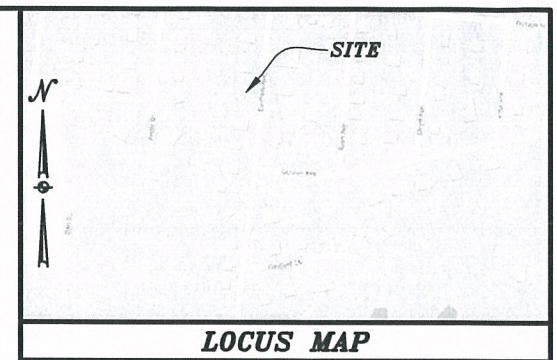


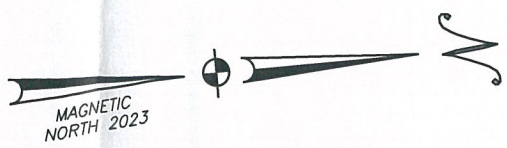
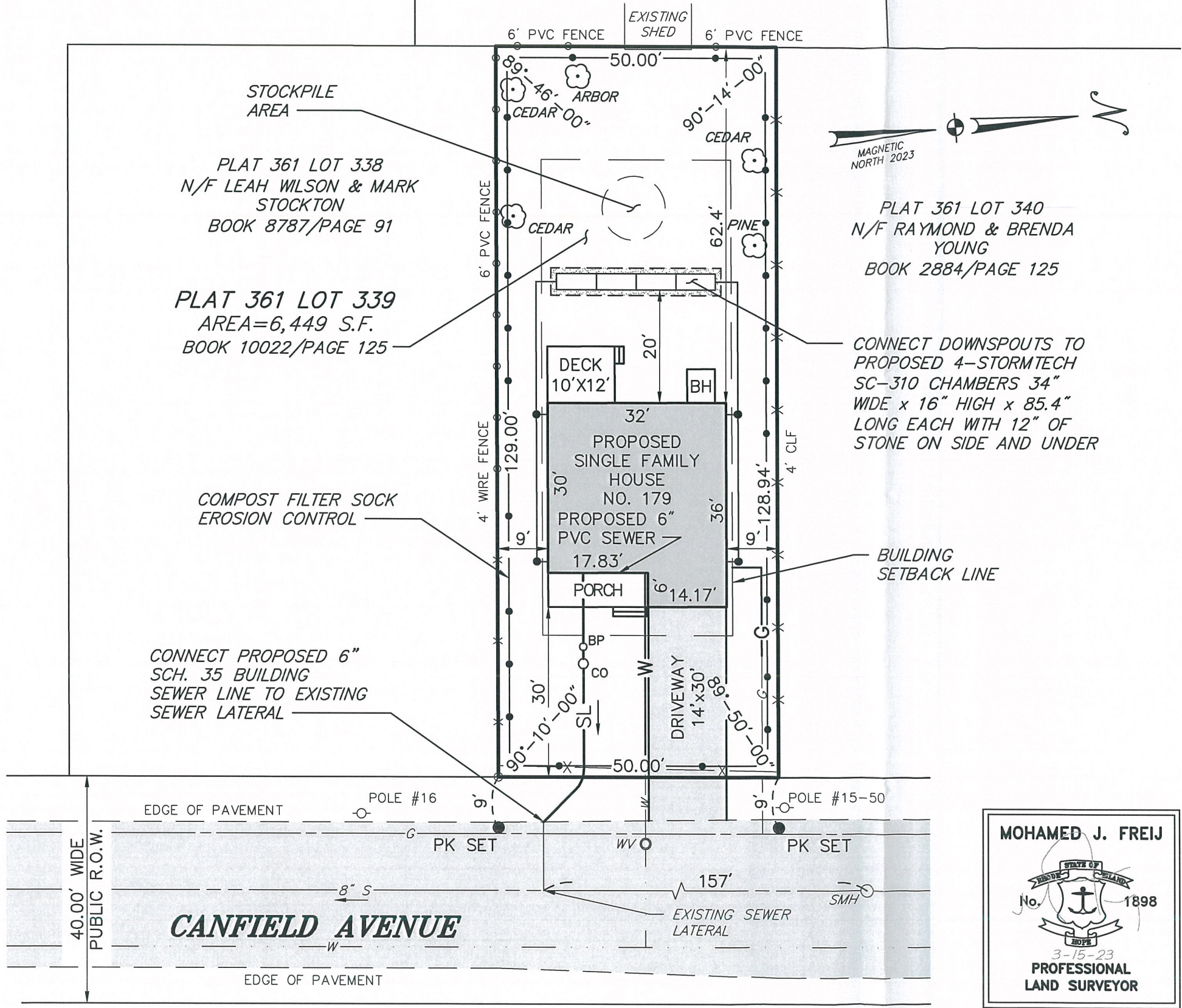
PLAT 361 LOT 812
N/F CAPALDI PROPERTIES
BOOK 12391/PAGE 247

PLAT 361 LOT 811
N/F LINDA H. GOODALE
BOOK 6625/PAGE 336

PLAT 361 LOT 809
N/F JANCITA PENA
BOOK 5404/PAGE 164



LOCUS MAP



PLAT 361 LOT 340
N/F RAYMOND & BRENDA
YOUNG
BOOK 2884/PAGE 125

CONNECT DOWNSPOUTS TO
PROPOSED 4-STORMTECH
SC-310 CHAMBERS 34"
WIDE x 16" HIGH x 85.4"
LONG EACH WITH 12" OF
STONE ON SIDE AND UNDER

