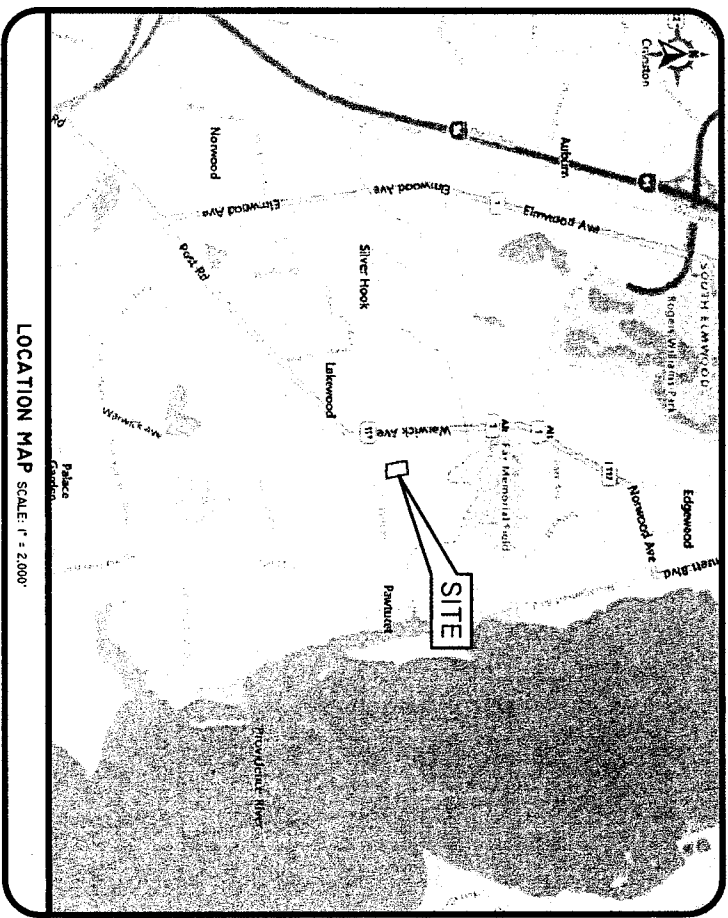


RIDEM PRELIMINARY DETERMINATION

126 BELLOWS STREET

WARWICK, RHODE ISLAND 02888

ASSESSOR'S PLAT 291 LOT 80



- ### SHEET INDEX
- 1 COVER SHEET
 - 2 AERIAL HALF MILE RADIUS & USGS MAP
 - 3 NOTES & LEGEND
 - 4 EXISTING CONDITIONS PLAN (BY OTHERS)
 - 5 SOIL EROSION & SEDIMENT CONTROL PLAN
 - 6 SITE LAYOUT PLAN
 - 7 GRADING, DRAINAGE & UTILITIES PLAN
 - 8 SAND FILTER
 - 9 DETAIL SHEET

SESC / O&M
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN
 (SESC) AND STORMWATER OPERATION AND
 MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS
 WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE
 CONTRACTOR AND OWNER ON SITE.

COVER SHEET

126 BELLOWS STREET
 ASSESSOR'S PLAT 291 LOT 80
 WARWICK, RHODE ISLAND 02888

PREPARED FOR:
DESLANDES REALTY, LLC
 126 BELLOWS STREET, WARWICK, RHODE ISLAND 02888
 TEL: 401-467-7600 FAX: 401-467-7676

NO.	DATE	DESCRIPTION	BY:
2	03-22-2024	RIDEM PRELIMINARY DETERMINATION SUBMISSION	L.B. III
1	01-05-2024	RIDEM PRELIMINARY DETERMINATION SUBMISSION	L.B. III
0	06-21-2023	RIDEM PRELIMINARY DETERMINATION SUBMISSION	L.B. III

DRAWN BY: L.B. DESIGN BY: J.A.D.

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES
 UNLESS STAMPED ISSUED FOR CONSTRUCTION AND STAMPED BY
 A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE
 ENGINEERING

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE
 ENGINEERING TITLE BLOCK STAMPED BY REGISTERED
 PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE
 ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

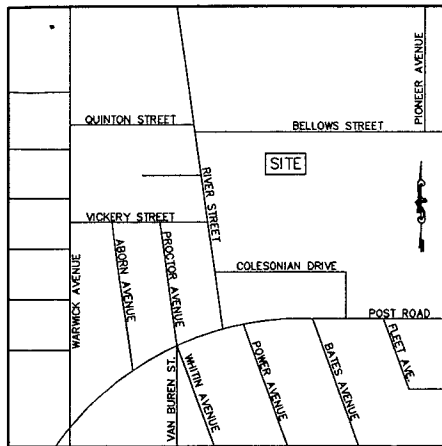
THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS,
 METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS, AND OSHA
 CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND
 DESIGN.
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE
 ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR
 DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.
 SEE 'UTILITY NOTE' ON SHEET 3.



Two Stafford Court Cranston, RI 02920
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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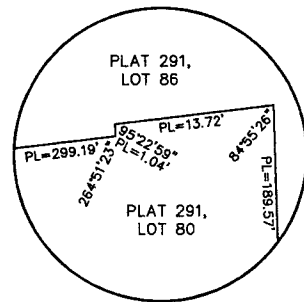
LOCUS
NOT TO SCALE

LEGEND

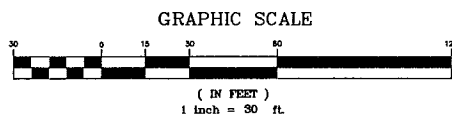
N/F	NOW OR FORMERLY
S.F.	SQUARE FEET
INV.	INVERT
ELEV.	ELEVATION
PL	PROPERTY LINE
PK	PK NAIL
FND	FOUND
GB	GRANITE BOUND
UP	UTILITY POLE
GW	GUY WIRE
CB	CATCH BASIN
WV	WATER VALVE
WSO	WATER SHUT-OFF

- GENERAL NOTES:**
1. THE PARCEL IS PLAT 291, LOT 80.
 2. THE TOTAL PARCEL AREA IS 147,757 S.F. OR 3.3920 ACRES.
 3. THE EXISTING BUILDING ADDRESS IS 126 BELLOWS STREET.
 4. SEE DEED BOOK 6711 AT PAGE 258 FOR TITLE REFERENCE.
 5. THE BASIS OF BEARING SHOWN ON THIS PLAN WAS TAKEN FROM A MAGNETIC READING PERFORMED DURING SURVEY FIELD WORK ON FEBRUARY 17, 2020.
 6. BY GRAPHIC PLOTTING ONLY, THE PARCEL IS LOCATED IN FLOOD ZONE AE WITHIN BASE FLOOD CROSS SECTION LINES OF ELEVATIONS 14 AND 14.4, AND FLOOD ZONE X (AREAS OF 0.2% ANNUAL CHANCE FLOOD PLAIN) AS SHOWN ON NATIONAL FLOOD INSURANCE RATE MAP 44003C0019J, EFFECTIVE DATE: OCTOBER 2, 2015.

