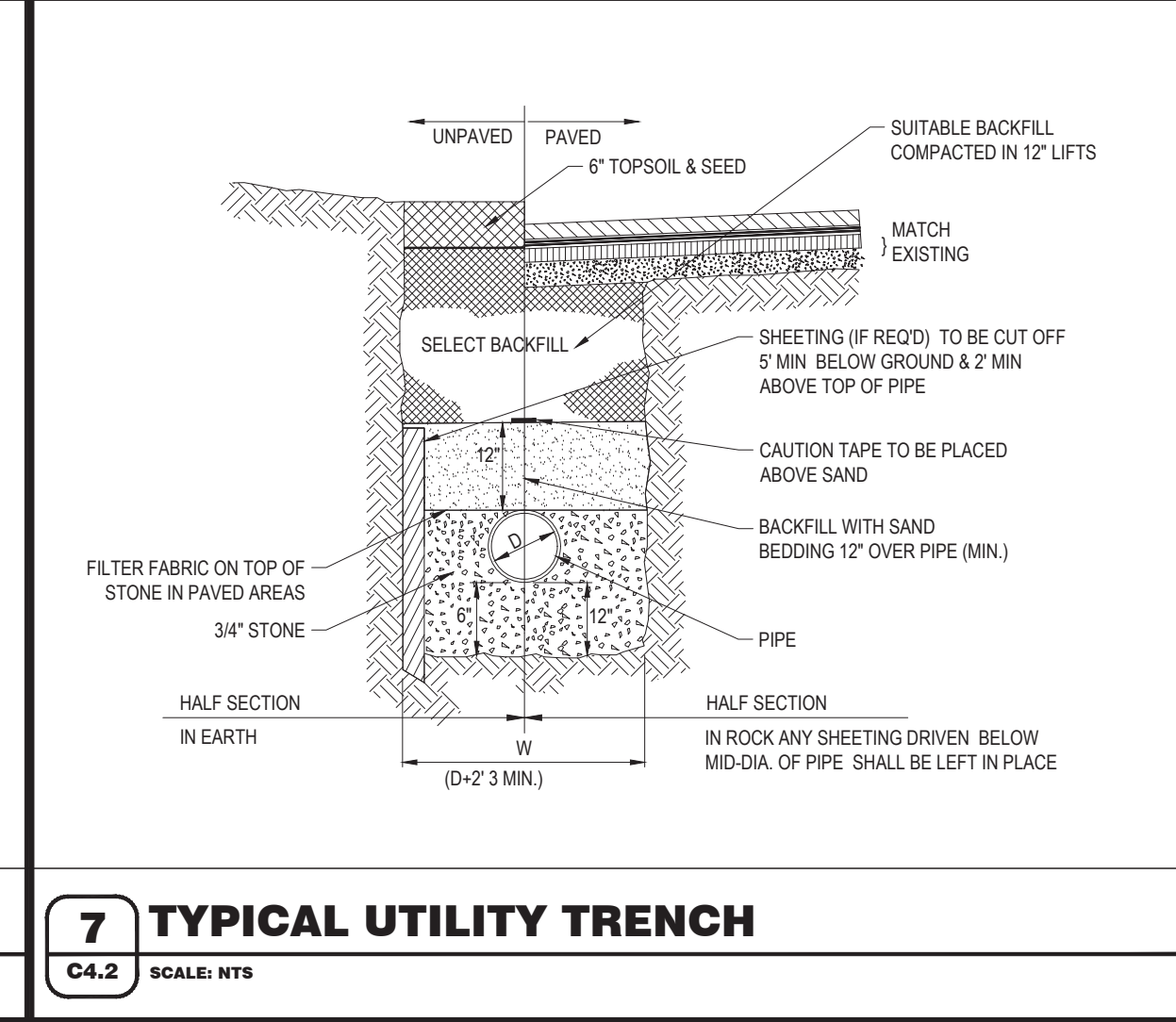
4 PRECAST CONCRETE DRAIN MANHOLE
C4.2 SCALE: NTS



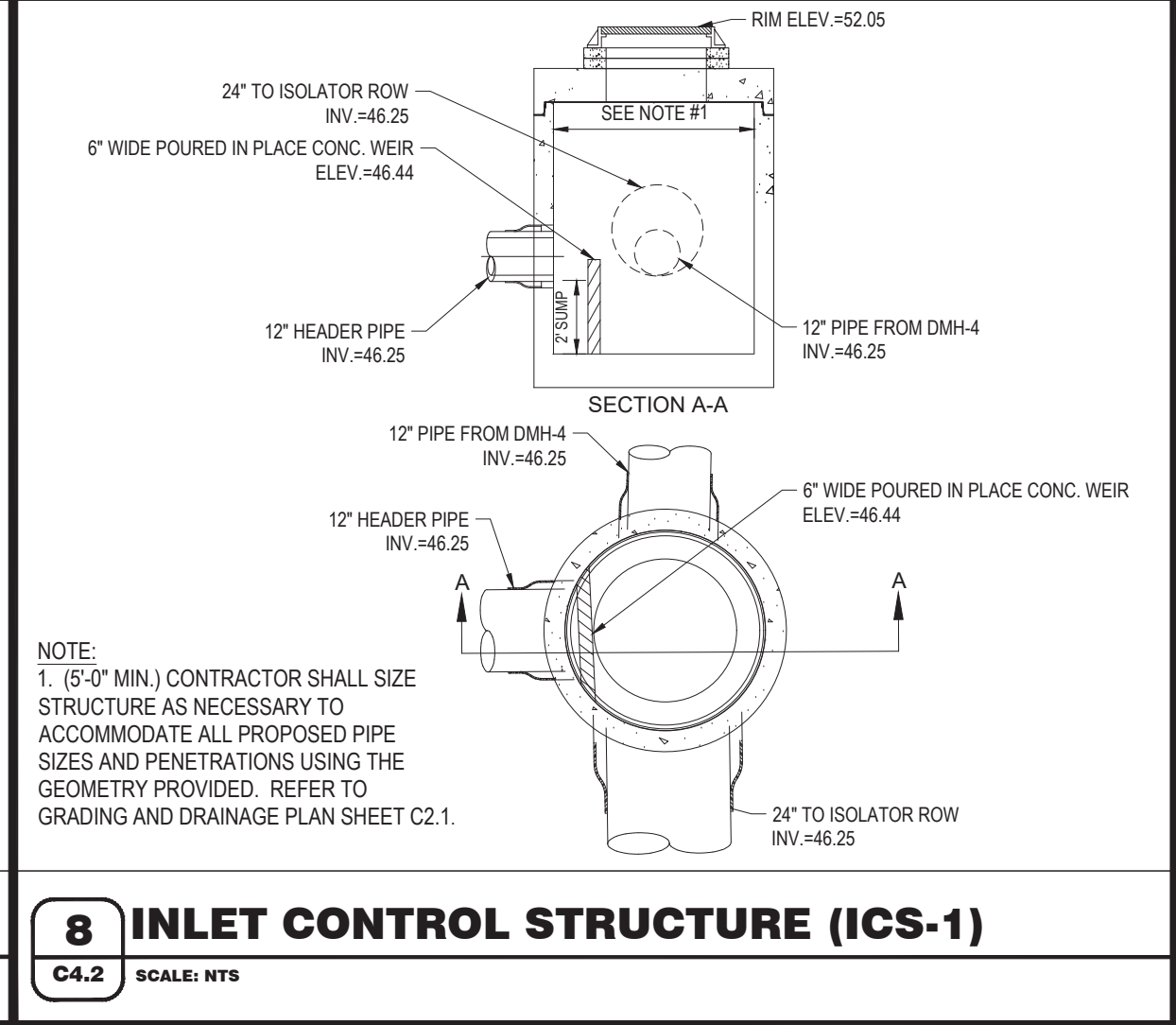
5 CLEANOUT
C4.2 SCALE: NTS



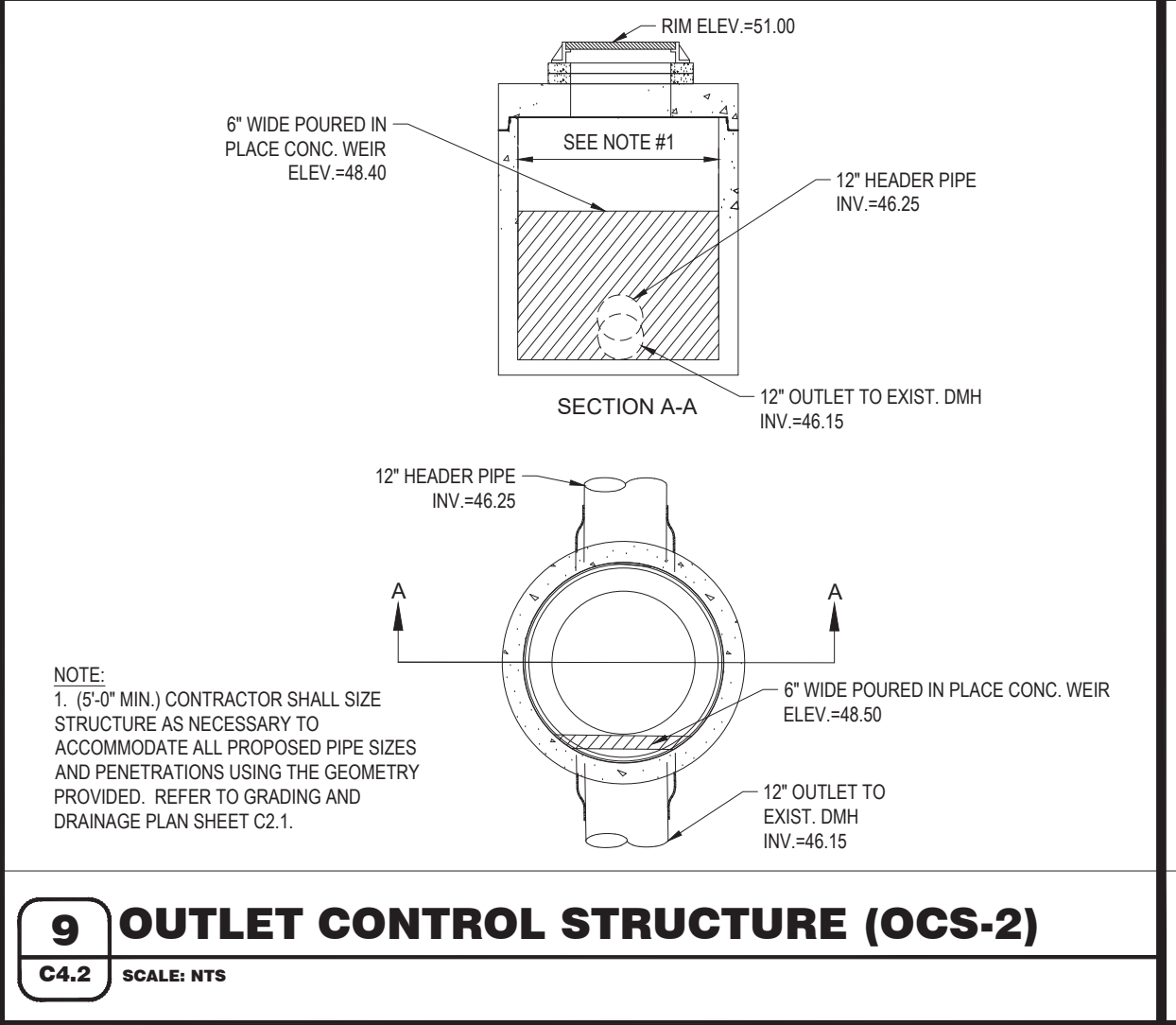
6 TYPICAL WATER LINE TRENCH SECTION
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