

LOCUS MAP
NOT TO SCALE

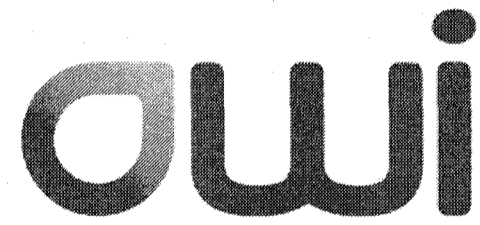
OWNER / APPLICANT

HOLDEN DEVELOPMENT, LLC
144 METRO CENTER BOULEVARD
UNIT F
WARWICK, RI 02886
401-640-5757

SURVEYOR

OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
PHONE: (401) 463-9696 info@osplanners.com

WETLANDS BIOLOGIST / SOIL EVALUATOR



Onsite Wastewater Initiative, LLC
91 Foster Sheldon Road
Wakefield, RI 02879
Office: (401) 789-6092
Email: 4dkalen@gmail.com

LANDSCAPE ARCHITECT



Kevin M. Alverson
LANDSCAPE ARCHITECTURE
360 Annaquatucket Road
Wickford, RI 02852
401-338-0044
KevinMALversonLA.com

ENGINEER



Walker Engineering, Ltd.

31 Vale Court
West Greenwich, RI 02817
Phone / Fax (401) 397-8745
Email: wel31.pw@gmail.com

HOLDEN SCHOOL PLAT

ASSESSOR'S PLAT 320 / LOT 243

61 HOXSIE AVENUE

WARWICK, RHODE ISLAND 02888

OCTOBER 2023 - RIPDES PERMITTING

REVISED JANUARY 2024 - CITY PRELIMINARY SUBMISSION

PLAN SHEET INDEX

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WND-1	12 OF 18	WATER NOTES & DETAILS NO. 1
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ND-1	14 OF 18	NOTES & DETAILS NO. 1
ND-2	15 OF 18	NOTES & DETAILS NO. 2
ND-3	16 OF 18	NOTES & DETAILS NO. 3
ND-4	17 OF 18	NOTES & DETAILS NO. 4
ND-5	18 OF 18	NOTES & DETAILS NO. 5

SHEET 0 OF 18

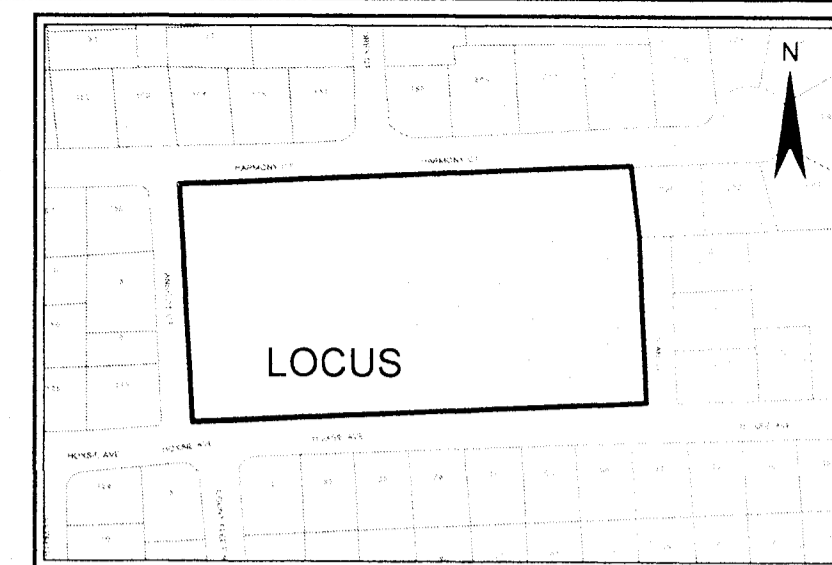
REVISIONS	
DATE	DESCRIPTION
JAN 2024	CITY PRELIM SUBMISSION / SHEETS ADDED

REFERENCE:

- DEED BK. 213 PG. 77
- "HOXSIE HOMESTEAD PLAT DIVISION NO 2 WARWICK RHODE ISLAND SCALE 1 INCH = 80 FEET OCTOBER 11, 1949" P.C. 440



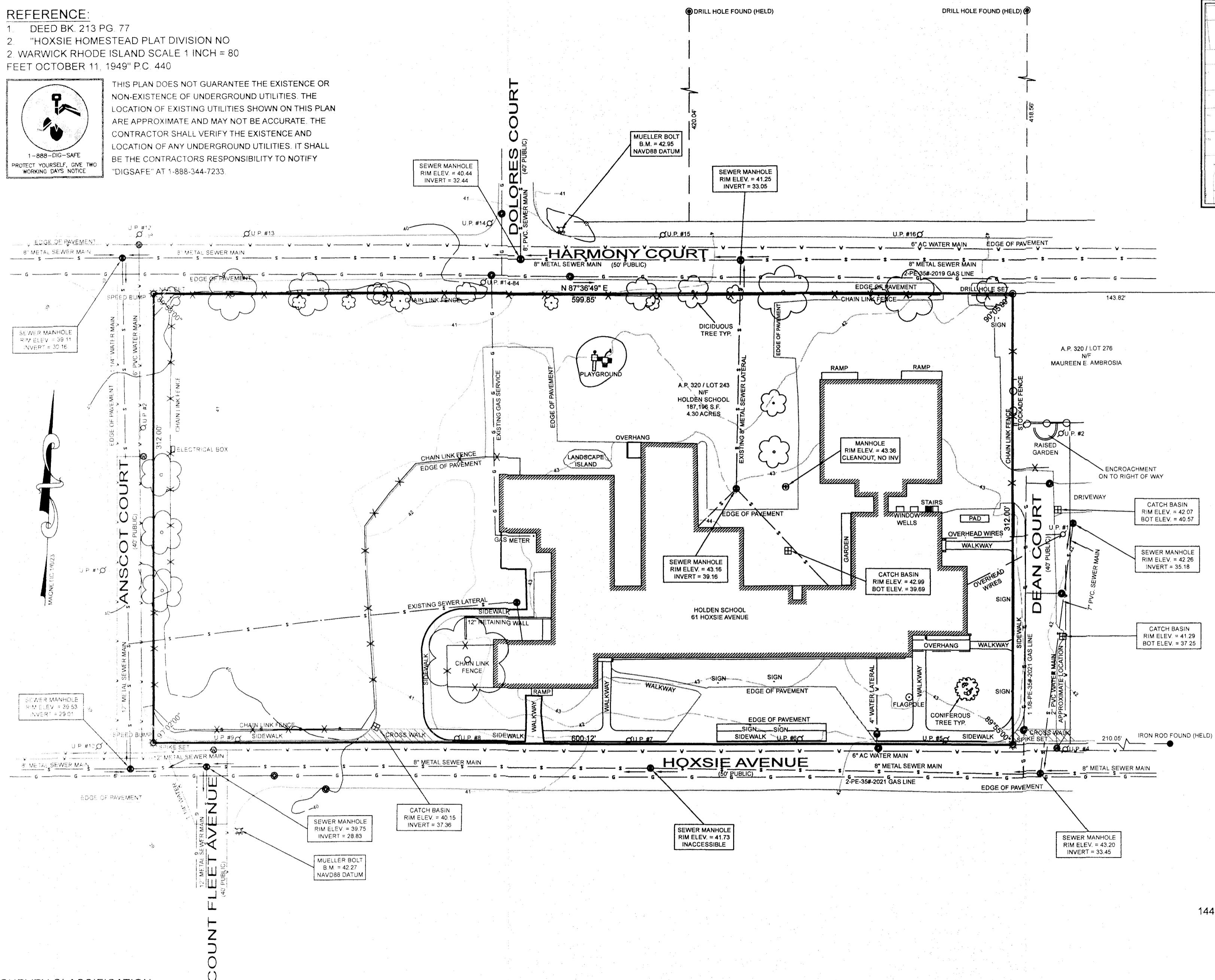
THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES. THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE ACCURATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY "DIGSAFE" AT 1-888-344-7233.



LOCUS MAP

ZONING DISTRICT A-7

- 7,000 S.F.
- MINIMUM LOT FRONTAGE: 70 FT.
- MINIMUM SETBACKS: FRONT: 25 FT.
- SIDE: 8 FT.
- REAR: 20 FT.
- MAXIMUM STRUCTURE HEIGHT: 35 FT.
- MINIMUM LANDSCAPE: 10%



RICHARD T. BZDYRA
[Signature]
 1/09/24
 PROFESSIONAL
 LAND SURVEYOR

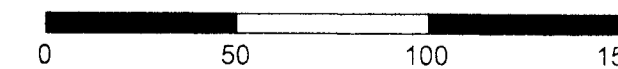
BOUNDARY STAKE-OUT AND EXISTING CONDITIONS

A.P. 320 / LOT 243
 61 HOXSIE AVENUE
 WARWICK, R.I. 02886
 SCALE: 1"=50' DATE: JANUARY 26, 2023
 REVISED: JULY 7, 2023

PREPARED FOR:
HOLDEN DEVELOPMENT, LLC
 144 METRO CENTER BOULEVARD, UNIT F, WARWICK, R.I. 02886
 PHONE: (401) 640-5757
 PREPARED BY:
OCEAN STATE PLANNERS, INC.
 1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
 PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 10451 / DWG NO. 10451 - C1 - (AJB/BMB)

GRAPHIC SCALE: 1" = 50'



SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015. AS FOLLOWS:

TYPE OF BOUNDARY SURVEY
 LIMITED CONTENT BOUNDARY SURVEY
 DATA ACCUMULATION SURVEY

MEASUREMENT SPECIFICATION:
 CLASS I
 CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH AND STAKE RECORD BOUNDARY LINES, EXISTING TOPOGRAPHY AND UTILITY LOCATIONS.

BY: *[Signature]* DATE: 1/09/24
 RICHARD T. BZDYRA, PLS.; LICENSE #1386; COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

HOXSIE AVENUE
HARMONY COURT
ANSCOT COURT
DEAN COURT
STREET INDEX

REFERENCE:

1. DEED BK 213 PG 77
2. "HOXSIE HOMESTEAD PLAT DIVISION NO 2 WARWICK RHODE ISLAND SCALE 1 INCH = 80 FEET OCTOBER 11, 1949" P.C. 440

NOTES:

1. FEMA MAP 44003C0131H / 9/18/2013 / ZONE X.
2. R.I. DEPARTMENT OF ENVIRONMENTAL MANAGEMENT STW FILE No. 23-159; RIPDES No. RIR102583



SURVEY CLASSIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS

TYPE OF BOUNDARY SURVEY	MEASUREMENT SPECIFICATION
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

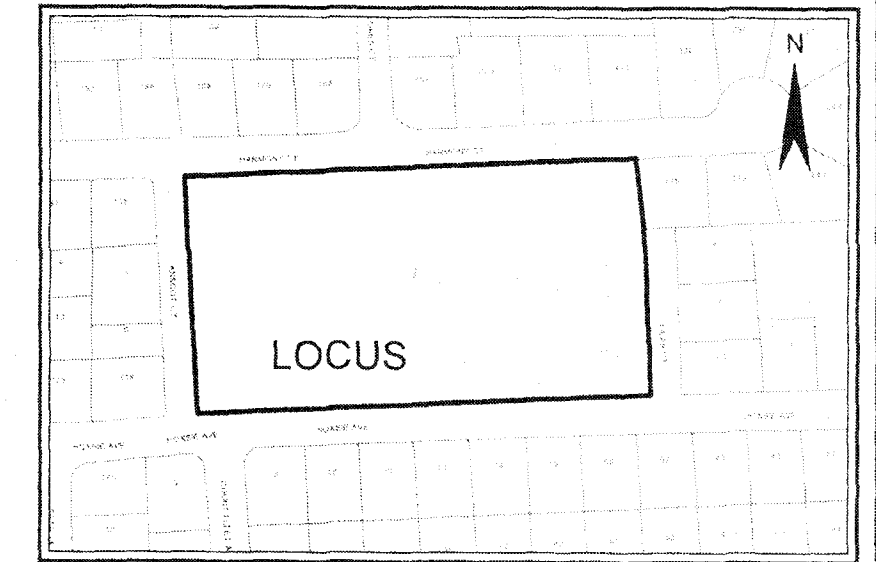
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES, EXISTING TOPOGRAPHY AND UTILITY LOCATIONS.