- ZONING INFORMATION:**
- THE PARCEL IS ZONED: LI (LIGHT INDUSTRIAL)
- MINIMUM LOT AREA = 6,000 S.F.
 MINIMUM LOT FRONTAGE = 60 FEET
 MINIMUM BUILDING SETBACKS:
 FRONT YARD = 25 FEET
 SIDE YARD = 15 FEET
 REAR YARD = 20 FEET
 MINIMUM LANDSCAPED OPEN SPACE = 10%
 MAXIMUM STRUCTURE HEIGHT = 45 FEET

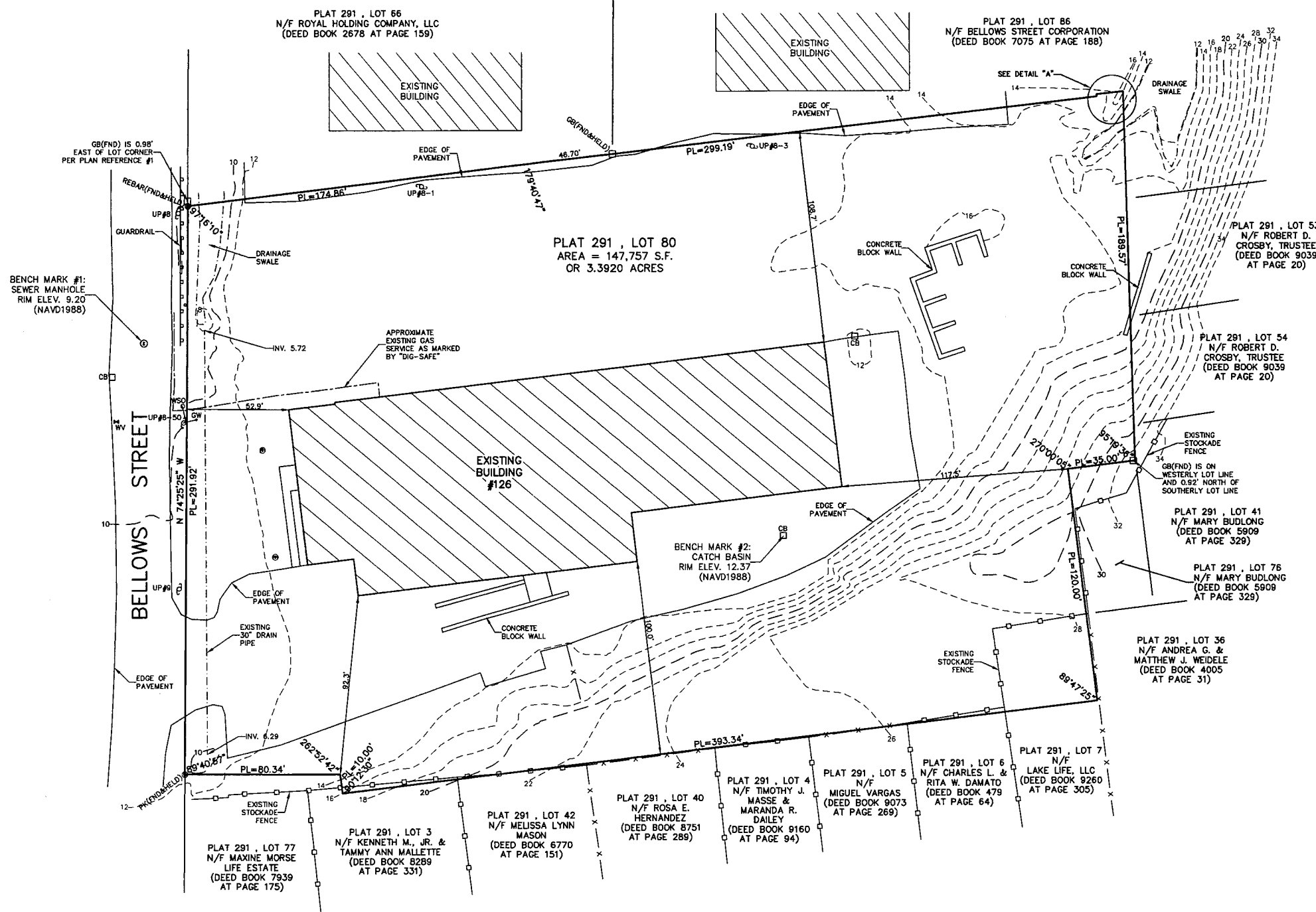


DETAIL "A"
NOT TO SCALE



PLAN REFERENCES:

1. PLAN ENTITLED "PERIMETER SURVEY OF LAND IN WARWICK, RHODE ISLAND FOR ARTHUR VENTRONE, SCALE: 1" = 40', DATED: 4/30/91, BY LOUIS FEDERICI & ASSOCIATES," WHICH IS RECORDED IN THE CITY OF WARWICK REGISTRY OF DEEDS IN MAP DRAWER 2, SHEET 56.
2. PLAN ENTITLED "ADMINISTRATIVE SUBDIVISION, COLESONIAN DRIVE, ASSESSOR'S PLAT 291, LOTS 35 & 66, WARWICK, RHODE ISLAND, PREPARED BY DIPRETE ENGINEERING ASSOCIATES, INC., PREPARED FOR BELLOWS STREET CORPORATION, SCALE: 1" = 50', DATED: DECEMBER 2007," WHICH IS RECORDED IN THE CITY OF WARWICK REGISTRY OF DEEDS ON PLAT CARD 1404.
3. PLAN ENTITLED "BELLOWS STREET CONDOMINIUM, A CONDOMINIUM DEVELOPMENT AT ASSESSOR'S PLAT 291, LOTS 66 & 75, IN THE CITY OF WARWICK, DATED: JANUARY 21, 1988," WHICH IS RECORDED IN THE CITY OF WARWICK REGISTRY OF DEEDS ON CONDOMINIUM GLIDE 385.

