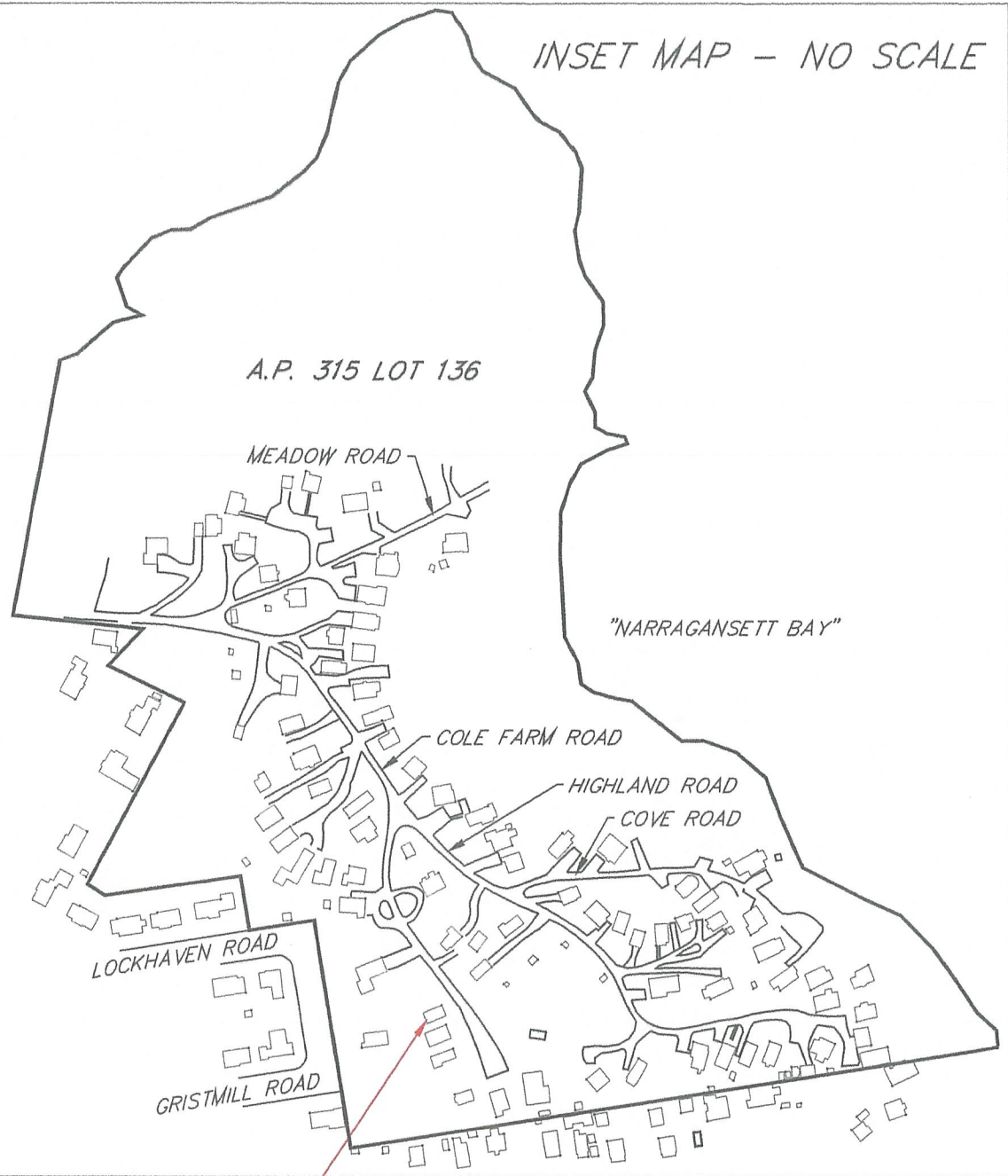
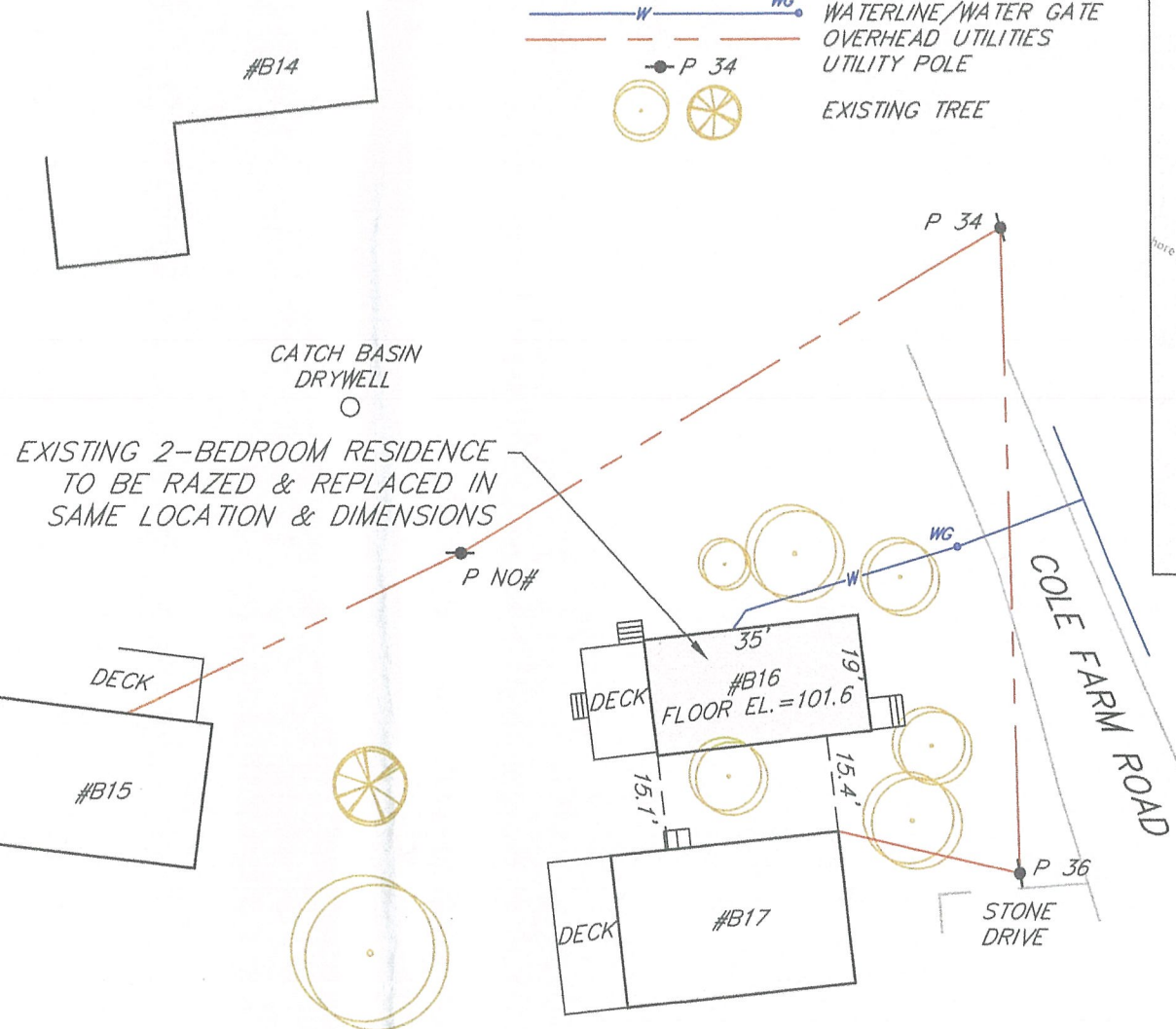
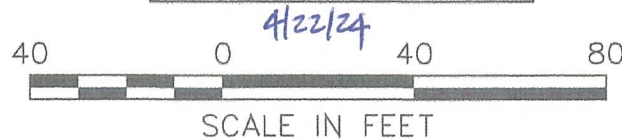


