

**GENERAL NOTES:**

1. THE PARCEL OF LAND DESIGNATED AS LOT 63 ON TAX MAP 22 IS LOCATED IN THE CITY OF WARWICK, COUNTY OF KENT & STATE OF RHODE ISLAND.
2. THE PARCEL FALLS IN AN X ZONE (OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) ON FEMA MAP NUMBER 44003C0137H EFFECTIVE DATE 9/18/2013.
3. THE CURRENT ZONING IS A15  
 DIMENSIONAL REGULATIONS:  
 MINIMUM LOT SIZE : 15,000 SQ. FT.  
 MINIMUM FRONTAGE / WIDTH: 125 FEET  
 MINIMUM FRONT/CORNER SIDE YARD: 30 FEET  
 MINIMUM SIDE YARD: 20 FEET  
 MINIMUM REAR YARD: 30 FEET  
 MAXIMUM HEIGHT: 35 FEET  
 MINIMUM LANDSCAPED OPEN SPACE: 15%.
4. THERE ARE NO WETLANDS ON THIS SITE.
5. ANY UTILITIES SHOWN ON THIS PLAN SHOULD BE CONSIDERED APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY FUTURE CONSTRUCTION.

**REFERENCES:**

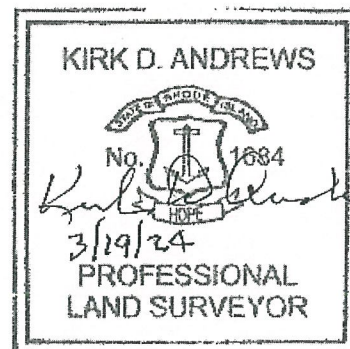
1. "PLAT OF LAND IN CHEPIWANOXET, WARWICK, R.I. BELONGING TO MARY A. ARNOLD BY FRANK E. WATERMAN CO. 1"=40' SEPT. 1918"
2. "PLAT OF LAND AT COWESETT, R.I. BELONGING TO HARRIET A. ARNOLD & CELIA S. A. WHEAT BY FRANK E. WATERMAN CO. 1"=40' AUG. 1917"
3. CITY OF WARWICK, R.I. DEED BOOK 10379 PAGE 10.
4. WWW.BING.COM

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO ESTABLISH THE PERIMETER OF THE BOUNDARY TO CREATE AN EXISTING CONDITIONS SITE PLAN.

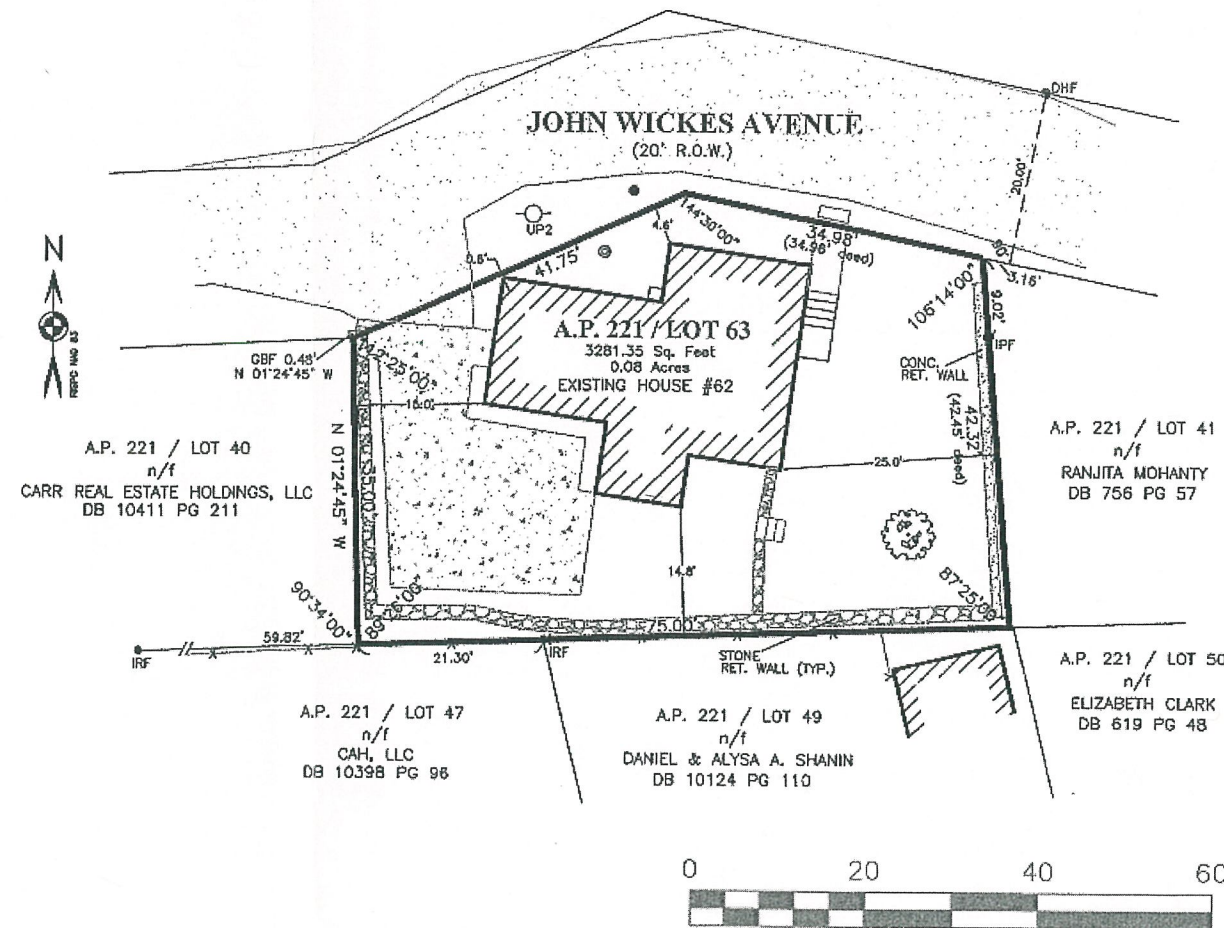
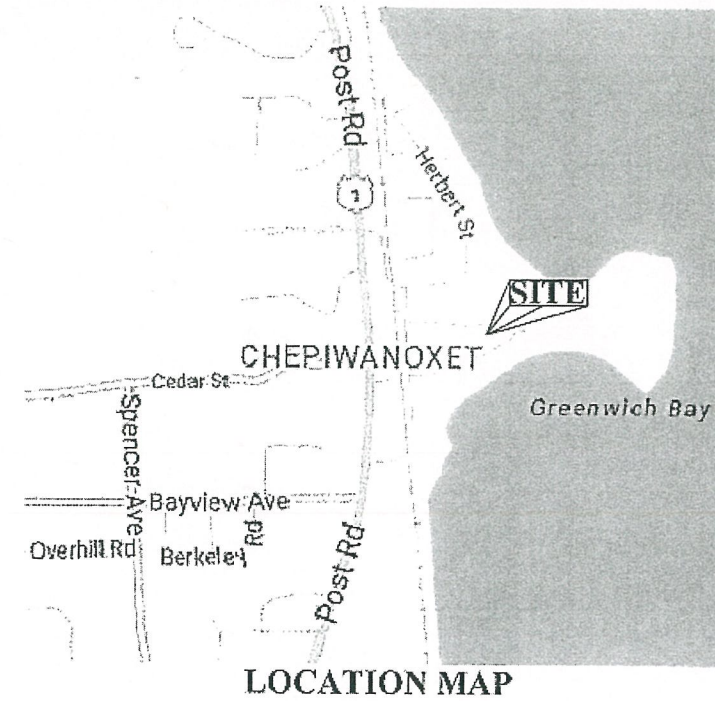
BY: *Kirk D. Andrews*  
 KIRK D. ANDREWS PLS NO. 1684  
 COA No.: 000A555