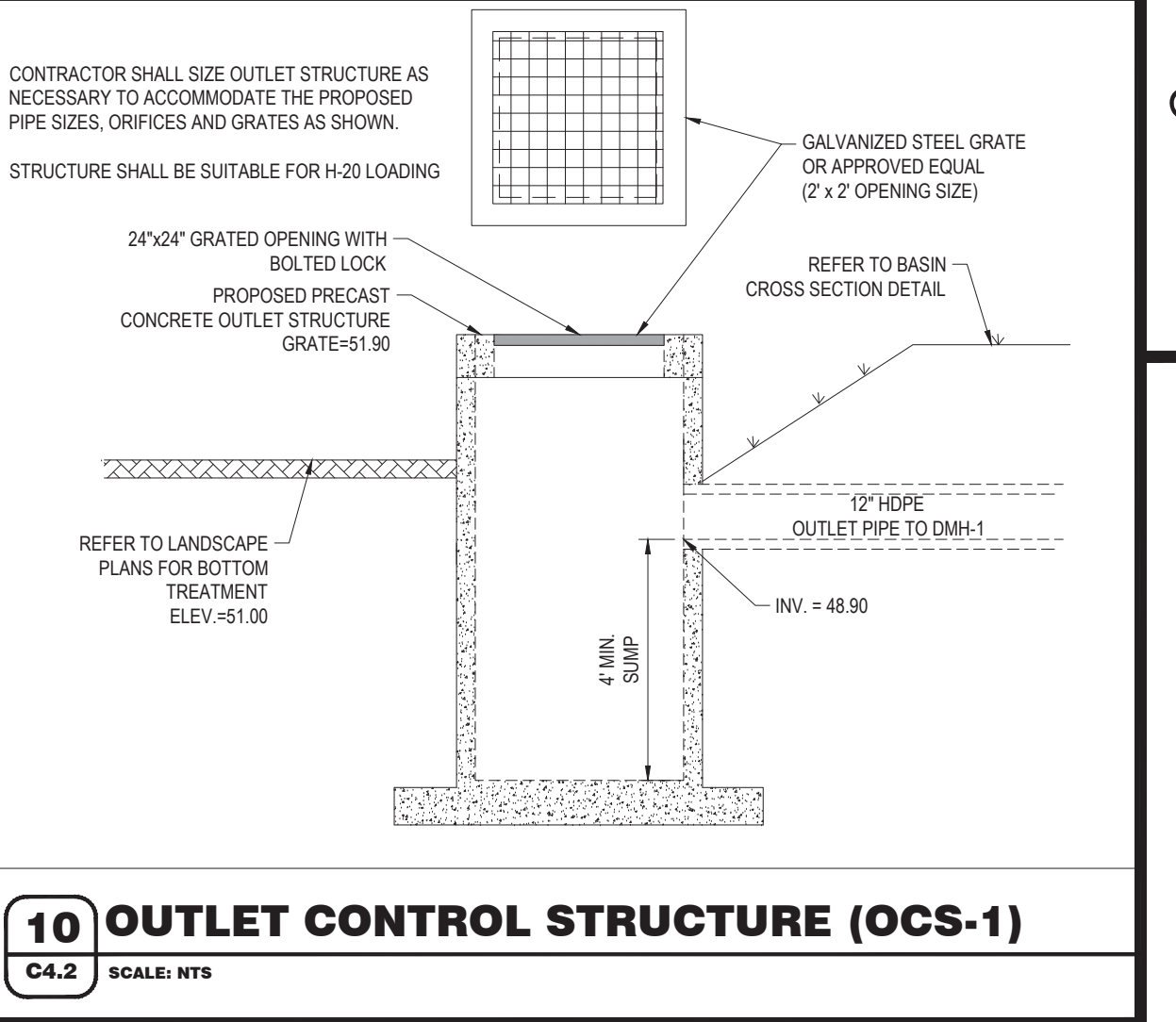
7 TYPICAL UTILITY TRENCH
C4.2 SCALE: NTS



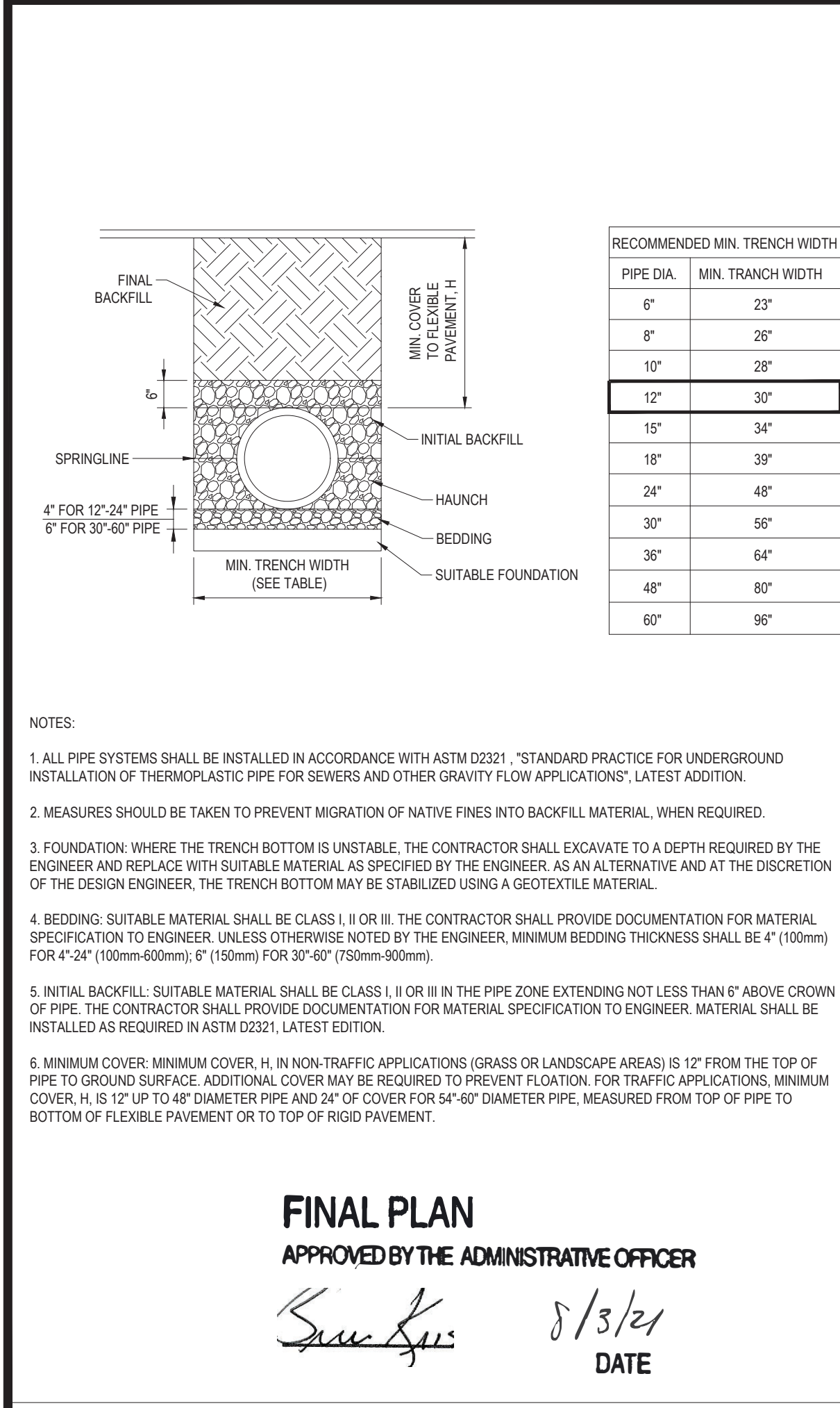
8 INLET CONTROL STRUCTURE (ICS-1)
C4.2 SCALE: NTS



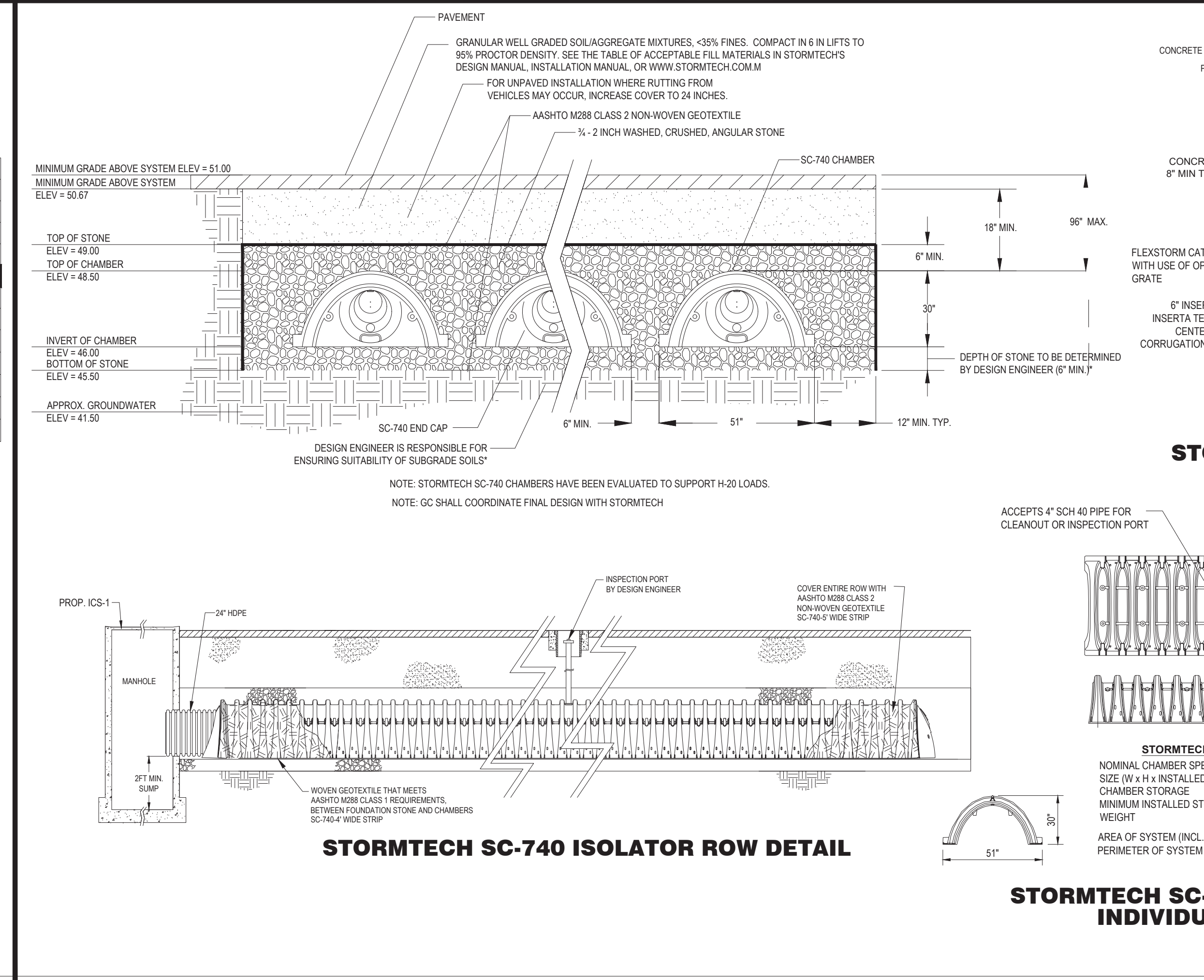
9 OUTLET CONTROL STRUCTURE (OCS-2)
C4.2 SCALE: NTS