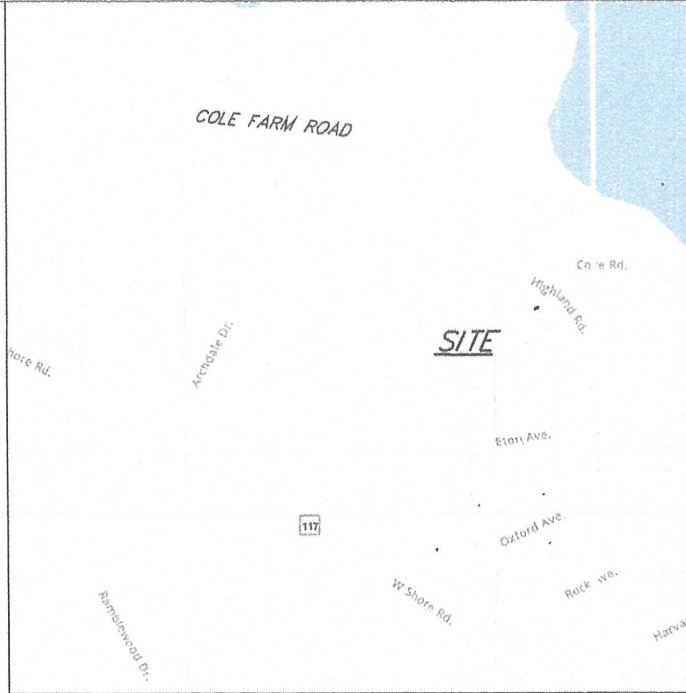
INSET MAP - NO SCALE



SITE B16



LEGEND
 ASPHALT
 WATERLINE/WATER GATE
 OVERHEAD UTILITIES
 UTILITY POLE
 EXISTING TREE



LOCUS - NO SCALE

PROJECT SURVEYOR
 MICHAEL J. McCORMICK
 ALPHA ASSOCIATES, LTD.
 35 ROCKY HOLLOW ROAD
 EAST GREENWICH, RI 02818
 P. 401.884.8506
 F. 401.884.7747
 EMAIL: mjmalph@aol.com
PARCEL APPLICANT
 MATTHEW F. & JEAN R. McGARRY
 74 HESS AVENUE
 WARWICK, RI 02889