**LEGEND**

φ UP ##	EXISTING UTILITY POLE
-X-X-	EXISTING FENCE
GBF □	GRANITE BOUND FOUND
IRF •	IRON ROD FOUND
DHF ⊙	DRILL HOLE FOUND
IPF ⊕	IRON PIPE FOUND
⊗	EXISTING TREE
⊕	EXISTING WATERGATE

**STREET INDEX  
JOHN WICKES AVENUE**



**SURVEY & LOCATION PLAN**  
 PREPARED FOR  
**JOHN WICKES PROJECT**  
 LOCATION  
 62 JOHN WICKES AVENUE  
 A. P. 221 / LOT 63  
 WARWICK, RHODE ISLAND

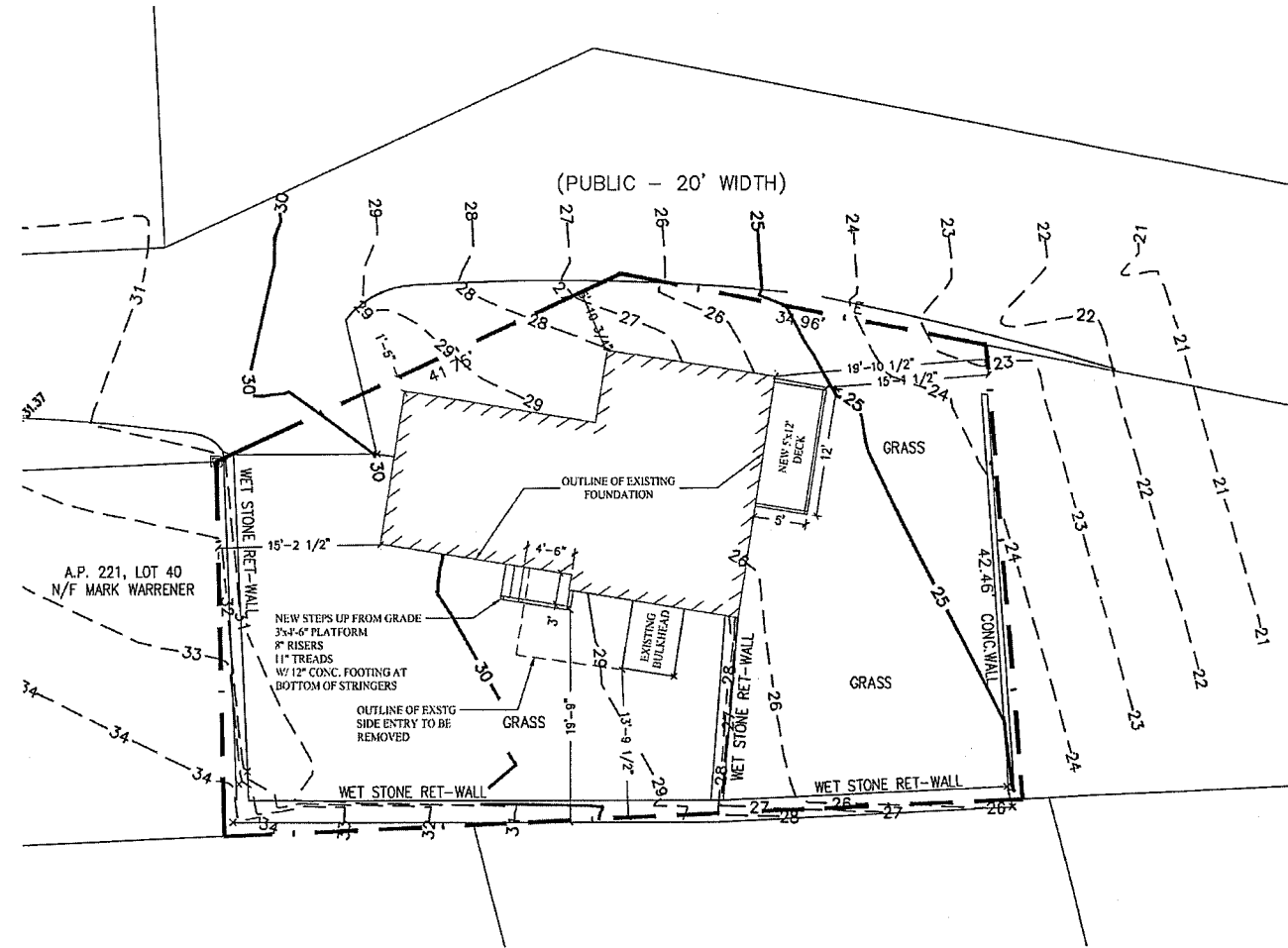
Checked By	K.D.A.	Drawn By	E. J. I.
Date	1" = 20'	Date	3-18-2024
Scale	1" = 20'	Scale	1" = 20'

NO.	REVISIONS

**E. GREENWICH  
SURVEYORS, LLC**  
 LAND SURVEYING AND SITE PLANNING  
 1000 MAIN STREET  
 SUITE 31  
 EAST GREENWICH, RHODE ISLAND 02818  
 PHONE: (401) 365-8674  
 FAX: (401) 365-8674  
 E-MAIL: KANDREWS@E-GS-RI.COM PLS# 0017

Sheet **1**  
 of **1** sheets

*Plat. # 10978 - 62 John Wickes Ave.*



1 PROPOSED SITE PLAN  
SCALE: 1"=10'-0"

GENERAL NOTES:  
 1. DO NOT SCALE DRAWINGS.  
 2. VERIFY ALL DIMENSIONS IN FIELD.  
 3. REPORT ANY DISCREPANCIES TO DESIGNER