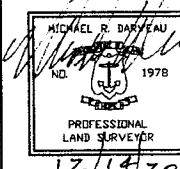


THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
 DATA ACCUMULATION SURVEY
 TOPOGRAPHIC ACCURACY

MEASUREMENT SPECIFICATION:
 CLASS I
 CLASS III
 T-2

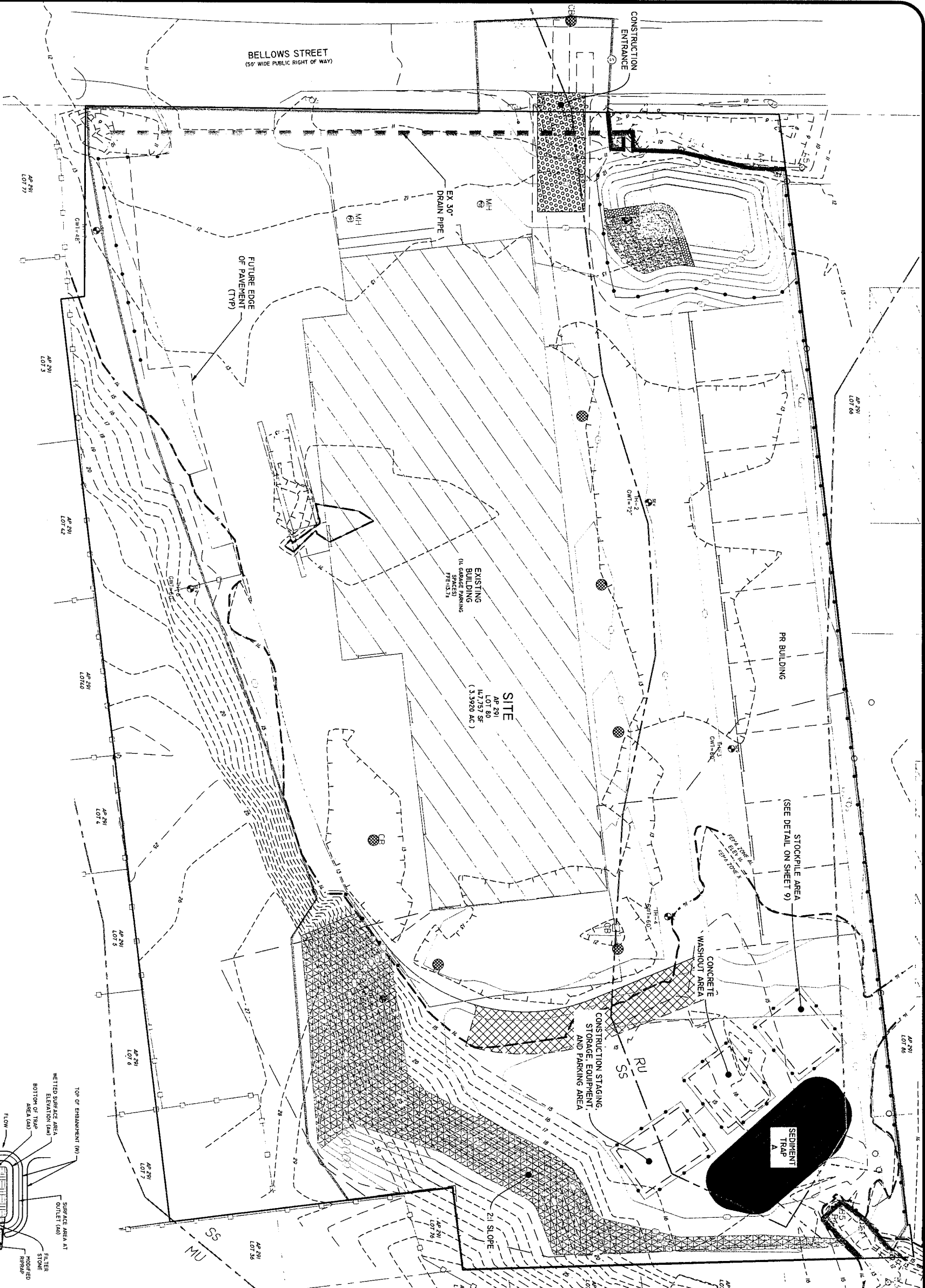
STATEMENT OF PURPOSE:
 THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 1) PREPARE AN EXISTING CONDITIONS PLAN.



BY: *Michael R. Darveau*
 MICHAEL R. DARVEAU, PLS#1978
 PRESIDENT, DARVEAU LAND SURVEYING, INC.

DATE: 12/14/20
 COA #LS-A497

EXISTING CONDITIONS PLAN FOR		DARVEAU LAND SURVEYING, INC. P.O. BOX 7918 CUMBERLAND, R.I. 02864 PHONE 401-475-5700 E-MAIL: MIKE@DARVEAUSURVEY.COM	
DESLANDES REALTY, LLC PLAT 291, LOT 80 126 BELLOWS STREET WARWICK, RHODE ISLAND		SCALE: 1" = 30'	DRAWN BY: S.A.K.
PROJECT NO: 2020_005	REVISED:	DATE: DEC. 14, 2020	SHEET NO: 1 OF 1

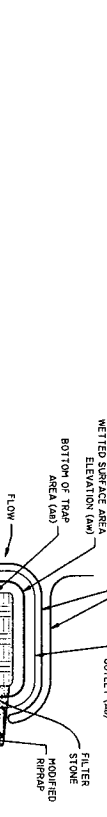


SEDIMENT TRAP DIMENSIONS*

TRAP A	TRAP B
TRIBUTARY DRAINAGE AREA	1.0 AC
WET STORAGE DEPTH (WD)	2.0 FT
DRY STORAGE DEPTH (DD)	2.0 FT
TOTAL DEPTH (TD)	4.0 FT
BOTTOM OF TRAP AREA (BA)	770 @0.1
WETTED SURFACE AREA (WSA)	1,350 @0.1
SURFACE AREA AT OUTLET (AO)	2,000 @0.1

MINIMUM TRAP WIDTHS (AS REQUIRED)

H (FT)	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0
W (FT)	1.5	2.0	2.5	3.0	3.5	4.0	4.5	5.0

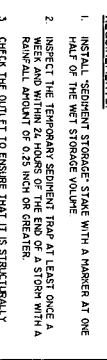


- INSTALLATION NOTES:**
- CLEAN, GRUB AND STRIP ANY VEGETATION AND ROOT MAT FROM ANY PROPOSED EMBANKMENT AND OUTLET AREA.
 - REMOVE STONES AND ROCKS WHOSE DIAMETER IS GREATER THAN THREE (3) INCHES AND OTHER DEBRIS.
 - EXCAVATE WET STORAGE AND CONSTRUCT THE EMBANKMENT AND/OR OUTLET AS NEEDED TO ATTAIN THE NECESSARY STORAGE REQUIREMENTS.
 - USE ONLY FILL MATERIAL FOR THE EMBANKMENT THAT IS FREE FROM EXCESSIVE ORGANICS, DEBRIS, LARGE ROCKS (OVER SIX INCHES IN DIAMETER), AND OTHER DEBRIS.
 - STABILIZE THE EARTHEN EMBANKMENT USING ANY OF THE FOLLOWING MEASURES: SEEDING FOR TEMPORARY VEGETATION COVER, REEDING FOR PERMANENT VEGETATION COVER, OR SLOPE PROTECTION (SPRINKLES, APES, NO. 10 GALVEON).