BY: *Richard T. Bzdyra* DATE: 1/09/24
RICHARD T. BZDYRA, PLS, LICENSE # 1786, COA # LS-A60

I HEREBY CERTIFY THAT HIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCGROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.

LOTS DEPICTED ON THIS PLAT SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOT LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995.

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.



LOCUS MAP
ZONING DISTRICT A-7

MINIMUM LOT FRONTAGE:	7,000 S.F.
MINIMUM SETBACKS: FRONT:	70 FT.
MINIMUM SETBACKS: SIDE:	25 FT.
MINIMUM SETBACKS: REAR:	8 FT.
MINIMUM SETBACKS: REAR:	20 FT.
MAXIMUM STRUCTURE HEIGHT:	35 FT.
MINIMUM LANDSCAPE:	10%

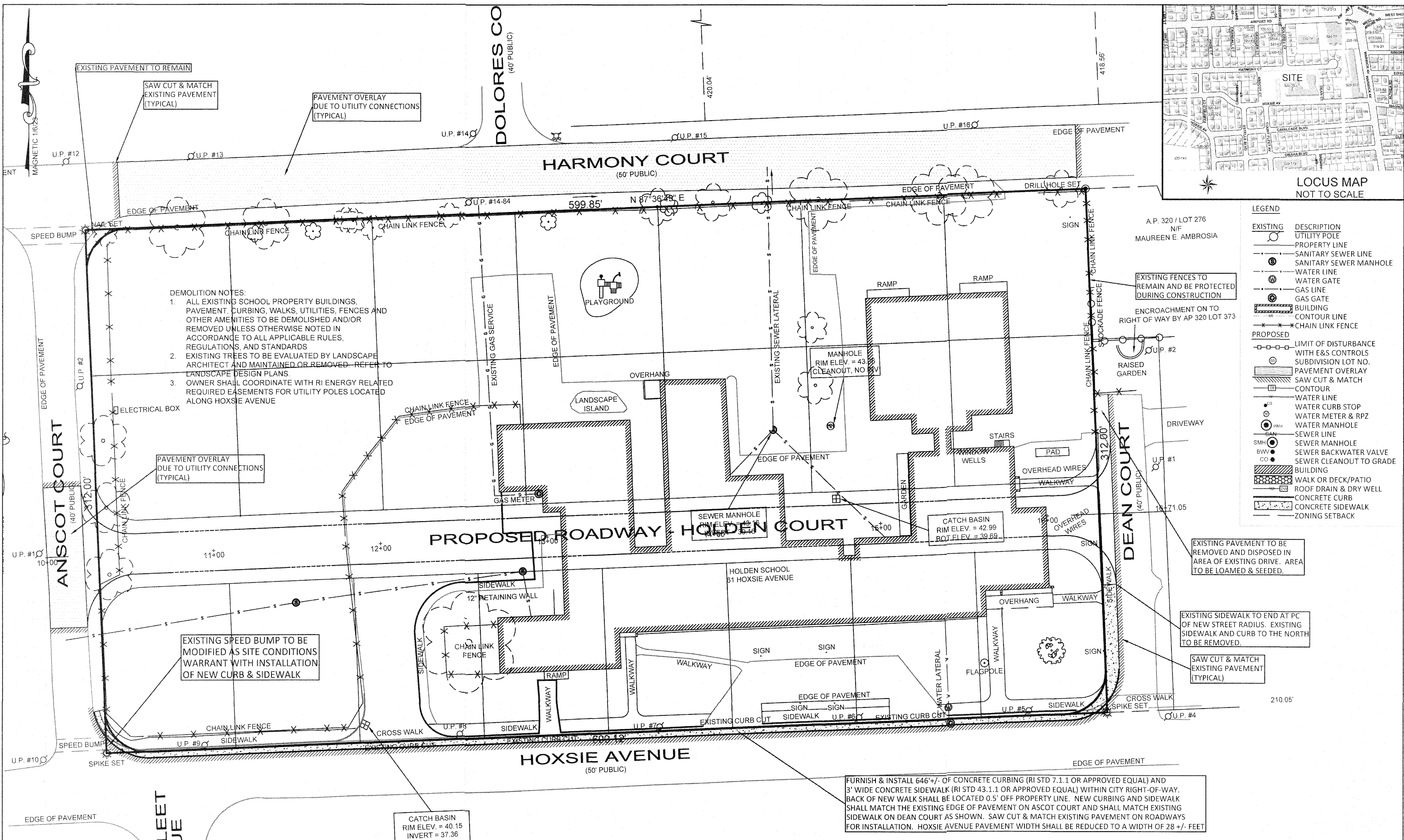
Richard T. Bzdyra
1/09/24

PRELIMINARY PLAN
HOLDEN SCHOOL PLAT
A.P. 320 / LOT 243
61 HOXSIE AVENUE
WARWICK, R.I. 02888
SCALE: 1"=50' DATE: DECEMBER 14, 2023

PREPARED FOR:
HOLDEN DEVELOPMENT, LLC
144 METRO CENTER BOULEVARD, UNIT F, WARWICK, R.I. 02886
PHONE: (401) 640-5757

PREPARED BY:
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 10451 / DWG NO. 10451 - P1 - (BMB)
GRAPHIC SCALE: 1" = 50'
0 50 100 150



DEMOLITION NOTES:

1. ALL EXISTING SCHOOL PROPERTY BUILDINGS, PAVEMENT, CURBING, WALKS, UTILITIES, FENCES AND OTHER AMENITIES TO BE DEMOLISHED AND/OR REMOVED UNLESS OTHERWISE NOTED IN ACCORDANCE TO ALL APPLICABLE RULES, REGULATIONS, AND STANDARDS
2. EXISTING TREES TO BE EVALUATED BY LANDSCAPE ARCHITECT AND MAINTAINED OR REMOVED. REFER TO LANDSCAPE DESIGN PLANS.
3. OWNER SHALL COORDINATE WITH RI ENERGY RELATED REQUIRED EASEMENTS FOR UTILITY POLES LOCATED ALONG HOXSIE AVENUE

LEGEND

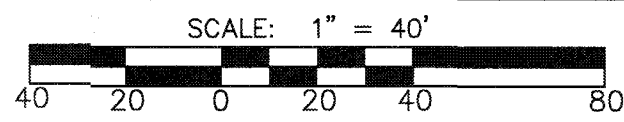
EXISTING	DESCRIPTION
○	UTILITY POLE
—	PROPERTY LINE
—	SANITARY SEWER LINE
○	SANITARY SEWER MANHOLE
○	WATER LINE
○	WATER GATE
○	GAS LINE
○	GAS GATE
—	BUILDING
—	CONTOUR LINE
—	CHAIN LINK FENCE
PROPOSED	DESCRIPTION
—	LIMIT OF DISTURBANCE
—	WITH E&S CONTROLS
—	SUBDIVISION LOT NO.
—	PAVEMENT OVERLAY
—	SAW CUT & MATCH
—	CONTOUR
—	WATER LINE
○	WATER CURB STOP
○	WATER METER & RPZ
○	WATER MANHOLE
—	SEWER LINE
○	SEWER MANHOLE
○	SEWER BACKWATER VALVE
○	SEWER CLEANOUT TO GRADE
—	BUILDING
—	WALK OR DECK/PATIO
—	ROOF DRAIN & DRY WELL
—	CONCRETE CURB
—	CONCRETE SIDEWALK
—	ZONING SETBACK

FURNISH & INSTALL 6"± OF CONCRETE CURBING (RI STD 7.1.1 OR APPROVED EQUAL) AND 3"± WIDE CONCRETE SIDEWALK (RI STD 43.1.1 OR APPROVED EQUAL) WITHIN CITY RIGHT-OF-WAY. BACK OF NEW WALK SHALL BE LOCATED 0.5' OFF PROPERTY LINE. NEW CURBING AND SIDEWALK SHALL MATCH THE EXISTING EDGE OF PAVEMENT ON ASCOT COURT AND SHALL MATCH EXISTING SIDEWALK ON DEAN COURT AS SHOWN. SAW CUT & MATCH EXISTING PAVEMENT ON ROADWAYS FOR INSTALLATION. HOXSIE AVENUE PAVEMENT WIDTH SHALL BE REDUCED TO A WIDTH OF 28'± FEET

REVISIONS	
DATE	DESCRIPTION
JAN 2024	CITY PRELIM SUBMISSION / SHEETS ADDED

WEL Walker Engineering, Ltd.

31 Vale Court Phone / Fax (401) 397-8745
 West Greenwich, RI 02817 Email: wel31.pw@gmail.com



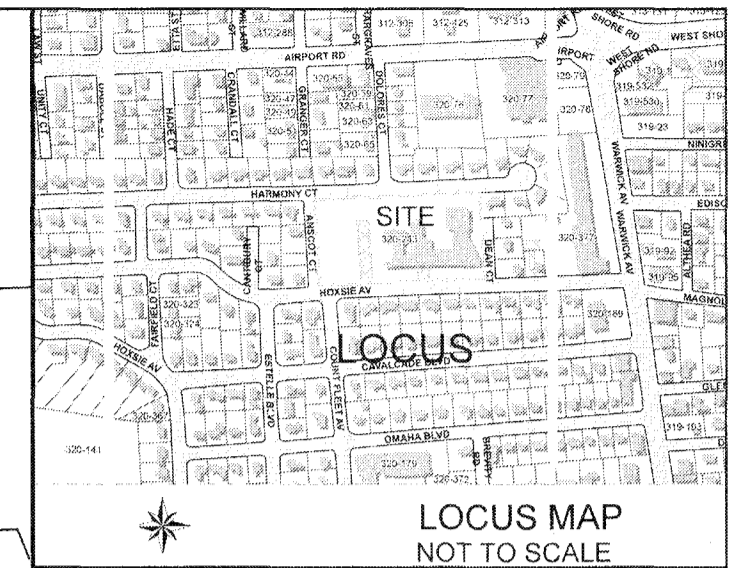
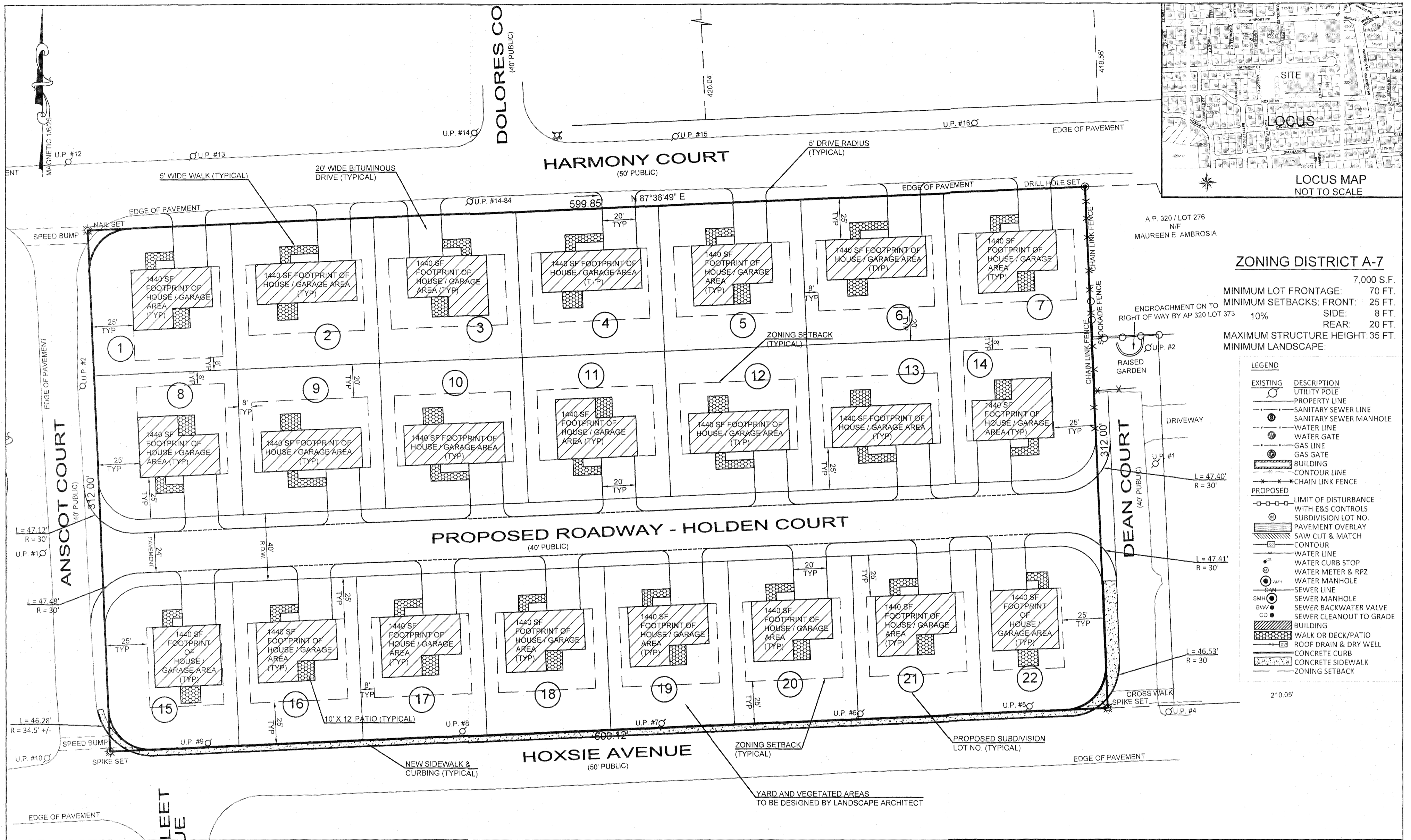
PATRICIA K. WALKER
 No. 5331
 REGISTERED PROFESSIONAL ENGINEER
 1/18/24