10 Parkside Dr.  
 Providence, RI 02910  
 Tel. 401.556.6740  
 diegomesser@gmail.com

RENOVATIONS TO  
**PRIVATE RESIDENCE**  
 62 JOHN WICKES AVE  
 WARWICK, RHODE ISLAND

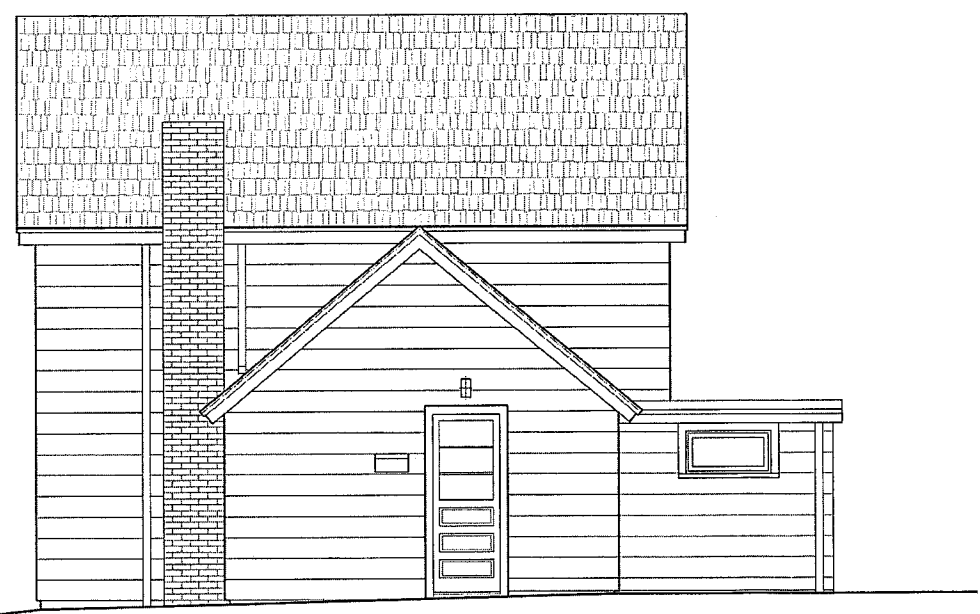
DEC. 27, 2023


C1.1





A EXISTING EXTERIOR ELEVATION: SOUTH  
SCALE: 1/4"=1'-0"



JOHN WICKES AVE

B EXISTING EXTERIOR ELEVATION: WEST  
SCALE: 1/4"=1'-0"

- GENERAL NOTES:
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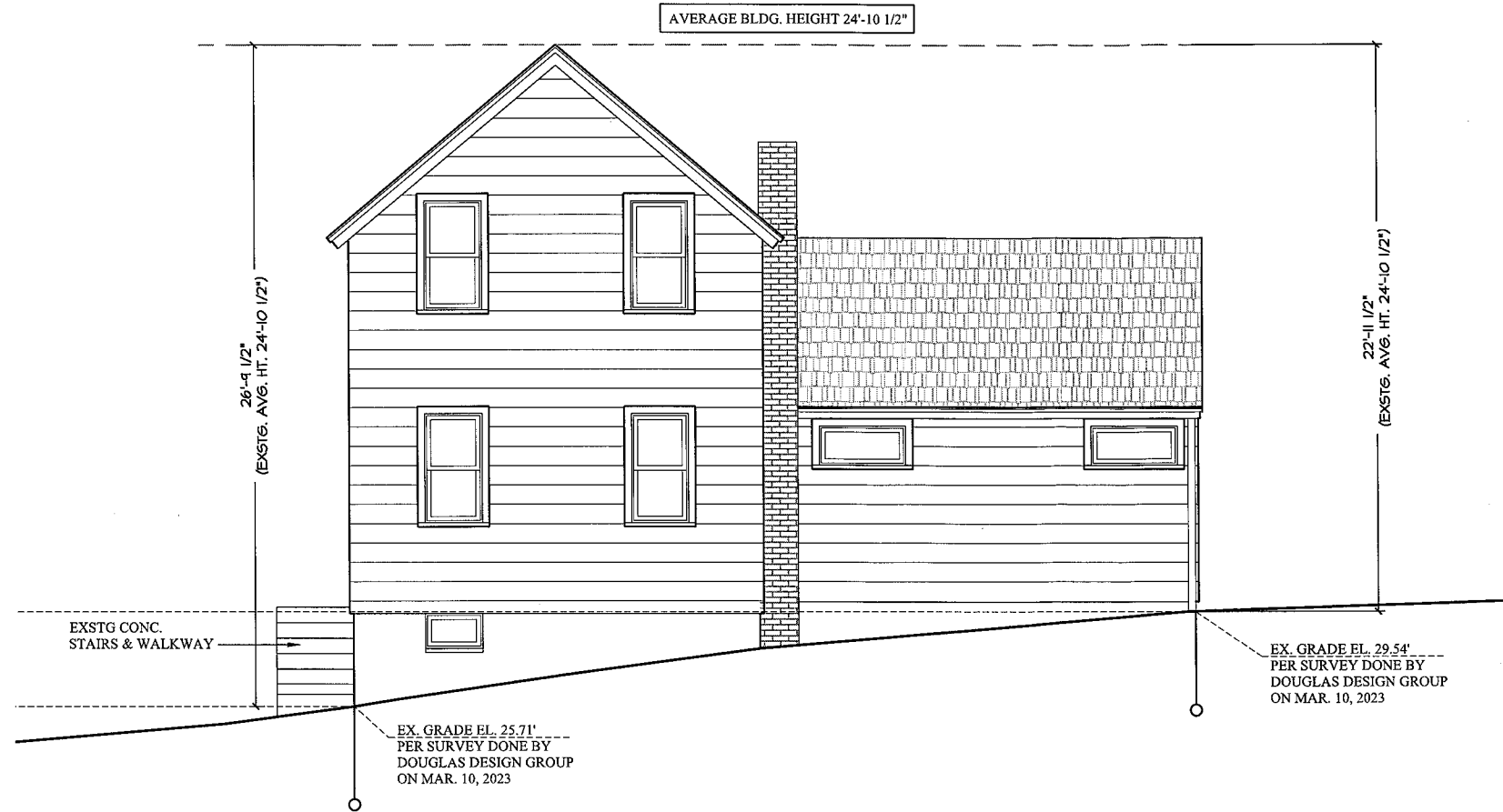


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Providence, RI 02910  
Tel. 401.556.6740  
diegomesser@gmail.com

