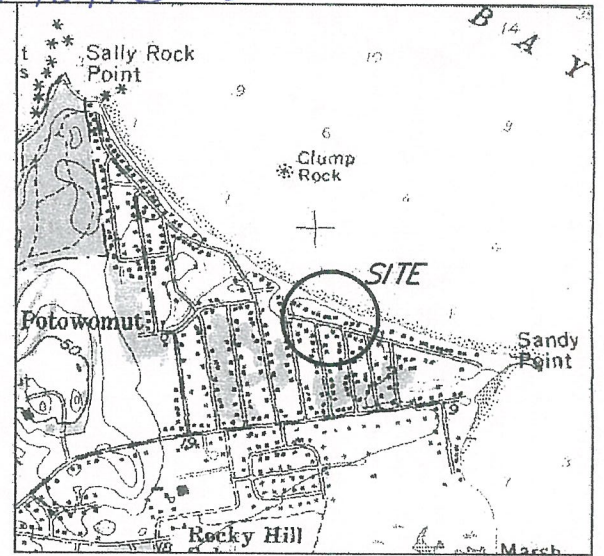
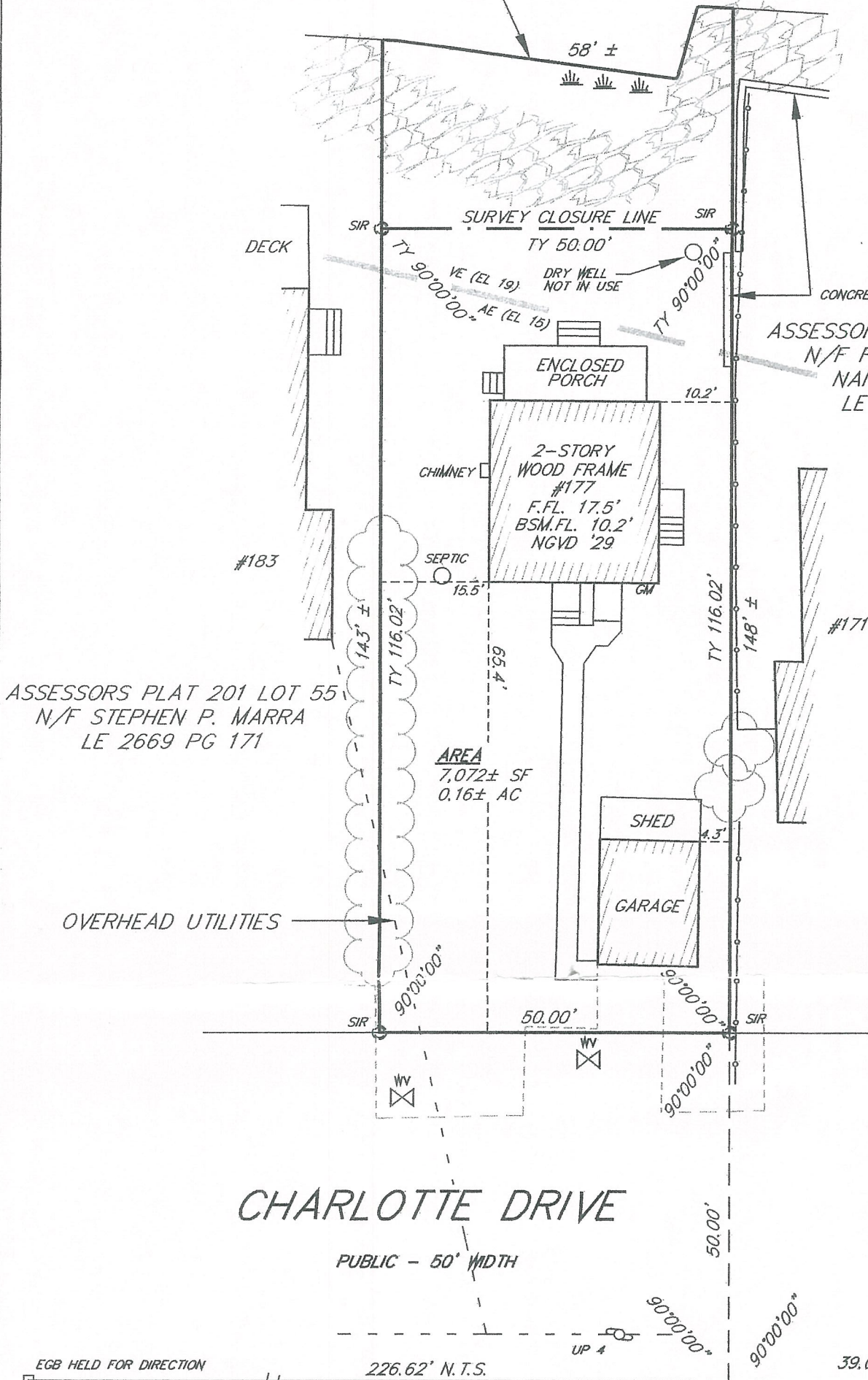


Pet. # 10976- 177 Charlotte Dr.

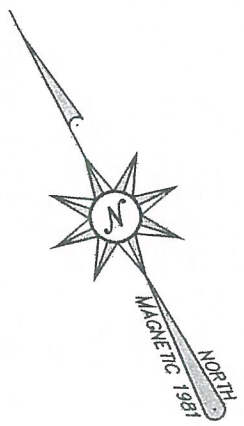
GREENWICH BAY



PROPERTY LINE - MEAN HIGH WATER



LOCUS
SCALE: 1"=2000'



ASSESSORS PLAT 201 LOT 57
N/F FELICIA REVENS &
NANCY WATERMAN
LE 3416 PG 162

ASSESSORS PLAT 201 LOT 55
N/F STEPHEN P. MARRA
LE 2669 PG 171

- LEGEND**
- SET IRON ROD W/ CAP
 - EXISTING GRANITE BOUND
 - GAS METER
 - OVERHEAD UTILITIES
 - CHAIN LINK FENCE
 - TREE LINE/BUSH LINE
 - ROCK WALL
 - COASTAL FEATURE
 - UTILITY POLE
 - EDGE OF PAVEMENT
 - FLOOD ZONE BOUNDARY

- ZONING**
- ZONE A-15
 - FRONT - 30'
 - SIDE - 20'
 - REAR - 30'
 - MAX. HEIGHT - 35'

FLOOD NOTE
EXISTING DWELLING LIES WITHIN ZONE AE (EL15)
PER FIRM COMM. PANEL # 445409 0008 F
MAP REVISED JUNE 16, 1992
SHOWN FLOOD ZONE BOUNDARY SCALED FROM
ABOVE MAP.