OWNER / APPLICANT:
HOLDEN DEVELOPMENT, LLC
 144 METRO CENTER BOULEVARD UNIT F
 WARWICK, RI 02886
 401-640-5757

DEMOLITION & OFF-SITE IMPROVEMENTS PLAN

HOLDEN SCHOOL PLAT
 ASSESSOR'S PLAT 320 / LOT 243
 61 HOXSIE AVENUE
 WARWICK, RHODE ISLAND 02888

DATE: OCTOBER 2023 REVISED JANUARY 2024	SHEET: S - 1	SHEET 3 OF 18
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ZONING DISTRICT A-7

7,000 S.F.
 MINIMUM LOT FRONTAGE: 70 FT.
 MINIMUM SETBACKS: FRONT: 25 FT.
 SIDE: 8 FT.
 REAR: 20 FT.
 MAXIMUM STRUCTURE HEIGHT: 35 FT.
 MINIMUM LANDSCAPE:

REVISIONS	
DATE	DESCRIPTION
JAN 2024	CITY PRELIM SUBMISSION / SHEETS ADDED

WEL Walker Engineering, Ltd.

31 Vale Court Phone / Fax (401) 397-8745
 West Greenwich, RI 02817 En:ail: wel31.pw@gmail.com

SCALE: 1" = 40'

PATRICIA K. WALKER

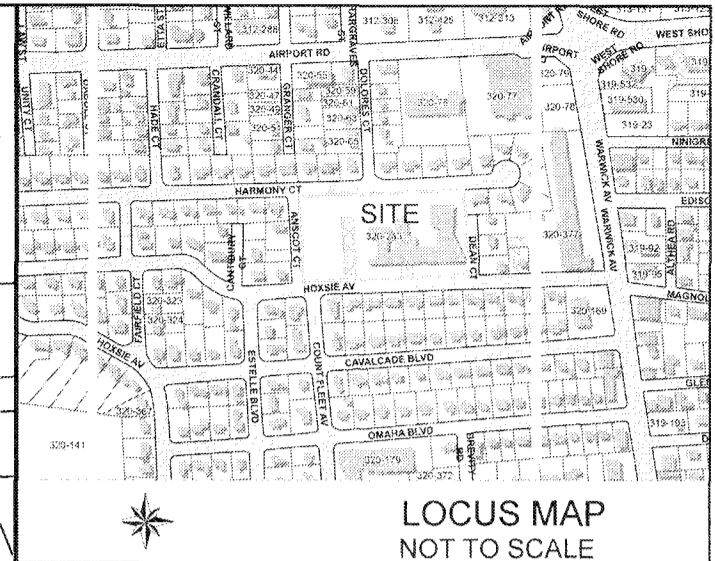
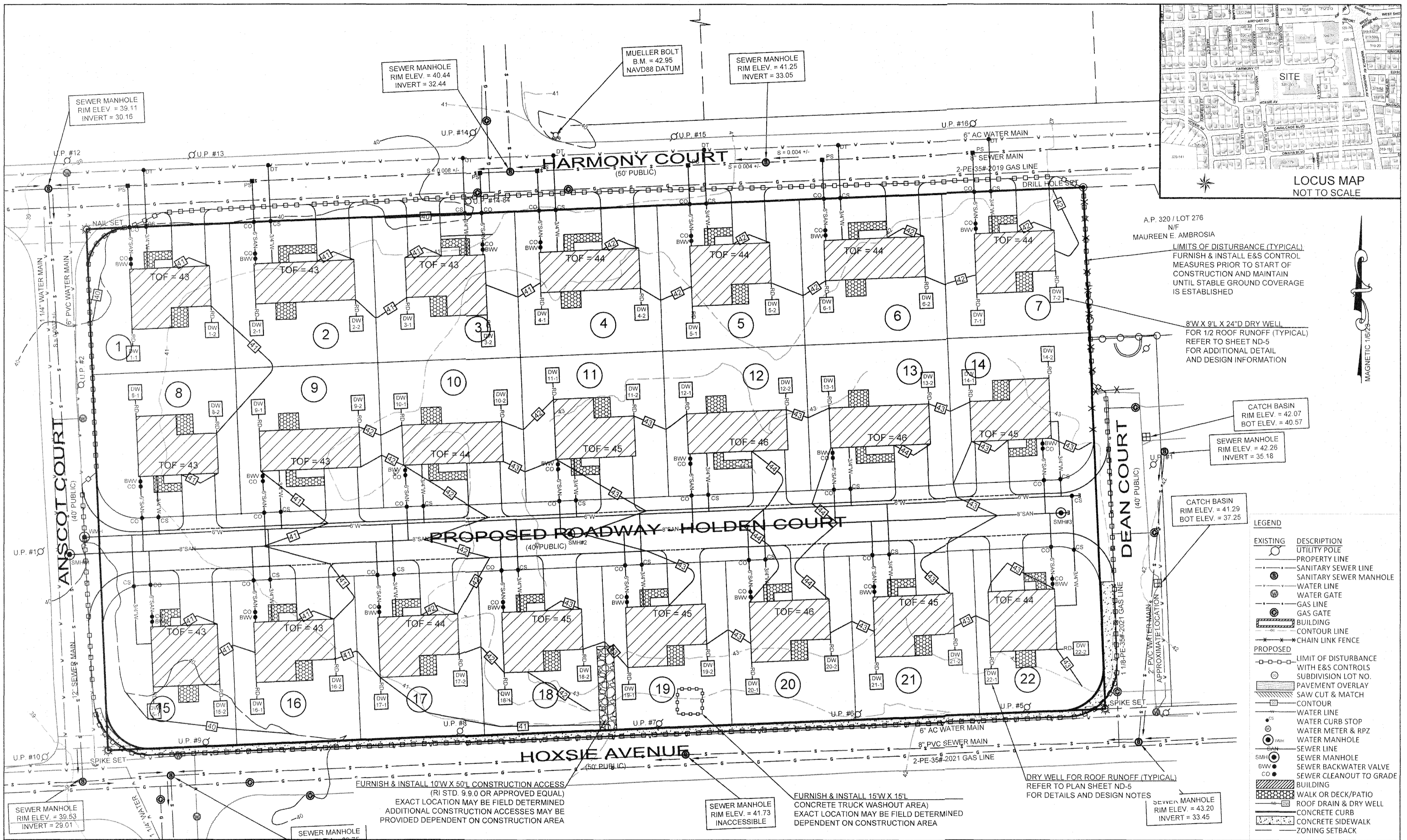
REGISTERED PROFESSIONAL ENGINEER

OWNER / APPLICANT:
HOLDEN DEVELOPMENT, LLC
 144 METRO CENTER BOULEVARD
 UNIT F
 WARWICK, RI 02886
 401-640-5757

LAYOUT PLAN
 HOLDEN SCHOOL PLAT
 ASSESSOR'S PLAT 320 / LOT 243
 61 HOXSIE AVENUE
 WARWICK, RHODE ISLAND 02888

DATE: OCTOBER 2023
 REVISED JANUARY 2024

SHEET: S - 2 SHEET 4 OF 18



A.P. 320 / LOT 276
N/F
MAUREEN E. AMBROSIA

LIMITS OF DISTURBANCE (TYPICAL) FURNISH & INSTALL ESS CONTROL MEASURES PRIOR TO START OF CONSTRUCTION AND MAINTAIN UNTIL STABLE GROUND COVERAGE IS ESTABLISHED

8" X 9" L X 24" D DRY WELL FOR 1/2 ROOF RUNOFF (TYPICAL) REFER TO SHEET ND-5 FOR ADDITIONAL DETAIL AND DESIGN INFORMATION

LEGEND

	EXISTING UTILITY POLE
	EXISTING PROPERTY LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER MANHOLE
	EXISTING WATER LINE
	EXISTING WATER GATE
	EXISTING GAS LINE
	EXISTING GAS GATE
	EXISTING BUILDING
	EXISTING CONTOUR LINE
	EXISTING CHAIN LINK FENCE
	PROPOSED LIMIT OF DISTURBANCE WITH E&S CONTROLS
	PROPOSED PAVEMENT OVERLAY
	PROPOSED SAW CUT & MATCH
	PROPOSED CONTOUR
	PROPOSED WATER LINE
	PROPOSED WATER CURB STOP
	PROPOSED WATER METER & RPZ
	PROPOSED WATER MANHOLE
	PROPOSED SEWER LINE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER BACKWATER VALVE
	PROPOSED SEWER CLEANOUT TO GRADE
	PROPOSED BUILDING
	PROPOSED WALK OR DECK/PATIO
	PROPOSED ROOF DRAIN & DRY WELL
	PROPOSED CONCRETE CURB
	PROPOSED CONCRETE SIDEWALK
	PROPOSED ZONING SETBACK

REVISIONS	
DATE	DESCRIPTION
JAN 2024	CITY PRELIM SUBMISSION / SHEETS ADDED

W^EL Walker Engineering, Ltd.

31 Vale Court Phone / Fax (401) 397-8745
West Greenwich, RI 02817 Email: wel31.pw@gmail.com

SCALE: 1" = 40'

PATRICIA K. WALKER

REGISTERED PROFESSIONAL ENGINEER

OWNER / APPLICANT:
HOLDEN DEVELOPMENT, LLC
144 METRO CENTER BOULEVARD
UNIT F
WARWICK, RI 02886
401-640-5757

DRAINAGE, GRADING & EROSION CONTROLS PLAN

HOLDEN SCHOOL PLAT
ASSESSOR'S PLAT 320 / LOT 243
61 HOXSIE AVENUE
WARWICK, RHODE ISLAND 02888

DATE: OCTOBER 2023
REVISED JANUARY 2024

SHEET: S - 3 SHEET 5 OF 18

ELECTRIC & CABLE NOTES

- UNDERGROUND ELECTRIC AND CABLE SHALL BE INSTALLED ON PROPOSED HOLDEN COURT
- OVERHEAD ELECTRIC AND CABLE SHALL BE INSTALLED ON EXISTING HARMONY COURT
- ELECTRIC CONNECTIONS SHALL BE COORDINATED WITH RI ENERGY
- CABLE CONNECTIONS SHALL BE COORDINATED WITH APPLICABLE CABLE COMPANY

SEWER MANHOLE
RIM ELEV. = 39.11
INVERT = 30.16

6" PVC SDR 35 SEWER CONNECTION
WITH BACKWATER VALVE & CLEANOUT
AND CLEANOUT AT PROPERTY LINE (TYPICAL)

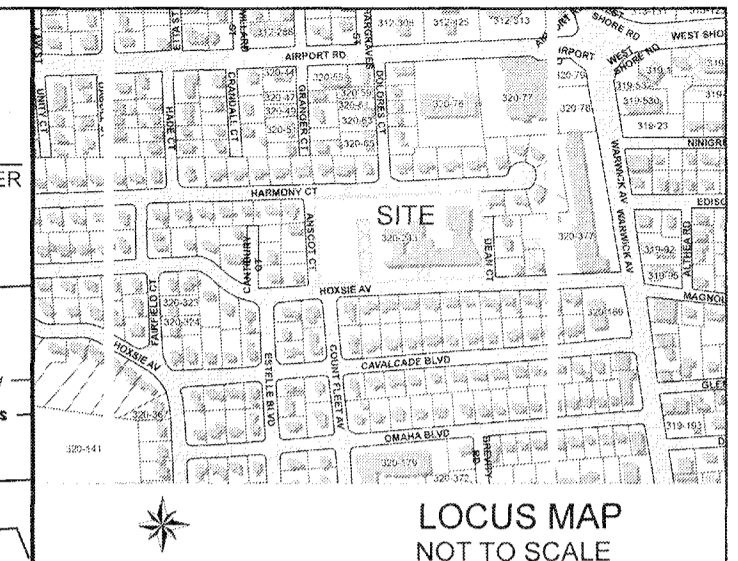
SEWER MANHOLE
RIM ELEV. = 40.44
INVERT = 32.44