RENOVATIONS TO  
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62 JOHN WICKES AVE  
WARWICK, RHODE ISLAND

DEC. 17, 2023


**EX2.1**



**A** EXISTING EXTERIOR ELEVATION: NORTH  
SCALE: 1/4"=1'-0"



**B** EXISTING EXTERIOR ELEVATION: EAST  
SCALE: 1/4"=1'-0"

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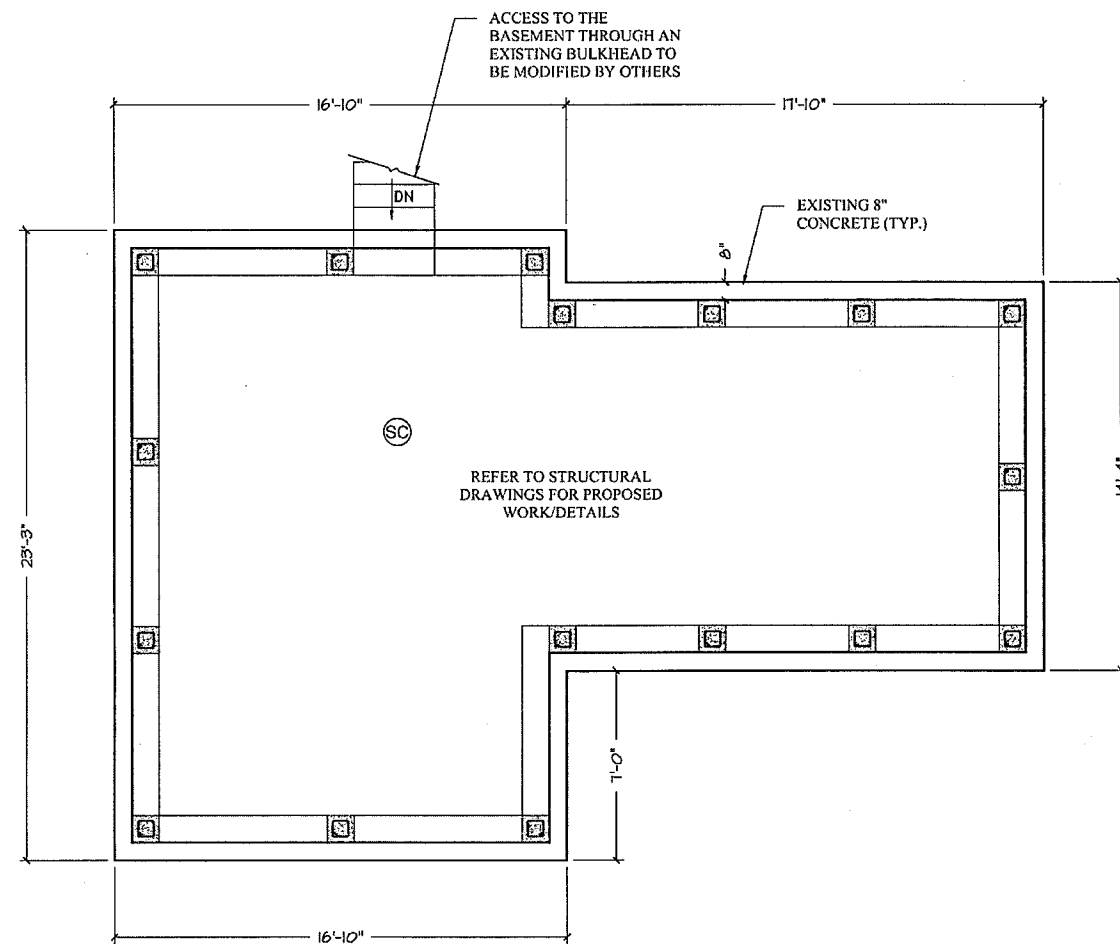
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RENOVATIONS TO  
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 62 JOHN WICKES AVE  
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APR. 18, 2024


**EX2.2**



1 PROPOSED BASEMENT FLOOR PLAN  
SCALE: 1/4"=1'-0"

FIRE SAFETY

- (S) SMOKE DETECTOR
- (SC) SMOKE/CARBON MONOXIDE DETECTOR

DEVICES SHALL BE HARD-WIRED WITH BATTERY BACK-UP AND INTERCONNECTED. DEVICES SHALL BE INSTALLED BY LICENSED ELECTRICIAN AS PER R.I. FIRE CODE REQUIREMENTS

GENERAL NOTES:

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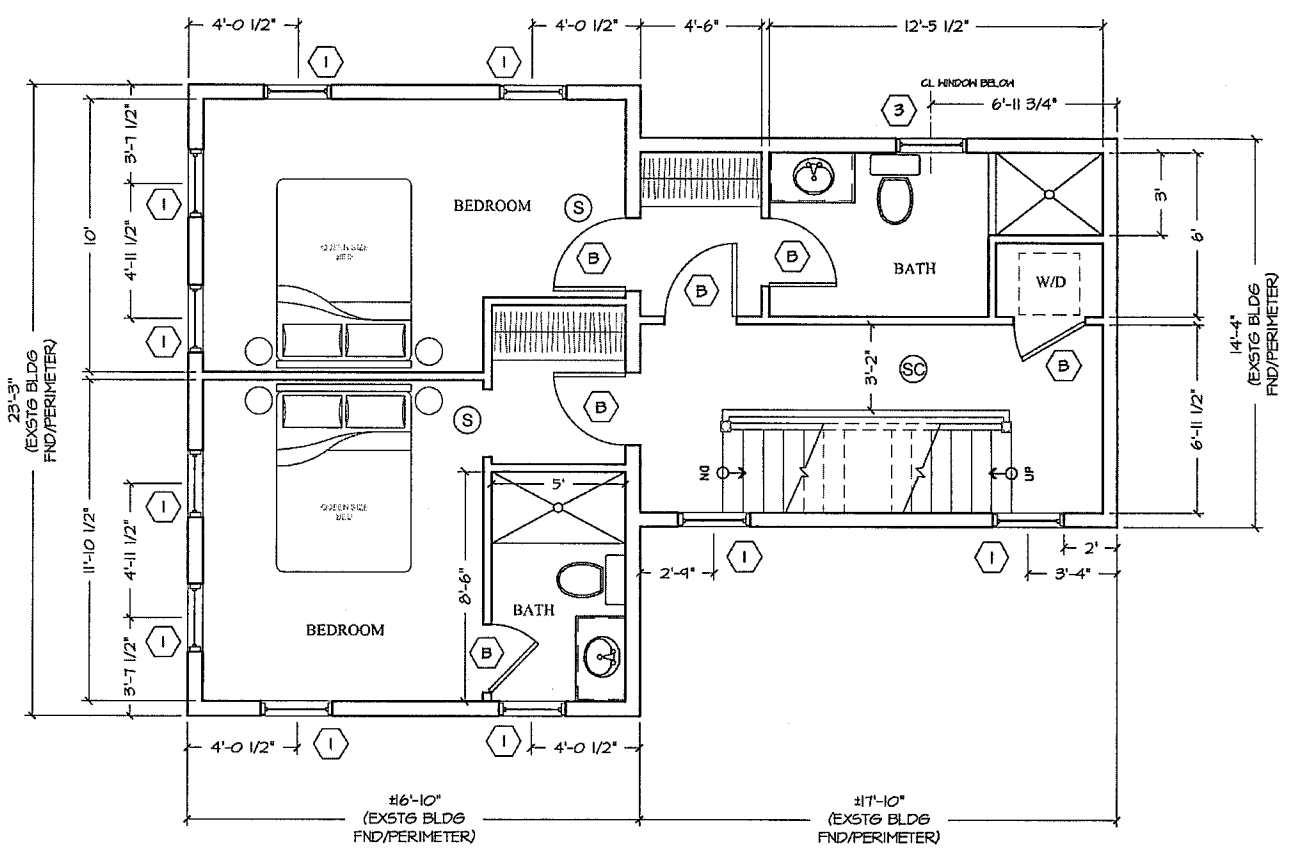
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RENOVATIONS TO  
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62 JOHN WICKES AVE  
WARWICK, RHODE ISLAND

DEC. 17, 2023


A1.0





1 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4"=1'-0"

**DOORS:**

- (A) NEW 3'-0" x 7'-0" ENTRANCE DOOR
- (B) NEW 2'-8" x 6'-8" WOOD DOOR
- (C) NEW 3'-0" x 7'-0" FRENCH DOOR

**WINDOWS:**

- (1) 2x10" x 4'-10" D.H. WINDOWS
- (2) 2x0" x 3'-10" D.H. WINDOWS
- (3) 2x8" x 3'-10" D.H. WINDOWS
- (4) 3 - 2x8" x 2'-6" CASEMENT/AWNING WINDOWS