CHARLOTTE DRIVE

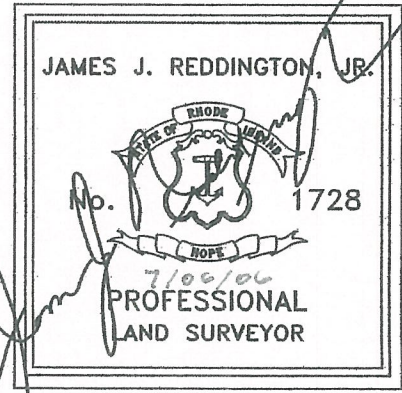
PUBLIC - 50' WIDTH

EGB HELD FOR DIRECTION 226.62' N.T.S. EGB HELD FOR STATION 39.07'

THIS SURVEY AND PLAN CONFORM TO THE FOLLOWING
STANDARDS AS ADOPTED BY THE RHODE ISLAND
BOARD OF REGISTRATION FOR PROFESSIONAL
LAND SURVEYORS.
BOUNDARY - CLASS I
CULTURE - CLASS III

COASTAL RESOURCES MANAGEMENT COUNCIL
APPROVED PLANS
DATE 4/20/07
STAFF MEMBER SR
SUBJECT TO STIPULATIONS CONTAINED IN
ASSENT NUMBER FonSI

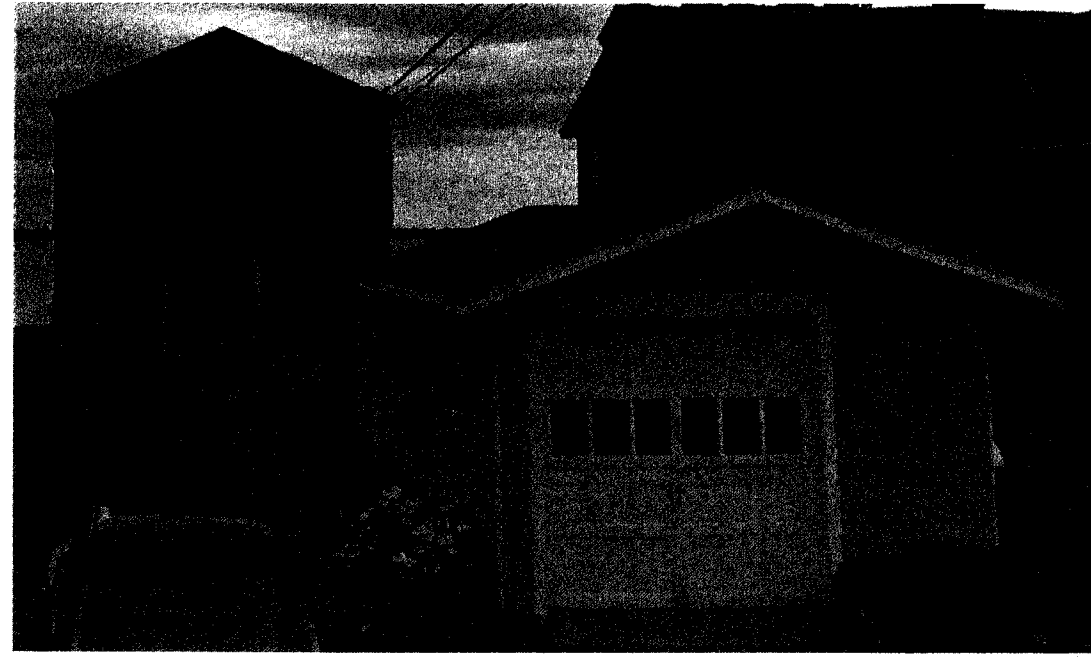
By: *James J. Reddington, Jr.*
JAMES J. REDDINGTON, JR. PLS 1728



PLAN OF LAND
ASSESSORS PLAT 201 LOT 56
WARWICK, RHODE ISLAND
PREPARED FOR: THOMAS PATALANO, JR.
PREPARED BY: ALPHA ASSOCIATES, LTD.

35 ROCKY HOLLOW ROAD
EAST GREENWICH, RHODE ISLAND 02818
F. 401-884-8506 F. 401-884-7747
SCALE: 1"=20' JULY, 2006 SHEET 1 OF 1