MUELLER BOLT
B.M. = 42.95
NAVD88 DATUM

SEWER MANHOLE
RIM ELEV. = 41.25
INVERT = 33.05

FURNISH & INSTALL PIPE SADDLE (PS)
FOR CONNECTION TO EXISTING SEWER
MAIN (TYPICAL)

FURNISH & INSTALL DIRECT TAP (DT)
FOR CONNECTION TO EXISTING WATER
MAIN (TYPICAL)



A.P. 320 / LOT 276
N/F
MAUREEN E. AMBROSIA

3/4" TYPE K COPPER OR APPROVED EQUAL WATER
CONNECTION WITH METER AND RPZ BACKFLOW
PREVENTER LOCATED INSIDE THE RESIDENCE AND A
CURB BOX WITH VALVE BOX (CS) AT PROPERTY
LINE (TYPICAL)

NEW SANITARY MANHOLE (SMH #2)
RIM = 42.6 +/-
8" INV OUT = 34.4 +/-

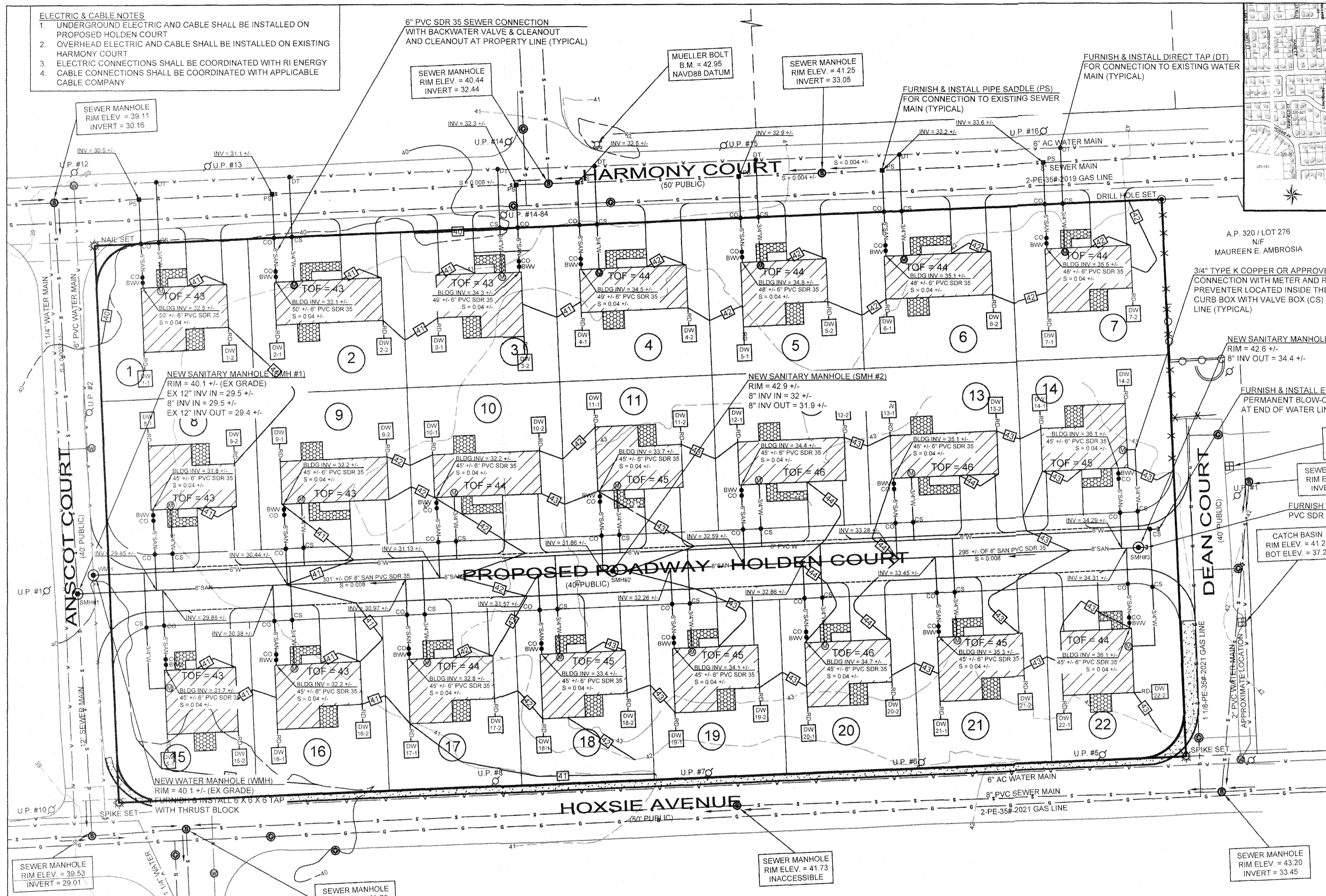
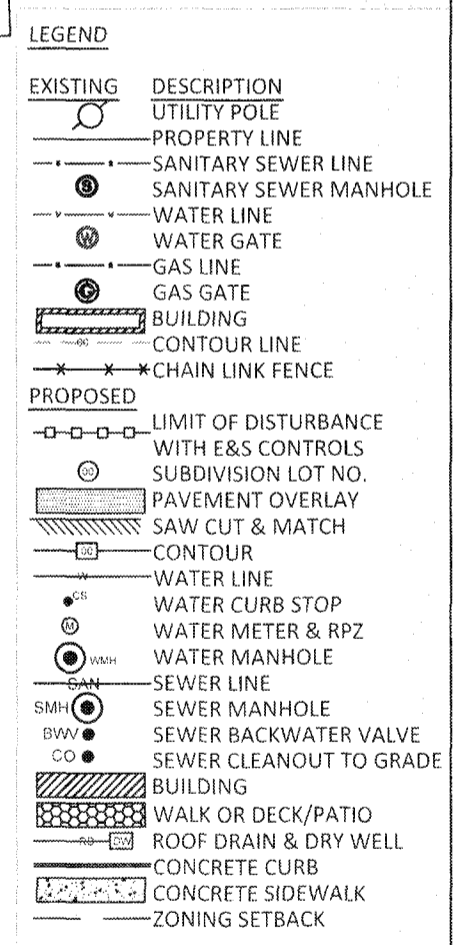
FURNISH & INSTALL END CAP AND
PERMANENT BLOW-OFF ASSEMBLY
AT END OF WATER LINE

CATCH BASIN
RIM ELEV. = 42.07
BOT ELEV. = 40.57

SEWER MANHOLE
RIM ELEV. = 42.26
INVERT = 35.18

FURNISH & INSTALL 5' OF 8"
PVC SDR 35 WITH END CAP

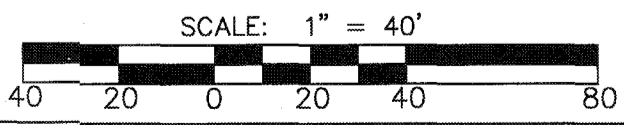
CATCH BASIN
RIM ELEV. = 41.29
BOT ELEV. = 37.25



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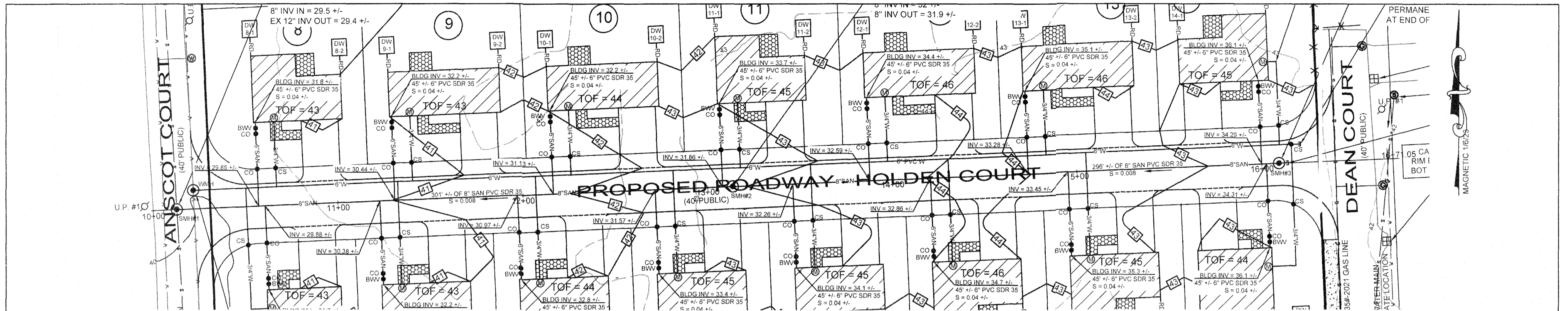


PATRICIA K. WALKER
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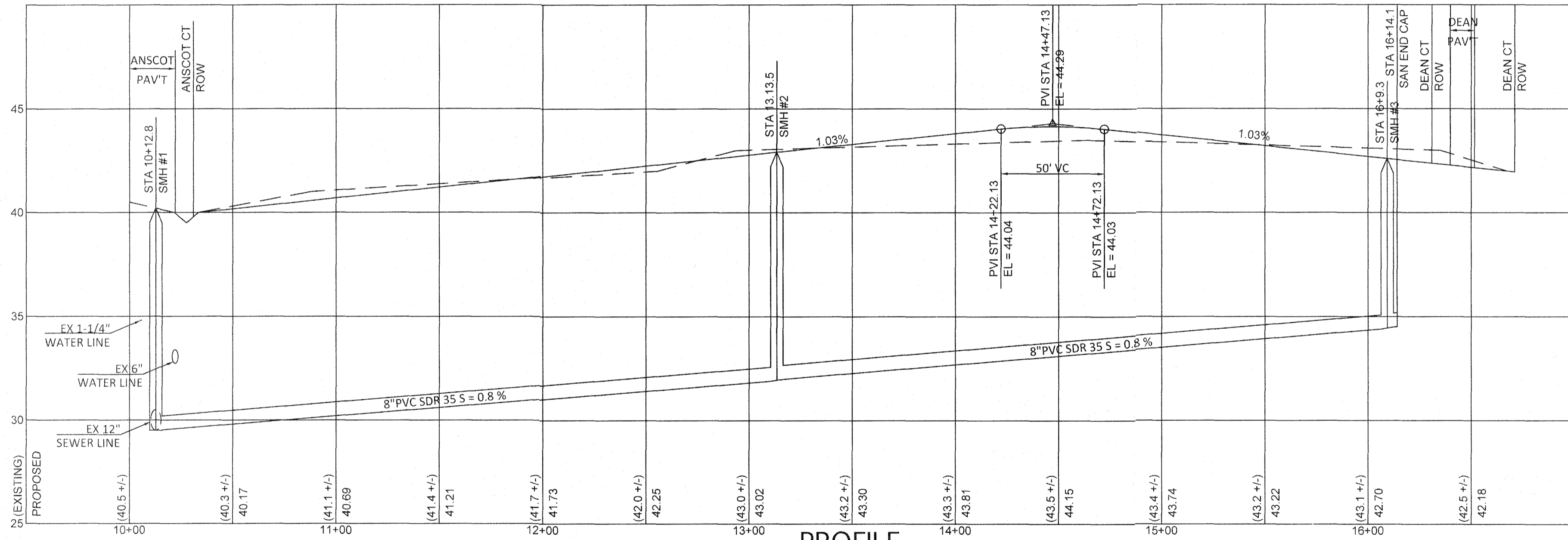
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UTILITIES PLAN
HOLDEN SCHOOL PLAT
ASSESSOR'S PLAT 320 / LOT 243
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DATE: OCTOBER 2023
REVISED JANUARY 2024
SHEET: S - 4
SHEET 6 OF 18



PLAN



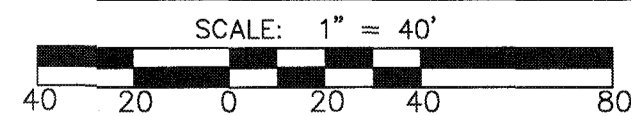
PROFILE

HORIZONTAL SCALE: 1" = 40'
VERTICAL SCALE: 1" = 4'

REVISIONS	
DATE	DESCRIPTION

WEL Walker Engineering, Ltd.