- INSPECTION, MAINTENANCE, AND REMOVAL REQUIREMENTS:**
- INSTALL SEDIMENT STORAGE STAKE WITH A MARKER AT ONE HALF OF THE WET STORAGE VOLUME.
 - INSPECT THE TEMPORARY SEDIMENT TRAP AT LEAST ONCE A WEEK AND WITHIN 24 HOURS OF THE END OF A STORM WITH A RAINFALL AMOUNT OF 0.25 INCH OR GREATER.
 - CHECK THE OUTLET TO ENSURE THAT IT IS STRUCTURALLY SOUND AND HAS NOT BEEN DAMAGED BY EROSION OR CONSTRUCTION EQUIPMENT.
 - CHECK FOR SEDIMENT ACCUMULATION AND FILTRATION PERFORMANCE.
 - WHEN SEDIMENTS HAVE ACCUMULATED TO ONE HALF THE MINIMUM REQUIRED VOLUME OF THE WET STORAGE, REMOVE THE SEDIMENT FROM THE TRAP TO ITS ORIGINAL DIRECTIONS.
 - PURPOSE OF THE SEDIMENT REMOVED FROM THE BASIN, IN A SUITABLE AREA AS DESIGNATED BY THE GEOTECHNICAL ENGINEER.
 - THE TEMPORARY SEDIMENT TRAP SHALL BE REMOVED AFTER THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.

- GENERAL NOTES:**
- THE TEMPORARY SEDIMENT TRAP SHALL MEET ALL REQUIREMENTS FOR TEMPORARY SEDIMENT TRAPS OUTLINED IN THE PROPOSED SOIL EROSION AND SEDIMENT CONTROL MEASURES (LATEST REVISION SECTION 501.00, SEDIMENT CONTROL).
 - THE TEMPORARY SEDIMENT TRAP MUST PROVIDE A STORAGE VOLUME FOR ONE INCH OF RAINFALL FROM THE CONTRIBUTING AREA HALF OF THE STORAGE MUST BE PROVIDED IN THE FORM OF DRY STORAGE. SEE DETAIL BELOW SECTION 6 OF THE SPECIFICATIONS.
 - FILL CUT AND FILL SLOPES MUST BE 2:1 OR FLATTER EXCEPT FOR SLOPES OF 2:1 OR FLATTER WHERE STAKES MUST NOT EXCEED 1:5:1.
 - THE OUTLET MUST BE LOCATED AT THE MOST DISTANT HYDRAULIC POINT FROM THE TRAP.
 - THE OUTLET CONSISTS OF A 4 INCHES DIAMETER PIPE WITH A CORNER OF ROUNDED RADIUS AND FACED ON THE UPTERREACH SIDE WITH STONE.
 - TEMPORARY SEDIMENT TRAP MUST BE LOCATED ON STABILIZED GROUND.
 - MINIMUM HEIGHT OF A TEMPORARY SEDIMENT TRAP EMBANKMENT IS LIMITED TO 5 FEET (BOTTOM OF DRY STORAGE TO TOP OF EMBANKMENT). TOTAL EMBANKMENT HEIGHT MUST NOT EXCEED 6 FEET (BOTTOM OF WET STORAGE TO TOP OF EMBANKMENT).
 - SIDE SLOPES OF THE EMBANKMENT MUST BE 2:1 OR FLATTER.
 - HODGED RIPRAP SHALL MEET THE REQUIREMENTS OF ROOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION H.10.03.2.
 - FILTER STONE SHALL MEET THE REQUIREMENTS OF ROOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION SUBSECTION H.10.03.2 TABLE 1. COLUMN V FILTER STONE.

- SOIL EROSION CONTROL LEGEND**
- PERMISSION RANGE (SMALL AND/OR BERM)
 - TEMPORARY SEDIMENT TRAP
 - EROSION CONTROL (CONCRETE SOIL SILT FENCE OR APPROVED EQUAL)
 - CLASS C SILT FENCE
 - LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
 - LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
 - TRIBUTARY AREA TO SPEC BMP
 - CONSTRUCTION ENTRANCE (8000 STD 1/4 IN)
 - FINAL CONTROL BASIN
 - INLET SEDIMENT CONTROL



SOIL EROSION & SEDIMENT CONTROL PLAN
126 BELLOWS STREET
ASSESSOR'S PLAT 291 LOT 80
WARWICK, RHODE ISLAND 02888

PREPARED FOR:
DESLANDES REALTY, LLC
126 BELLOWS STREET, WARWICK, RHODE ISLAND 02888
TEL 401-67-7600 FAX 401-67-7676

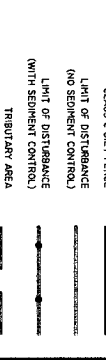
DESIGNED BY: J.A.D.
DRAWN BY: L.B.

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS STAMPED, ISSUED FOR CONSTRUCTION AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING TITLE BLOCK STAMPED BY REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEASUREMENTS, FIELD CONDITIONS AND REQUIREMENTS AND SHALL CONFORM TO THE IMPLEMENTATION OF THIS PLAN AND DESIGN.

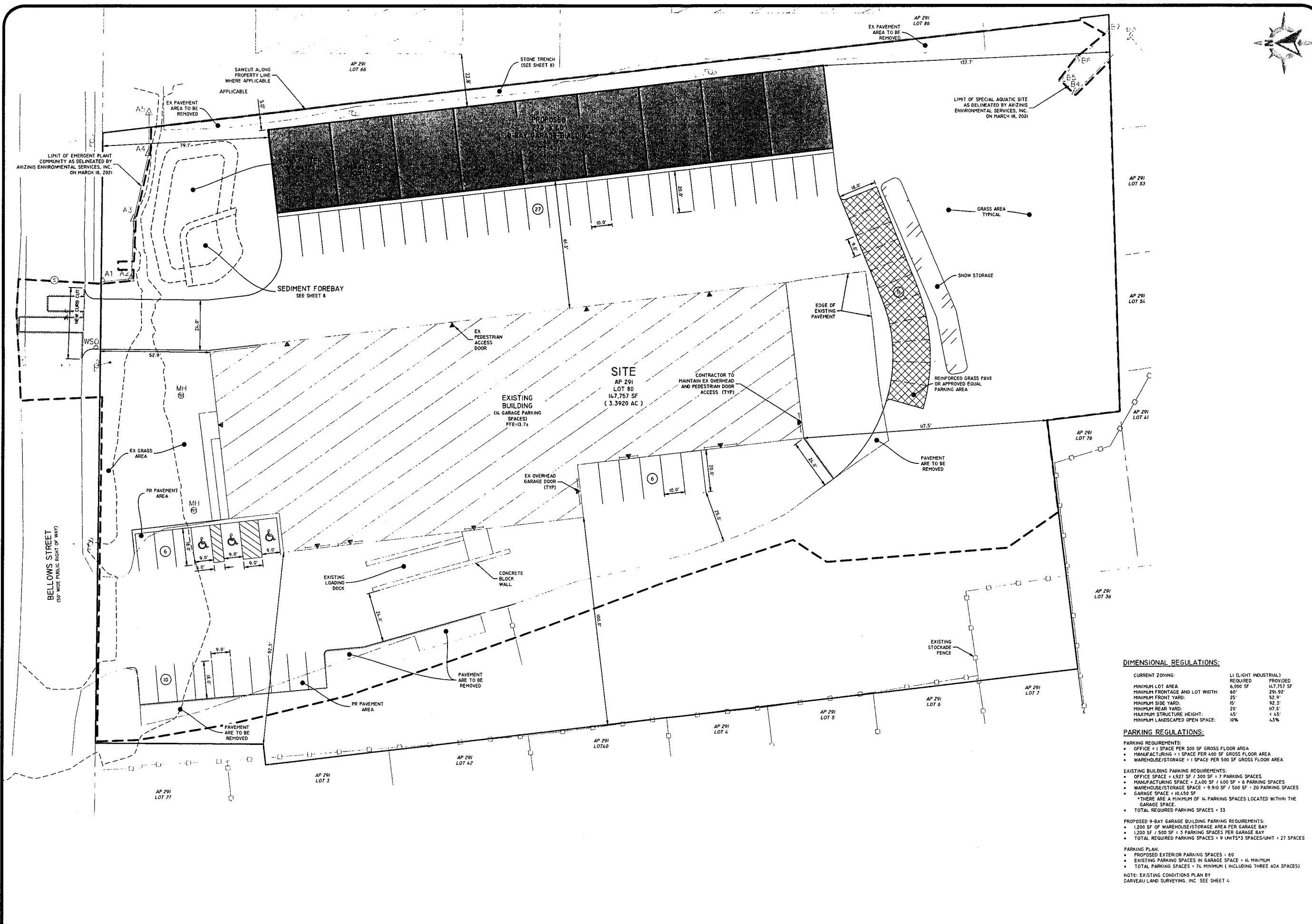
EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITY NOTE ON SHEET 3.