**NEW INT. WALLS:**  
2"x4" WOOD STUDS @ 16" O.C.  
W/ 5/8" GYP. BOARD EA. SIDE

**EXT. WALLS:**  
SIDING TBD BY OTHERS  
AIR MOISTURE BARRIER  
1/2" EXTERIOR SHEATHING  
2x6 WD STUD @ 16" O.C.  
R-19 BATT INSULATION  
1/2" IMPERIAL BD & PLASTER  
VAPOR BARRIER AS REQ'D

**CEILINGS - ALL CEILINGS TO BE COVERED WITH 5/8" GYP. BD. OR 1/2" TYPE "C" GYP. BD. ONE HR. RATED**

**FIRE SAFETY**

- (S) SMOKE DETECTOR
- (SC) SMOKE/CARBON MONOXIDE DETECTOR

DEVICES SHALL BE HARD-WIRED WITH BATTERY BACK-UP AND INTERCONNECTED. DEVICES SHALL BE INSTALLED BY LICENSED ELECTRICIAN AS PER R.I. FIRE CODE REQUIREMENTS

**GENERAL NOTES:**  
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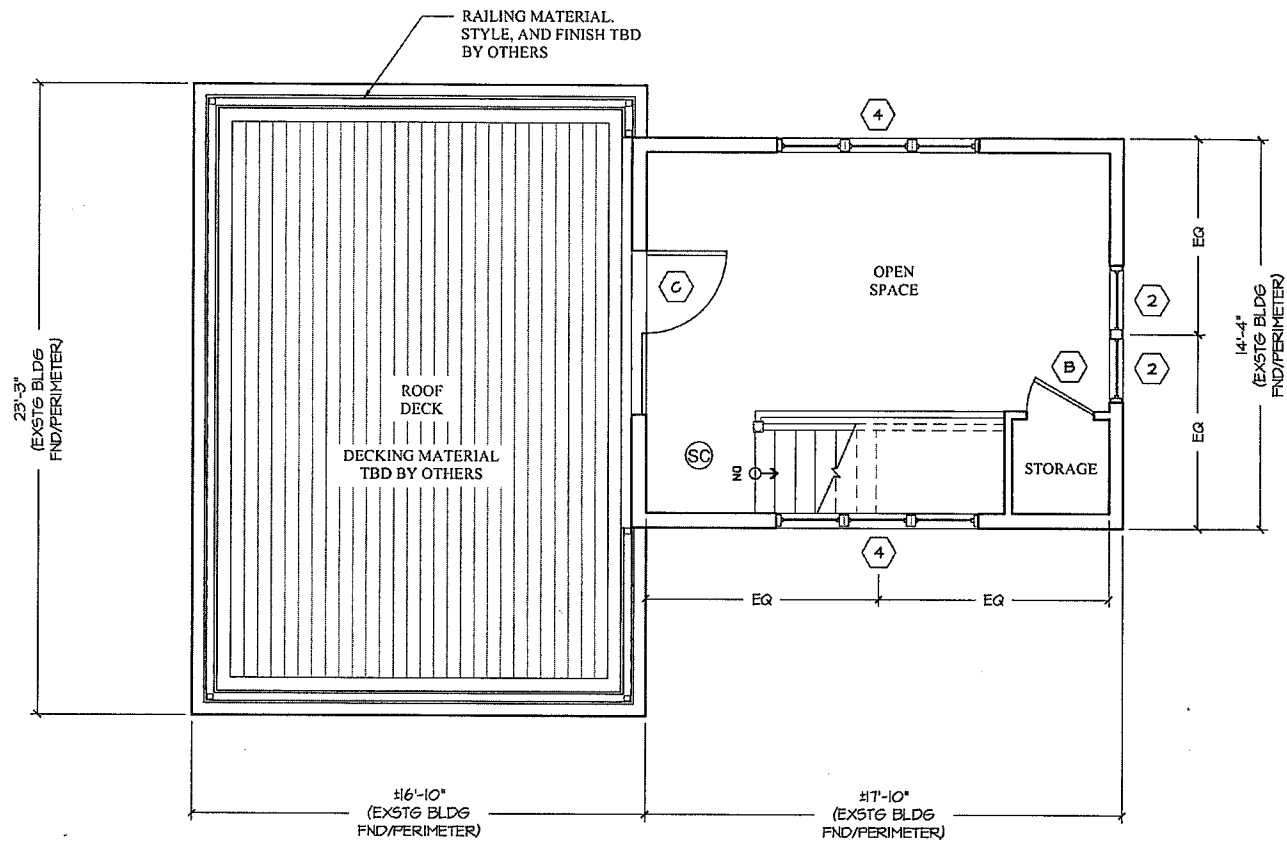
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Providence, RI 02910  
Tel. 401.556.6740  
diegomesser@gmail.com

RENOVATIONS TO  
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 62 JOHN WICKES AVE  
 WARWICK, RHODE ISLAND

DEC. 17, 2023


**A1.2**





1 PROPOSED THIRD FLOOR PLAN  
SCALE: 1/4"=1'-0"

**DOORS:**

- (A) NEW 3'-0" x 7'-0" ENTRANCE DOOR
- (B) NEW 2'-8" x 6'-8" WOOD DOOR
- (C) NEW 3'-0" x 7'-0" FRENCH DOOR

**WINDOWS:**

- (1) 2x10" x 4'-10" D.H. WINDOWS
- (2) 2x0" x 3'-10" D.H. WINDOWS
- (3) 2x8" x 3'-10" D.H. WINDOWS
- (4) 3 - 2x8" x 2'-6" CASEMENT/AWNING WINDOWS

**NEW INT. WALLS:**  
2"x4" WOOD STUDS @ 16" O.C.  
W/ 5/8" GYP. BOARD EA. SIDE

**EXT. WALLS:**  
SIDING TBD BY OTHERS  
AIR MOISTURE BARRIER  
1/2" EXTERIOR SHEATHING  
2x6 WD STUD @ 16" O.C.  
R-19 BATT INSULATION  
1/2" IMPERIAL BD & PLASTER  
VAPOR BARRIER AS REQ'D

**CEILINGS - ALL CEILINGS TO BE COVERED WITH 5/8" GYP. BD. OR 1/2" TYPE "C" GYP. BD. ONE HR. RATED**

**FIRE SAFETY**

- (S) SMOKE DETECTOR
- (SC) SMOKE/CARBON MONOXIDE DETECTOR

DEVICES SHALL BE HARD-WIRED WITH BATTERY BACK-UP AND INTERCONNECTED.  
DEVICES SHALL BE INSTALLED BY LICENSED ELECTRICIAN AS PER R.I. FIRE CODE REQUIREMENTS