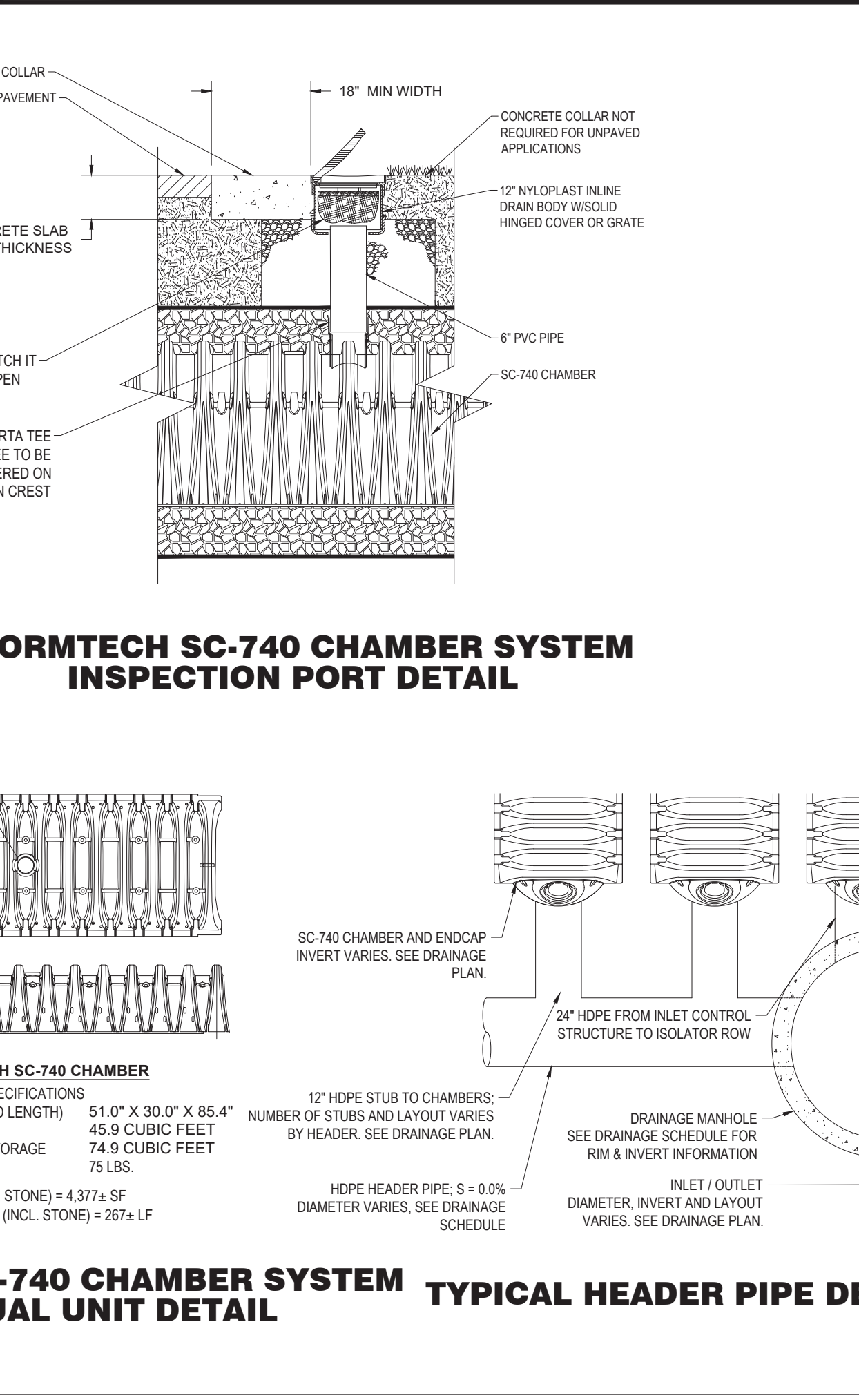
10 OUTLET CONTROL STRUCTURE (OCS-1)
C4.2 SCALE: NTS



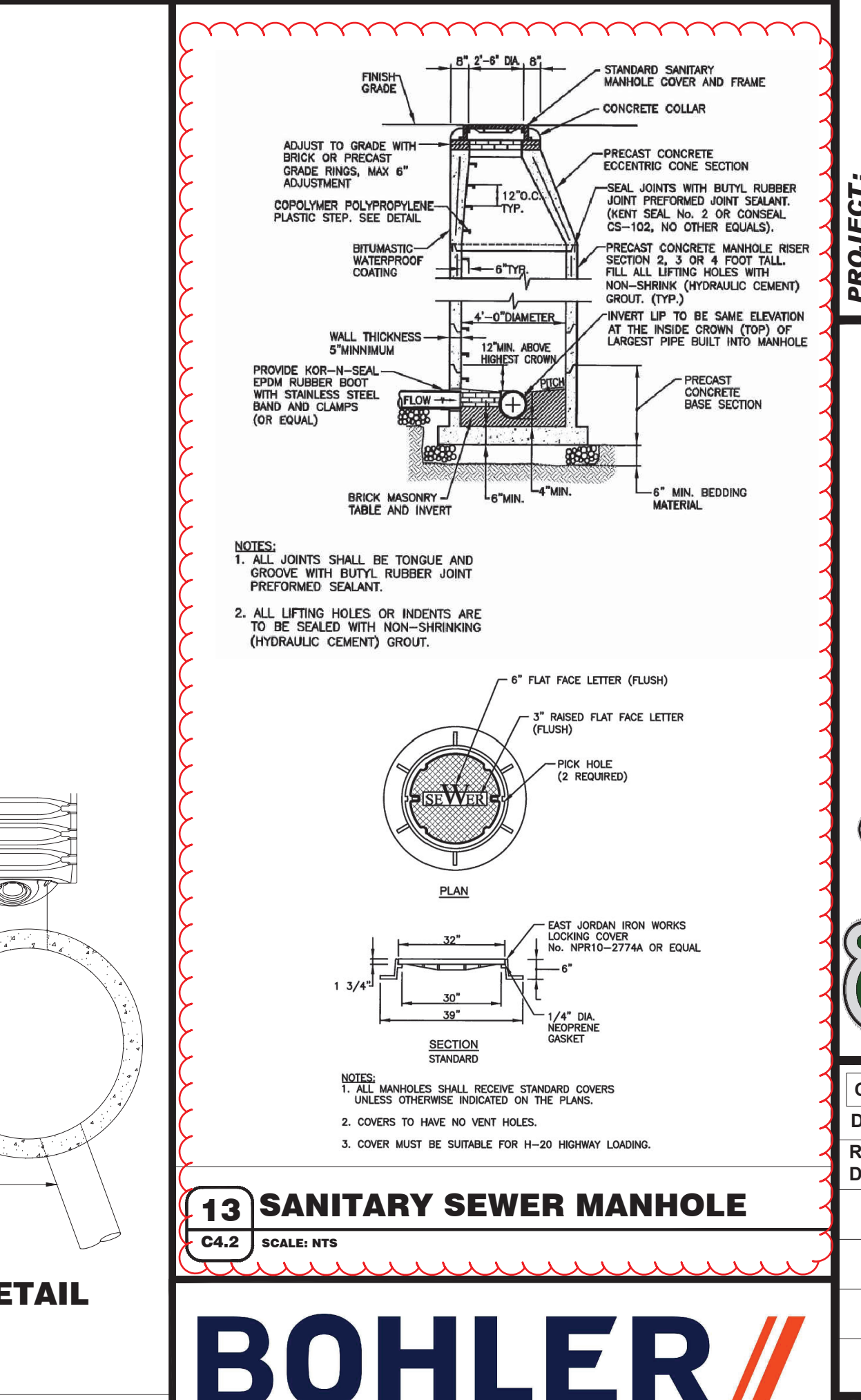
11 HDPE STORM DRAINAGE TRENCH
C4.2 SCALE: NTS



12 STORMTECH SC-740 UNDERGROUND INFILTRATION SYSTEM
C4.2 SCALE: NTS



13 SANITARY SEWER MANHOLE
C4.2 SCALE: NTS



13 SANITARY SEWER MANHOLE
C4.2 SCALE: NTS

JOSHUA G. SWERLING
REGISTERED PROFESSIONAL ENGINEER CIVIL
417.862.0558
Fax: 417.862.3265
e-mail: archt@esterlyschneider.com

CRAIG A. SCHNEIDER, AIA
ARCHITECT
1736 East Sunshine, Suite 417
Springfield, Missouri 65804

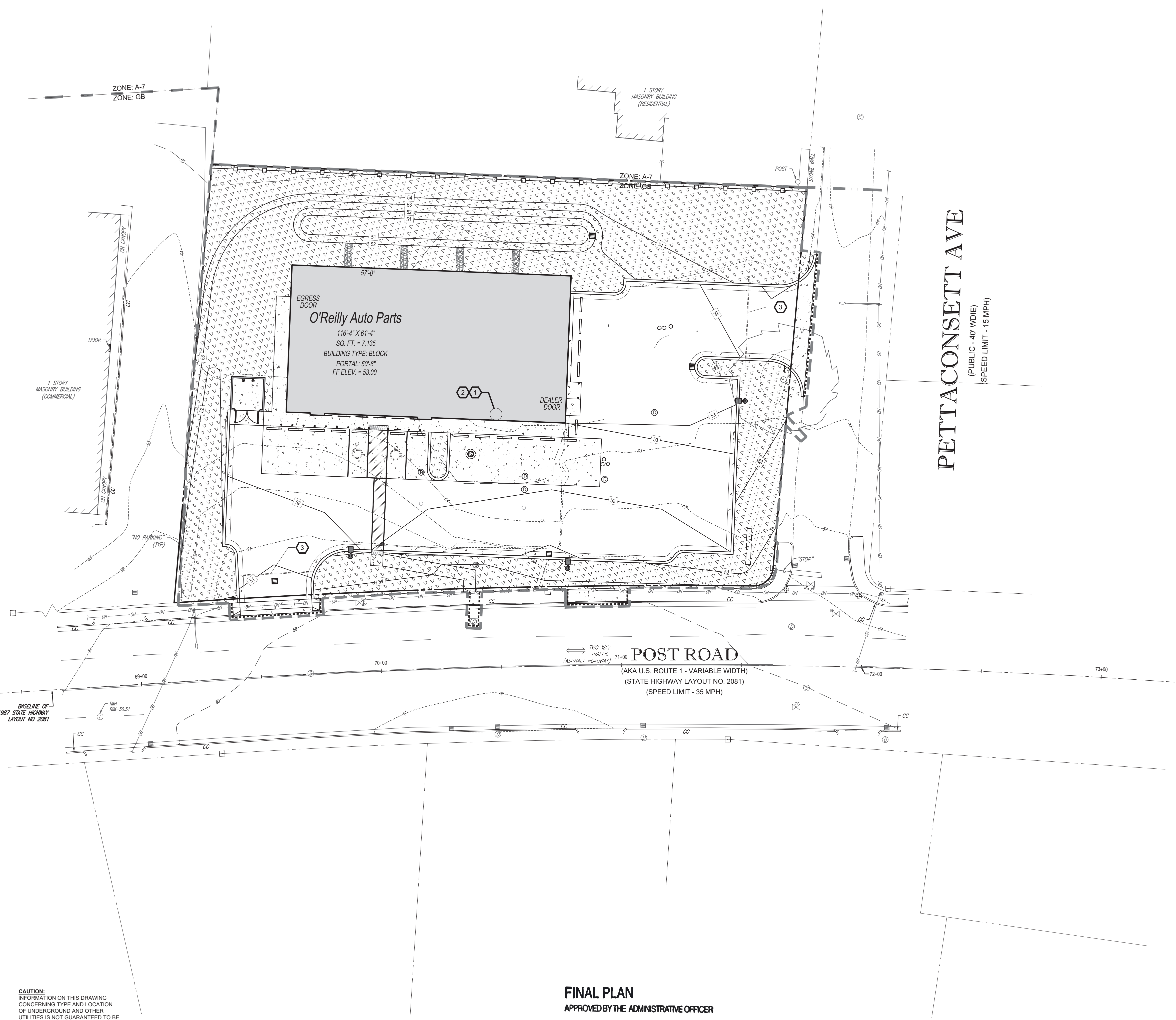
PROJECT:
NEW O'REILLY AUTO PARTS STORE
1221 POST ROAD
WARWICK, RI #2
SITE UTILITY DETAILS

O'Reilly AUTO PARTS
CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

COMM # 4503
DATE: 12-18-2020
REVISION DATE: 04-27-2021
07-02-2021
07-27-2021

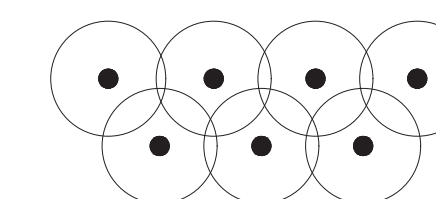
BOHLER
PROJECT No.: W201149 SCALE: AS NOTED
DRAWN BY / CHECKED BY: NDR/M CAD I.D.: W201149s90

C4.2



COVERAGE REQUIREMENTS

IRRIGATION HEAD SHALL BE PLACED TO PROVIDE 100% OVERLAP HEAD-TO-HEAD COVERAGE.