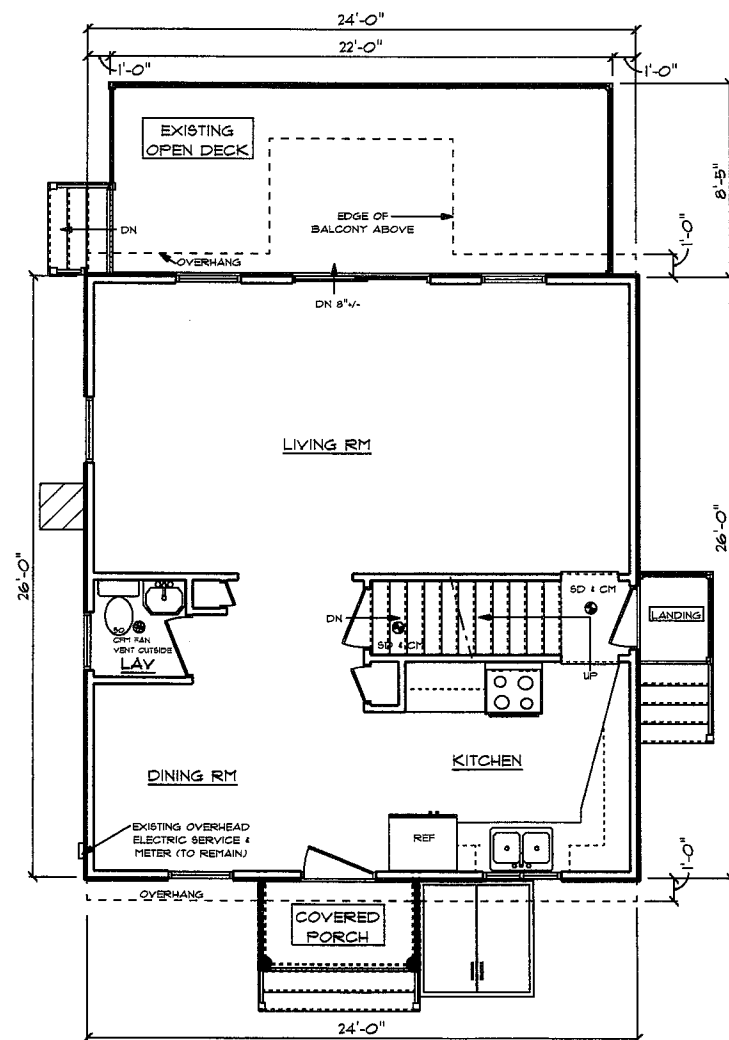
226-3082



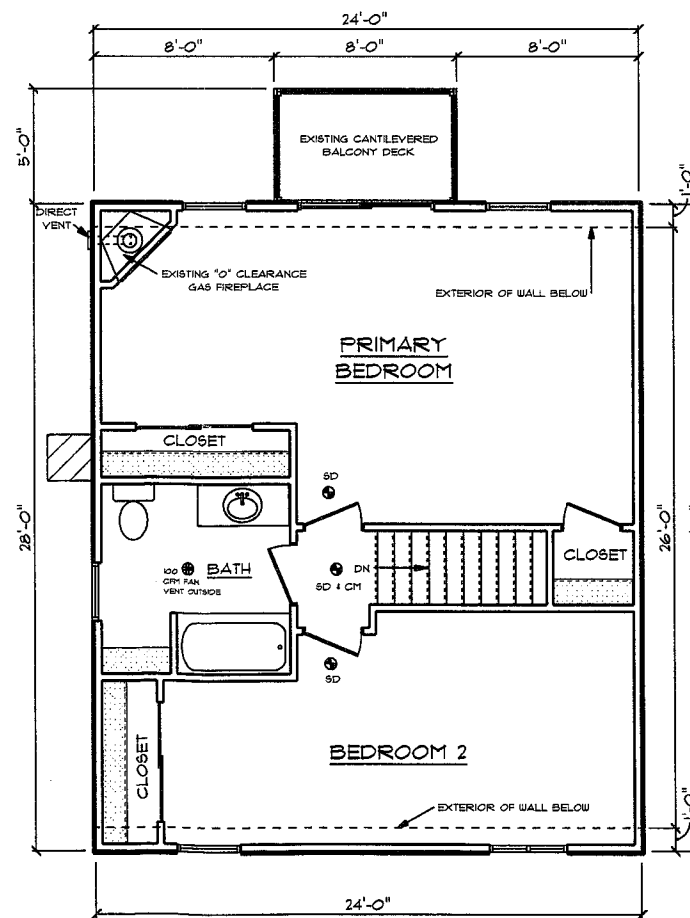
EXISTING FRONT



EXISTING BACK



EXISTING FIRST FLOOR PLAN 1/4"=1'-0"



EXISTING SECOND FLOOR PLAN 1/4"=1'-0"

PROPOSED CONVERSION OF OPEN DECK
TO A THREE SEASON ROOM
FOR THOMAS & ROSEMARY PATALANO
177 CHARLOTTE DRIVE
EAST GREENWICH, RHODE ISLAND

- THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.
1. RISBC - 2 - 2021
 2. WIND DESIGN: ZONE 2 (110 MPH)
 3. LOAD DESIGNS: 40 PSF LIVING AREA LOADS
30 PSF SLEEPING AREA LOADS
20 PSF DEAD LOADS
20 PSF ATTIC LOADS
60 PSF EXTERIOR DECK LOADS
30 PSF SNOW LOADS
 4. FROST DEPTH: MINIMUM 3'-6" DEEP
 5. CLIMATE ZONE: 5
 6. CONSTRUCTION TYPE: 5B
 7. BUILDING HEIGHT: (MAXIMUM 35'-0")
MEASURED FROM AVERAGE GRADE TO HIGHEST RIDGE
VERIFY WITH CITY / TOWN ZONING REGULATIONS
 8. ALL INSULATION IN EXTERIOR WALLS ARE BASED ON THE MINIMUMS AS PER THE PRESCRIPTIVE METHOD OF TABLE N102.1.2 OF THE ENERGY CONSERVATION CODES.

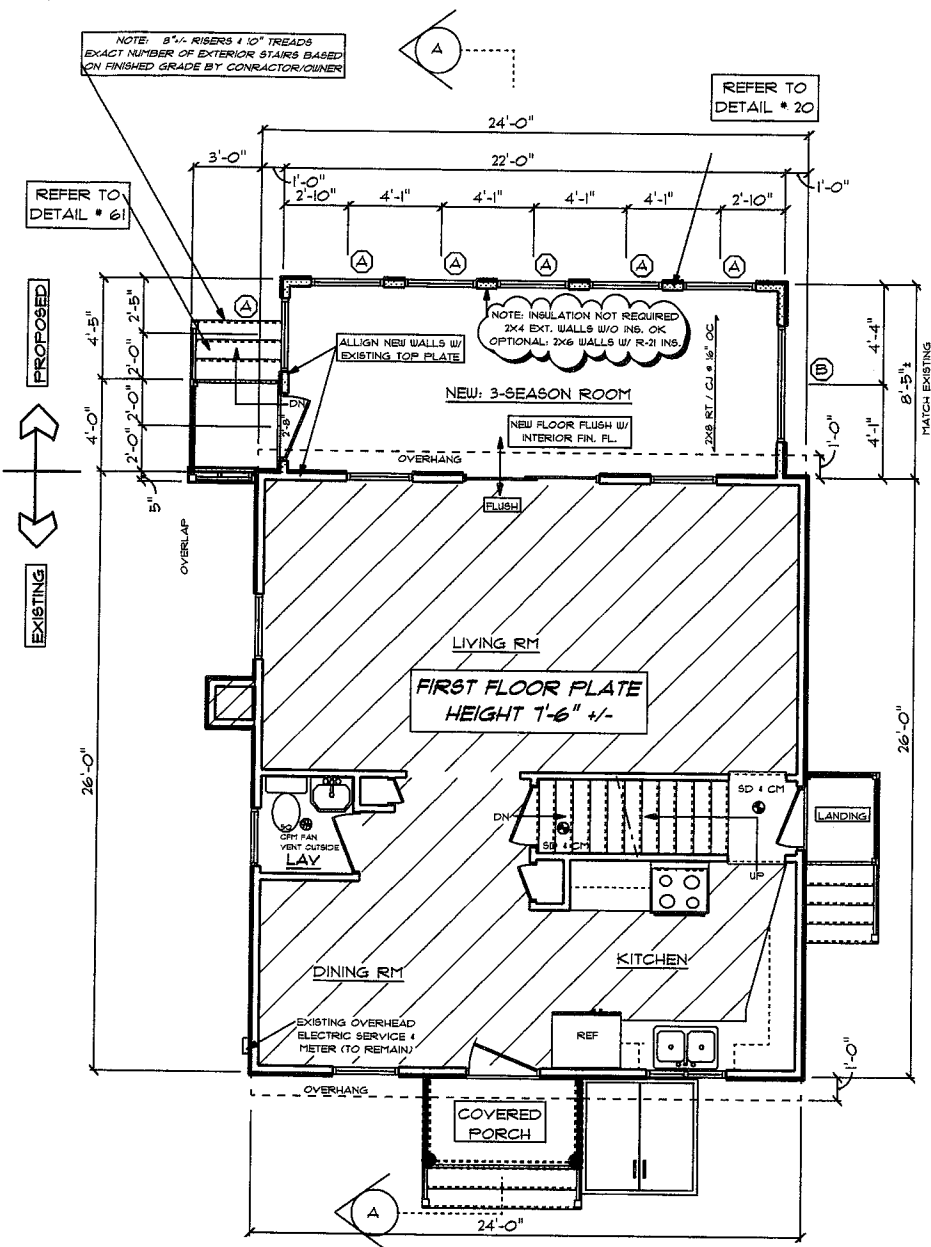
8 X 22 THREE SEASON ROOM
PREPARED FOR:
THOMAS & ROSEMARY PATALANO
177 CHARLOTTE DRIVE
EAST GREENWICH, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY
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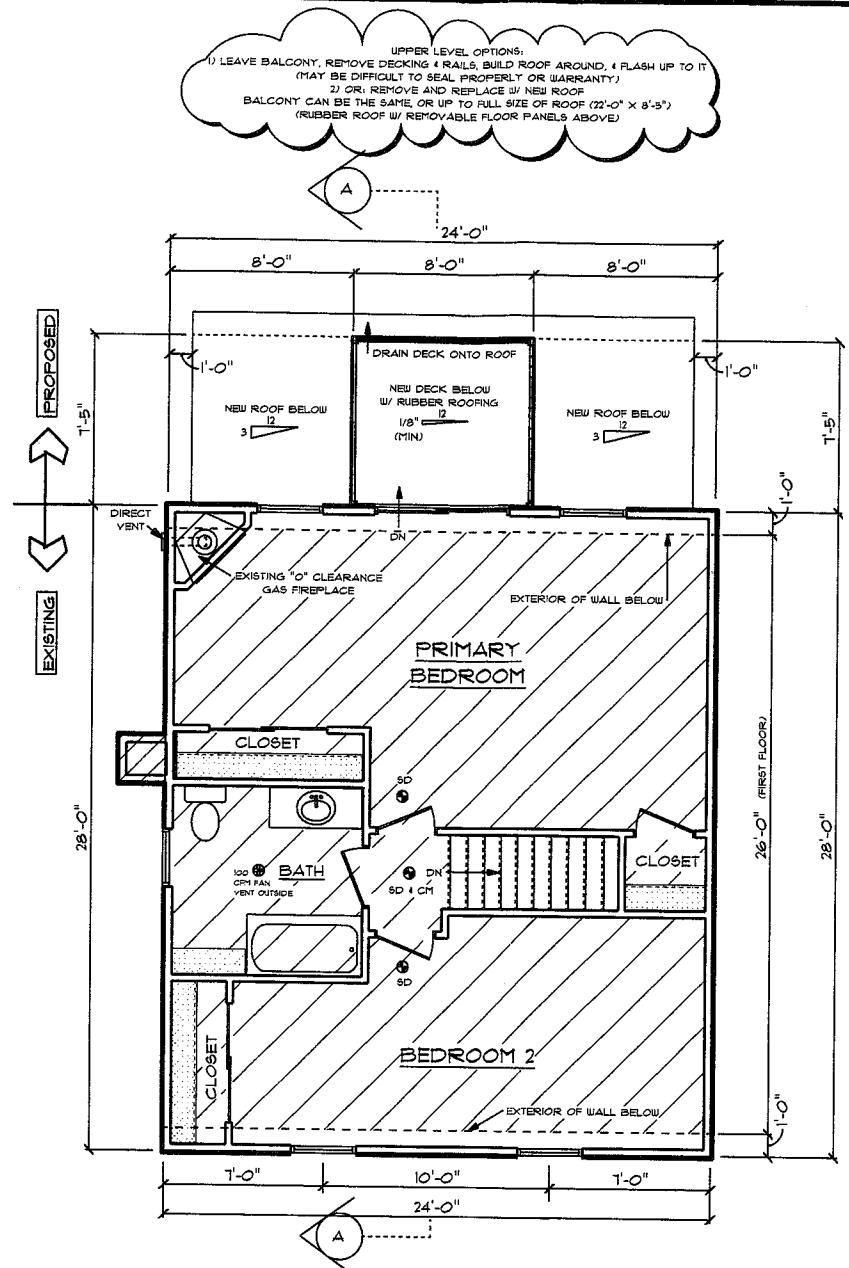
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SCALE	NOTED
DATE	Monday, March 25, 2024
APPROVED	DRR
DRAWN BY	DRR
DRAWING NUMBER	1191