BUILDING
SETBACK LINE

CONNECT PROPOSED 6"
SCH. 35 BUILDING
SEWER LINE TO EXISTING
SEWER LATERAL

COMPOST FILTER SOCK
EROSION CONTROL

STOCKPILE
AREA

PLAT 361 LOT 338
N/F LEAH WILSON & MARK
STOCKTON
BOOK 8787/PAGE 91

PLAT 361 LOT 339
AREA=6,449 S.F.
BOOK 10022/PAGE 125

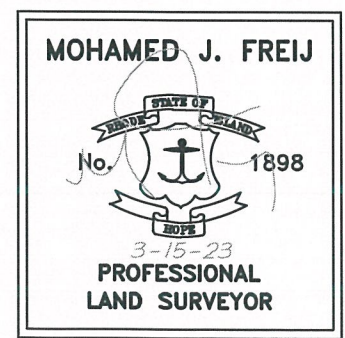
NOTES:

- ZONING: A7
- MINIMUM LOT AREA = 7,000 S.F.
- MINIMUM FRONT YARD SETBACK = 25'
- MINIMUM SIDE YARD SETBACK = 8'
- MINIMUM REAR YARD SETBACK = 20'
- SITE IS LOCATED IN ZONE "X" PER FIRM MAP NO. 44003C0133H, EFFECTIVE 9-18-2013.
- REFERENCES: - RECORD PLAT CARD NOS. 230, 250, 549, 686, 1049 & 1551
- ALL EXISTING UTILITIES SHOWN ON THIS PLAN ARE TAKEN FROM VISIBLE INFORMATION AND DRAWINGS BY OTHERS, THIS INFORMATION IS SUBJECT TO CHANGE. NO ONE SHOULD RELY ON THE UTILITY LOCATIONS SHOWN FOR CONSTRUCTION PURPOSES, DIG-SAFE MUST BE NOTIFIED AT 1-888-DIG-SAFE BEFORE THE START OF CONSTRUCTION.
- THE DEVELOPER SHALL CONTACT THE CITY'S LANDSCAPE PROJECT COORDINATOR TO DETERMINE WHICH TREES SHALL BE PRESERVED AND PROTECTED PRIOR TO CONSTRUCTION.

I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.
- THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE STATE OF RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:
COMPREHENSIVE BOUNDARY SURVEY- CLASS I

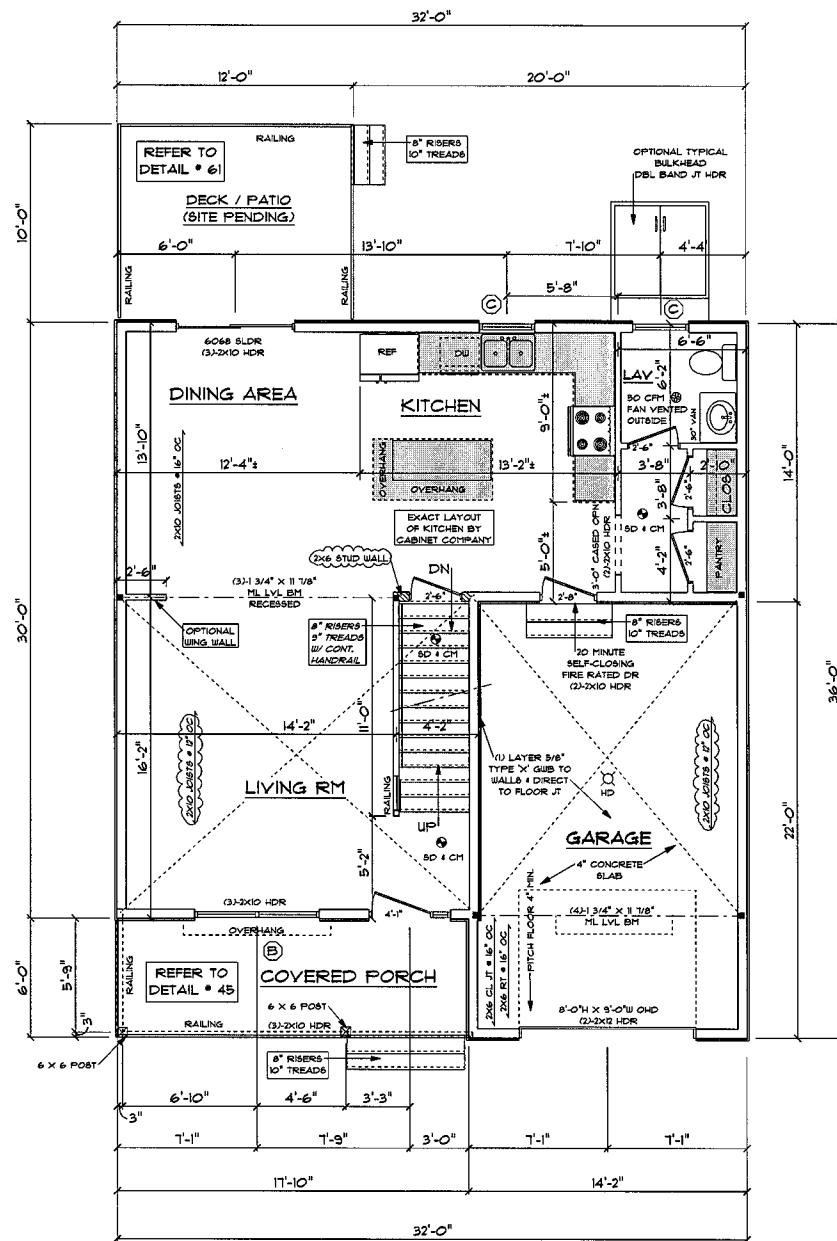
THE PURPOSE FOR CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THIS PLAN IS AS FOLLOWS:
BOUNDARY SURVEY & SITE PLAN