DiPrete Engineering
Two Stafford Court Cranston, RI 02920
tel 401-943-1000 fax 401-674-6006 www.diprete-eng.com

Boston • Providence • Newport

2: NEWHAM PROJECTS 1688-002 BELLOWS STREET 126-PLAN-DWG PLAT 288 3/27/2024



SCALE: 1"=20'
0 10' 20' 40'

DIMENSIONAL REGULATIONS:

CURRENT ZONING:	LI (LIGHT INDUSTRIAL)	REQUIRED	PROVIDED
MINIMUM LOT AREA	6,000 SF	147,757 SF	
MINIMUM FRONTAGE AND LOT WIDTH:	60'	291.92'	
MINIMUM FRONT YARD:	25'	52.9'	
MINIMUM SIDE YARD:	15'	92.3'	
MINIMUM REAR YARD:	20'	112.5'	
MAXIMUM STRUCTURE HEIGHT:	45'	< 45'	
MINIMUM LANDSCAPED OPEN SPACE:	10%	4.3%	

PARKING REGULATIONS:

PARKING REQUIREMENTS:

- OFFICE = 1 SPACE PER 300 SF GROSS FLOOR AREA
- MANUFACTURING = 1 SPACE PER 400 SF GROSS FLOOR AREA
- WAREHOUSE/STORAGE = 1 SPACE PER 500 SF GROSS FLOOR AREA

EXISTING BUILDING PARKING REQUIREMENTS:

- OFFICE SPACE = 1,927 SF / 300 SF = 7 PARKING SPACES
- MANUFACTURING SPACE = 2,400 SF / 400 SF = 6 PARKING SPACES
- WAREHOUSE/STORAGE SPACE = 9,910 SF / 500 SF = 20 PARKING SPACES
- GARAGE SPACE = 10,450 SF
- TOTAL REQUIRED PARKING SPACES = 33

PROPOSED 9-BAY GARAGE BUILDING PARKING REQUIREMENTS:

- 1,200 SF OF WAREHOUSE/STORAGE AREA PER GARAGE BAY
- 1,200 SF / 500 SF = 3 PARKING SPACES PER GARAGE BAY
- TOTAL REQUIRED PARKING SPACES = 9 UNITS * 3 SPACES/UNIT = 27 SPACES

PARKING PLAN:

- PROPOSED EXTERIOR PARKING SPACES = 60
- EXISTING PARKING SPACES IN GARAGE SPACE = 14 MINIMUM
- TOTAL PARKING SPACES = 74 MINIMUM (INCLUDING THREE ADA SPACES)

NOTE: EXISTING CONDITIONS PLAN BY DARVEAU LAND SURVEYING, INC SEE SHEET 4

DiPrete Engineering
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tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

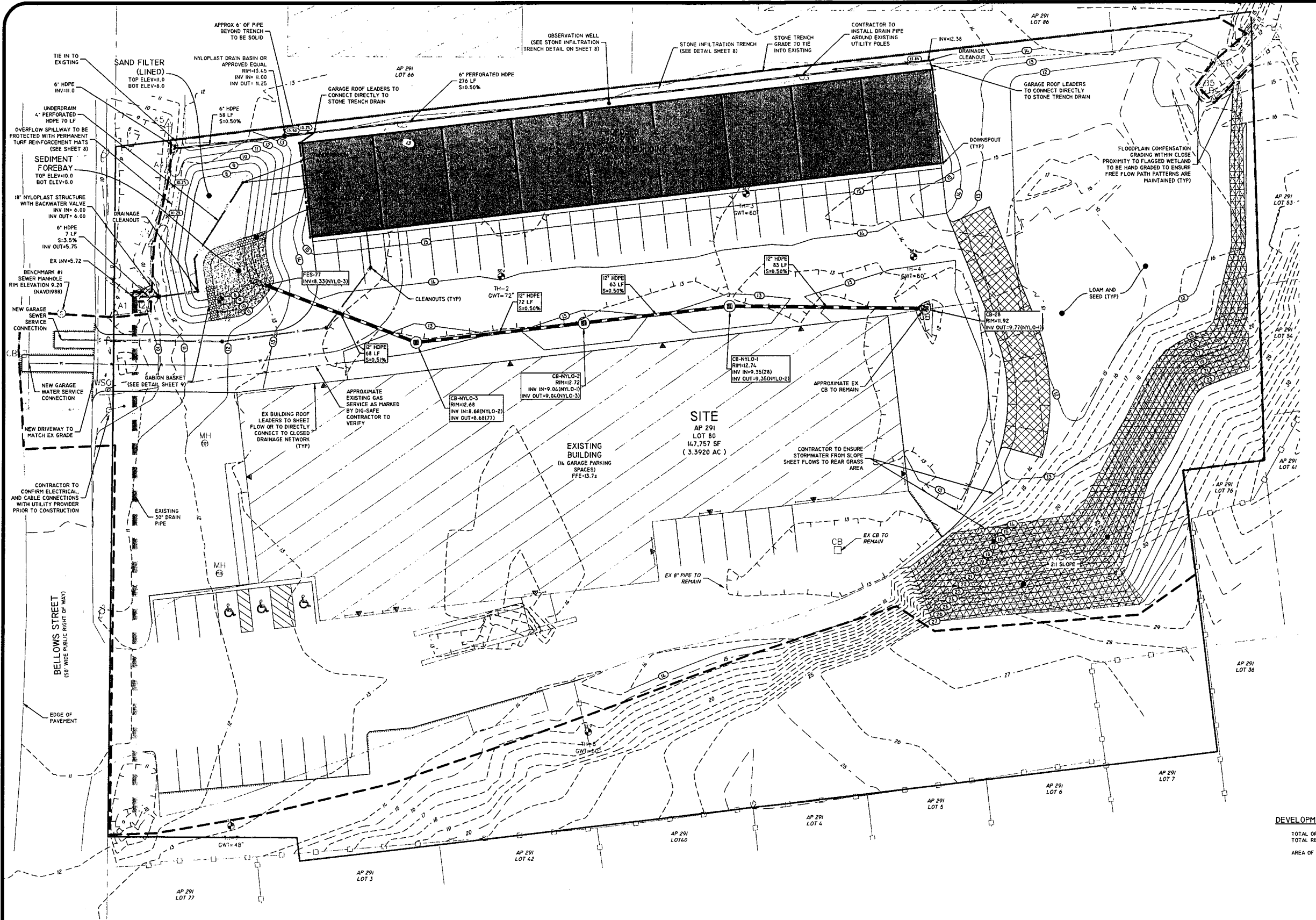
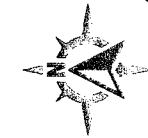
BRIAN C GIROUX
REG 3341
REGISTERED PROFESSIONAL ENGINEER CIVIL