**EXISTING & PROPOSED
FIRST FLOOR PLAN 1/4"=1'-0"**



**EXISTING & PROPOSED
SECOND FLOOR PLAN 1/4"=1'-0"**

LEGEND:

- SOLID BEARING TO FOUNDATION
- TG TEMPERED GLASS
- SD SMOKE DETECTOR
- SD + CH SMOKE DETECTOR & CARBON MONOXIDE
- HU HOT WATER
- HU HEATING UNIT/ BOILER
- 100 CFM FAN VENTED TO OUTSIDE
- HD HEAT DETECTOR
- WC WALK IN CLOSET
- M/C MAKE UP COUNTER
- BEARING WALL
- NEW EXTERIOR WALL
- NEW INTERIOR WALL
- EXISTING EXTERIOR WALLS TO REMAIN
- EXISTING INTERIOR WALLS TO REMAIN
- EXISTING TO BE REMOVED
- ⓐ WINDOW UNIT NUMBER
- ⓓ DOOR UNIT NUMBER

WINDOW SCHEDULE

TYPICAL HEADERS: (2) 2" X 10" TYPICAL HEADER HEIGHT: 6'-10 1/2"
 (EXCEPTIONS ARE NOTED ON PLANS)
 NOTE: ALL LUMBER SPECIES FOR HEADERS, JOISTS, AND BEAMS TO BE KD SPRUCE NO. 2 OR BETTER.
 ALL LOADS FOR FLOOR JOISTS, RAFTERS, HEADERS AND BEAMS ARE BASED ON THE FOLLOWING:
 FLOOR JOISTS LIVING AREAS: 40 PSF LIVE LOAD 30 PSF DEAD LOAD
 FLOOR JOISTS SLEEPING AREAS: 30 PSF LIVE LOAD 30 PSF DEAD LOAD

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL FFF	CLR. OPN.	DESIGN PRESSURE
A	TUB040	3'-0 1/8" X 5'-0 1/8"	6	15.3 / 1.8 1/2"	6.07	30
B	DHP41040	4'-8 1/8" X 5'-0 1/8"	1	25.07 / 1'-8 1/2"	N/A	30
C						30

MANUFACTURER (OR EQUIVALENT): ANDERSEN WINDOWS 400 SERIES MIN. U-FACTOR .35

DOOR SCHEDULE

TYPICAL HEADERS: (2) 2" X 10" TYPICAL HEADER HEIGHT: 6'-10 1/2"
 (EXCEPTIONS ARE NOTED ON PLANS)
 INTERIOR AND EXTERIOR DOOR SIZES ARE NOTED ON PLANS.
 INTERIOR / EXTERIOR DOOR R.O.: NOTED WIDTH X 2 1/2" X 1'-0 1/2" HIGH (TYPICAL)
 POCKET DOOR R.O.: NOTED WIDTH X 2 1/2" X 1'-0 1/2" HIGH (TYPICAL)

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL FFF	CLR. OPN.	DESIGN PRESSURE
3868	2'-10 1/2" X 6'-10"	COUNTRY DR	1	17.74 / N/A	11.02	30