KEY NOTES

- 1 APPROXIMATE LOCATION OF LAWN IRRIGATION METER WITH BACK FLOW PREVENTION PER CITY REQUIREMENTS. REFER TO SITE UTILITIES PLAN - SEE MEP PLANS FOR LOCATION
- 2 APPROXIMATE IRRIGATION CONTROLLER LOCATION INSIDE OF BUILDING. PROVIDE FREEZE SENSOR AND RAIN SENSOR ON OUTSIDE OF BUILDING. - SEE MEP PLANS FOR LOCATION
- 3 4" DIAMETER SCHEDULE 40 PVC SLEEVES UNDER PAVEMENT FOR ROUTING OF IRRIGATION SYSTEM. PROVIDE END CAPS AND PULL WIRE.

SYMBOLS LEGEND

NOTE: REFER TO SURVEY SHEET FOR SYMBOLS LEGEND OF EXISTING CONDITIONS.



PLAN REFERENCES

- THIS PLAN TO BE UTILIZED FOR IRRIGATION PURPOSES ONLY

NOTE: SEE MEP PLANS FOR LOCATIONS OF IRRIGATION METER, IRRIGATION CONTROLLER AND FREEZE AND RAIN SENSOR.

JOSHUA G. SWERLING



417.862.0558
Fax: 417.862.3265

CRAIG A. SCHNEIDER, AIA
ARCHITECT

1736 East Sunshine, Suite 417
Springfield, Missouri 65804

PROJECT:
NEW O'REILLY AUTO PARTS STORE
1221 POST ROAD
WARWICK, RI #2
IRRIGATION COVERAGE PLAN



CORPORATE OFFICES
233 SOUTH PATTERSON
SPRINGFIELD, MISSOURI 65802
(417) 862-2674 TELEPHONE

| | |
|----------------|------------|
| COMM # | 4503 |
| DATE: | 12-18-2020 |
| REVISION DATE: | 04-27-2021 |
| | 07-02-2021 |

BOHLER

PROJECT No.: W201149 SCALE: AS NOTED
DRAWN BY / CHECKED BY: NDR/M CAD I.D.: W201149ss0

L1.2



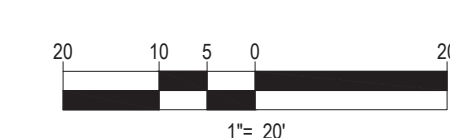
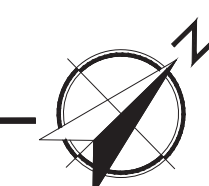
Know what's below
Call before you dig.

CAUTION:
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1 LANDSCAPE IRRIGATION PLAN
L2.1 SCALE: 1" = 20'-0"

FINAL PLAN
APPROVED BY THE ADMINISTRATIVE OFFICER

Sam King 8/3/21
DATE



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H:\ORE\1520 Warwick, RI #2 (Wc2)\A\1520SP1 6 May 2021 - 2:37 pm



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 1736 East Sunshine, Suite 417
 Springfield, Missouri 65804
 e-mail: architect@esterisautocenter.com
 417.862.0558
 Fax: 417.862.3265