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PATRICIA K. WALKER
No. 5331
REGISTERED PROFESSIONAL ENGINEER

OWNER / APPLICANT:
HOLDEN DEVELOPMENT, LLC
144 METRO CENTER BOULEVARD
UNIT F
WARWICK, RI 02886
401-640-5757

**HOLDEN COURT
PLAN & PROFILE**

HOLDEN SCHOOL PLAT
ASSESSOR'S PLAT 320 / LOT 243
61 HOXSIE AVENUE
WARWICK, RHODE ISLAND 02888

DATE: JANUARY 2024 SHEET: PP - 1 SHEET 7 OF 18

TREE REMOVAL NOTES:

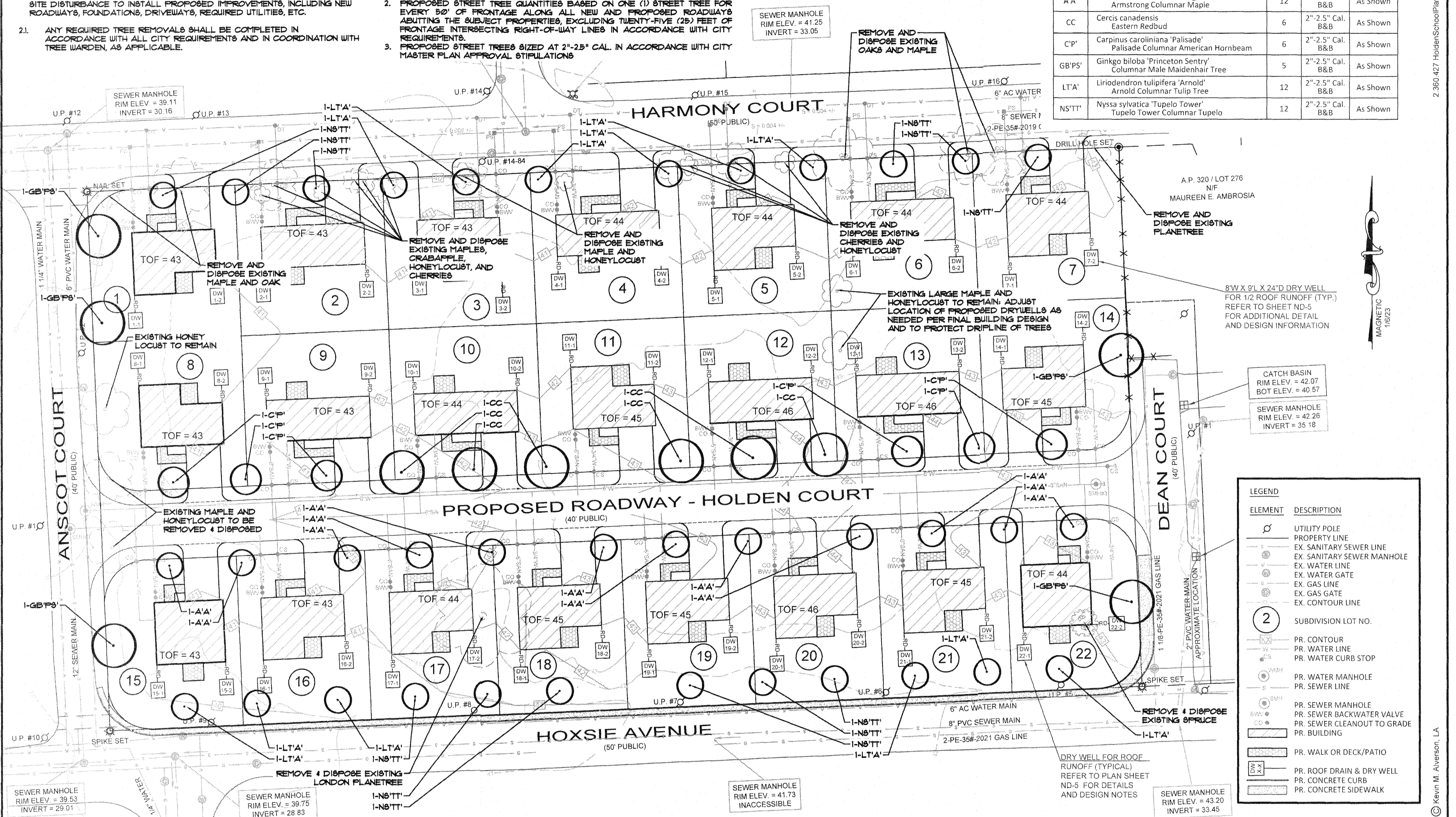
1. PROTECT ALL TREES NOT SPECIFIED TO BE REMOVED IN ACCORDANCE WITH LANDSCAPE NOTES AND IN ACCORDANCE WITH ALL CITY REQUIREMENTS
2. TREES SPECIFIED TO BE REMOVED SHALL BE REMOVED DUE TO REQUIRED SITE DISTURBANCE TO INSTALL PROPOSED IMPROVEMENTS, INCLUDING NEW ROADWAYS, FOUNDATIONS, DRIVEWAYS, REQUIRED UTILITIES, ETC.
- 2.1. ANY REQUIRED TREE REMOVALS SHALL BE COMPLETED IN ACCORDANCE WITH ALL CITY REQUIREMENTS AND IN COORDINATION WITH TREE WARDEN, AS APPLICABLE.

PROPOSED STREET TREE NOTES:

1. FINAL LOCATIONS OF ALL NEW PLANTINGS SHALL BE ADJUSTED AS NECESSARY BASED ON FINAL BUILDING DESIGN AND AS-BUILT LOCATIONS OF ALL NEW AND EXISTING UTILITIES AND OTHER PROPOSED SITE IMPROVEMENTS.
2. PROPOSED STREET TREE QUANTITIES BASED ON ONE (1) STREET TREE FOR EVERY 50' OF FRONTAGE ALONG ALL NEW AND PROPOSED ROADWAYS ABUTTING THE SUBJECT PROPERTIES, EXCLUDING TWENTY-FIVE (25) FEET OF FRONTAGE INTERSECTING RIGHT-OF-WAY LINES IN ACCORDANCE WITH CITY REQUIREMENTS.
3. PROPOSED STREET TREES SIZED AT 2"-2.5" CAL. IN ACCORDANCE WITH CITY MASTER PLAN APPROVAL STIPULATIONS

PLANT SCHEDULE:

KEY	Scientific Name Common Name	QTY	Size Comment	Spacing
A'A'	Acer x freemanii 'Armstrong' Armstrong Columnar Maple	12	2"-2.5" Cal. B&B	As Shown
CC	Cercis canadensis Eastern Redbud	6	2"-2.5" Cal. B&B	As Shown
C'P'	Carpinus caroliniana 'Palisade' Palisade Columnar American Hornbeam	6	2"-2.5" Cal. B&B	As Shown
GB'PS'	Ginkgo biloba 'Princeton Sentry' Columnar Male Maidenhair Tree	5	2"-2.5" Cal. B&B	As Shown
LT'A'	Liriodendron tulipifera 'Arnold' Arnold Columnar Tulip Tree	12	2"-2.5" Cal. B&B	As Shown
NS'TT'	Nyssa sylvatica 'Tupelo Tower' Tupelo Tower Columnar Tupelo	12	2"-2.5" Cal. B&B	As Shown



LEGEND

ELEMENT	DESCRIPTION
	UTILITY POLE
	PROPERTY LINE
	EX. SANITARY SEWER LINE
	EX. SANITARY SEWER MANHOLE
	EX. WATER LINE
	EX. WATER GATE
	EX. GAS LINE
	EX. GAS GATE
	EX. CONTOUR LINE
	SUBDIVISION LOT NO.
	PR. CONTOUR
	PR. WATER LINE
	PR. WATER CURB STOP
	PR. WATER MANHOLE
	PR. SEWER LINE
	PR. SEWER MANHOLE
	PR. SEWER BACKWATER VALVE
	PR. SEWER CLEANOUT TO GRADE
	PR. BUILDING
	PR. WALK OR DECK/PATIO
	PR. ROOF DRAIN & DRY WELL
	PR. CONCRETE CURB
	PR. CONCRETE SIDEWALK

REVISIONS

DATE	DESCRIPTION

Kevin M. Alverson
 LANDSCAPE ARCHITECTURE
 360 Annaquatucket Road Wickford, RI 02852 401-338-0044
 KevinMAlversonLA.com

SCALE: 1" = 40'

REGISTERED LANDSCAPE ARCHITECT
 KEVIN M. ALVERSON
 NO. 414
 1.9.24
 LANDSCAPE PLANTING ONLY

OWNER / APPLICANT:
 HOLDEN DEVELOPMENT, LLC
 144 METRO CENTER BOULEVARD
 UNIT F
 WARWICK, RI 02886
 401-640-5757

LANDSCAPE PLAN
 HOLDEN SCHOOL PLAT
 ASSESSOR'S PLAT 320 / LOT 243
 61 HOXSIE AVENUE
 WARWICK, RHODE ISLAND 02888

DATE: JANUARY 2024 SHEET: L-1 SHEET: 8 OF 18

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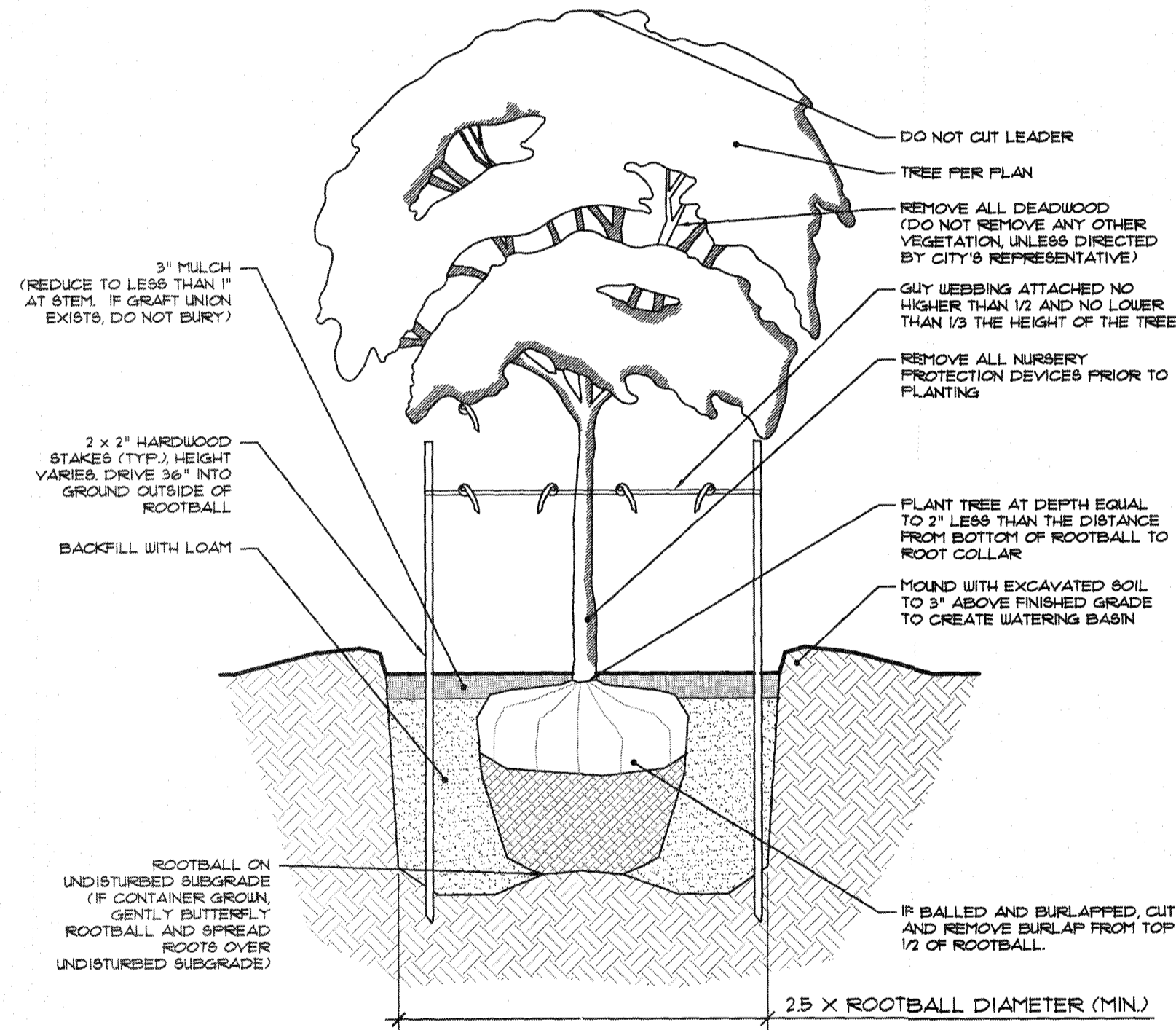
Kevin M. Alverson, LA