THIS PLAN IS SUBSTANTIALLY CORRECT IN ACCORDANCE WITH A CLASS IV STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS. THIS PLAN IS NOT TO BE CONSTRUED AS AN ACCURATE BOUNDARY SURVEY AND MAY BE SUBJECT TO SUCH CHANGES AS AN ACCURATE BOUNDARY SURVEY MAY DISCLOSE.

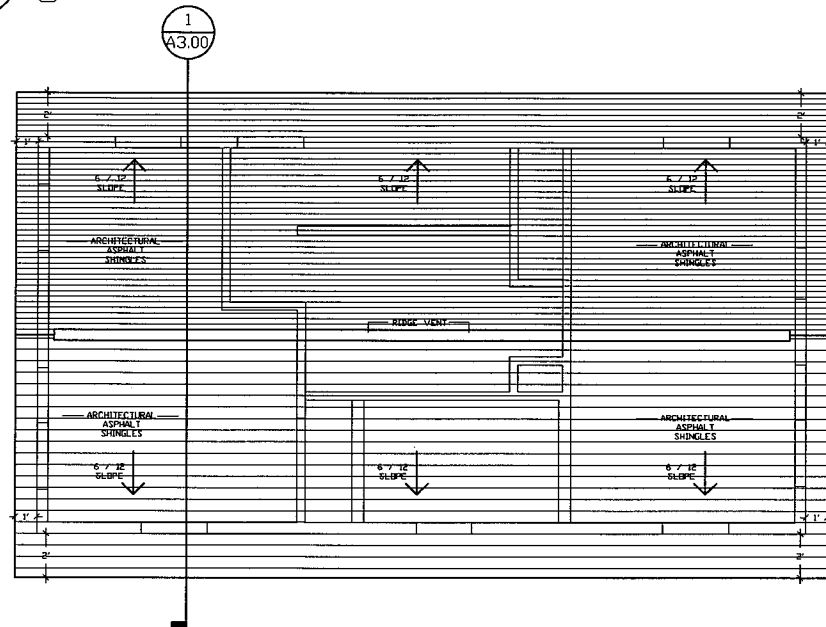
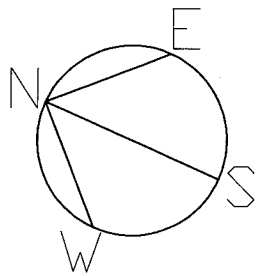
TYPE OF SURVEY: NOT A BOUNDARY SURVEY DATA ACCUMULATION SURVEY
 MEASUREMENT SPECIFICATION: CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY IS FOR A ZONING PERMIT.

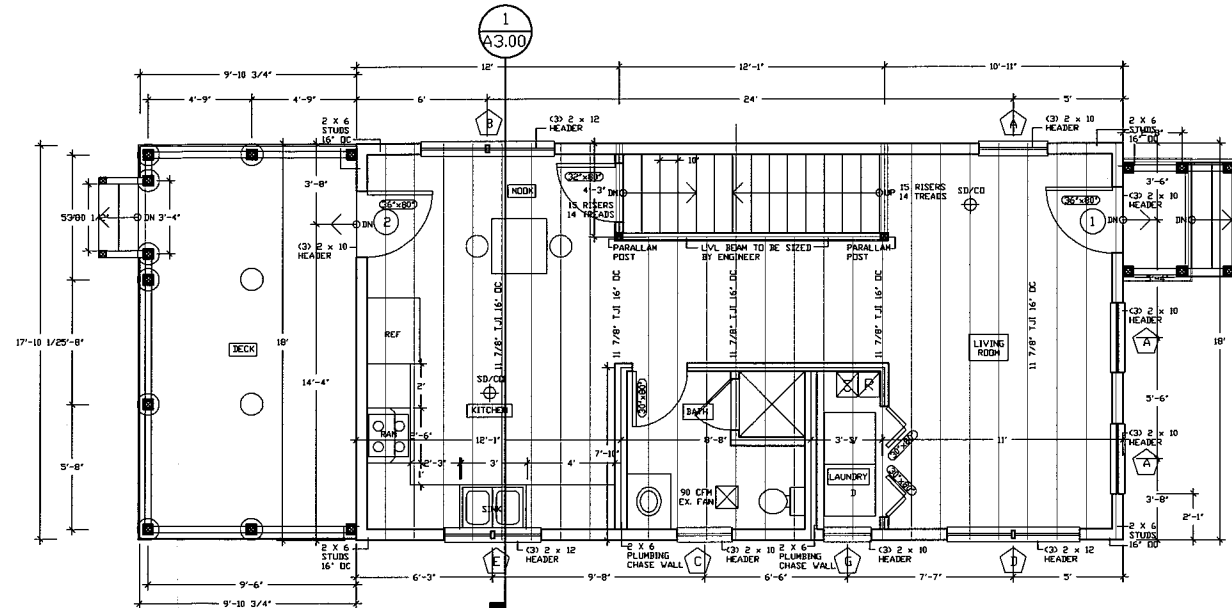
By:
 MICHAEL J. McCORMICK PLS 1972
 RI COA LS-A101