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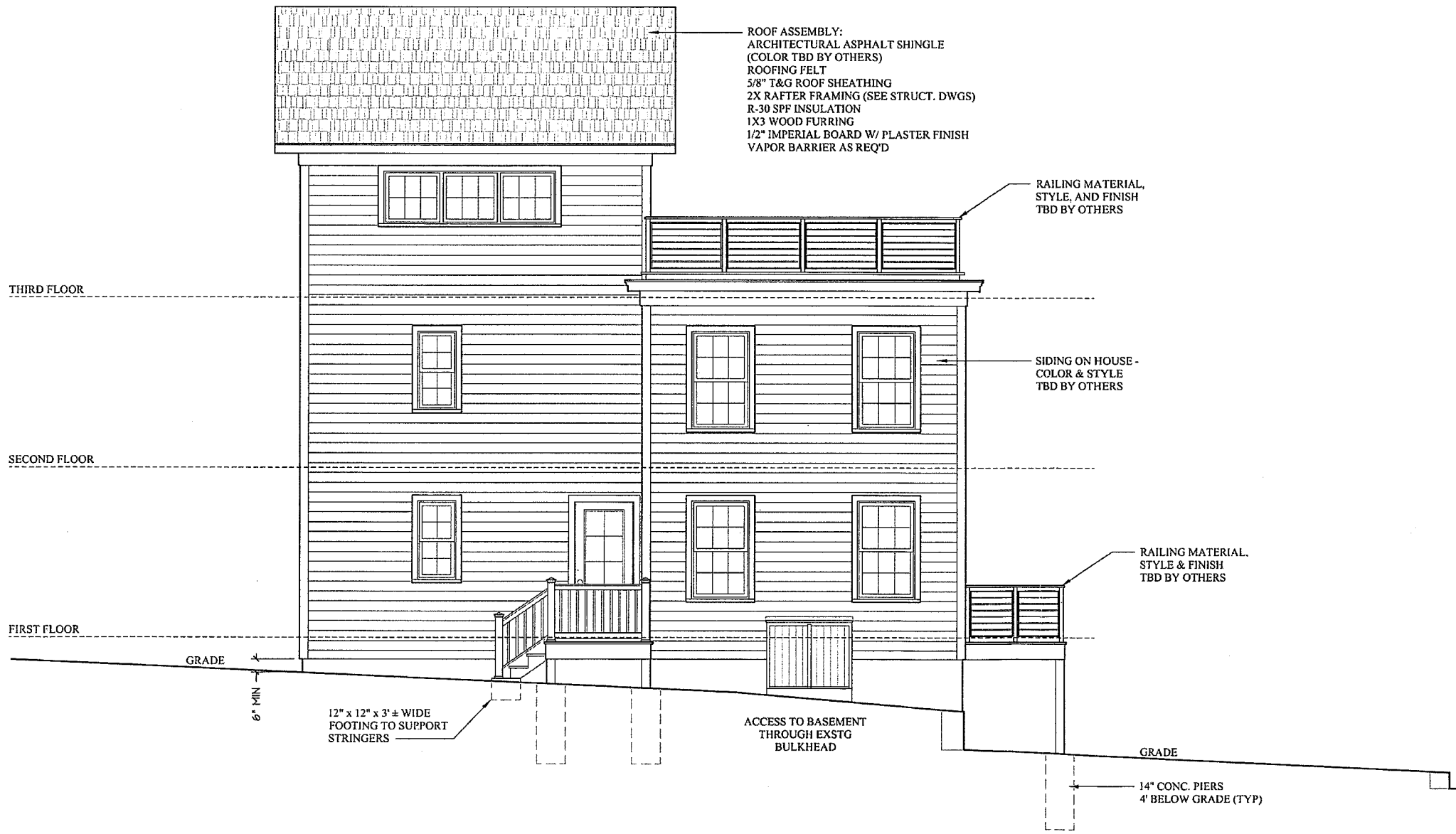
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Tel. 401.556.6740

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RENOVATIONS TO  
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 62 JOHN WICKES AVE  
 WARWICK, RHODE ISLAND

DEC. 17, 2023


A1.3



A EXTERIOR ELEVATION, SOUTH  
 SCALE: 1/4"=1'-0"

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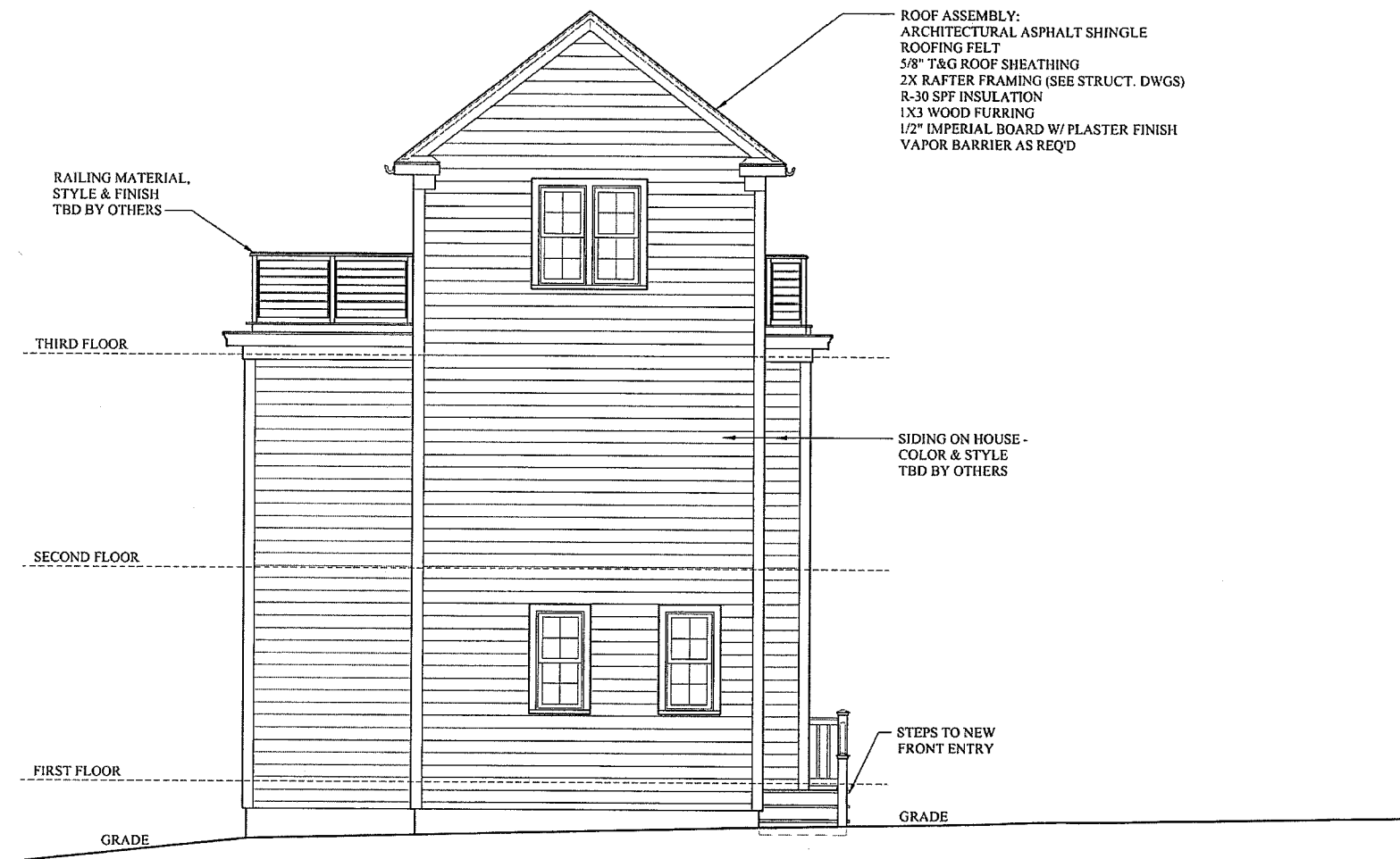