BY MJF DATE 3-15-23
MOHAMED J. FREIJ PLS NO. 1898 C.O.A. NO. A263
REGISTERED PROFESSIONAL LAND SURVEYOR



| | | |
|---|--|------------------------------|
| BOUNDARY SURVEY & SITE PLAN | | PROJECT NO. |
| PLAT 361 LOT 339 | | SCALE 1" = 20' |
| 179 CANFIELD AVENUE WARWICK, RI 02889 | | DATE MARCH 15, 2023 |
| OWNER: RHODE ISLAND CUSTOM BUILDERS LLC | | DRAWN BY RMM |
| 18 BLUE RIDGE ROAD CRANSTON, RI 02920 | | CHECKED BY MJF |
| MJCONSTRUCTION@YAHOO.COM TELEPHONE 401-339-3505 | | FILENAME CANFIELD AVE R1.DWG |
| PREPARED BY MJF ENGINEERING ASSOCIATES | | |
| 326 SOWAMS ROAD BARRINGTON, R.I. 02806 | | |
| TEL. 401-241-5153 OR 401-247-2003 | | |
| E-MAIL LANDSURVEYRI@AOL.COM | | 1 of 1 SHTS |

Plat. # 10948-179 Canfield St.

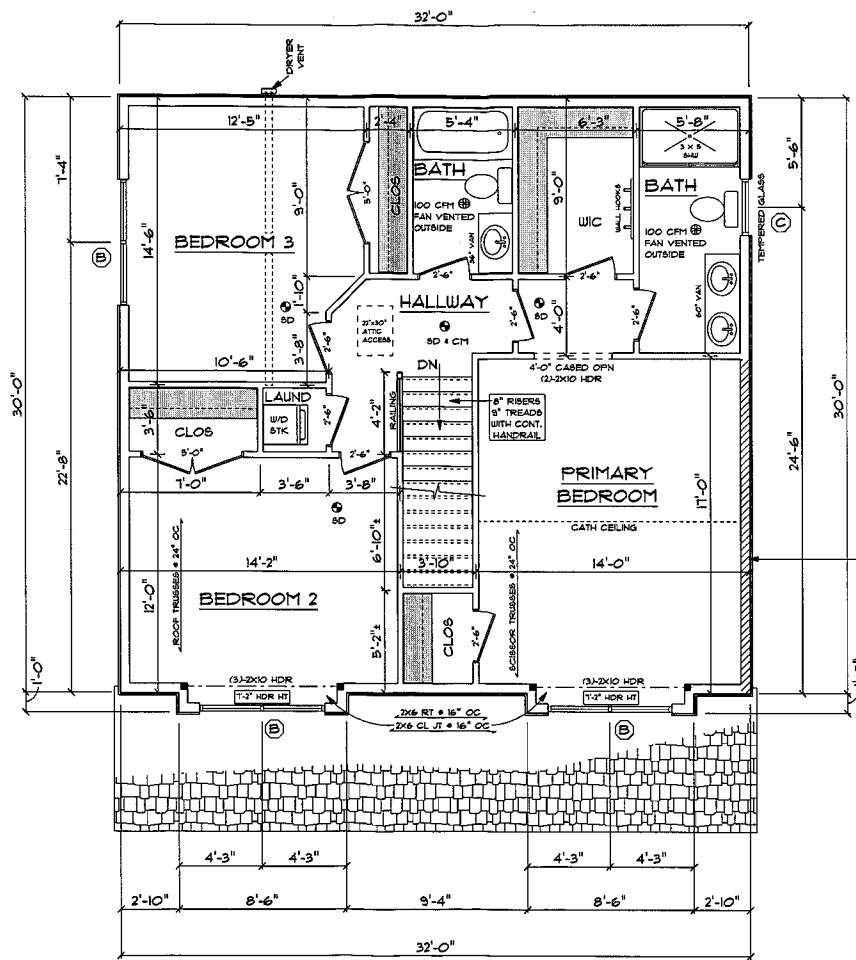


FIRST FLOOR PLAN 1/4"=1'-0"

2X6 STUDS @ 16" OC
AT ALL EXTERIOR WALLS
UNLESS OTHERWISE NOTED

POINT LOAD FROM ABOVE
PROVIDE THE FOLLOWING:
1) SOLID BLOCKING BETWEEN BEAM
(OR BILL) AND PLYWOOD SUBFLOOR
2) A MINIMUM OF THREE STUDS IN
A BEARING WALL AS BEAM JACKS

**FIRST FLOOR
PLATE HEIGHT: 9'-0"**



SECOND FLOOR PLAN 1/4"=1'-0"

POINT LOAD FROM ABOVE
PROVIDE THE FOLLOWING:
1) SOLID BLOCKING BETWEEN BEAM
(OR BILL) AND PLYWOOD SUBFLOOR
2) A MINIMUM OF THREE STUDS IN
A BEARING WALL AS BEAM JACKS

2X6 STUDS @ 16" OC
AT ALL EXTERIOR WALLS
UNLESS OTHERWISE NOTED

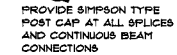
**SECOND FLOOR
PLATE HEIGHT: 8'-0"**

LEGEND:

- SOLID BEARING TO FOUNDATION
- SD SMOKE DETECTOR
- SD + CH SMOKE DETECTOR + CARBON MONOXIDE
- HW HOT WATER
- HU HEATING UNIT/ BOILER
- 50 or 100 CFM FAN VENTED TO OUTSIDE
- W WINDOW UNIT NUMBER
- HD HEAT DETECTOR (GARAGE)



POINT LOAD FROM ABOVE
PROVIDE THE FOLLOWING:
1) SOLID BLOCKING BETWEEN BEAM
(OR BILL) AND PLYWOOD SUBFLOOR
2) A MINIMUM OF THREE STUDS IN
A BEARING WALL AS BEAM JACKS



PROVIDE SIMPSON TYPE
POST CAP AT ALL SPLICES
AND CONTINUOUS BEAM
CONNECTIONS

SEE STRUCTURAL PLANS AND
NOTES FOR REQUIRED CONNECTORS
AND ANCHOR REQUIREMENTS

ISOMETRIC CONNECTIONS

| WINDOW SCHEDULE | | | | | | | |
|--|---------------|--------------------|-----|-----------------|-------------|-----------------|----|
| TYPICAL HEADER: 2" x 10" TYPICAL HEADER HEIGHT: 6'-10" | | | | | | | |
| RECEPTIONS ARE NOTED ON PLANS | | | | | | | |
| NOTE: ALL LUMBER SPECIES FOR HEADERS, JOISTS, AND BEAMS TO BE KD SPRUCE NO. 1 OR BETTER. | | | | | | | |
| ALL LOADS FOR FLOOR JOISTS, RAFTERS, HEADERS AND BEAMS ARE BASED ON THE FOLLOWING: | | | | | | | |
| FLOOR JOISTS LIVING AREAS: 40 PSF LIVE LOAD 20 PSF DEAD LOAD | | | | | | | |
| FLOOR JOISTS SLEEPING AREAS: 30 PSF LIVE LOAD 20 PSF DEAD LOAD | | | | | | | |
| MANUFACTURER (OR EQUIVALENT) | | | | | | | |
| UNIT | ROUGH OPENING | TYPE | QTY | AREA / SILL FFF | NET AREA | DESIGN PRESSURE | |
| A | 30410 | 3'-2" x 8'-10" | CH | 0 | 5.9 / 1.8" | 5.80 | 30 |
| B | 30410-2 | 6'-2" x 8'-10" | CH | 4 | 30.0 / 1.8" | 5.80 EA | 30 |
| C | 3030 | 2'-0" x 3'-8" 1/2" | CH | 3 | 5.9 / 3.5" | 3.31 | 30 |
| D | | | | | | | |
| E | | | | | | | |
| F | | | | | | | |
| G | | | | | | | |
| H | | | | | | | |
| I | | | | | | | |

| DOOR SCHEDULE | | | | | | | |
|---|---------------|--------------------|-----|-----------------|-------------|-----------------|----|
| TYPICAL HEADER: 2" x 10" TYPICAL HEADER HEIGHT: 6'-10" | | | | | | | |
| RECEPTIONS ARE NOTED ON PLANS | | | | | | | |
| INTERIOR AND EXTERIOR DOOR ASSEMBLY ARE NOTED ON PLANS. | | | | | | | |
| INTERIOR / EXTERIOR DOOR R.O., NOTED WITH + 3/4" (TYPICAL) | | | | | | | |
| POCKET DOOR R.O., NOTED WITH X 3/4" x 10'-0" HIGH (TYPICAL) | | | | | | | |
| MANUFACTURER (OR EQUIVALENT) | | | | | | | |
| UNIT | ROUGH OPENING | TYPE | QTY | AREA / SILL FFF | NET AREA | DESIGN PRESSURE | |
| A | 30410 | 3'-2" x 8'-10" | CH | 0 | 5.9 / 1.8" | 5.80 | 30 |
| B | 30410-2 | 6'-2" x 8'-10" | CH | 4 | 30.0 / 1.8" | 5.80 EA | 30 |
| C | 3030 | 2'-0" x 3'-8" 1/2" | CH | 3 | 5.9 / 3.5" | 3.31 | 30 |
| D | | | | | | | |
| E | | | | | | | |
| F | | | | | | | |
| G | | | | | | | |
| H | | | | | | | |
| I | | | | | | | |

| DESIGN PRESSURE | | |
|----------------------|---------------|-----------------|
| WIND ZONE | WIND EXPOSURE | DESIGN PRESSURE |
| 100 MPH | B | 19.0 / -19.3 |
| 36" x 40" | | 30 |
| PRESSURE COEFF: 4.15 | | |

THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.

1. RIBBC - 2 - 2011
2. WIND DESIGN: ZONE 1 (100 MPH)
3. LOAD DESIGN: 40 PSF LIVING AREA LOADS
30 PSF SLEEPING AREA LOADS
20 PSF DEAD LOADS
20 PSF ATTIC LOADS
40 PSF EXTERIOR DECK LOADS
50 PSF SNOW LOADS
4. FROST DEPTH: MINIMUM 3'-6" DEEP
5. CLIMATE ZONE: 5
6. CONSTRUCTION TYPE: 5B
7. BUILDING HEIGHT: (MAXIMUM 35'-0")
MEASURED FROM AVERAGE GRADE TO HIGHEST RIDGE
8. ALL INSULATION IN EXTERIOR WALLS ARE BASED ON THE MINIMUMS AS PER THE PRESCRIPTIVE METHOD OF TABLE N102.2 OF THE ENERGY CONSERVATION CODES.