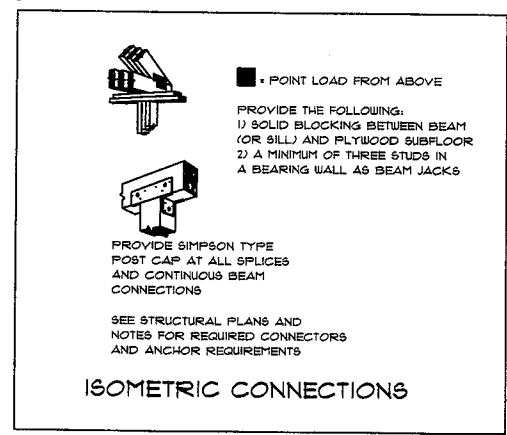
DESIGN PRESSURE

WIND ZONE	50 MPH WIND EXPOSURE	C	DESIGN PRESSURE REQUIRED	DESIGN PRESSURE PROVIDED
			2.8 / -23.6	30

EMERGENCY ESCAPE & RESCUE OPENINGS FOR BEDROOMS

§302.1 MINIMUM OPENING AREA
 EMERGENCY AND ESCAPE RESCUE OPENINGS SHALL HAVE A NET CLEAR OPENING OF NOT LESS THAN 5.7 SQ FT. THE NET CLEAR OPENING DIMENSIONS REQUIRED BY THIS SECTION SHALL BE OBTAINED BY THE NORMAL OPERATION OF THE EMERGENCY ESCAPE AND RESCUE OPENING FROM INSIDE. THE NET CLEAR HEIGHT OPENING SHALL BE NOT LESS THAN 24 INCHES AND THE NET CLEAR WIDTH SHALL BE NOT LESS THAN 20 INCHES.

§302.2 WINDOW SILL HEIGHT
 WHERE A WINDOW IS PROVIDED AS THE EMERGENCY ESCAPE AND RESCUE OPENING, IT SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR.



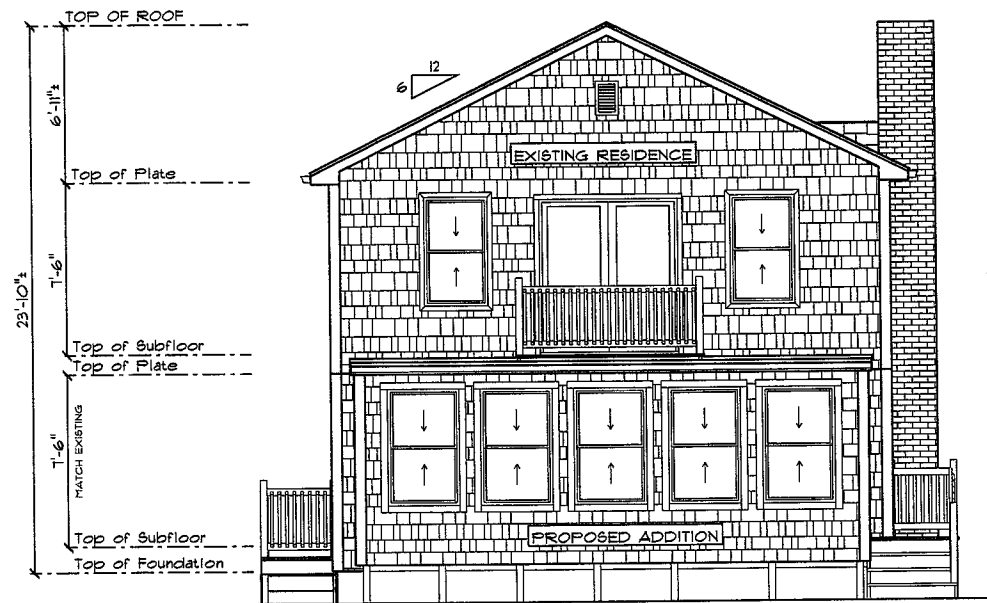
8 X 22 THREE SEASON ROOM
 PREPARED FOR:
 THOMAS & ROSEMARY PATALANO
 171 CHARLOTTE DRIVE
 EAST GREENWICH, RHODE ISLAND

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SCALE NOTED
DATE Monday, March 25, 2024
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 7197

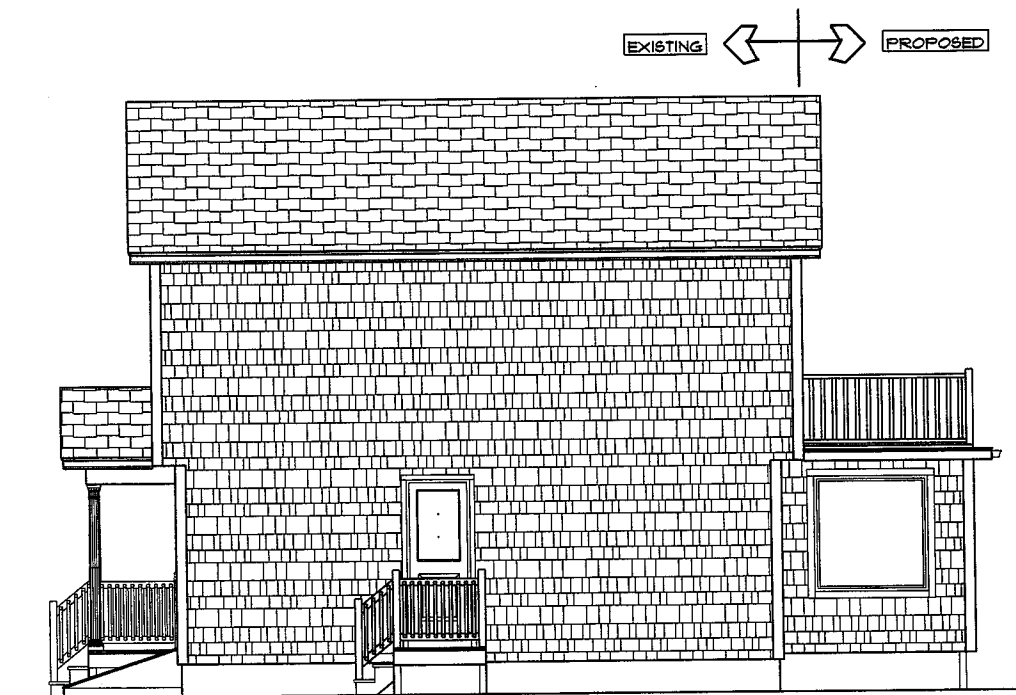


BACK ELEVATION 1/4"=1'-0"