NO.	DATE	DESCRIPTION	BY	DESIGN BY: J.A.D.
1	03-27-2024	PRELIMINARY DETERMINATION SUBMISSION		
2	03-27-2024	FINAL PRELIMINARY DETERMINATION SUBMISSION		
3	03-27-2024	FINAL PRELIMINARY DETERMINATION SUBMISSION		
4	03-27-2024	FINAL PRELIMINARY DETERMINATION SUBMISSION		
5	03-27-2024	FINAL PRELIMINARY DETERMINATION SUBMISSION		

SITE LAYOUT PLAN
126 BELLOWS STREET
ASSESSOR'S PLAT 291 LOT 80
WARWICK, RHODE ISLAND 02888

PREPARED FOR:
DESLANDES REALTY, LLC
126 BELLOWS STREET WARWICK, RHODE ISLAND 02888
TEL 401-467-7000 FAX 401-467-7070

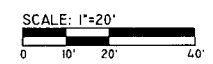
DESIGN BY: J.A.D.



NOTE: NYLOPLAST STRUCTURES WILL HAVE A 3 FT SUMP UNLESS OTHERWISE NOTED, CONCRETE COLLARS PER MANUFACTURER'S REQUIREMENTS, & ANTI-BUOYANCY MITIGATION. STRUCTURES TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S REQUIREMENTS.

DEVELOPMENT DATA:

TOTAL ORIGINAL PARKING SPACES:	60 SPACES
TOTAL REVISED PARKING SPACES:	60 SPACES
AREA OF PAVEMENT ELIMINATED:	3,953 SF



DiPrete Engineering
 Two Stafford Court Cranston, RI 02920
 Tel: 401-943-1000 Fax: 401-404-6066 www.diprete-eng.com

BRIAN C. GIROUX
 REG. NO. 1341
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL

THIS PLAN SET FIRST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS APPROVED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS, METHODS, SAFETY PRECAUTIONS AND REQUIREMENTS FOR THE PROTECTION OF THE EXISTING UTILITIES SHOWN ON THIS PLAN AND APPROPRIATE DAMAGE INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES. SEE UTILITY PAGE ON SHEET 2.