GENERAL NOTES:

- SEE SURVEYOR'S PLANS FOR ALL EXISTING CONDITIONS, PROPERTY LINE INFORMATION, SURVEY DATUM, FLOOD PLANE NOTES, ETC.
- SEE ENGINEER'S PLANS FOR ALL SITE LAYOUT, GRADING, AND DRAINAGE DESIGNS.
- SEE ARCHITECT'S PLANS FOR ALL BUILDING DESIGN COMPONENTS AND UTILITY DESIGNS.
- UTILITIES:** FINAL UTILITY CONNECTIONS AND LOCATION OF ANY SERVICE CONNECTIONS TO BE COORDINATED BY ARCHITECT AND ENGINEER WITH CITY AND UTILITY COMPANY.
- ALL WORK AND MATERIALS SHALL BE IN CONFORMANCE WITH THE RHODE ISLAND STANDARD SPECIFICATIONS, AS AMENDED.
- THIS PLAN IS INTENDED TO BE AN ACCURATE GUIDELINE FOR LAYOUT AND SPECIFICATION OF LANDSCAPE PLANTINGS ONLY. CONTRACTOR SHALL VERIFY ACTUAL AS-BUILT ON-SITE CONDITIONS PRIOR TO COMMENCING CONSTRUCTION PROCEDURES. FINAL ALIGNMENT OF ALL LANDSCAPE IMPROVEMENTS SHALL BE ADJUSTED ON-SITE AS NECESSARY TO AVOID CONFLICTS WITH OTHER PROPOSED SITE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO, UTILITY AND DRAINAGE DESIGN AND FINAL DESIGN/LAYOUT OF VEHICULAR SURFACES, SIDEWALKS, AND PROPOSED STRUCTURES.
- UTILITIES ARE PLOTTED FROM BEST AVAILABLE INFORMATION AND SITE OBSERVATIONS. CONTRACTOR SHALL VERIFY UTILITY LOCATIONS BY CONTACTING DIG SAFE (888-DIG-SAFE (344-7233) or Dial 811), IN ACCORDANCE WITH THE LAWS OF THE STATE OF RI. CONTRACTOR SHALL PROTECT EXISTING UTILITIES DURING CONSTRUCTION. DAMAGE TO ANY ABOVE OR BELOW-GROUND UTILITIES SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OR HER OWN EXPENSE.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR REUSE. DO NOT REMOVE LOAM FROM SITE UNLESS DIRECTED BY OWNER'S REPRESENTATIVE. IF DIRECTED BY OWNER'S REPRESENTATIVE, IT SHALL BE REMOVED OFFSITE TO AN APPROPRIATE FACILITY FOR FUTURE USE AS DIRECTED BY OWNER.
- ALL EXCESS SOILS, BOULDERS, STUMPS AND OTHER MATERIALS SHALL BE DISCARDED OFFSITE IN AN ACCEPTABLE MANNER TO ALL STATE, AND MUNICIPAL REGULATIONS. ALL MATERIALS THAT ARE REMOVED AND DISPOSED SHALL BE DONE SO IN A LEGAL MANNER AND FOLLOW THE SOIL EROSION CONTROL PLAN AT OWNER'S DIRECTION.
- CONTRACTOR TO PERFORM DAILY HOUSEKEEPING ONSITE. CONTRACTOR SHALL SWEEP DAILY ANY TRACKING ONTO EXISTING PARKING AREA TO PREVENT FROM ENTERING THE DRAINAGE SYSTEM.
- ALL ITEMS NOT INDICATED FOR REMOVAL AND DISPOSAL SHALL BE PROTECTED BY CONTRACTOR DURING CONSTRUCTION. SHOULD DAMAGE OCCUR AS A RESULT OF CONSTRUCTION PROCEDURES, CONTRACTOR SHALL REPAIR SUCH DAMAGE AT HIS OR HER OWN EXPENSE. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE AND THE MUNICIPALITY IN WHICH WORK IS BEING PERFORMED PRIOR TO START OF ANY WORK.

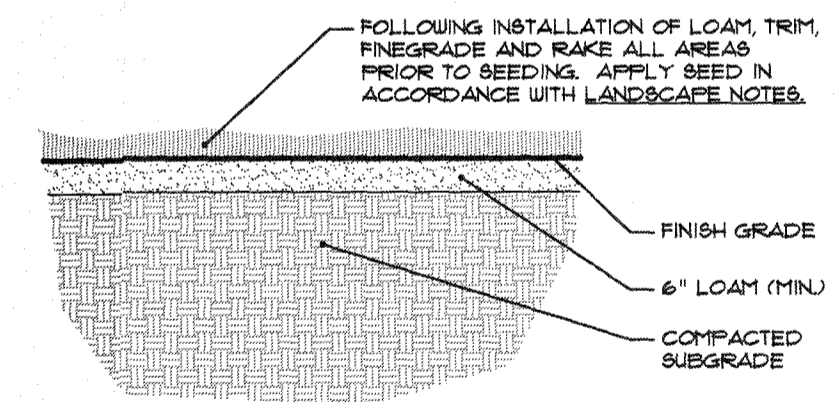
LANDSCAPE NOTES:

- THE CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS, AND SHALL OBTAIN ALL NECESSARY PERMITS FOR THE PROJECT.
- THE CONTRACTOR SHALL INSTALL ALL PLANT MATERIAL IN CONFORMANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND THE CURRENT PLANTING PROCEDURES ESTABLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- ALL PLANT MATERIAL SHALL MEET THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION, FORMERLY THE AMERICAN ASSOCIATION OF NURSERYMEN, STANDARDS FOR NURSERY STOCK, LATEST EDITION, AND ITS AMENDMENTS. PLANT ONLY DURING SEASONS NORMAL TO THE PARTICULAR VARIETY.
- ALL PROPOSED PLANT MATERIAL SHALL BE AS SPECIFIED, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT. IN ABSOLUTELY NO CIRCUMSTANCE SHALL THERE BE ANY USE OF PLANTS LISTED ON THE RI INVASIVE SPECIES LIST FOR PLANTS AS PREPARED BY THE RHODE ISLAND NATURAL HISTORY SURVEY AND THE RHODE ISLAND INVASIVE SPECIES COUNCIL.
 - ALL PLANTINGS SHALL BE SIZED IN ACCORDANCE WITH THE SIZES INDICATED ON THE PLANT SCHEDULE, UNLESS OTHERWISE APPROVED BY THE LANDSCAPE ARCHITECT.
 - IT IS UNDERSTOOD THAT SPECIFIED PLANT VARIETIES, QUANTITIES, AND SIZES MAY BE SUBJECT TO AVAILABILITY AT TIME OF ORDERING AND INSTALLATION. ALL PLANT SUBSTITUTIONS AND/OR CHANGES IN PLANT LOCATION, QUANTITY, OR SIZE MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
- THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE SITE CLEAN OF MISCELLANEOUS DEBRIS THROUGHOUT THE CONSTRUCTION PERIOD. ALL WASTE MATERIAL IS TO BE DISPOSED OF IMMEDIATELY TO AN OFF-SITE LOCATION, UNLESS OTHERWISE INDICATED ON THE PLANS.
- MAINTENANCE AND WARRANTY:**
 - ALL PLANTINGS SHALL BE MAINTAINED BY THE OWNER OR CONTRACTOR FROM THE TIME OF PLANTING UNTIL THE PLANTINGS ARE ESTABLISHED. MAINTENANCE DURING THIS PERIOD SHALL INCLUDE WATERING OF PLANTINGS AS NECESSARY TO ENSURE PROPER ESTABLISHMENT OF PLANTINGS.
 - CONTRACTOR SHALL PROVIDE A ONE (1) YEAR WARRANTY ON ALL NEW PLANTINGS. SHOULD NEW PLANT MATERIAL DIE (OR DECLINE TO THE POINT WHERE PLANT IS EXPECTED TO DIE) WITHIN THIS WARRANTY PERIOD (OTHER THAN DUE TO NATURAL FACTORS, NATURAL DISASTER, OR NEGLIGENCE), CONTRACTOR SHALL REMOVE THE PLANT AND REPLACE SAID PLANT MATERIAL WITH NEW PLANTINGS IN ACCORDANCE WITH THE SIZE AND VARIETY SPECIFIED. ALL REPLACEMENT PLANT MATERIAL SHALL CARRY A NEW ONE (1) YEAR WARRANTY STARTING FROM THE DATE OF REPLACEMENT. CONTRACTOR SHALL REMOVE ALL STAKES, GUY WIRES, AND TAPE FROM TREES AT THE END OF THE SPECIFIED WARRANTY PERIOD.
- FINAL LOCATIONS OF ALL NEW PLANTINGS SHALL BE ADJUSTED AS NECESSARY BASED ON FINAL AS-BUILT LOCATIONS OF ALL NEW AND EXISTING UTILITIES AND OTHER SITE IMPROVEMENTS.
- EXISTING VEGETATION PROTECTION LINE:** PROTECTIVE BARRIERS ARE TO BE INSTALLED WHERE EXISTING VEGETATION IS PROPOSED TO REMAIN. BARRIERS SHALL NOT BE SUPPORTED BY THE PLANTS THEY ARE PROTECTING, BUT SHALL BE SELF SUPPORTING. THEY SHALL BE A MINIMUM OF THREE-FOUR FEET (3'-4') HIGH AND CONSTRUCTED OF A DURABLE MATERIAL, SUCH AS SNOW OR SILT FENCE, THAT WILL LAST UNTIL CONSTRUCTION IS COMPLETED. PRUNING OF ANY DAMAGED ROOTS SHALL BE DONE IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, UTILIZING ONLY CLEAN SHARP TOOLS - NO AXES TO BE USED FOR PRUNING. CARE SHALL BE TAKEN NOT TO DISPOSE OF PAINT OR ANY OTHER SOLVENTS THAT MAY CHANGE THE SOIL STRUCTURE IN OR AROUND THE ROOTZONE OF VEGETATION SPECIFIED TO REMAIN.
- LOAM AND COMPOST:** ALL LOAM USED AS PLANTABLE SOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH, CONSTRUCTION DEBRIS, OR OTHER OBJECTIONABLE MATERIAL. NEW PLANTING BEDS SHALL BE AMENDED WITH WELL-AGED COMPOST.
 - COMPOST SHALL BE A WELL DECOMPOSED, STABLE, WEED FREE ORGANIC MATTER SOURCE. IT SHALL BE DERIVED FROM AGRICULTURAL, FOOD, AND/OR YARD TRIMMINGS. THE PRODUCT SHALL CONTAIN NO SUBSTANCES TOXIC TO PLANTS AND SHALL BE REASONABLY FREE (LESS THAN 1 PERCENT BY DRY WEIGHT) OF MAN-MADE FOREIGN MATTER.
 - WATERING:** THOROUGHLY WATER ALL PLANTS WHEN 2/3 OF BACKFILL HAS BEEN PLACED TO ENSURE ALL AIR POCKETS ARE REMOVED. FIRMLY TAMP SOIL AROUND PLANT. ENSURE PROPER WATERING OF PLANT MATERIAL UNTIL ESTABLISHMENT (ONCE PER DAY FOR 14 DAYS FOLLOWING INSTALLATION, OR AS NEEDED DEPENDING ON FREQUENCY AND QUANTITY OF NATURAL RAIN FALL). MONITOR SOIL MOISTURE WITHIN ROOTZONE OF PLANTINGS PRIOR TO AND FOLLOWING EACH WATERING PROCEDURE. DO NOT OVERWATER OR SATURATE ROOTZONE OF PLANTINGS FOR PROLONGED PERIOD OF TIME.
 - PRUNING:** ALL PLANTING MATERIAL SHALL BE PRUNED IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICES, AND IN SUCH A MANNER AS TO MAINTAIN THE NATURAL FORM OF THE PLANT. PRUNING SHALL BE COMPLETED UTILIZING ONLY CLEAN SHARP TOOLS. USE OF AXES FOR PRUNING IS UNACCEPTABLE.
 - PRUNE ALL PLANT MATERIAL TO REMOVE ANY AND ALL DEADWOOD.
 - MULCH:** ALL PLANTINGS SHALL BE MULCHED AS INDICATED ON DETAIL DRAWINGS. PLANTINGS INSTALLED IN CLUSTERS, OR WITHIN PLANTING BEDS SHALL BE MULCHED AS SUCH, INSTALLING MULCH THROUGHOUT THE ENTIRE PLANTING BED. MULCH TO BE 2"-3", OR AS OTHERWISE NOTED, IN DEPTH AND REDUCED TO LESS THAN 1" AT ROOT FLARE OF EACH PLANT.
 - BARK MULCH, WHERE INDICATED, SHALL BE WELL-AGED, SHREDDED BARK MULCH, NATURAL DARK BROWN IN COLOR AND NON-DYED, OR AS APPROVED BY OWNER'S REPRESENTATIVE.
 - LOAM AND SEED:**
 - LOAM AND SEED ALL DISTURBED AREAS. ALL NEW LAWN AREAS SUBJECT TO EROSION SHALL BE STABILIZED UTILIZING JUTE MESH, EXCELSIOR EROSION CONTROL BLANKETS, OR APPROVED EQUAL.
 - LOAM UTILIZED FOR LAWN AREAS SHALL BE SANDY LOAM, 6" MIN. IN DEPTH, AND CONFORMING TO THE REQUIREMENTS OF THE USGA FOR LAWN PLANTINGS.
 - SEED MIX:**
 - SEED MIX UTILIZED FOR LAWN AREAS SHALL BE SIMILAR TO 'Endophyte Enhanced Mix' AS AVAILABLE THROUGH ALLEN'S SEED, EXETER, RI, OR EQUAL, DROUGHT TOLERANT, DEEP-ROOTING GRASS SEED, CONTAINING A MINIMUM OF 30% BY WEIGHT OF TURF-TYPE TALL FESCUE:
 - 30% Improved Perennial Rye,
 - 30% Turf Type Tall Fescue,
 - 30% Chewings Fescue,
 - 10% Kentucky Bluegrass 98/85
 - IF UTILIZING SOD, SOD SHALL ALSO BE COMPRISED OF DROUGHT TOLERANT, DEEP-ROOTING TURF GRASS, CONTAINING TURF-TYPE TALL FESCUE, SIMILAR TO 'BLACK-BEAUTY' VARIETY SOD, AS AVAILABLE THROUGH SODCO, INC., EXETER, RI, OR EQUAL.
 - IF INSTALLING SEED UTILIZING HYDROSEEDER DEVICE, PROVIDE HYDRO FIBER-MULCH AND FERTILIZER MIX.
 - IF BROADCAST SEEDING, TOPDRESS WITH 2" STRAW MULCH OR HYDRO FIBER-MULCH AND FERTILIZER MIX (NO SEED), FOLLOWING SPREADING OF SEED.