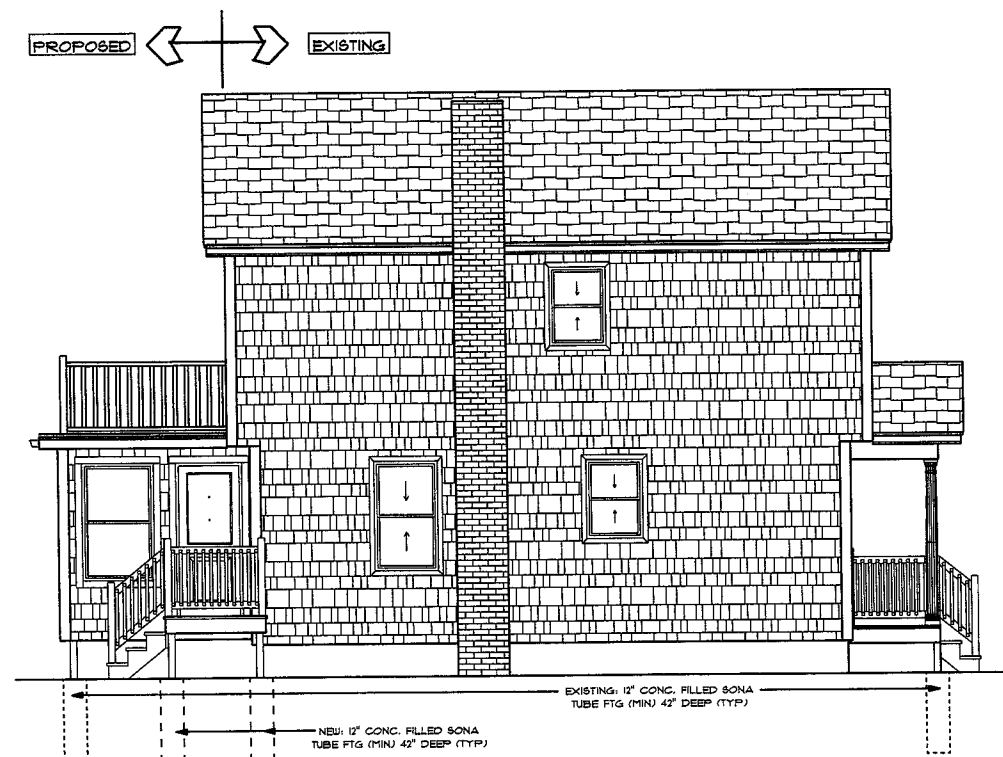


CROSS SECTION 'A' 1/4"=1'-0"

2x6 STUDS @ 16" OC AT ALL NEW EXTERIOR WALLS UNLESS OTHERWISE NOTED



RIGHT SIDE ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"

8 X 22 THREE SEASON ROOM
 PREPARED FOR:
 THOMAS & ROSEMARY FATALANO
 111 CHARLOTTE DRIVE
 EAST GREENWICH, RHODE ISLAND

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SCALE NOTED
 DATE Thursday, April 25, 2024
 APPROVED DRR
 DRAWN BY DRR
 DRAWING NUMBER 1197
 3 OF 4

8 X 22 THREE SEASON ROOM
 PREPARED FOR:
 THOMAS & ROSEMARY PATALANO
 111 CHARLOTTE DRIVE
 EAST GREENWICH, RHODE ISLAND

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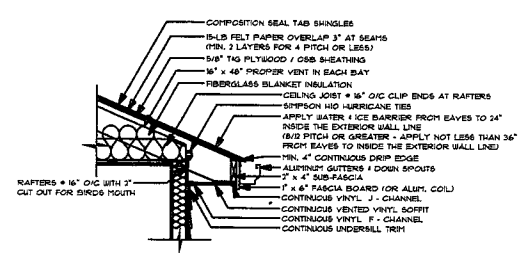
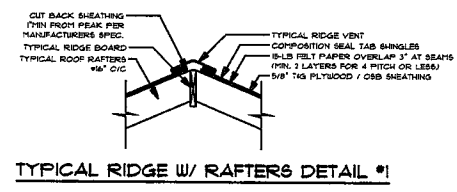
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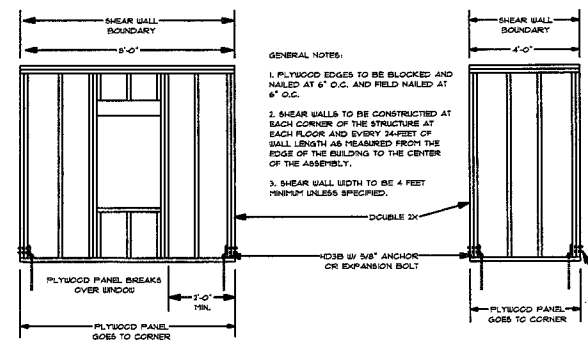
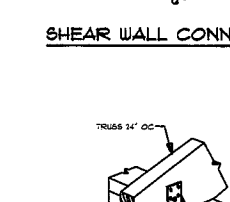
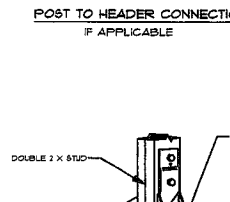
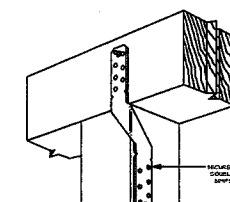
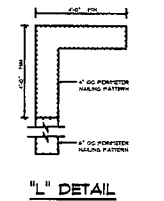
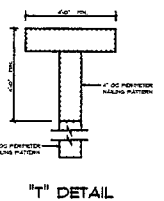
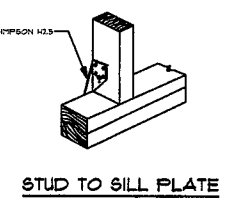
SCALE
 NOTED
DATE
 Thursday, April 25, 2024
APPROVED
 DRR
DRAWN BY
 DRR
DRAWING NUMBER
 7197

TYPICAL NAILING SCHEDULE
TYPICAL FLOORS
 JOIST TO SILL OR GIRDER, TOE NAIL (3) 8D
 RIM JOIST TO JOIST (3) 16D
 3/4" DECK SHEATHING TO FRAMING 8D COMMON NAIL
 OR 14GA. 13/4" STAPLE OR 1/2" RING OR SCREW SHANK NAILS @ 6" FROM EDGES 12" O.C.
TYPICAL BUILT-UP GIRDERS AND BEAMS
 NAIL EACH LAYER WITH 10D NAILS @ 32" O.C.
 AT TOP AND BOTTOM STAGGERED.
 TWO NAILS AT ENDS AND AT EACH SPLICE.
TYPICAL WALLS
 BOTTOM PLATE TO JOIST 16D @ 16" O.C.
 STUD TO BOTTOM PLATE (2) 16D OR (3) 8D
 STUD TO TOP PLATE (2) 16D OR (3) 8D
 DOUBLE TOP PLATE (2) 10D @ 24" O.C.
 DOUBLE STUDS (2) 16D OR (3) 8D @ 16" O.C.
 DOUBLE STUDS AT CORNERS AND INTERSECTIONS (4) 10D
 1/2" WALL SHEATHING TO FRAMING 6D OR 15 GA. 1 1/2" STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS @ 6" FROM EDGES 12" O.C.
TYPICAL BUILT-UP HEADERS
 TWO PIECES WITH 1/2" SPACER 16D @ 16" O.C. ALONG EACH EDGE
TYPICAL ROOFS
 CEILING JOIST TO PLATE, TOE NAIL (3) 8D
 CEILING JOIST LAP OVER PARTITION FACE NAIL (3) 10D
 CEILING JOIST TO PARALLEL RAFTERS, FACE NAIL (3) 10D
 RAFTER TO PLATE, TOE NAIL (2) 16D
 1/2" ROOF SHEATHING TO FRAMING 6D OR 15 GA. 1 1/2" STAPLES OR 1 1/2" RING OR SCREW SHANK NAILS @ 6" FROM EDGES 12" O.C.