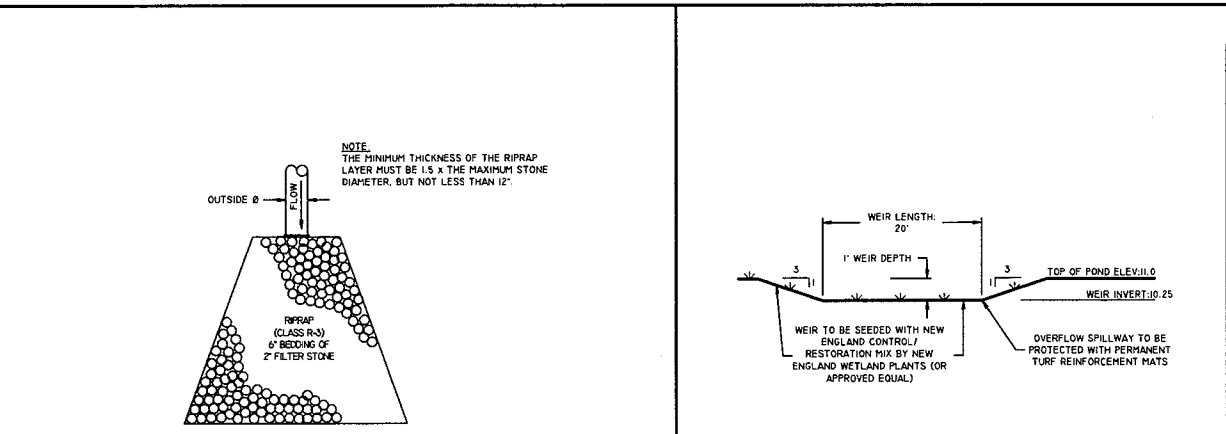
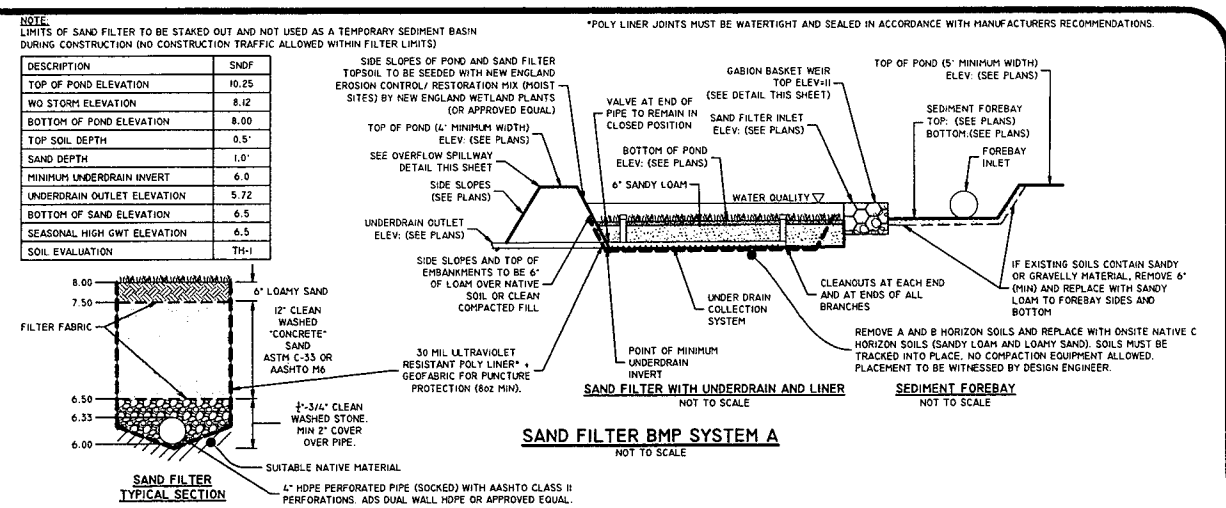
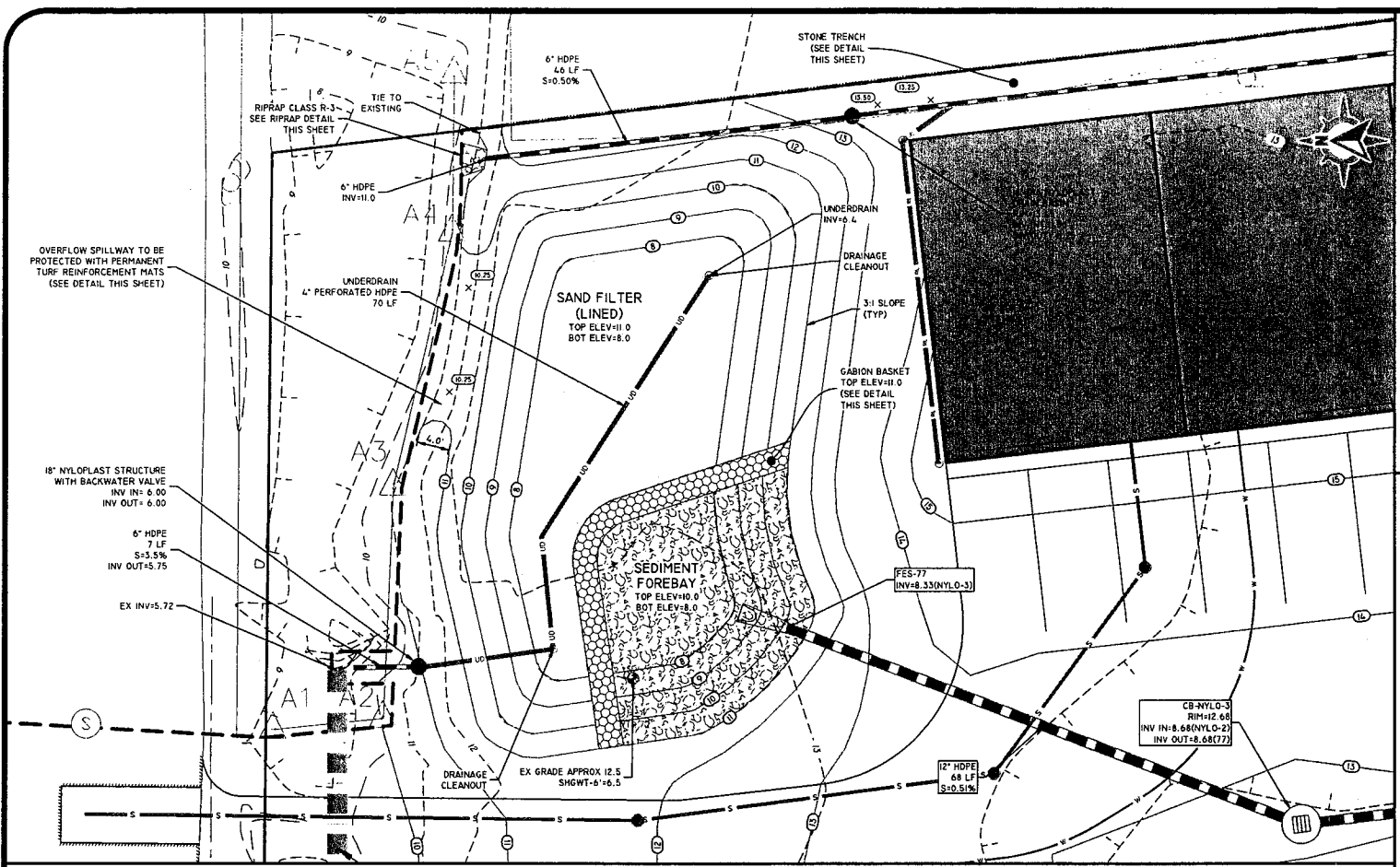
NO.	DATE	DESCRIPTION	BY
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1	03-22-2024	AS-BUILT PRELIMINARY DETERMINATION SUBMISSION	L.B.
1	03-22-2024	AS-BUILT PRELIMINARY DETERMINATION SUBMISSION	L.B.

DESIGN BY: L.B. DRAWN BY: J.A.D.

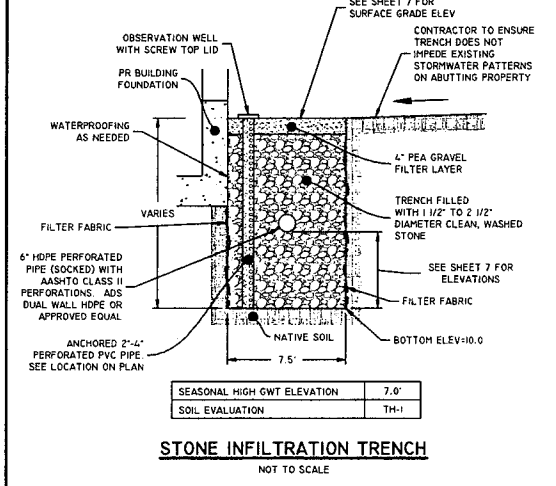
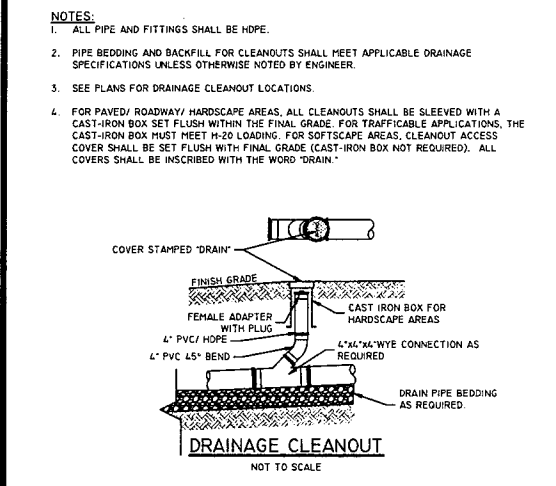
GRADING, DRAINAGE & UTILITIES PLAN
 126 BELLOWS STREET
 WARWICK, RHODE ISLAND 02888
 DESLANDES REALTY, LLC
 100 BELLOWS STREET
 WARWICK, RHODE ISLAND 02888
 TEL: 401-467-7600 FAX: 401-467-7616

REGISTERED CIVIL ENGINEER
 REG. NO. 2488-NE COPYRIGHT 1992 BY DIPRETE ENGINEERING ASSOCIATES, INC.