30 X 32 COLONIAL
PREPARED FOR:
RI CUSTOM HOME BUILDERS
179 CANFIELD AVENUE
WARWICK, RHODE ISLAND

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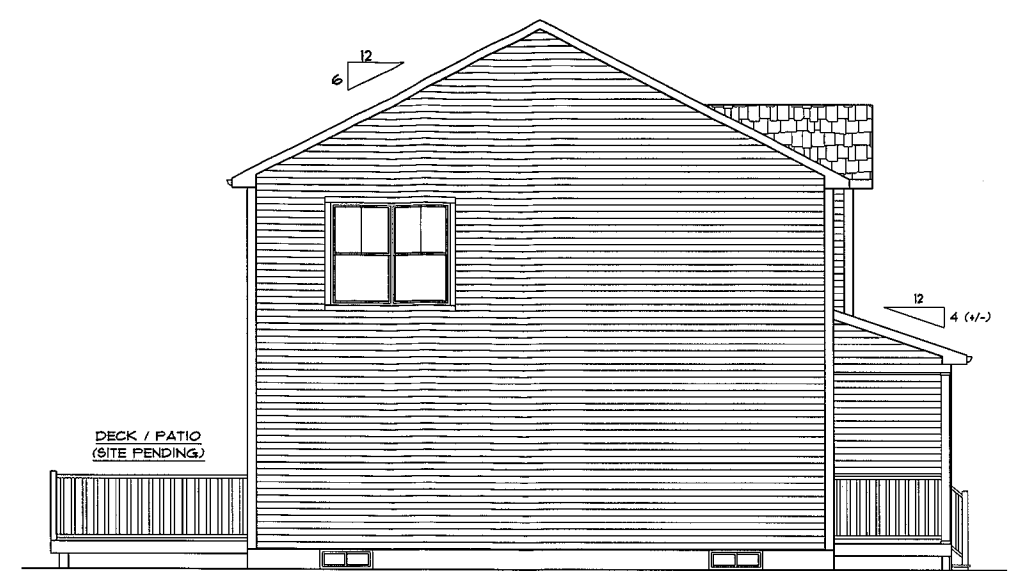
DLR DIMENSIONS, INC. IS NOT LIABLE FOR ANY ERRORS OR OMISSIONS IN THESE DRAWINGS. ALL DIMENSIONS AND MATERIALS SHALL BE AS SHOWN ON THESE PLANS UNLESS OTHERWISE NOTED.

SCALE NOTED
DATE Tuesday, February 21, 2023
APPROVED
DRR
DRAWN BY
DRR
DRAWING NUMBER
6831

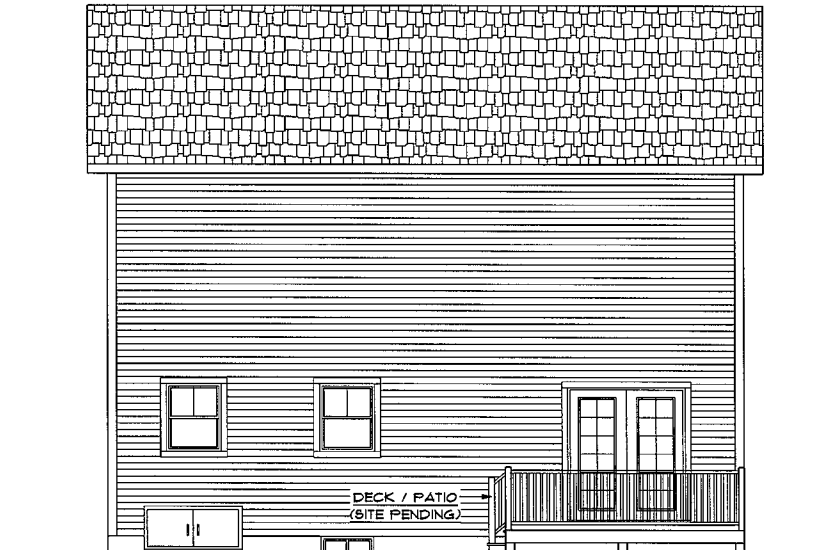


NOTE:
GUARD RAILS NOT REQUIRED UNLESS
DECK IS 30" ABOVE GRADE

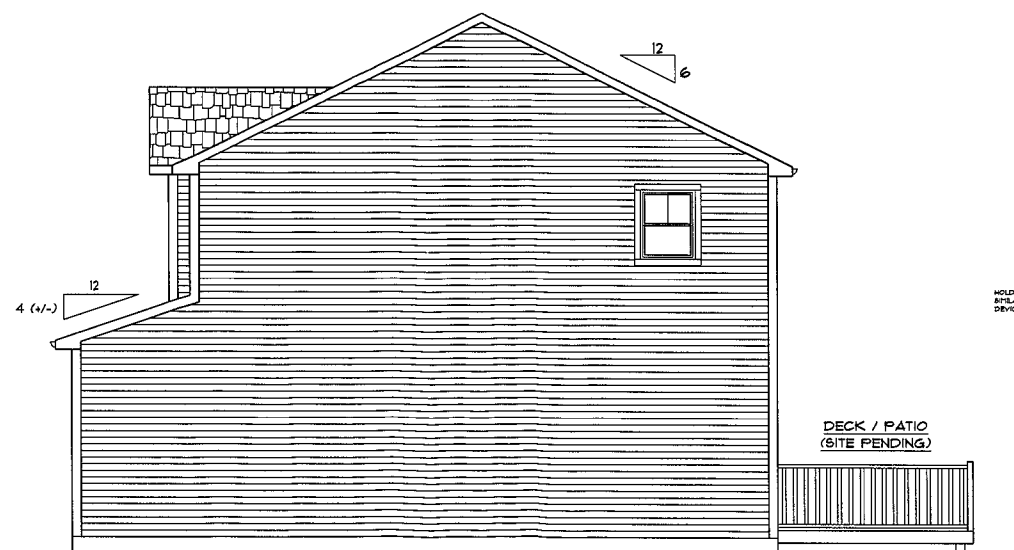
FRONT ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"