SITE PLAN
 ASSESSORS PLAT 315 LOT 136 UNIT 9216
 UNIT B16 COLE FARM ROAD
 WARWICK, RHODE ISLAND
 PREPARED FOR: MATTHEW F. & JEAN R. McGARRY
 PREPARED BY: ALPHA ASSOCIATES, LTD.
 35 ROCKY HOLLOW ROAD
 EAST GREENWICH, RI 02818
 SCALE: 1"=30' SHEET 1 OF 1 APRIL 10, 2024
 REVISED APRIL 22, 2024 DIST TO B-17

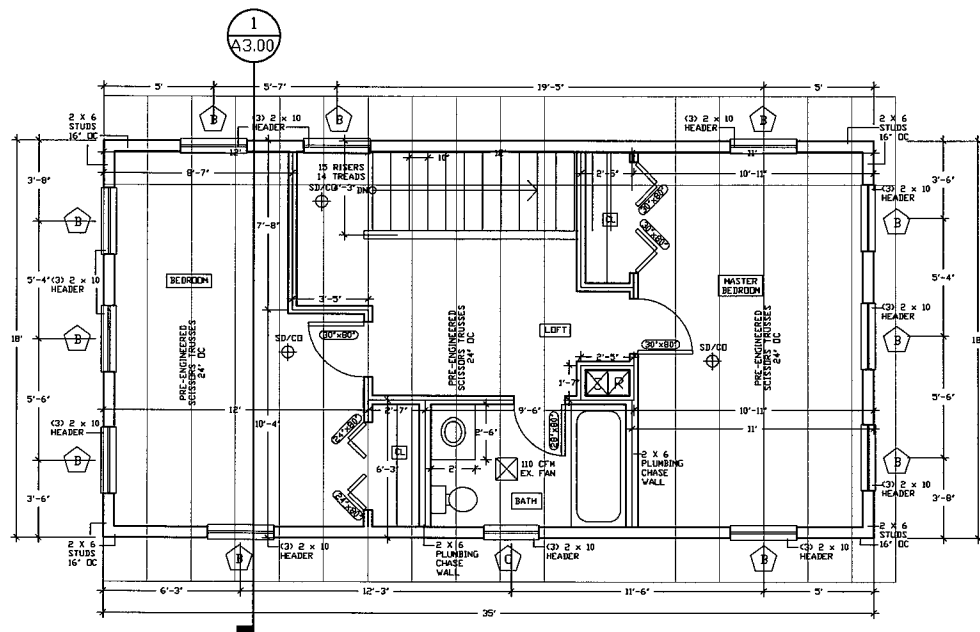
Plat # 10979 - 680 Cole Farm Rd. B-16



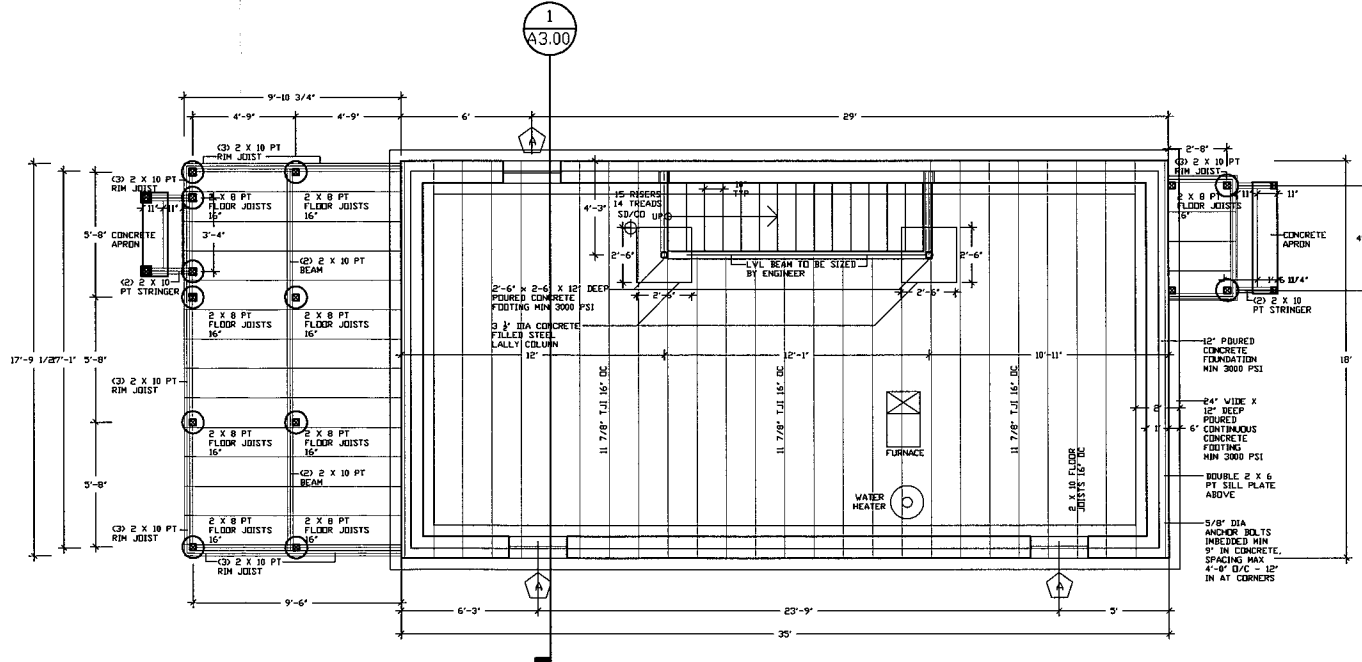
4 ROOF PLAN
SCALE: 1/4"=1'-0"



2 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



3 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



1 BASEMENT PLAN
SCALE: 1/4"=1'-0"