GENERAL NOTES
 EGRESS WINDOWS IN ALL BEDROOMS AS PER CODE
 HEAT, SMOKE, & CARBON MONOXIDE DETECTORS AS PER FIRE PROTECTION CODE.
 PROVIDE A 22" X 30" ATTIC ACCESS OPENING.
 ALL DIMENSIONS, NOTES, AND OTHER INFORMATION CONVEYED IN THESE DRAWINGS FOR CONSTRUCTION PURPOSES ARE SUBJECT TO CHANGE AND SHOULD BE VERIFIED IN FIELD BY BUILDER / CONTRACTOR ACCORDING TO LOCAL AND STATE BUILDING CODES.
 THIS DRAFTSPERSON SHALL NOT BE RESPONSIBLE FOR ANY CHANGES THAT WOULD MAKE THE STRUCTURE PHYSICALLY UNSAFE.
 UNFORESEEN SITE CONDITIONS MAY CAUSE A DEVIATION FROM THE CONSTRUCTION DOCUMENTS AND IS THE RESPONSIBILITY OF THE BUILDER / CONTRACTOR TO INSURE STRUCTURAL STABILITY AND CONFORMANCE TO APPLICABLE CODES.

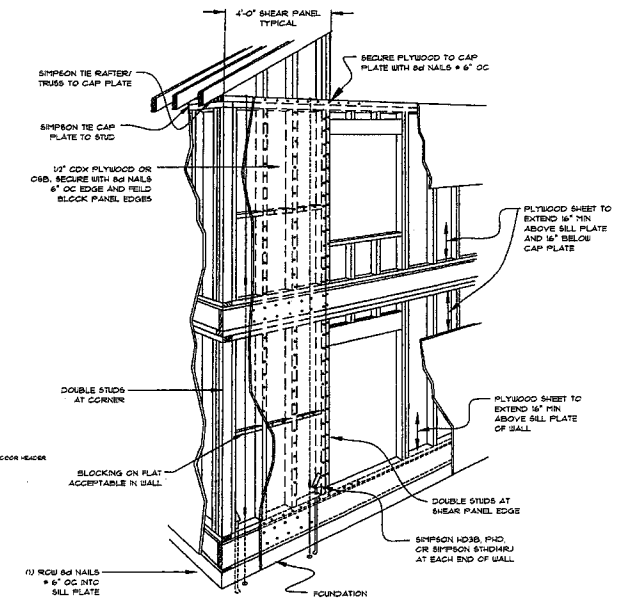


TYPICAL RAFTER W/ VINYL SOFFIT DETAIL #4



SHEAR WALL DETAILS

NOT TO SCALE



SHEAR WALL CONSTRUCTION DETAIL

HIGH WIND PRESCRIPTIVE DESIGN

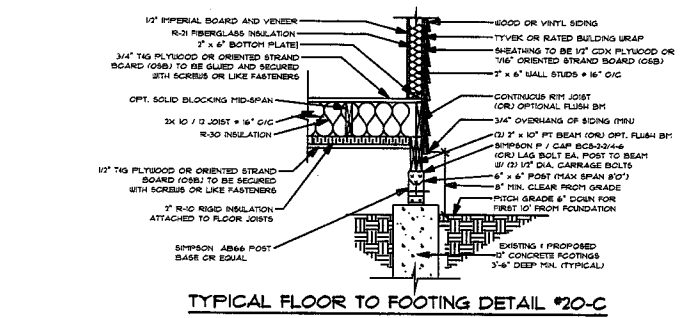
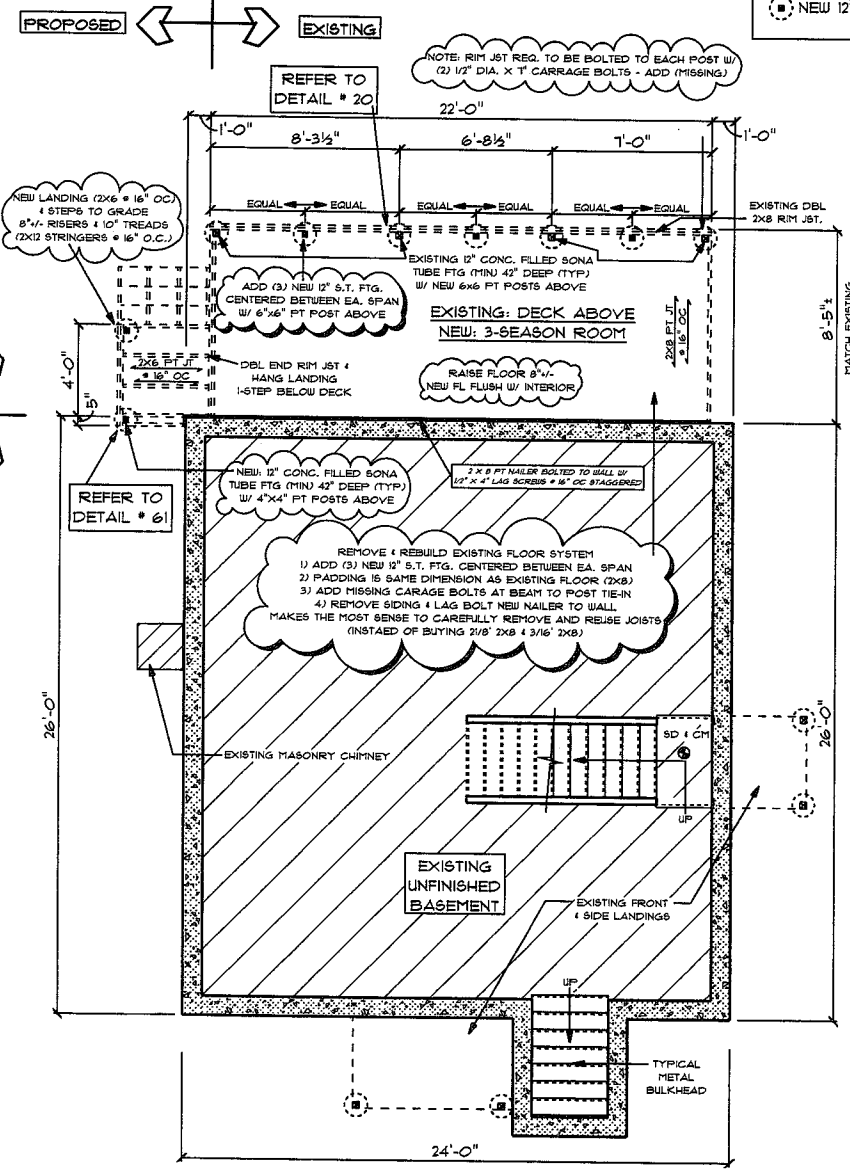
ICC 2011 APPENDIX AA