BACK ELEVATION 1/4"=1'-0"



RIGHT SIDE ELEVATION 1/4"=1'-0"

TYPICAL NAILING SCHEDULE
TYPICAL FLOORS
 JOIST TO BILL OR GIRDER, TOE NAIL (3) 8D
 RFT JOIST TO JOIST (3) 16D
 3/4" DECK SHEATHING TO FRAMING 8D COMMON NAIL,
 OR 14GA. 13/4" STAPLE OR 1/2" RING OR SCREW SHANK
 NAILS # 6" FROM EDGE 12" O.C.

TYPICAL BUILT-UP GIRDERS AND BEAMS
 NAIL EACH LAYER WITH 10D NAILS # 32" O.C.
 AT TOP AND BOTTOM STAGGERED.
 TWO NAILS AT ENDS AND AT EACH SPLICE.

TYPICAL WALLS
 BOTTOM PLATE TO JOIST 16D # 16" O.C.
 STUD TO BOTTOM PLATE (2) 16D OR (3) 8D
 STUD TO TOP PLATE (2) 16D OR (3) 8D
 DOUBLE TOP PLATE (2) 10D # 24" O.C.
 DOUBLE STUDS (2) 16D OR (3) 8D # 16" O.C.
 PLATE LAPS AT CORNERS AND INTERSECTIONS (4) 10D
 1/2" WALL SHEATHING TO FRAMING 6D OR 15 GA. 1 1/2"
 STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS
 # 6" FROM EDGES 12" O.C.

TYPICAL BUILT-UP HEADERS
 TWO PIECES WITH 1/2" SPACER 16D # 16" O.C. ALONG EACH EDGE

TYPICAL ROOF
 CEILING JOIST TO PLATE, TOE NAIL (3) 8D
 CEILING JOIST LAP OVER PARTITION FACE NAIL (3) 10D
 RAFTER TO PLATE, TOE NAIL (3) 16D
 1/2" ROOF SHEATHING TO FRAMING 6D OR 15 GA. 1 1/2"
 STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS
 # 6" FROM EDGES 12" O.C.

GENERAL NOTES
 EGRESS WINDOWS IN ALL BEDROOMS
 AS PER CODE

SMOKE DETECTORS + CARBON MONOXIDE
 AS PER FIRE PROTECTION CODE.

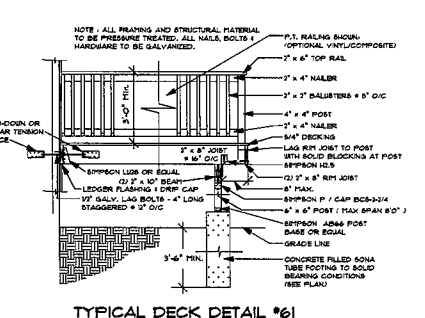
PROVIDE A 22" X 30" ATTIC ACCESS OPENING.

ALL DIMENSIONS, NOTES, AND OTHER
 INFORMATION CONVEYED IN THESE
 DRAWINGS FOR CONSTRUCTION PURPOSES
 ARE SUBJECT TO CHANGE AND SHOULD
 BE VERIFIED IN FIELD BY BUILDER /
 CONTRACTOR ACCORDING TO LOCAL AND
 STATE BUILDING CODES!

THIS DRAFTSPERSON SHALL NOT BE
 RESPONSIBLE FOR ANY CHANGES
 THAT WOULD MAKE THE STRUCTURE
 PHYSICALLY UNSAFE.

UNFORESEEN SITE CONDITIONS MAY CAUSE
 A DEVIATION FROM THE CONSTRUCTION
 DOCUMENTS AND IS THE RESPONSIBILITY
 OF THE BUILDER / CONTRACTOR TO INSURE
 STRUCTURAL STABILITY AND CONFORMANCE
 TO APPLICABLE CODES.

WOOD ROOF TRUSS SYSTEM
 TO BE DESIGNED, HANDLED, INSTALLED
 AND BRACED IN ACCORDANCE WITH ITPI
 RECOMMENDATIONS. PROVIDE APPROVED
 TRUSS ENGINEERING AND LAYOUT TO
 OWNER AND BUILDING OFFICIAL PRIOR TO
 START OF CONSTRUCTION.



TYPICAL DECK DETAIL #61

30 X 32 COLONIAL
 PREPARED FOR:
 RI CUSTOM HOME BUILDERS
 179 CANFIELD AVENUE
 WARWICK, RHODE ISLAND

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 SPECIFICALLY
 NOTED
 THEREIN.
 ALL DIMENSIONS AND
 MATERIALS SHALL BE
 AS SHOWN UNLESS
 OTHERWISE NOTED
 PRIOR TO ANY
 BEGINNING OF
 CONSTRUCTION.