PROJECT:
NEW O'REILLY AUTO PARTS STORE
POST ROAD
WARWICK, RI #2
SITE PHOTOMETRIC PLAN



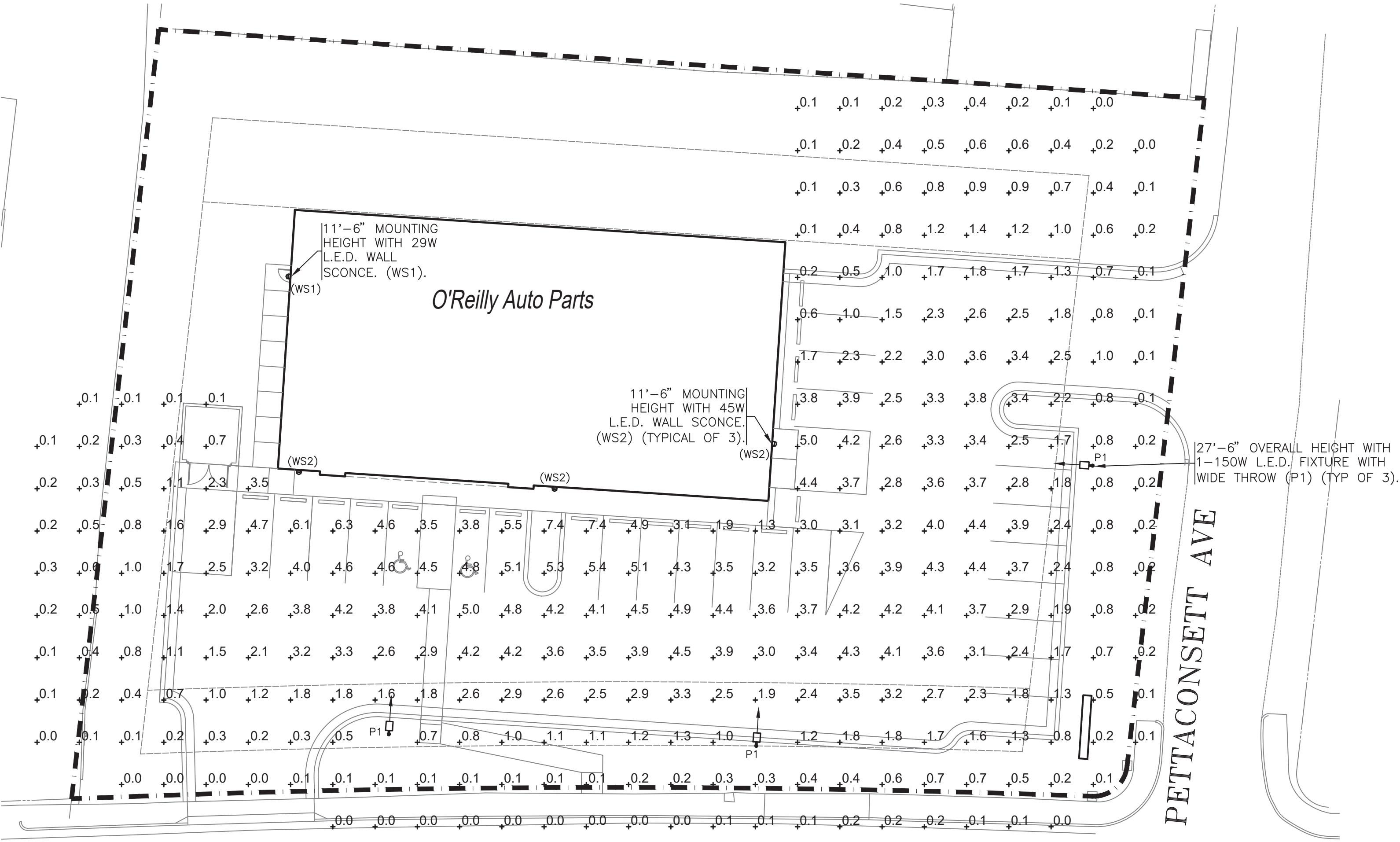
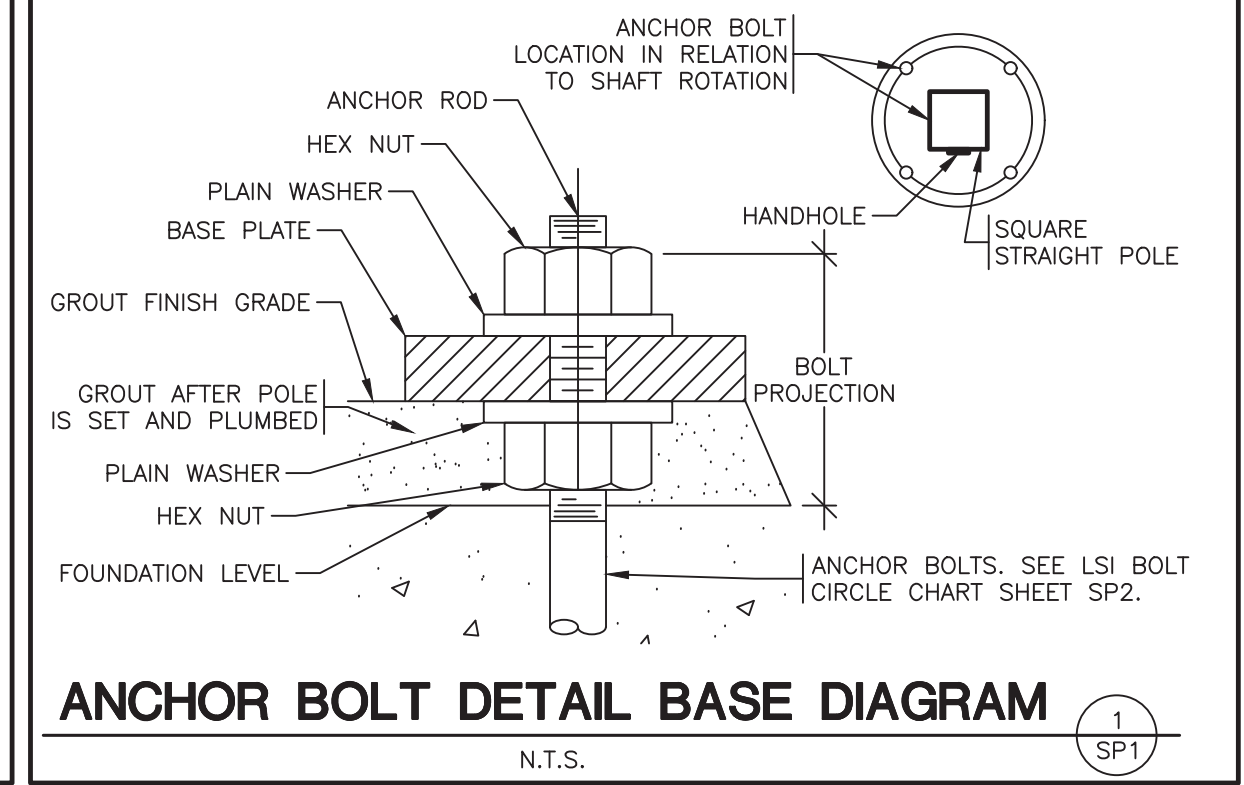
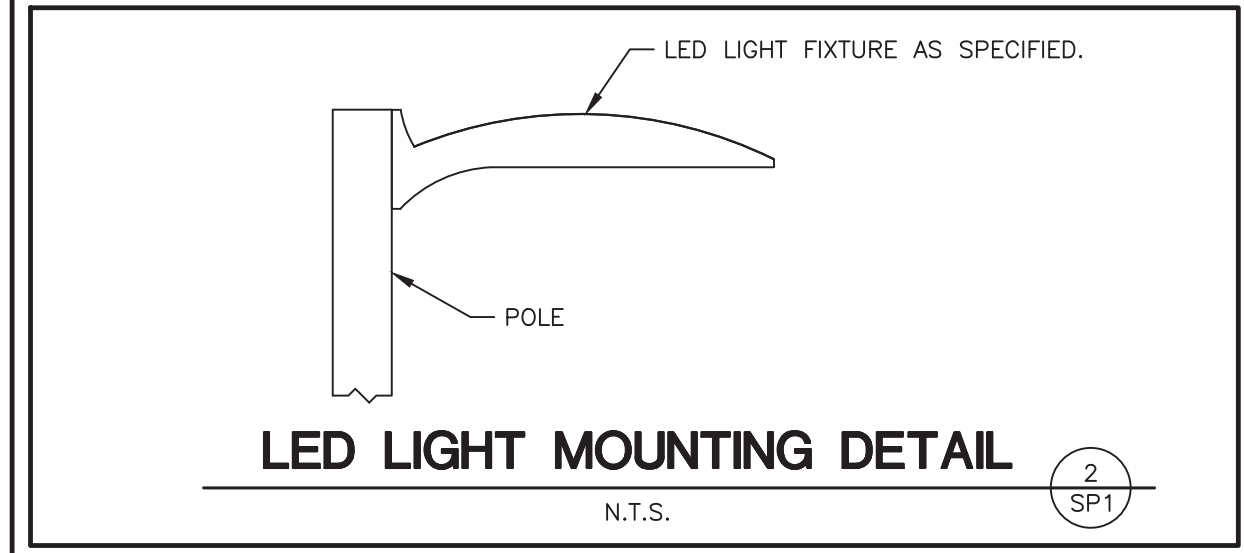
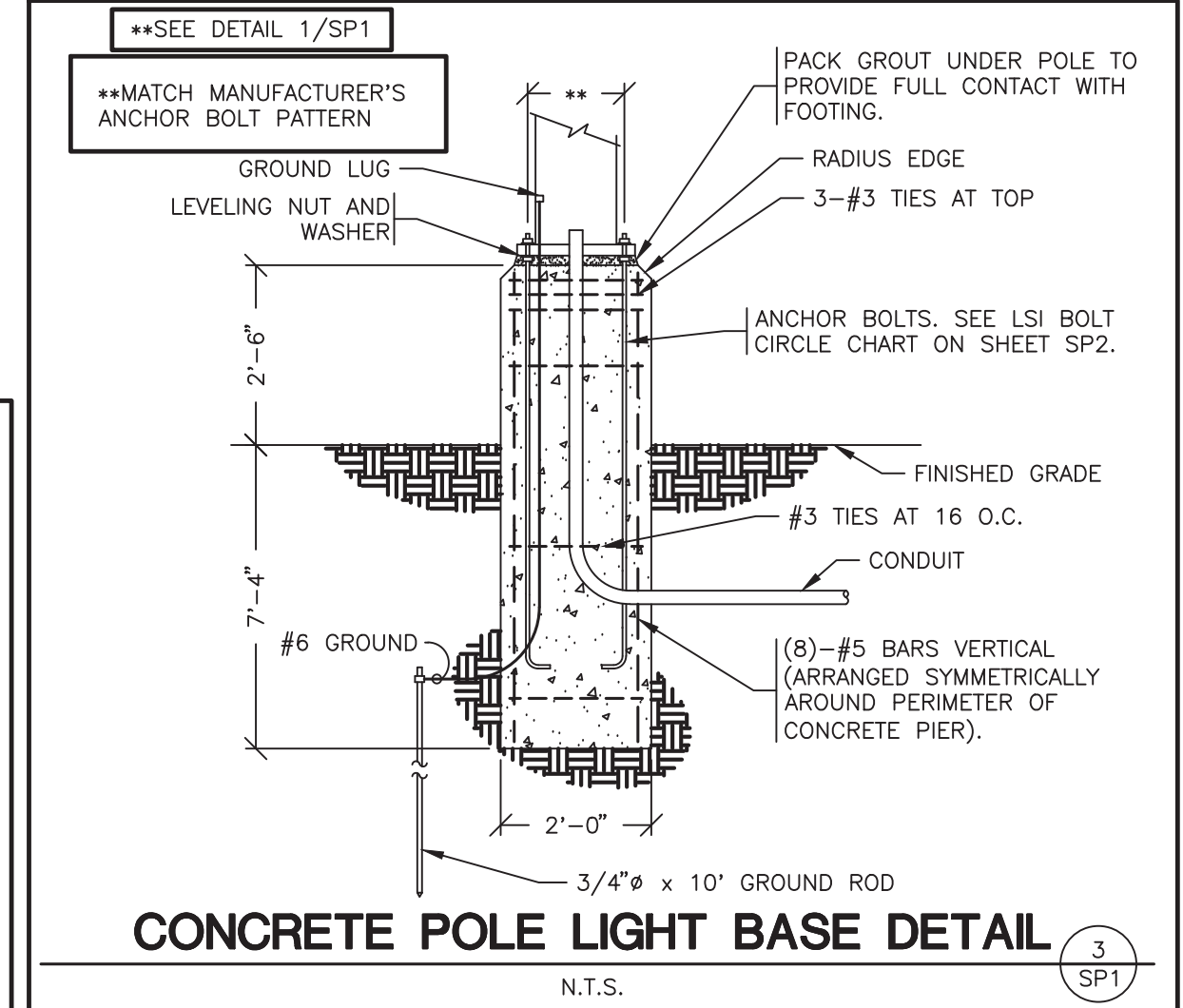
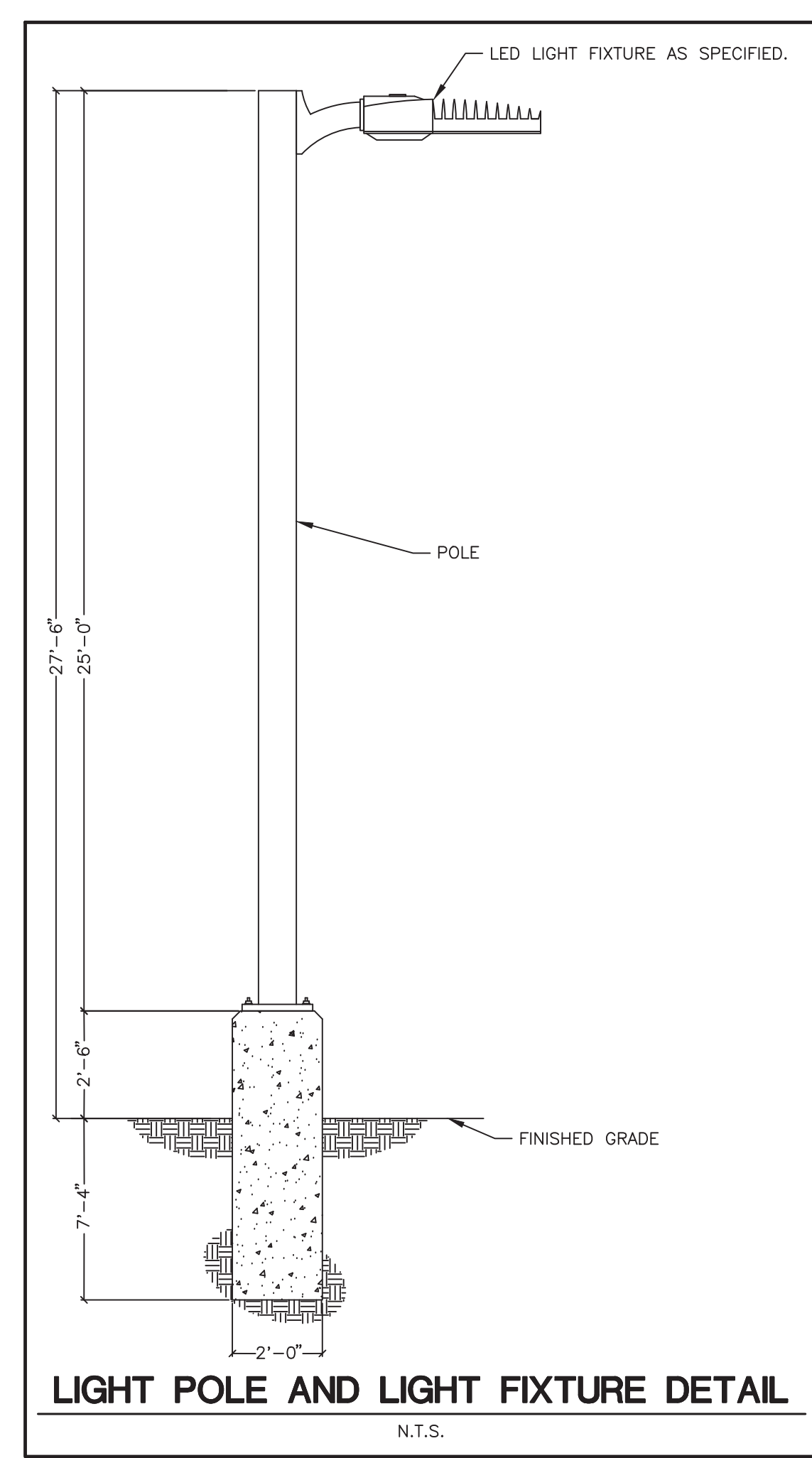
COMM # 4503
 DATE: 11-6-2020
 REVISION DATE: 4-13-21
 7-27-21

SP1

AUTOMATIC LIGHTING CONTROL
 COMPLIANCE WITH ENERGY CODE IS ACHIEVED BY:

- ONCE THE EMS HAS BEEN PROGRAMMED, THE INTERIOR AND EXTERIOR LIGHTS WILL TURN ON AND OFF USING THE FOLLOWING LOGIC: SEE EM SHEETS.
 INTERIOR WORK LIGHTS WILL TURN ON WITH FIRST MOTION IN THE STORE AND WILL TURN OFF 15 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
 INTERIOR SALES LIGHTS WILL TURN ON AT STORE OPENING AND TURN OFF 15 MINUTES AFTER STORE CLOSING.
 EXTERIOR SIGN LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
 EXTERIOR SITE LIGHTS WILL TURN ON WHEN IT IS DARK ENOUGH OUTSIDE AND IT IS WITHIN STORE HOURS OR THERE IS MOTION IN THE STORE. THEY WILL TURN OFF 30 MINUTES AFTER LAST MOTION ONCE THE STORE IS CLOSED.
 FOR NEW CONSTRUCTION LOCATIONS ONLY, THERE IS A TEMPORARY PROGRAM TO KEEP SIGN AND SITE LIGHTS ON UNTIL MIDNIGHT RATHER THAN THE TIMES INDICATED ABOVE. O'REILLY WILL DISABLE THIS PROGRAM ONE YEAR AFTER STORE OPENING.
- RESTROOMS AND OFFICES: ALL LIGHTING IN THESE AREAS ARE CONTROLLED BY OCCUPANT-SENSING DEVICES.