2:00AM PROJECT: 202408-002 BELLOW STREET ROAD/UTILITY DRAWINGS/1488-002.PLAN.DWG PLOT: 10/11/24 5:12:20PM

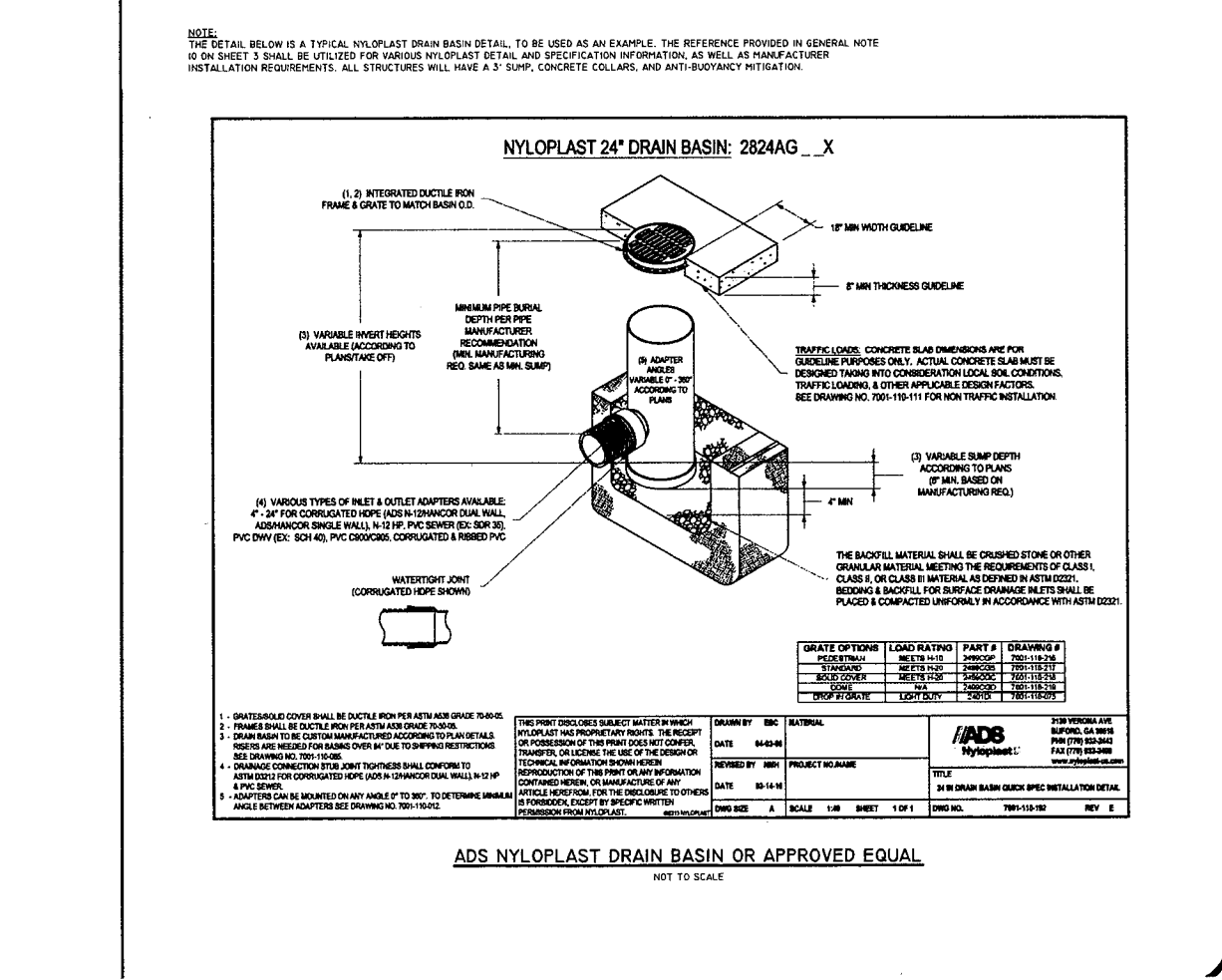
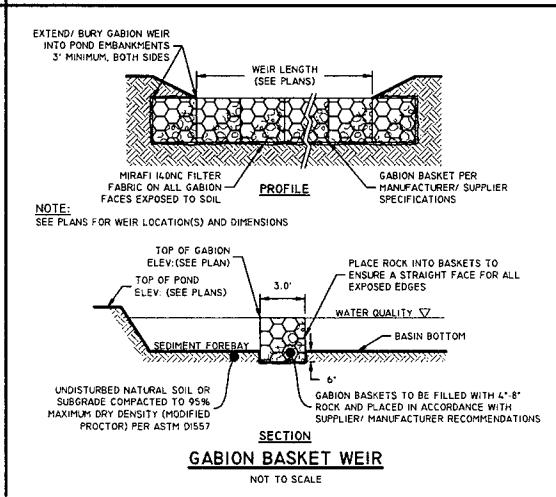


SAND FILTER
SCALE: 1"=10'
0 5' 10' 20'



HDPE FLARED END SECTION
NOT TO SCALE

PART #	PIPE SIZE	A	B (MAX)	H	L	W
120NP	12 IN (300 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
150NP	15 IN (375 MM)	6.50 IN (165 MM)	10 IN (254 MM)	6.50 IN (165 MM)	25 IN (635 MM)	29 IN (737 MM)
180NP	18 IN (450 MM)	7.50 IN (191 MM)	15 IN (381 MM)	6.50 IN (165 MM)	32 IN (813 MM)	35 IN (889 MM)
240NP	24 IN (600 MM)	7.50 IN (191 MM)	18 IN (457 MM)	6.50 IN (165 MM)	36 IN (914 MM)	45 IN (1143 MM)
300NP	30 IN (750 MM)	7.50 IN (191 MM)	12 IN (305 MM)	8.40 IN (213 MM)	58 IN (1473 MM)	63 IN (1600 MM)
360NP	36 IN (900 MM)	7.50 IN (191 MM)	25 IN (635 MM)	8.40 IN (213 MM)	58 IN (1473 MM)	63 IN (1600 MM)



DiPrete Engineering
Two Stafford Court, Cranston, RI 02920
Tel: 401-943-1000 Fax: 401-943-6006 www.diprete-eng.com

BRIAN C. GIROUX
REGISTERED PROFESSIONAL ENGINEER CIVIL
No. 3341

SAND FILTER
126 BELLOWS STREET
WARWICK, RHODE ISLAND 02888
PREPARED FOR: DESLANDES REALTY, LLC
126 BELLOWS STREET, WARWICK, RHODE ISLAND 02888
TEL: 401-667-7600 FAX: 401-667-7676

DESIGN BY: J.A.D.
DRAWN BY: L.B.

ADS NYLOPLAST
34 IN DRAIN BASIN QUICK SPEC INSTALLATION DETAIL
DATE: 10-14-18
SCALE: 1/8" = 1'-0"
SHEET: 1 OF 1
DWG NO.: 789-113-102 REV: E