Matthew McGarry Residence
600 Cole Farm Road - Unit B16
Warwick, Rhode Island 02889

McGarry Construction
74 Hess Avenue
Warwick, Rhode Island 02889

Cole Farm Road

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Rhode Island License
Number: 2613

Signature: _____

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Cranston, Rhode Island 02920
(401) 464-4433 Phone

JASArchitectAIA@aol.com-Enal

REVISION:

TITLE: BASEMENT, FIRST FLOOR,
SECOND FLOOR, AND ROOF
PLANS

DATE: 21 FEBRUARY 2024

DRAWN BY: JAS

CHECKED BY: JAS

SCALE: AS NOTED

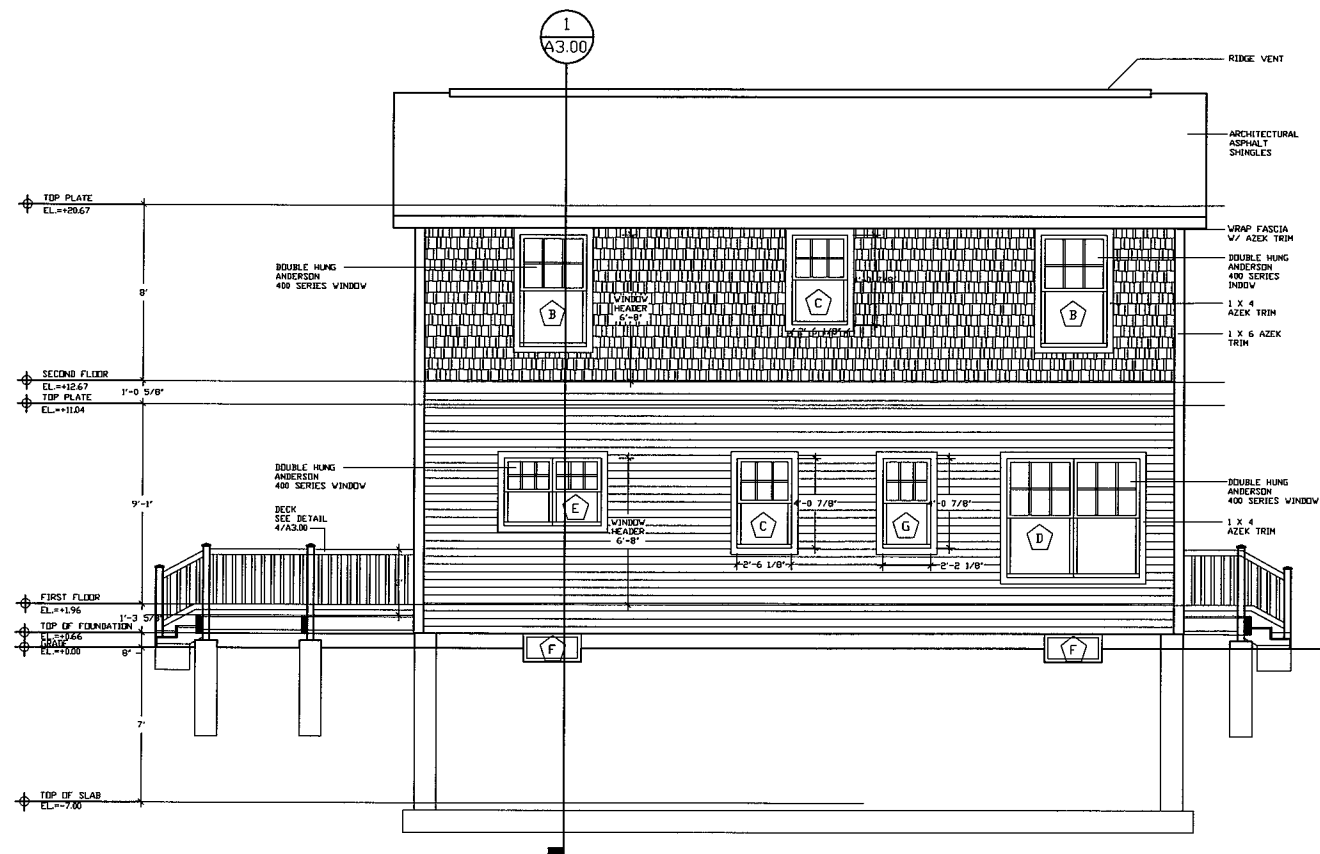
SHEET:

A-1.00

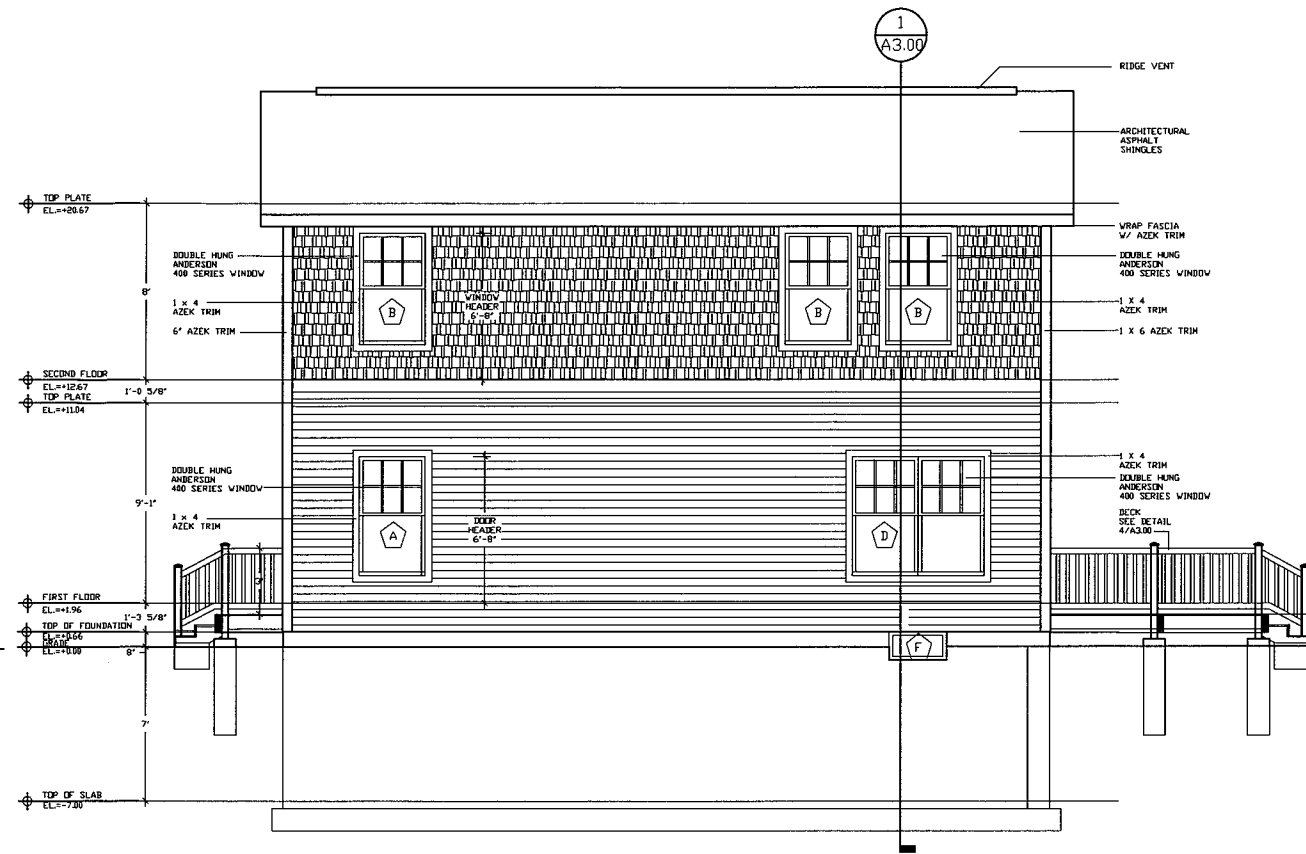
1 OF 3 SHEETS

JOB # 2024 R1

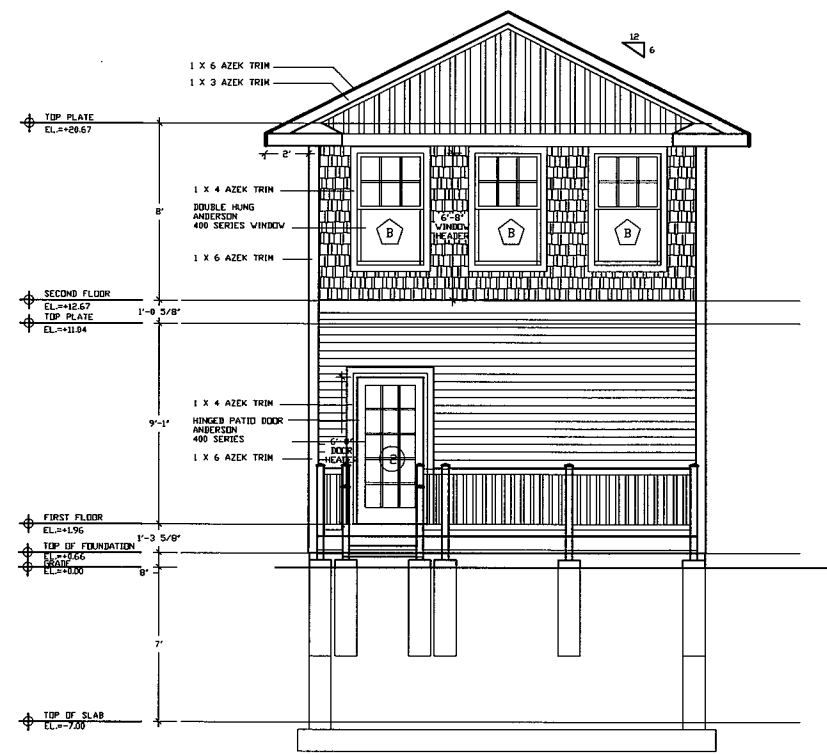
DRAWING NO: 2024 R1 A-100



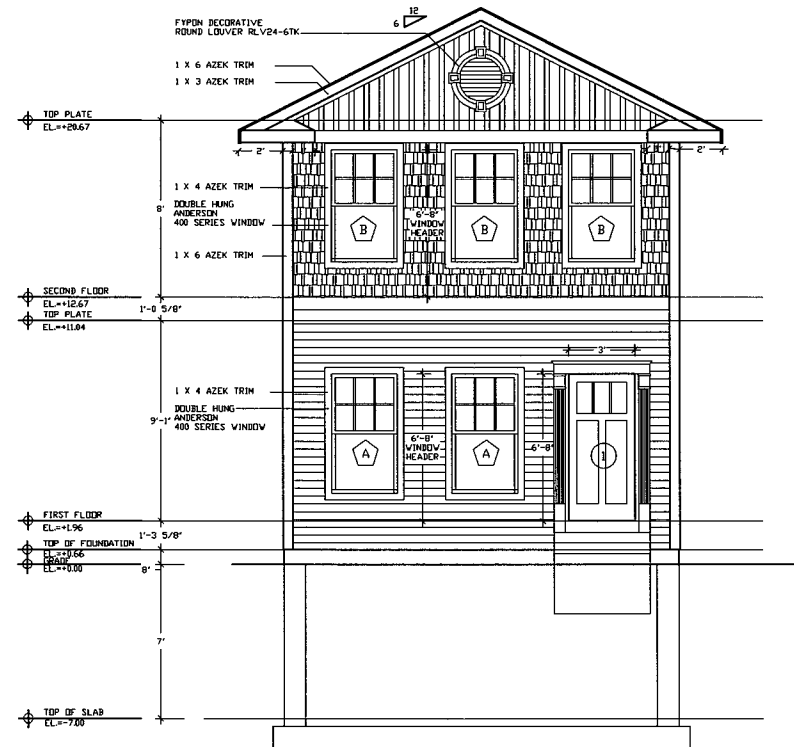
4 WEST ELEVATION
SCALE: 1/4"=1'-0"