| EXTERIOR LIGHT FIXTURE SCHEDULE | | | | | | | | | | | |
|--|------|--|----------------|-------------|--------------|---|-------|--|-----|-------|--|
| ALL ITEMS LISTED ON THE "LIGHT FIXTURE SCHEDULE" WILL BE SUPPLIED BY THE OWNER (O'REILLY). ITEMS SHALL BE DIRECT ORDERED AND OR RELEASED FROM THE LISTED ELECTRICAL EQUIPMENT DISTRIBUTOR: | | | | | | GRAYBAR ELECTRIC CO. INC. 11885 LACKLAND ROAD ST. LOUIS, MO 63146 | | GRAYBAR O'REILLY TEAM EMAIL: oreilly@graybar.com TOLL FREE: (314) 573-2080 | | | |
| MARK | MFR. | CATALOG NUMBER | SUPPLY VOLTAGE | FINISH | MOUNTING | | | LAMPS | | NOTES | |
| | | | | | SURFACE WALL | SURF. CEILING | OTHER | FLOURESCENT | LED | | OTHER |
| LED EXTERIOR LIGHTS | | | | | | | | | | | |
| WS1 | LSI | XWM-FT-LED-03L-50-UE-BRZ NO SUBSTITUTIONS | 120 | DARK BRONZE | X | | | X | | 29 | FULL CUT-OFF ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS. |
| WS2 | LSI | XWM-FT-LED-06L-50-UE-BRZ NO SUBSTITUTIONS | 120 | DARK BRONZE | X | | | X | | 45 | FULL CUT-OFF ARCHITECTURAL ELEVATIONS SHOW DIMENSIONED LOCATIONS. |
| LED POLE LIGHTS | | | | | | | | | | | |
| P1 | LSI | MFM-LED-18L-SIL-3-UNV-DIM-50-80CRI-BRZ-IL | 120 | DARK BRONZE | | | X | X | | 150 | 25' POLE LENGTH, FULL CUT-OFF, NO SUBSTITUTIONS. ANCHOR BOLTS W/HARDWARE & TEMPLATE, WITH INTERNAL LOUVER HOUSE SIDE SHIELD. |
| | LSI | 5SQB3-S11G-25-S-BRZ-LAB-5BC | | | | | | | | | |
| FIXTURE QUANTITY TO BE VERIFIED WITH SITE PLAN QUANTITY | | | | | | | | | | | |



FINAL PLAN
 APPROVED BY THE ADMINISTRATIVE OFFICER
Sam King 8/3/21
 DATE

SITE PHOTOMETRIC PLAN
 SCALE: 1"=20'

GRAPHIC SCALE - FEET

ALL EXTERIOR LIGHTING SHALL BE DARK SKY COMPLIANT. REFER TO SP2 EXTERIOR LIGHTING CUTSHEETS BEARING THE INTERNATIONAL DARK-SKY ASSOCIATION SEAL.

LEGEND

| | |
|-------|---|
| --- | EXISTING CONTOUR |
| --- | EXISTING SPOT ELEVATION |
| X | EXISTING TOP OF CURB ELEVATION |
| X | EXISTING GUTTER ELEVATION |
| X | EXISTING TOP OF WALL ELEVATION |
| X | EXISTING BOTTOM OF WALL ELEVATION |
| X | EXISTING FINISHED FLOOR ELEVATION |
| X | EXISTING DOOR SILL ELEVATION |
| ○ | HYDRANT |
| ○ | WATER VALVE |
| ○ | GAS VALVE |
| --- | OVERHEAD WIRES |
| --- | APPROX. LOC. UNDERGROUND GAS LINE |
| --- | APPROX. LOC. UNDERGROUND ELECTRIC LINE |
| --- | APPROX. LOC. UNDERGROUND WATER LINE |
| --- | APPROX. LOC. UNDERGROUND SEWER LINE |
| --- | UTILITY POLE |
| --- | UTILITY POLE/LIGHT POLE |
| --- | GUY WIRE |
| AS | SIGN ABOVE GROUND |
| UG | UNDER GROUND |
| CLF | CHAIN LINK FENCE |
| OC | DEPRESSED CURB |
| EOP | EDGE OF CONCRETE |
| EOP | EDGE OF PAVEMENT |
| LSA | LANDSCAPED AREA |
| MC | METAL COVER |
| (TYP) | TYPICAL |
| DMH | DRAINAGE/STORM MANHOLE |
| SMH | SANITARY/SEWER MANHOLE |
| UMH | UNKNOWN MANHOLE |
| CB | CATCH BASIN OR INLET |
| T&T | TREE & TRUNK SIZE |
| DC | DEPRESSED CURB |
| SWL | SOLID WHITE LINE |
| DYL | DOUBLE YELLOW LINE |
| HT | HEIGHT |
| DMW | DASHED WHITE LINE |
| BLC | BUILDING |
| BFA | BUILDING FOOTPRINT AREA |
| NVP | NO VISIBLE PIPE |
| PVC | POLYVINYL CHLORIDE PIPE |
| INT | INVERT ELEVATION |
| GRV | GRATE ELEVATION |
| RHB | RHODE ISLAND HIGHWAY BOUND |
| CC | CONCRETE CURB |
| CE | TITLE REPORT EXCEPTION |
| 1.0' | OFFSET OF STRUCTURE AT GROUND LEVEL RELATIVE TO PROPERTY LINE |

ZONING INFORMATION
GENERAL BUSINESS (GB) DISTRICT
SOURCE SECTION 302, TABLE 2B
CITY OF WARWICK ZONING ORDINANCE

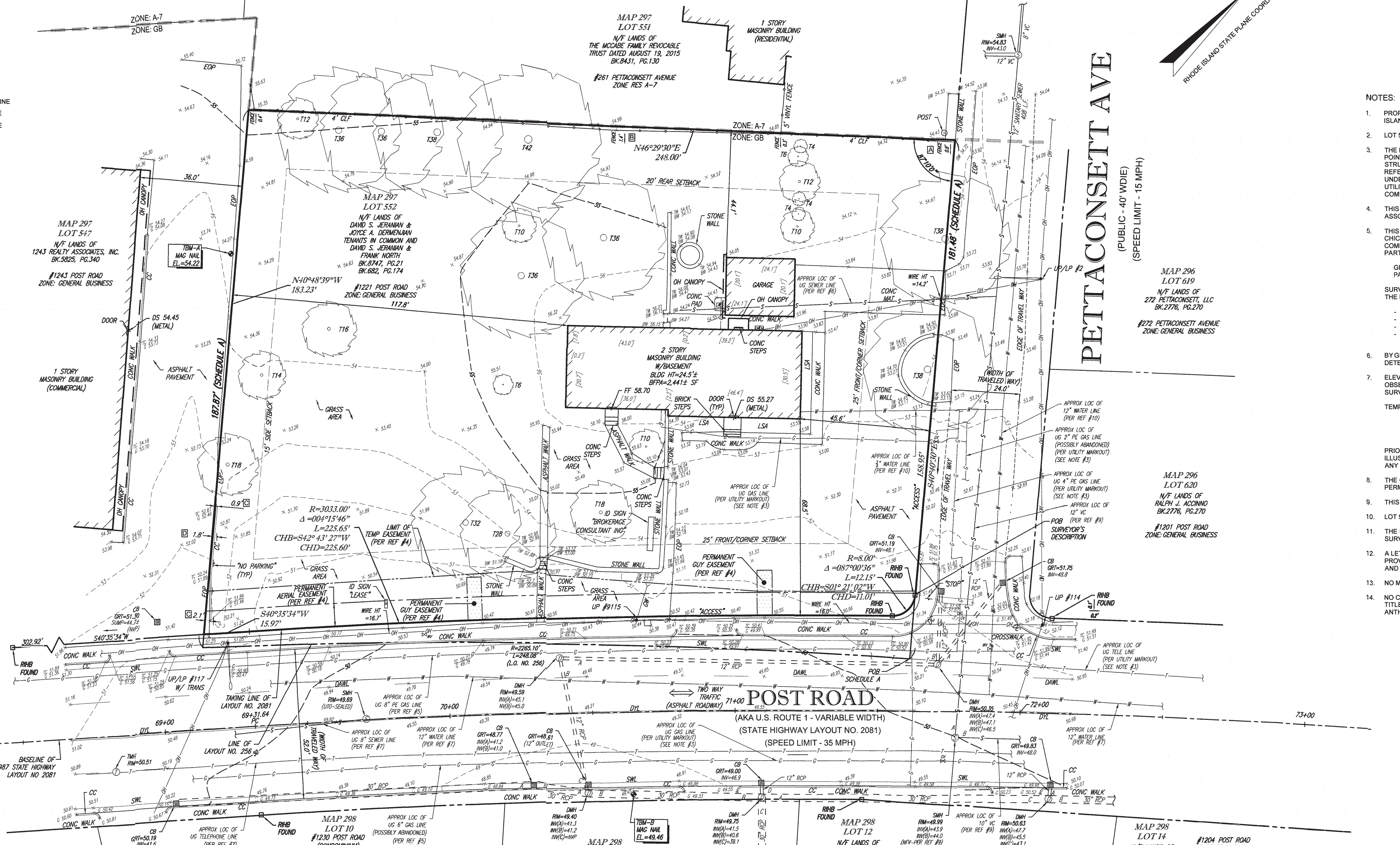
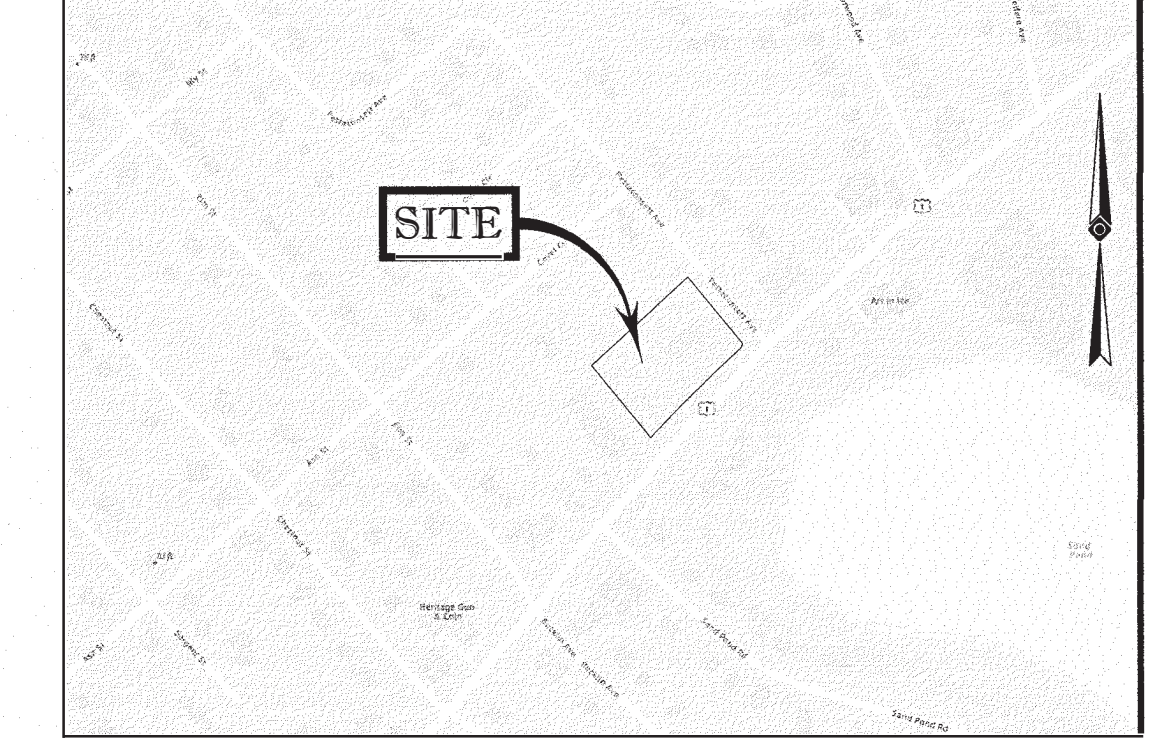
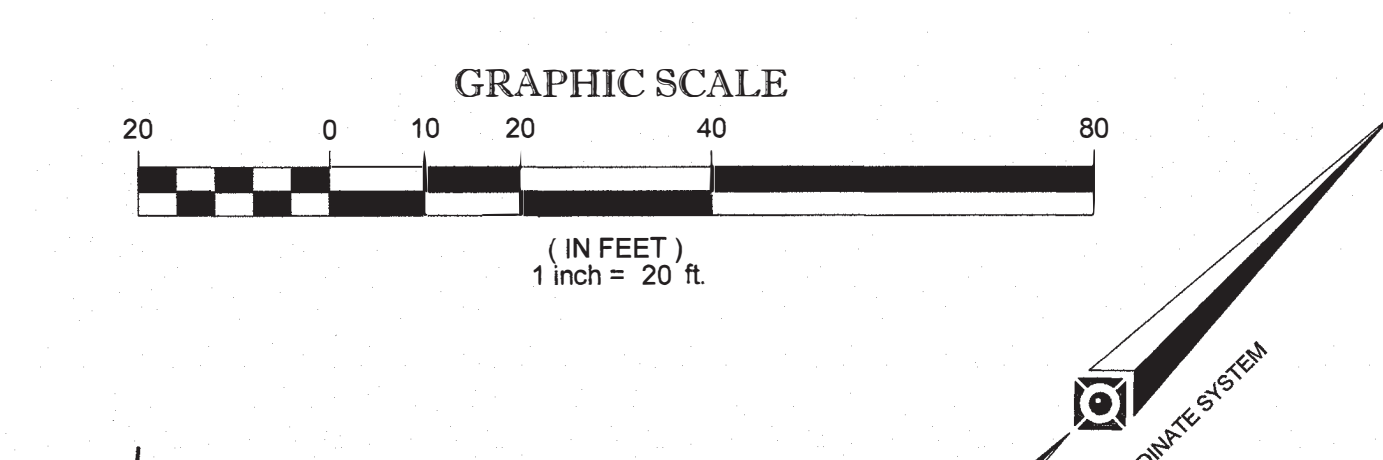
| ITEMS | REQUIRED |
|-------------------------|---------------------|
| MIN LOT AREA | 6,000 SQ. FT. |
| MIN LOT FRONTAGE | 60 FT. |
| MAX DENSITY | N/A |
| MIN LOT WIDTH | 60 FT. |
| MIN FRONT / CORNER YARD | 25 FT. |
| MIN SIDE YARD | 15 FT. |
| MIN REAR YARD | 20 FT. |
| MAX BUILDING HEIGHT | 40 FT. (SEE NOTE 2) |
| MAX BUILDING LANDSCAPED | 10% |