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 Providence, RI 02910  
 Tel. 401.556.6740  
 diegomesser@gmail.com

RENOVATIONS TO  
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 WARWICK, RHODE ISLAND

DEC. 17, 2023


A2.1



A EXTERIOR ELEVATION: WEST  
SCALE: 1/4"=1'-0"

GENERAL NOTES:  
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**DEM**  
DESIGNS

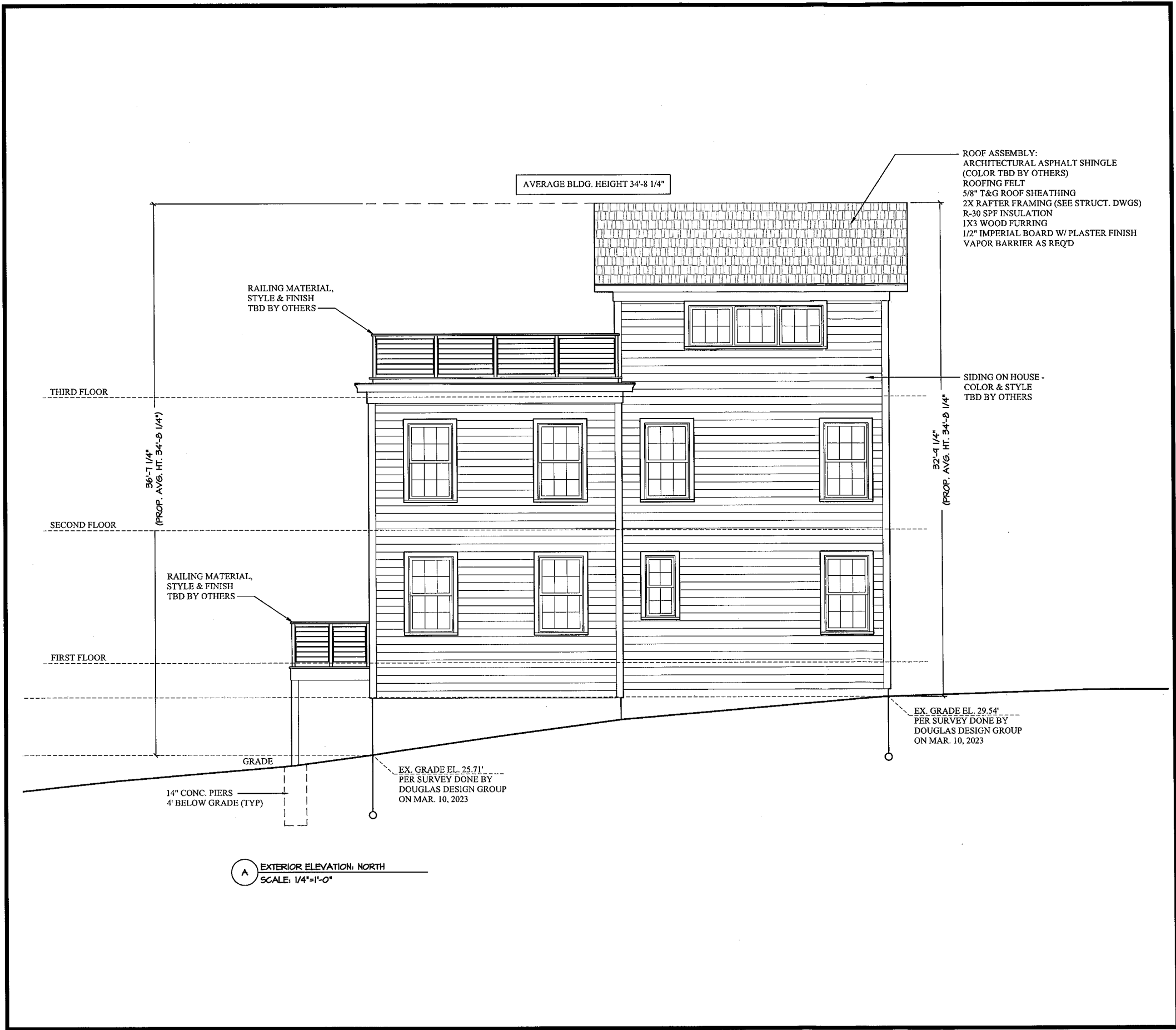
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RENOVATIONS TO  
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DEC. 17, 2023


A2.2



GENERAL NOTES:

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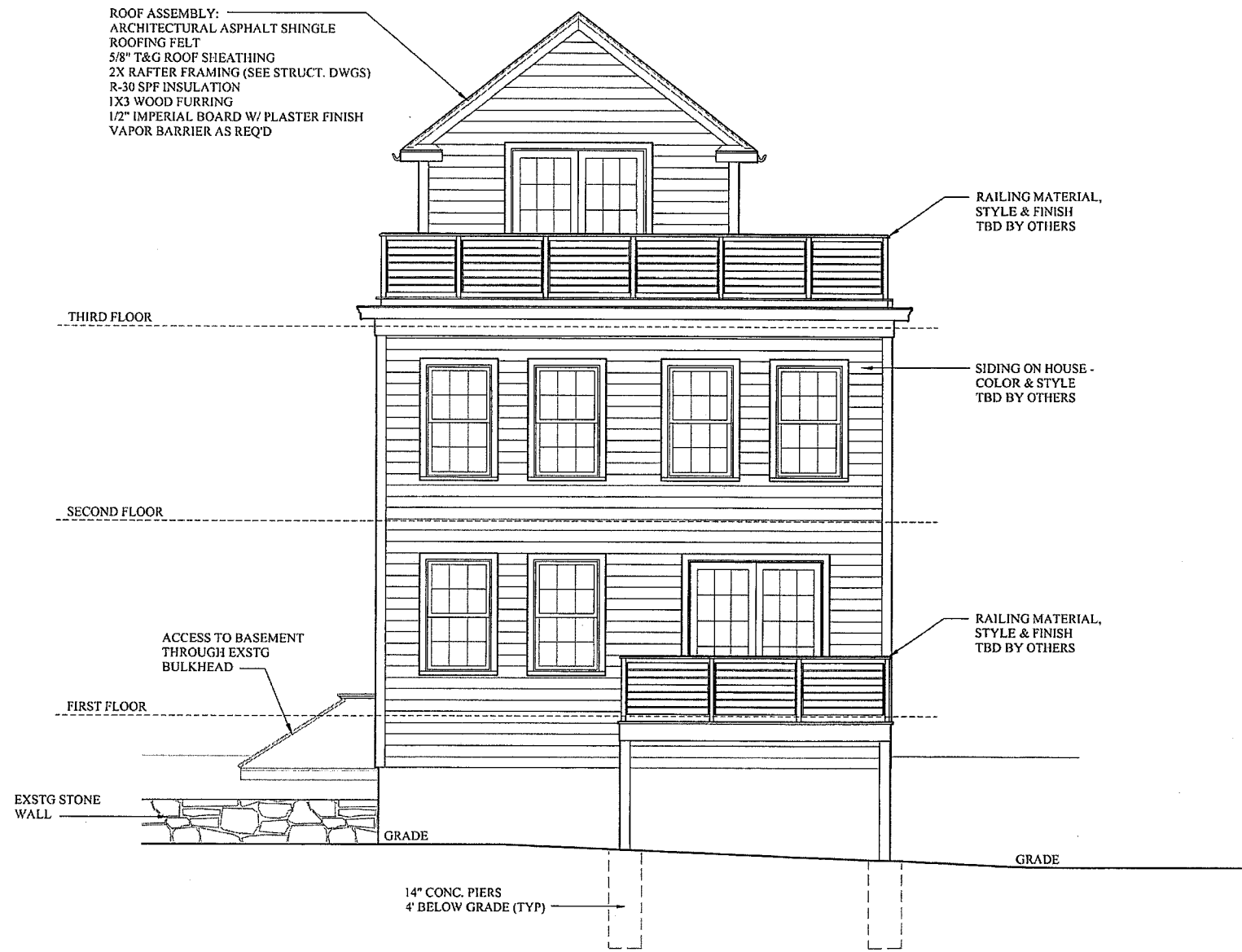
**D&M**  
 D E S I G N S