2 EAST ELEVATION
SCALE: 1/4"=1'-0"



3 NORTH ELEVATION
SCALE: 1/4"=1'-0"



1 SOUTH ELEVATION
SCALE: 1/4"=1'-0"

Matthew McGarry Residence
600 Cole Farm Road - Unit B16
Warwick, Rhode Island 02889

McGarry Construction
74 Hess Avenue
Warwick, Rhode Island 02889

Cole Farm Road

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2024
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Rhode Island License
Number: 2613

Signature: _____

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JASArchitectAIA@aol.com-Email

REVISION:

TITLE: SOUTH, EAST, WEST,
NORTH ELEVATIONS

DATE: 21 FEBRUARY 2024

DRAWN BY: JAS

CHECKED BY: JAS

SCALE: AS NOTED

SHEET:

A-2.00

2 OF 3 SHEETS

JOB # 2024 R1

DRAWING NO: 2024 R1 A-2.00

Matthew McGarry Residence
 600 Cole Farm Road - Unit B16
 Warwick, Rhode Island 02889

McGarry Construction
 74 Hess Avenue
 Warwick, Rhode Island 02889

Cole Farm Road

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 Number: 2613

Signature: _____

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Cranston, Rhode Island 02920
 (401) 464-4433 Phone

JASArchitectAIA@aol.com-Email

REVISION:

TITLE: BUILDING SECTION,
 WINDOW AND DOOR SCHEDULE,
 CODE REVIEW, AND DETAILS

DATE: 21 FEBRUARY 2024

DRAWN BY: JAS

CHECKED BY: JAS

SCALE: AS NOTED

SHEET:

A-3.00

3 OF 3 SHEETS

JOB # 2024 R1

DRAWING NO: 2024 R1 A-3.00

CORE REVIEW CRITERIA

RI STATE BUILDING CODE - SRC 2021 CBC 2019

ZONE: I	WIND SPEED: 100
---------	-----------------

INSULATION CRITERIA	MEET COUNTY
GLAZING	U FACTOR MAXIMUM 0.25
CEILING	R-VALUE MIN. 38
EXTERIOR WALL	R-VALUE MIN. 13
FLOOR	R-VALUE MIN. 25
SLAB	R-VALUE MIN. 10

AREA CALCULATIONS

FLOOR LEVEL	SQUARE FEET
FIRST FLOOR	630 SQ FT
SECOND FLOOR	630 SQ FT
TOTAL LIVING AREA	1260 SQ FT

WINDOW SCHEDULE

WINDOW SYMBOL	WINDOW SIZE, ROUGH OPENING, VENT	BRAND TYPE	QUANTITY	HEADER
① SINGLE	3'-0 1/8" X 5'-4 7/8" TWIGSS	ANDERSON - 400 SERIES DOUBLE HUNG	2	CD 2 X 10 HEADER ON THE FIRST FLOOR
② SINGLE	3'-0 1/8" X 5'-0 7/8" TWIGSS	ANDERSON - 400 SERIES DOUBLE HUNG	11	CD 2 X 10 HEADER ON THE SECOND FLOOR
③ SINGLE	2'-6 1/8" X 4'-0 7/8" TWIGSS	ANDERSON - 400 SERIES DOUBLE HUNG	2	CD 2 X 10 HEADER ON THE SECOND FLOOR
④ DOUBLE	6'-0 3/4" X 5'-4 7/8" TWIGSS	ANDERSON - 400 SERIES DOUBLE HUNG	2	CD 2 X 12 HEADER ON THE FIRST FLOOR
⑤ DOUBLE	4'-4 3/4" X 3'-0 7/8" TWIGSS	ANDERSON - 400 SERIES DOUBLE HUNG	1	CD 2 X 12 HEADER ON THE FIRST FLOOR
⑥ BASEMENT	2'-7 5/8" X 1'-3 1/4" BKTWSS	ANDERSON FIBREX BASEMENT WINDOWS	3	SET IN FOUNDATION
⑦ SINGLE		ANDERSON - 400 SERIES DOUBLE HUNG	1	CD 2 X 10 HEADER ON THE FIRST FLOOR

DOOR SCHEDULE

TYP	ROUGH OPENING	BRAND AND MODEL NUMBER	QUANTITY	DOOR TYPE AND SIZE	HEADER	REMARKS
① FRONT DOOR	3'-0" X 6'-0"	TO BE SELECTED BY OWNER	1	TO BE SELECTED BY OWNER	CD 2" X 10" ON FIRST FLOOR	EXTERIOR TO BE SELECTED BY OWNER PRE FINISHED INTERIOR
② BACK YARD	3'-0" X 6'-0"		1	ANDERSON - 400 SERIES HINGED PATIO DOOR	CD 2" X 10" ON FIRST FLOOR	EXTERIOR TO BE SELECTED BY OWNER PRE FINISHED INTERIOR

NOTE: 1. SEE FLOOR PLANS FOR OTHER DOOR SIZES