ZONING NOTES:

- ZONING CRITERIA IDENTIFIED HEREON ARE BASED UPON PRELIMINARY RESEARCH AND PRESENTED FOR REFERENCE ONLY. SAME MUST BE CONFIRMED WITH LOCAL ZONING OFFICIAL AND LEGAL COUNSEL TO CONFIRM VALIDITY.
- A COMMERCIAL BUILDING OR USE INCLUDING ACCESSORY BUILDING OR USE SHALL BE SET BACK A MINIMUM OF 40 FEET FROM AN ABUTTING RESIDENCE DISTRICT, PER OVERLAY DISTRICT, RESIDENTIAL FLUID OVERLAY DISTRICT AND OPEN SPACE DISTRICT, WHERE THE OPEN SPACE DISTRICT CONTAINS A PARCELS OF AND 5,000 SQUARE FEET OR MORE INCLUDING WETLANDS, AS DEFINED IN SUBSECTION 200.146.

PROPERTY OWNER MAILING ADDRESSES

| | | |
|------------------|--|---|
| MAP 296, LOT 649 | 272 PETTACONSETT LLC | 272 PETTACONSETT AVE, WARWICK R.I. 02888 |
| MAP 297, LOT 547 | RALPH J. ACCINO | 11 COMMERCE DR., WARWICK R.I. 02888 |
| MAP 297, LOT 547 | TWELVE FORTY-THREE REALTY ASSOCIATES, INC. | 1243 POST RD., WARWICK R.I. 02888 |
| MAP 297, LOT 547 | MCCABE FAMILY REVOCABLE TRUST | 281 PETTACONSETT AVE, WARWICK R.I. 02888 |
| MAP 298, LOT 9 | CHELY A. PIERCE | 1260 POST RD., WARWICK R.I. 02888 |
| MAP 298, LOT 10 | GEORGE WHITE | 1230 POST RD., UNIT 1, WARWICK R.I. 02888 |
| MAP 298, LOT 10 | FRANCIS G. MCDONOUGH | 1230 POST RD., UNIT 2, WARWICK R.I. 02888 |
| MAP 298, LOT 10 | KATHLEEN E. O'HARA | 1230 POST RD., UNIT 3, WARWICK R.I. 02888 |
| MAP 298, LOT 10 | DIANA PENROSE | 1230 POST RD., UNIT 4, WARWICK R.I. 02888 |
| MAP 298, LOT 11 | CITY OF WARWICK | 3275 POST RD., WARWICK R.I. 02888 |
| MAP 298, LOT 12 | EDWARD J. NAPOLITANO | 152 BUDLONG AVE., WARWICK R.I. 02888 |
| MAP 298, LOT 14 | JOHN T. MCCABE | 1204 POST RD., WARWICK R.I. 02888 |



NOTES:

- PROPERTY KNOWN AS LOT 552 AS SHOWN ON THE CITY OF WARWICK, KENT COUNTY, STATE OF RHODE ISLAND MAP NO. 297.
- LOT 552 AREA = 42,856 SQUARE FEET OR 0.984 ACRES
- THE LOCATION OF UNDERGROUND UTILITIES SHOWN ARE BASED UPON MARKOUT PROVIDED BY CONTROL POINT ASSOCIATES, INC. LOCATIONS AND SIZES ARE BASED ON UTILITY MARK-OUTS ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. BEFORE ANY EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE, AND TYPE BY THE PROPER UTILITY COMPANIES. CONTROL POINT ASSOCIATES, INC. DOES NOT GUARANTEE THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA EITHER IN SERVICE OR ABANDONED.
- THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY CONTROL POINT ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON.
- THIS SURVEY WAS PREPARED WITH REFERENCE TO A COMMITMENT FOR TITLE INSURANCE PREPARED BY CHICAGO TITLE INSURANCE COMPANY, HAVING A COMMITMENT NO. 20R00177 (5092631), WITH A COMMITMENT DATE OF JUNE 15, 2020, WHERE NO SURVEY RELATED EXCEPTIONS APPEAR IN SCHEDULE B - PART II.

GENERAL EXCEPTIONS 1 THRU 7 ARE NOT SURVEY RELATED AND HAVE NOT BEEN COMMENTED ON AS A PART OF THIS SURVEY.

SURVEYOR'S COMMENTS
THE FOLLOWING MATTERS ARE NOT INCLUDED WITHIN THE TITLE COMMITMENT.

- TAKING FOR STATE HIGHWAY LAYOUT NO. 2081 SHOWN HEREON
- PERMANENT GUY EASEMENTS FOR STATE HIGHWAY LAYOUT NO. 2081 SHOWN HEREON
- PERMANENT AERIAL EASEMENT FOR STATE HIGHWAY LAYOUT NO. 2081 SHOWN HEREON
- TEMPORARY EASEMENT FOR STATE HIGHWAY LAYOUT NO. 2081 SHOWN HEREON, EXPIRATION DATE IS NOT KNOWN.

BY GRAPHIC PLOTTING ONLY PROPERTY IS LOCATED IN FLOOD HAZARD ZONE "X-UNSHADED" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) PER REF. #2

ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88). BASED ON GPS OBSERVATIONS UTILIZING THE KEYSTONE VRS NETWORK (KEYNETGPS) TAKEN AT THE TIME OF THE FIELD SURVEY USING GEOTRIP 12A

TEMPORARY BENCH MARKS SET:

- TBM-A: MAG NAIL SET IN ASPHALT PAVEMENT ALONG LINE OF LOT 547, ELEVATION = 54.22
- TBM-B: MAG NAIL SET IN ASPHALT PAVEMENT ALONG LINE OF POST RD., ELEVATION = 48.46

PRIOR TO CONSTRUCTION IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE BENCHMARKS ILLUSTRATED ON THIS SHEET HAVE NOT BEEN MOVED OR THEIR ELEVATIONS HAVE BEEN CONFIRMED. ANY CONFLICTS MUST BE REPORTED PRIOR TO CONSTRUCTION.

THE OFFSETS SHOWN ARE NOT TO BE USED FOR THE CONSTRUCTION OF ANY STRUCTURE, FENCE, PERMANENT ADDITION, ETC.

THIS SURVEY DOES NOT SHOW THE EXISTENCE OF WETLANDS, IF ANY.

LOT 552 HAS DIRECT ACCESS TO BOTH POST ROAD AND PETTACONSETT AVENUE.

THE PROPERTY DESCRIBED IN THE TITLE COMMITMENT AS EXHIBIT "A" IS THE SAME AS SHOWN ON THE SURVEY.

A LETTER FROM THE CITY OF WARWICK STATING THE CURRENT PROPERTY ZONE CLASSIFICATION WAS PROVIDED BY CLIENT. CURRENT SETBACK REQUIREMENTS, HEIGHT & FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS WERE NOT OBSERVED.

NO MARKED PARKING SPACES WERE SPECIFIED AT THE TIME OF SURVEY.

NO CHANGES IN STREET RIGHT OF WAY LINES EITHER COMPLETED OR PROPOSED WERE REVEALED IN THE TITLE REPORT OR REPORTED BY THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION PER ANTHONY MARCHETTI TEL: 401-222-2450

TABLE OF APPARENT ENCROACHMENTS

- CHAIN LINK FENCE CROSSES PROPERTY LINE BETWEEN LOT 551 & LOT 552 BY UP TO 0.8'
- CHAIN LINK FENCE CROSSES PROPERTY LINE BETWEEN LOT 551 & LOT 552 BY UP TO 1.4'
- CONCRETE CURB CROSSES PROPERTY LINE BETWEEN LOT 547 & LOT 552 BY UP TO 2.1'
- NO PARKING SIGNS ENCRACH ON TO LOT 552 BY AS MUCH AS 1.8'

NOTE: THESE ARE THE POSSIBLE ENCROACHMENTS OBSERVED DURING THE FIELD SURVEY. THERE MAY BE OTHERS NOT RECOGNIZED BY THE SURVEYOR.