10 Parkside Dr.  
 Providence, RI 02910  
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RENOVATIONS TO  
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APR. 18, 2024


**A2.3**



ROOF ASSEMBLY:  
 ARCHITECTURAL ASPHALT SHINGLE  
 ROOFING FELT  
 5/8" T&G ROOF SHEATHING  
 2X RAFTER FRAMING (SEE STRUCT. DWGS)  
 R-30 SPF INSULATION  
 1X3 WOOD FURRING  
 1/2" IMPERIAL BOARD W/ PLASTER FINISH  
 VAPOR BARRIER AS REQ'D

RAILING MATERIAL,  
 STYLE & FINISH  
 TBD BY OTHERS

SIDING ON HOUSE -  
 COLOR & STYLE  
 TBD BY OTHERS

RAILING MATERIAL,  
 STYLE & FINISH  
 TBD BY OTHERS

A EXTERIOR ELEVATION, EAST  
 SCALE: 1/4"=1'-0"

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**DEM**  
 D E S I G N S

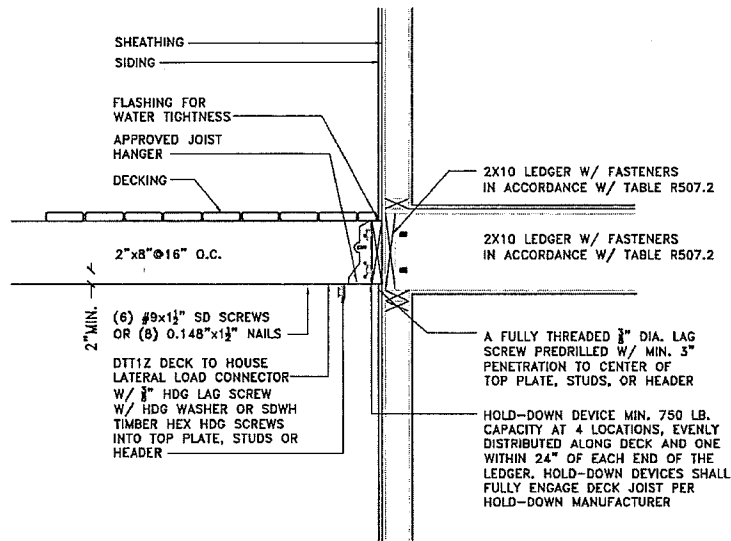
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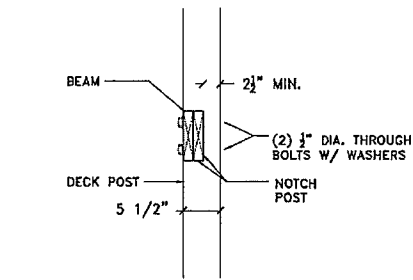
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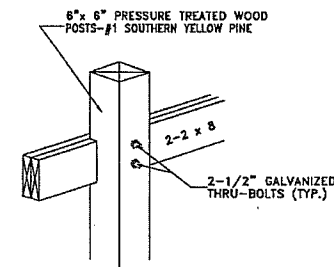

A2.4



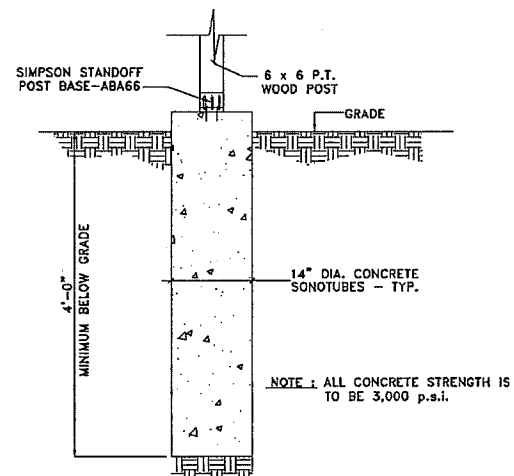
**CONNECTION FOR SIDE DECK/HOUSE**  
SCALE: 3/4" = 1'-0"



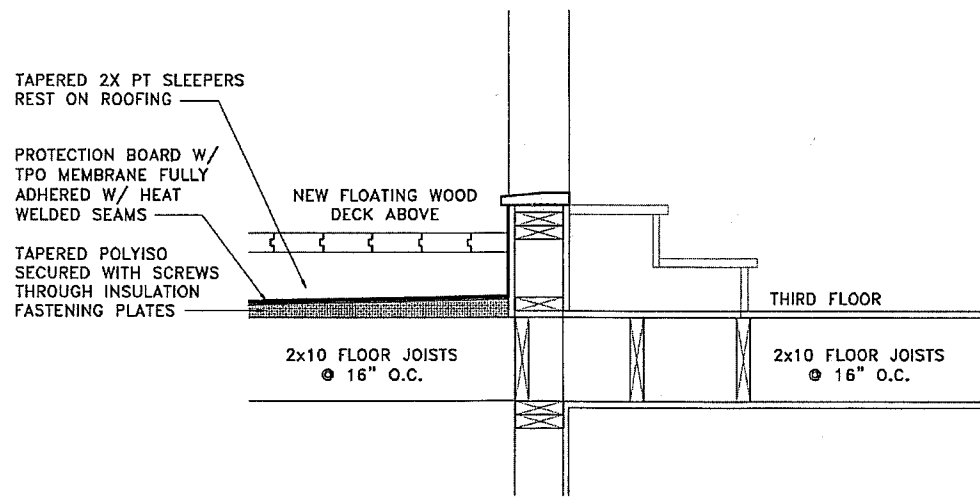
**TYPICAL POST & BEAM CONNECTION FOR SIDE DECK**  
SCALE: 3/4" = 1'-0"



**TYPICAL POST & BEAM CONNECTION FOR SIDE DECK**



**TYPICAL CONCRETE FOOTING / POST BASE DETAIL FOR SIDE DECK SUPPORT**  
SCALE: 3/4" = 1'-0"



**ROOF DECK DETAIL**  
SCALE: 1" = 1'-0"

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A3.1