1 TREE PLANTING DETAIL

NOT TO SCALE



2 LOAM AND SEED

NOT TO SCALE

REVISIONS	
DATE	DESCRIPTION



Kevin M. Alverson
 LANDSCAPE ARCHITECTURE
 360 Annaquatucket Road 401-338-0044
 Wickford, RI 02852 KevinMALversonLA.com

SCALE: NOT TO SCALE

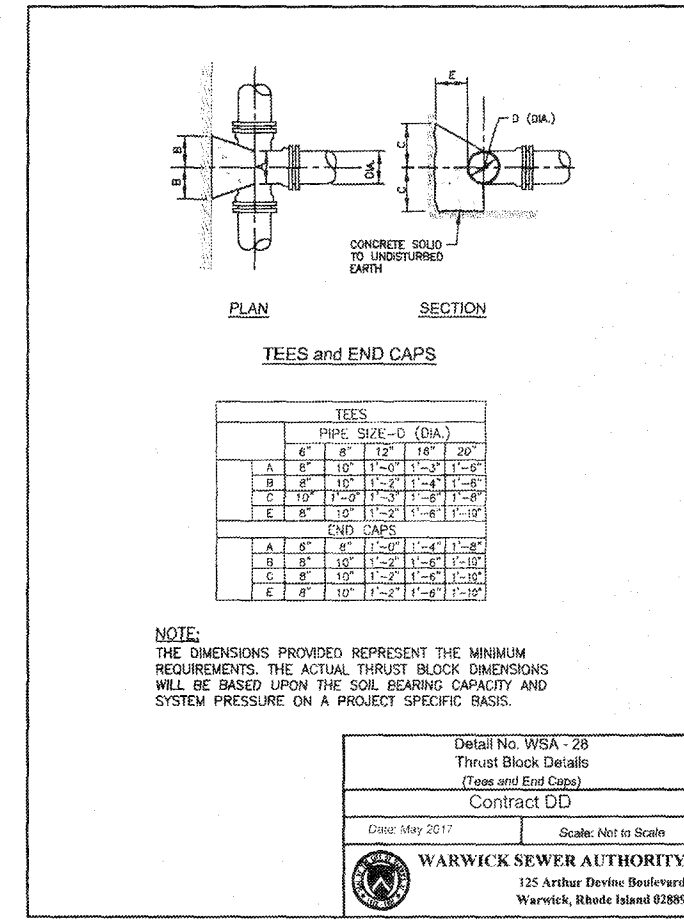
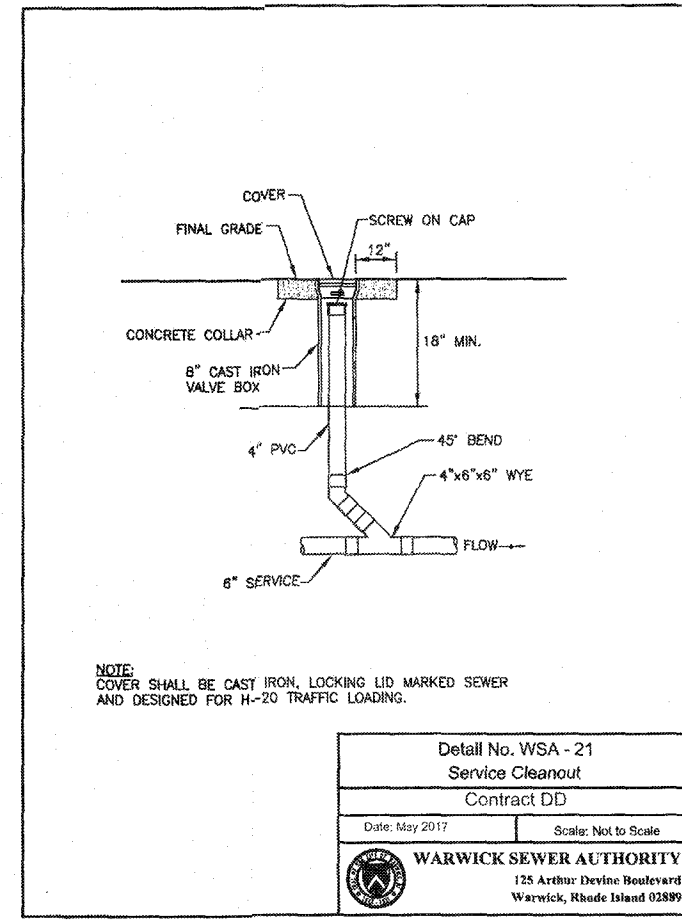
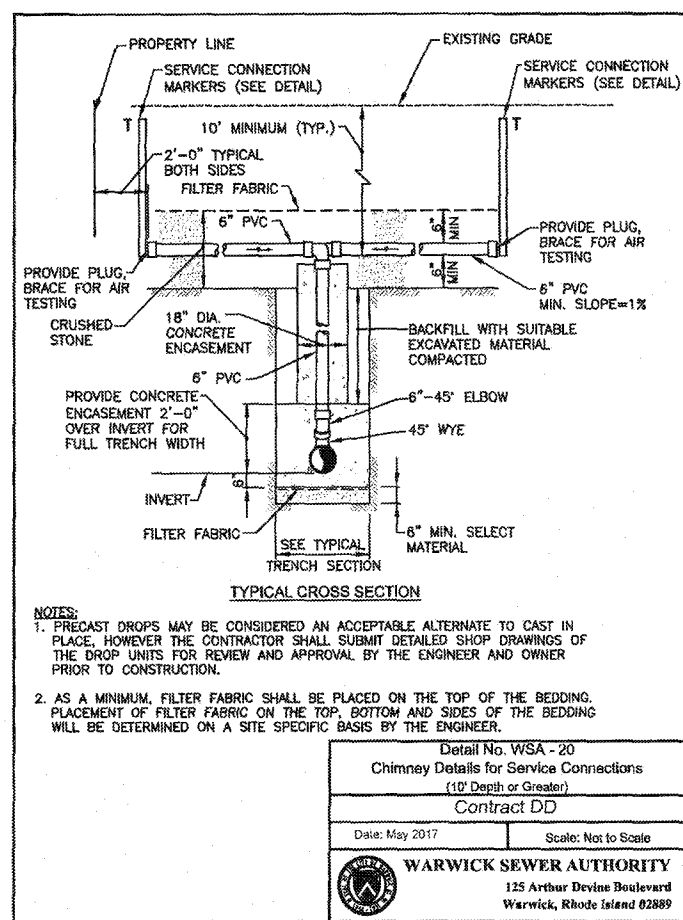
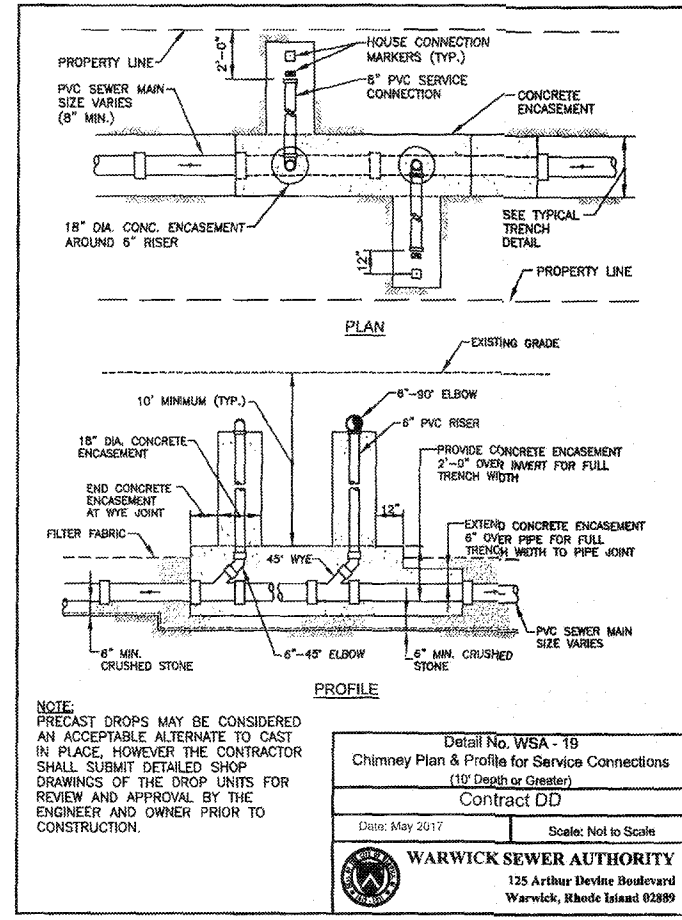
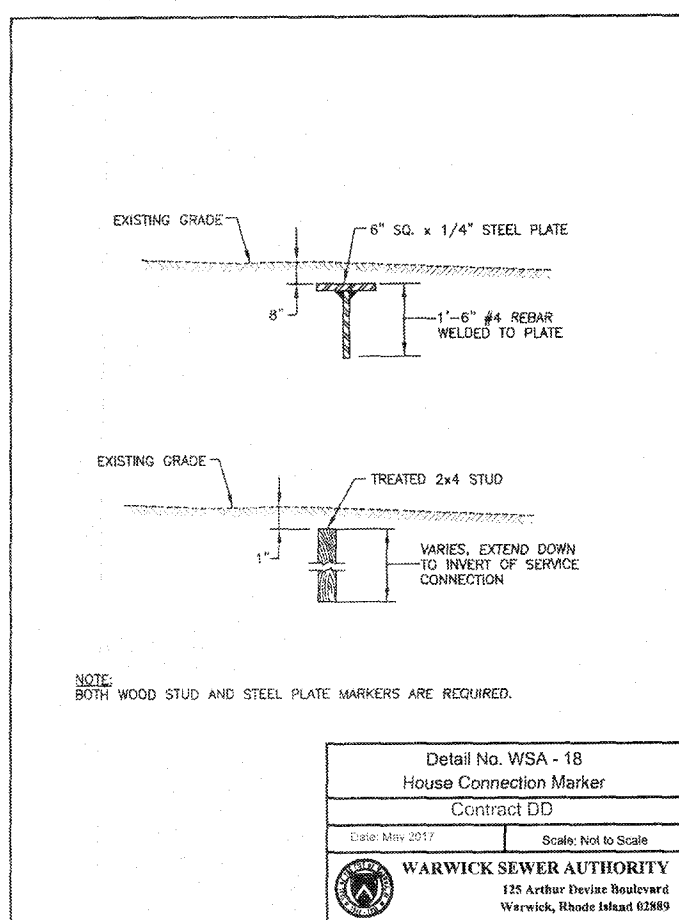
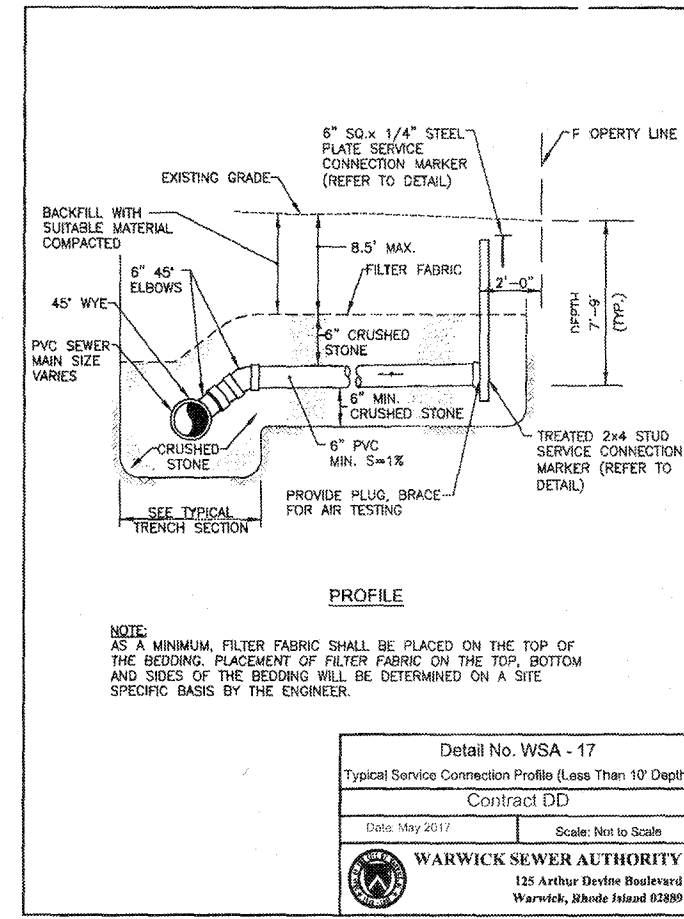
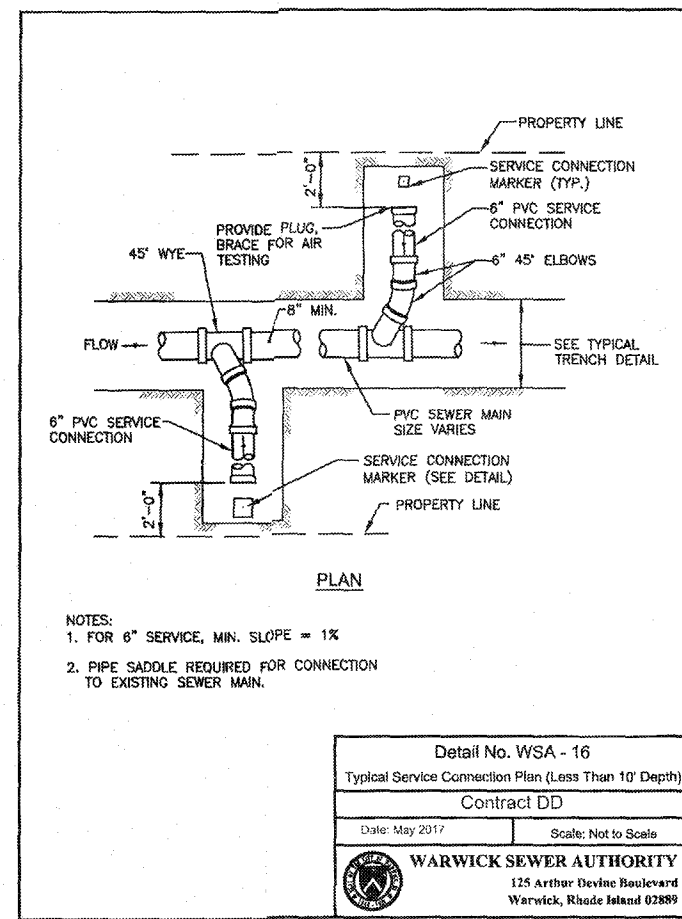
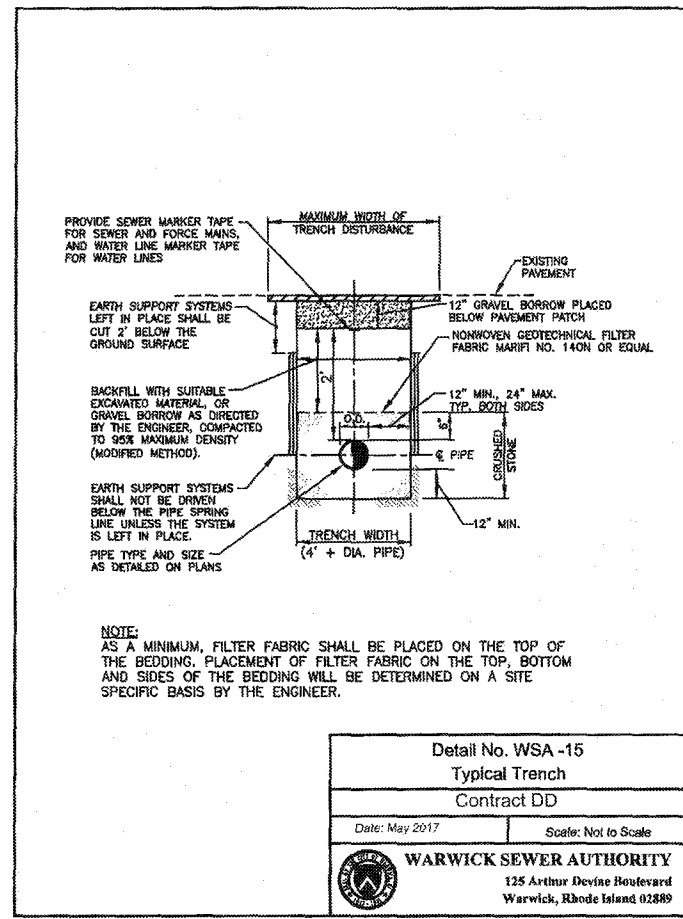
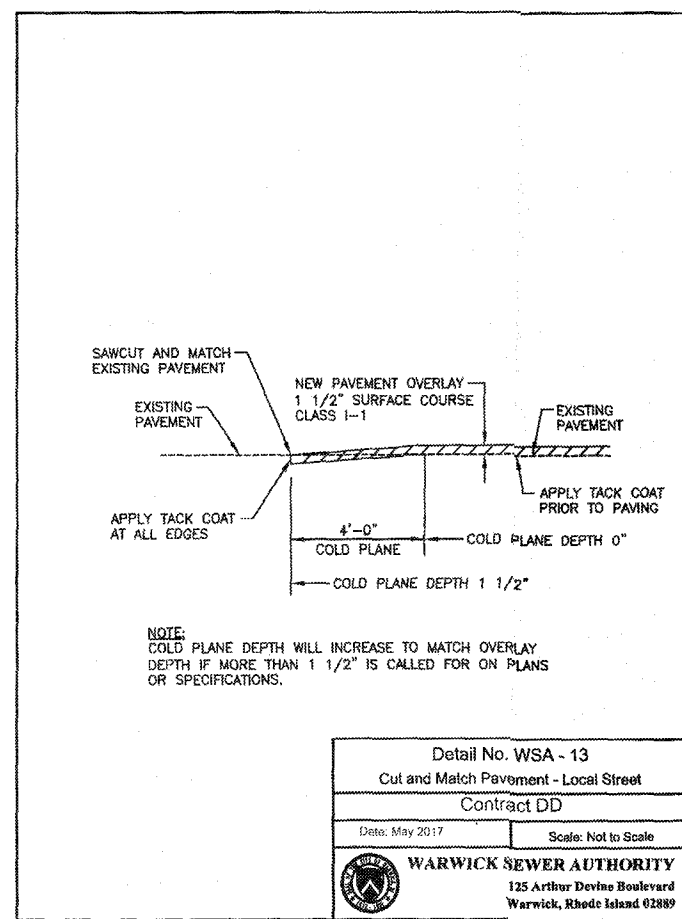