UTILITIES:

THE FOLLOWING COMPANIES WERE NOTIFIED BY RHODE ISLAND ONE-CALL SYSTEM (1-888-344-7233) AND REQUESTED TO MARK OUT UNDERGROUND FACILITIES AFFECTING AND SERVICING THIS SITE. THE UNDERGROUND UTILITY INFORMATION SHOWN HEREON IS BASED UPON THE UTILITY COMPANIES RESPONSE TO THIS REQUEST. REQUEST NUMBER: 20202502748

| UTILITY COMPANY | CONTACT | PHONE NUMBER |
|----------------------------------|-------------------|--------------|
| AT&T TRANSMISSION | CUSTOMER SERVICE | 800-331-0500 |
| CROWN CABLE NETWORKS | CUSTOMER SERVICE | 800-789-7011 |
| NATIONAL GRID ELECTRIC-NARR ELEC | CUSTOMER SERVICE | 800-322-3223 |
| VERIZON | CUSTOMER SERVICE | 800-922-0204 |
| QUONSET BELT CEMENT CORP | CUSTOMER SERVICE | 401-295-0044 |
| NATIONAL GRID GAS-PROVIDENCE | CUSTOMER SERVICE | 800-233-6525 |
| COX COMMUNICATIONS INC | CUSTOMER SERVICE | 800-234-3993 |
| SPRINT/INTEL | CUSTOMER SERVICE | 888-211-4727 |
| CITY OF WARWICK ENG. DEPT. | ERIC HINDWIGER | 401-739-2003 |
| R.I. DOT | DUANE DON FREEMAN | 401-563-4092 |

SCHEDULE A:

THAT CERTAIN LOT OR PARCEL OF LAND WITH ALL THE BUILDINGS AND IMPROVEMENTS THEREON SITUATED AT THE NORTHWESTERLY CORNER OF POST ROAD AND PETTACONSETT AVENUE IN THE CITY OF WARWICK, COUNTY OF KENT AND STATE OF RHODE ISLAND, BOUNDED AND DESCRIBED AS FOLLOWS:

BEGINNING AT THE POINT OF INTERSECTION OF THE NORTHWESTERLY LINE OF POST ROAD WITH THE SOUTHWESTERLY LINE OF PETTACONSETT AVENUE AND RUNNING THENCE SOUTHWESTERLY ON THE ARC OF A CURVE WITH A RADIUS OF 224.31 FEET, BOUNDING SOUTHEASTERLY ON SAID POST ROAD A DISTANCE OF TWO HUNDRED FORTY EIGHT AND 8/100 (248.80) FEET TO A GRANITE BOUND AND LAND NOW OR LATELY OF JOHN H. FALLON AND WIFE; THENCE TURNING AND RUNNING NORTHWESTERLY BOUNDING SOUTHWESTERLY ON SAID FALLON LAND A DISTANCE OF ONE HUNDRED EIGHTY SEVEN AND 87/100 (187.87) FEET TO A FIELD STONE AND LAND NOW OR LATELY OF ALLEN B. RATHBURN AND WIFE; THENCE TURNING AND RUNNING NORTHWESTERLY BOUNDING NORTHWESTERLY ON SAID RATHBURN LAND A DISTANCE OF TWO HUNDRED FORTY EIGHT AND 0/100 (248.00) FEET TO A FIELD STONE AND PETTACONSETT AVENUE; THENCE TURNING AN INTERIOR ANGLE OF 07° 10' 00" AND RUNNING SOUTHEASTERLY A DISTANCE OF ONE HUNDRED EIGHTY ONE AND 40/100 (181.48) FEET TO SAID POST ROAD AND THE POINT AND PLACE OF BEGINNING.

PROPERTY ADDRESS: 1221 POST ROAD, WARWICK, RI 02888
PLAT: 297(LOT)S: 552

SURVEYOR'S METES AND BOUNDS DESCRIPTION
MAP 297, LOT 552
CITY OF WARWICK
KENT COUNTY, STATE OF RHODE ISLAND

BEGINNING AT A RHODE ISLAND HIGHWAY BOUND FOUND ON THE SOUTHWESTERLY LINE OF PETTACONSETT AVENUE AT A POINT OF TANGENCY WITH THE NORTHWESTERLY LINE OF POST ROAD (A.K.A. ROUTE 1, STATE HIGHWAY LAYOUT NO. 258), RUNNING THENCE, ALONG THE NORTHWESTERLY LINE OF POST ROAD FOR THE FOLLOWING THREE (3) COURSES:

- ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 8.00 FEET, AN ARC LENGTH OF 12.15 FEET, A CENTRAL ANGLE OF 87 DEGREES - 00 MINUTES - 36 SECONDS, A CHORD BEARING OF SOUTH 1 DEGREE - 21 MINUTES - 02 SECONDS WEST AND A CHORD DISTANCE OF 11.01 FEET TO A RHODE ISLAND HIGHWAY BOUND AT A POINT OF REVERSE CURVATURE, THENCE;
- ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 3033.00 FEET, AN ARC LENGTH OF 225.65 FEET, A CENTRAL ANGLE OF 4 DEGREES - 15 MINUTES - 48 SECONDS, A CHORD BEARING OF SOUTH 42 DEGREES - 43 MINUTES - 27 SECONDS WEST AND A CHORD DISTANCE OF 225.60 FEET TO A POINT OF TANGENCY, THENCE;
- SOUTH 40 DEGREES - 35 MINUTES - 34 SECONDS WEST, A DISTANCE OF 15.97 FEET TO A CORNER IN COMMON WITH LOT 547, MAP 297 (N/F LANDS OF 1243 REALTY ASSOCIATES, INC.), RUNNING THENCE;
- ALONG THE DIVIDING LINE BETWEEN SAID LOT 547 AND LOT 552, MAP 297 (N/F LANDS OF DAVID S. JERANIAN & JOYCE A. DERMEJIAN TENANTS IN COMMON AND DAVID S. JERANIAN & FRANK NORTH) NORTH 40 DEGREES - 48 MINUTES - 36 SECONDS WEST, A DISTANCE OF 183.23 TO CORNER IN COMMON BETWEEN SAID LOT 552 AND LOT 551, MAP 297 (N/F LANDS OF THE MCCABE FAMILY REVOCABLE TRUST), RUNNING THENCE;
- ALONG THE DIVIDING LINE BETWEEN SAID LOT 552 AND LOT 551, NORTH 46 DEGREES - 29 MINUTES - 30 SECONDS EAST, A DISTANCE OF 248.00 FEET TO THE SOUTHWESTERLY LINE OF PETTACONSETT AVENUE, RUNNING THENCE;
- ALONG SAID SOUTHWESTERLY LINE, SOUTH 40 DEGREES - 40 MINUTES - 30 SECONDS EAST, A DISTANCE OF 158.95 FEET TO THE POINT AND PLACE OF BEGINNING.

CONTAINING 42,856 SQUARE FEET OR 0.984 ACRES

REFERENCES:

- THE TAX ASSESSOR'S MAP OF WARWICK, KENT COUNTY, MAP 297.
- MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM FLOOD INSURANCE RATE MAP, KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 131 OF 251", MAP NUMBER 44003C131H, MAP REVISED: SEPTEMBER 18, 2013.
- PLAN SET ENTITLED "PLAT SHOWING LAND IN WARWICK, RHODE ISLAND TAKEN FOR THE STATE HIGHWAY PURPOSE ON THE BEHALF OF THE STATE OF RHODE ISLAND & PROVIDENCE PLANTATIONS BY THE DIRECTOR OF TRANSPORTATION, PREPARED BY RHODE ISLAND DEPARTMENT OF TRANSPORTATION DIVISION OF PUBLIC WORKS, PLAT NO. 2081, SHEETS 7 & 8 OF 11.
- PLAN SET ENTITLED "STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION DIVISION OF PUBLIC WORKS RIGHT-OF-WAY PLANS OF PROPOSED STATE HIGHWAY IMPROVEMENTS RECONSTRUCTION OF POST ROAD MONET ENTRANCE TO SANDLEWOOD AVENUE CITY OF WARWICK COUNTY OF KENT", RIGHT-OF-WAY PLANS NO. 2081, SHEET ROW-4.
- GAS MAPPING PROVIDED BY NATIONAL GRID GAS, DATED: JUNE 19, 2020.
- MAP ENTITLED "SUBSURFACE UTILITY ENGINEERING, SUL-908-200195-00", PREPARED BY: CONTROL POINT ASSOCIATES, INC., DATED: JUNE 16, 2020.
- PLAN SET ENTITLED "STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION DIVISION OF PUBLIC WORKS PLAN, PROFILE AND SECTIONS OF PROPOSED STATE HIGHWAY RECONSTRUCTION OF POST ROAD MONET ENTRANCE TO SANDLEWOOD AVENUE CITY OF WARWICK COUNTY OF KENT, R.I. CONTRACT NO. 8009 F.A. PROJECT NOS. IDAF-0001 (037) FG-001(038)", ON FILE WITH THE DEPARTMENT OF TRANSPORTATION.
- PLAN SET ENTITLED "PLAT SHOWING LAND IN THE TOWN OF WARWICK RHODE ISLAND TAKE OF BEHALF OF THE STATE OF RHODE ISLAND BY VOTE OF STATE BOARD OF PUBLIC WORKS, PLAT NO. 256."
- MAP ENTITLED "CITY OF WARWICK, RHODE ISLAND SEWER AUTHORITY SYSTEMS OF SEWER CONTRACT NO. 1 PLAN & PROFILE ASH STREET (E.M. ST. - PETTACONSETT AVE.) PETTACONSETT AVE. (ASH ST. - POST RD.)", PREPARED BY CHARLES A. MAGUIRE & ASSOCIATES, DATED: MARCH 1993, ON FILE WITH THE CITY OF WARWICK ENGINEERING DEPARTMENT, SHEET 11A.
- CURB STOP SERVICE CARD 14517, POST ROAD HOUSE NO. 1221-1225, ON FILE WITH THE CITY OF WARWICK UTILITY DEPARTMENT.

| No. | REVISED PER CLIENT COMMENTS | R.J.K. | J.P.L. | 10-22-2020 |
|-----|-----------------------------|------------|------------------|------------|
| 1 | DESCRIPTION OF REVISION | FIELD CREW | DRAWN / APPROVED | DATE |

CERTIFIED TO: O'REILLY AUTOMOTIVE STORES, INC., CHICAGO TITLE INSURANCE COMPANY.

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(a), 6(b), 7(a), 7(b)(1), 7(c), 8, 9, 11, 13 & 17 OF TABLE THEREOF. THE FIELD WORK WAS COMPLETED ON: JUNE 19, 2020.

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-001-9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON APRIL 28, 2015 AS FOLLOWS:

- TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
- MEASUREMENT SPECIFICATION: DATA ACCUMULATION SURVEY (PLANIMETRIC SURVEY)
- THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS: PREPARE ALTANSPS LAND TITLE SURVEY FOR CONVEYANCE/REFINANCING OF PROPERTY

NOT A VALID ORIGINAL DOCUMENT UNLESS EMBOSSED WITH RAISED IMPRESSION OR BLUE INK SEAL

JOHN P. LYNCH
PROFESSIONAL LAND SURVEYOR/DATE
10/22/2020

ALTA/NSPS LAND TITLE SURVEY
O'Reilly Automotive Stores, Inc.
1221 POST ROAD
LOT 552, MAP 297
CITY OF WARWICK, KENT COUNTY
STATE OF RHODE ISLAND

CONTROL POINT ASSOCIATES, INC.
ALBANY, NY 518-217-5910
CHALFONTE, PA 215-712-9800
HAUPPAUGE, NY 631-580-2645
MANHATTAN, NY 646-780-0411
MT LAUREL, NJ 609-857-2099
WARREN, NJ 908-668-0099

352 TURNPIKE ROAD
SOUTHBOROUGH, MA 01772
508.948.3000 - 508.948.3003 FAX

REVIEWED: S.P.P. APPROVED: J.P.L. DATE: 7-10-2020 SCALE: 1" = 20' FILE NO: 03-150001-00 DWG. NO: SV1