AA 202 ROOFS

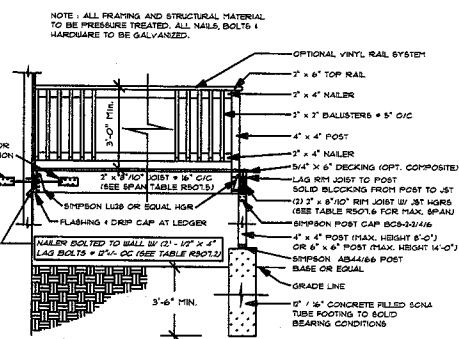
- AA 202.1 ROOF SHEATHING SHALL NOT BE LESS THAN 1/2" FINISHED TYPICAL.
- AA 202.2 ROOF ATTACHMENT SHALL BE ACCORDING WITH PROTECT TO NAILS AS FOLLOWS:
 - IN THE PERPENDICULAR EDGE ZONE ALONG THE EAVES 6" O.C.
 - TO THE INTERMEDIATE SUPPORTS WITHIN THE 4' PERIPHERY EDGE ZONE 6" O.C.
 - ALONG THE GABLE END WALL OR RAKE 6" O.C.
 - ALL OTHER AREAS 4" O.C. EDGE, 12" O.C. INTERMEDIATE.
 ALL SHEATHING EDGES WITHIN THE 4' PERIPHERY EDGE ZONE SHALL BE BLOCKED WITH 2x4 MINIMUM ON EDGE INCLUDING THE RIDGE LINE AND BOPFRASCIA AREA. PROVISIONS FOR VENTILATION AIR SHALL BE MAINTAINED. EXCEPTION: 2x4 INTERMEDIATE BLOCKING CAN BE ELIMINATED PROVIDED ALL SHEATHING IS 5/8" NOMINAL TONGUE AND GROOVE STRUCTURAL PANELS.
- AA 202.3 RAKE AND GABLE OVERHANGS OVERHANGS SHALL BE LIMITED TO 24". LACED STYLE RAKE OVERHANGS ATTACHED TO THE GABLE END SHALL BE LIMITED TO 12". GABLE END OVERHANGS AT GABLE END SHALL BE LIMITED TO 24".
- AA 202.4 ROOF ASSEMBLY TO WALL ASSEMBLY: A DESIGN WIND LOAD ACTION OF 35 PSF SHALL BE USED IN CONNECTION WITH TABLE 6003.1 TO DETERMINE THE REQUIRED STRENGTH OF RAFTER TIE RODS CONNECTIONS TO WINDWARD AND UPWIND EAVES. USE SIMPSON TIE ROD CLIP WITH 3/8" DIA. UPLIFT EACH FOR EACH TRUSS/RAFTER.

AA 203 WALLS

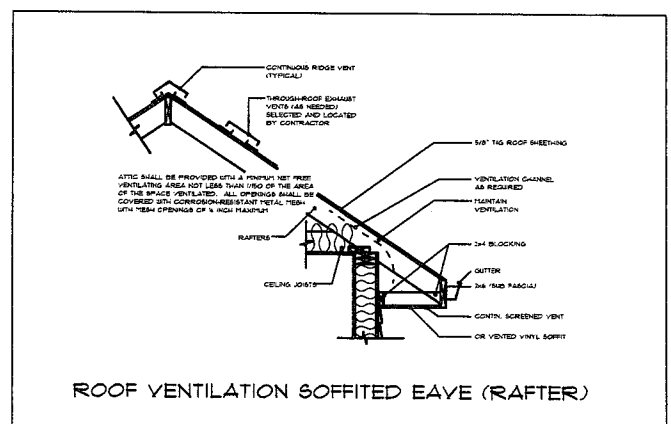
- AA 203.1 SHEATHING: WALL SHEATHING SHALL BE A MINIMUM 1/2" STRUCTURAL PANEL. NAILING SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 - AT THE TOP PLATE OR PLATE: THE SHEATHING SHALL EXTEND FROM THE TOP OF THE TOP PLATE TO A MINIMUM OF 16" ABOVE THE TOP POSITION OF THE TOP PLATE CONNECTION. A MINIMUM OF 4" NAILS SHALL BE USED AT EACH END FASTENING AND EDGE-NAILING TO EACH PLATE AT 6" O.C.
 - IF THE EAVES ARE NOT CONNECTED TO THE FOUNDATION WALL OR TO AN INTERMEDIATE FLOOR, THE WALL SHEATHING SHALL BE CONTIGUOUS AND UNINTERRUPTED FOR A DISTANCE OF 8" BEYOND BOTTOM OF BOTTOM PLATE TO THE FOUNDATION WALL WITH A MINIMUM OF 4" NAILS AT EACH END AND FIELD-NAILING AT 6" O.C. TO FLOOR JOIST HEADERS FRAMING.
 - AT THE BOTTOM OF THE WALL ASSEMBLY TO THE FOUNDATION WALL PLATE, THE WALL SHEATHING SHALL BE CONTIGUOUS FROM A POINT 16" ABOVE THE TOP OF THE BOTTOM WALL PLATE TO THE BOTTOM OF THE FOUNDATION WALL WITH A MINIMUM OF 4" NAILS AT EACH END, 6" FIELD NAILING, AND EDGE-NAILING TO THE FOUNDATION WALL PLATE AT 6" O.C.
- AA 203.2 SHEAR WALLS: A 4' HEIGHT OF WALL SHEATHING SHALL BE DESIGNATED AS A SHEAR WALL AT EACH CORNER OF THE STRUCTURE AT EACH FLOOR AND EVERY 16' MINIMUM OF WALL LENGTH. THE FOLLOWING ADDITIONAL REQUIREMENTS APPLY:
 - OVERHANGS ARE PERMITTED WITHIN THIS 4' SECTION.
 - EXCEPTION: OVERHANGS ARE ALLOWED TO EXCEED THIS 4' TO CORNER PROVIDED THE LENGTH OF THAT SHEAR PANEL IS INCREASED TO 8'.
 - ALL EDGES SHALL BE BLOCKED AND NAILS AT 6" O.C. AND FIELD NAILING AT 6" O.C.
 - STUDS SHALL BE COULDED AT EACH END OF THE SHEAR WALL PANEL.
- AA 203.3 FOUNDATION ANCHOR BOLTS: ANCHOR BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH SECT. R403.1.1 AND THE FOLLOWING:
 - 1 1/2 STORY BUILDINGS: 1/2" x 48" O.C. OR 3/4" x 12" O.C.
 - 2 STORY BUILDINGS: 1/2" x 48" O.C. OR 3/4" x 12" O.C.
- AA 203.4 WALL BRACING:
 - AA 203.4.1 FOR BRD ZONE 1 TO 4 AND ZONE 5 TO 8 THE FOLLOWING CONDITIONS APPLY:
 - EXTENSIVE BRACING AND NON-BRACING WALLS GREATER THAN 10' IN LENGTH SHALL BE 2 x 4 @ 6" O.C. MIN. WALLS WITH A TOTAL HEIGHT GREATER THAN 10' SHALL BE PERMITTED TO USE 2 x 4 @ 6" O.C. PROVIDED THE WALL IS LIMITED TO 10' IN LENGTH AND THE NON-BRACING BRACE ARE NOT GREATER THAN 10' IN LENGTH.



TYPICAL FLOOR TO FOOTING DETAIL #20-C



TYPICAL DECK DETAIL #61 (NO OVERHANG)



ROOF VENTILATION SOFFITED EAVE (RAFTER)