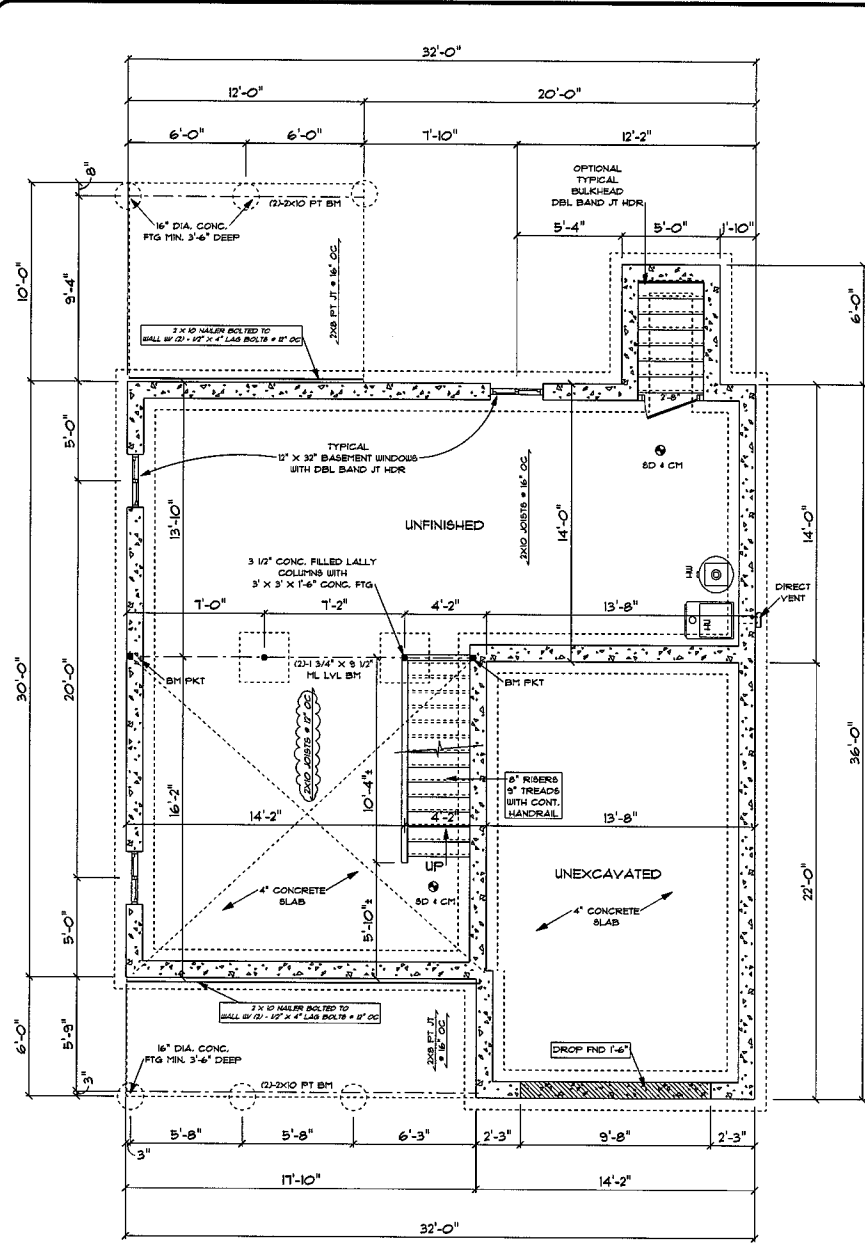
SCALE
 NOTED

DATE
 Tuesday, February 21, 2023

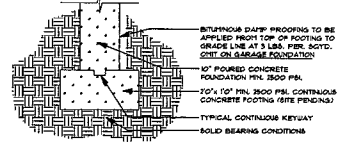
APPROVED
 DRR

DRAWN BY
 DRR

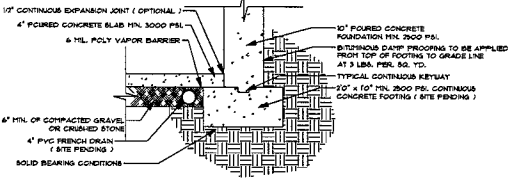
DRAWING NUMBER
 6831



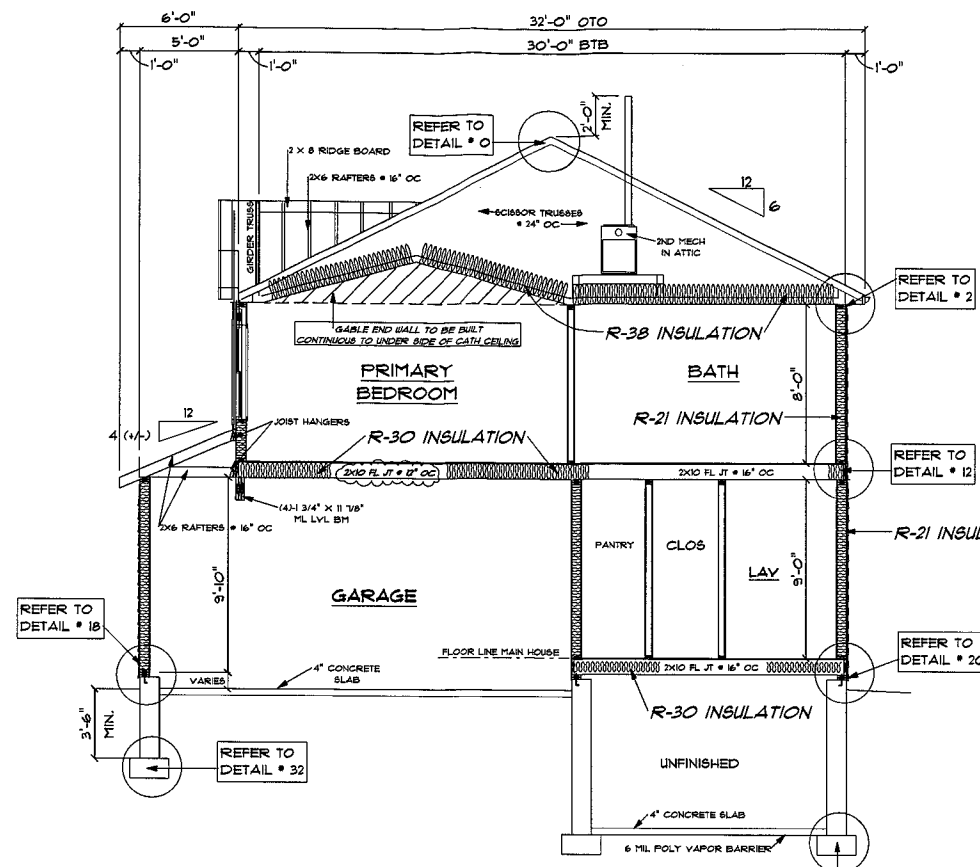
FOUNDATION PLAN 1/4"=1'-0"



TYPICAL FOOTING DETAIL #22
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS

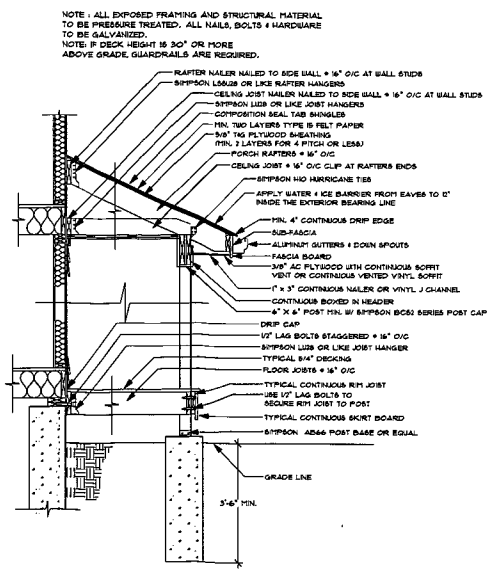


TYPICAL FOOTING W/ FLOOR DETAIL #28
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS

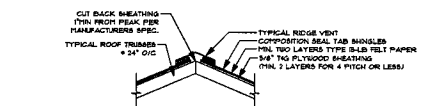


CROSS SECTION 'A' 1/4"=1'-0"

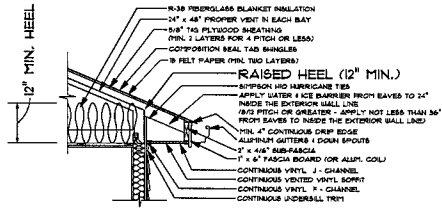
2x6 STUDS @ 16" OC
AT ALL EXTERIOR WALLS
UNLESS OTHERWISE NOTED



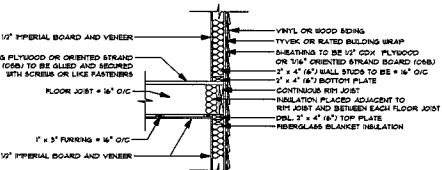
TYPICAL PORCH ROOF WITH DECK DETAIL #45



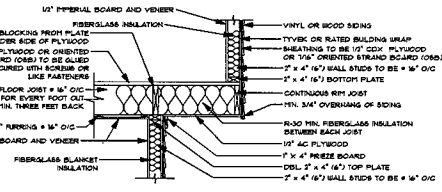
TYPICAL RIDGE W/ TRUSSES DETAIL #9
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



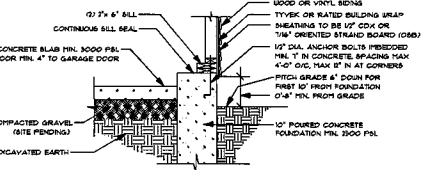
TYPICAL TRUSS W/ VINYL SOFFIT DETAIL #2
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



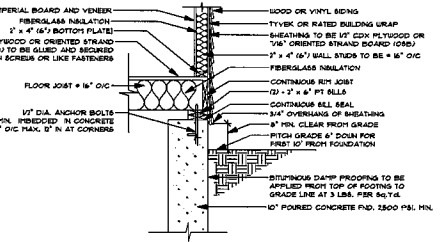
TYPICAL WALL TO FLOOR TO WALL DETAIL #12



TYPICAL WALL TO FLOOR TO WALL CANTILEVER DETAIL #14



TYPICAL GARAGE WALL TO FOUNDATION DETAIL #18
INSULATION IS NOT REQUIRED IN GARAGE UNLESS OTHERWISE NOTED IN PLANS



TYPICAL FLOOR TO FOUNDATION DETAIL #20

30 X 32 COLONIAL
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175 CANFIELD AVENUE
WARWICK, RHODE ISLAND

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SCALE
NOTED
DATE
Tuesday, February 21, 2023
APPROVED
DRR
DRAWN BY
DRR
DRAWING NUMBER
6831