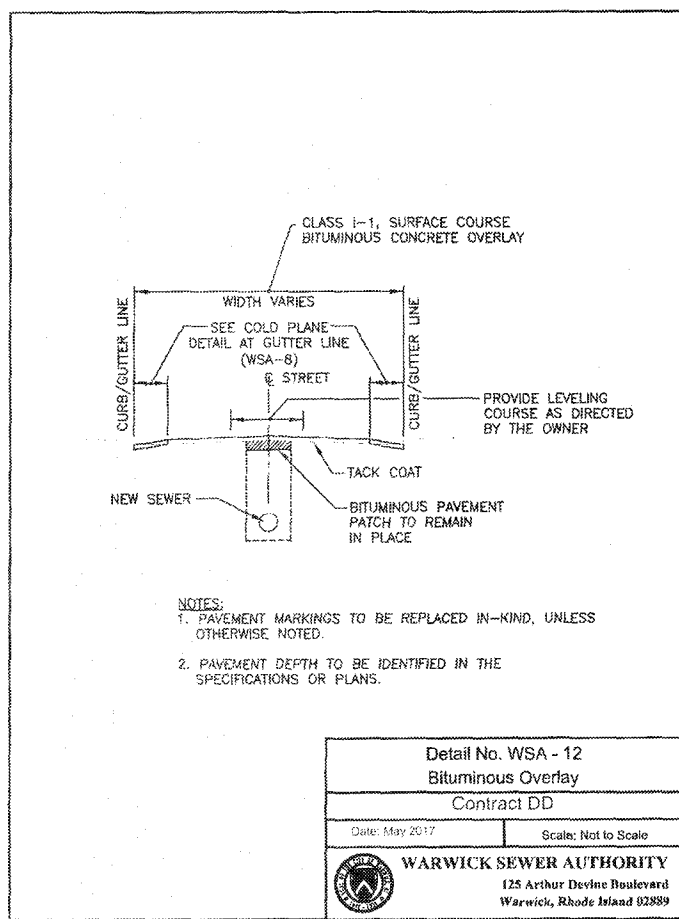


LANDSCAPE PLANTING ONLY

OWNER / APPLICANT:
HOLDEN DEVELOPMENT, LLC
 144 METRO CENTER BOULEVARD
 UNIT F
 WARWICK, RI 02886
 401-640-5757

LANDSCAPE NOTES AND DETAILS
 HOLDEN SCHOOL PLAT
 ASSESSOR'S PLAT 320 / LOT 243
 61 HOXSIE AVENUE
 WARWICK, RHODE ISLAND 02888

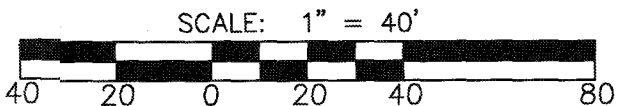
DATE: JANUARY 2024 SHEET: L-2 SHEET: 9 OF 18



REVISIONS	
DATE	DESCRIPTION
JAN 2024	CITY PRELIM SUBMISSION / SHEETS ADDED

WEL Walker Engineering, Ltd.

31 Vale Court Phone / Fax (401) 397-8745
West Greenwich, RI 02817 Email: wel31.pw@gmail.com

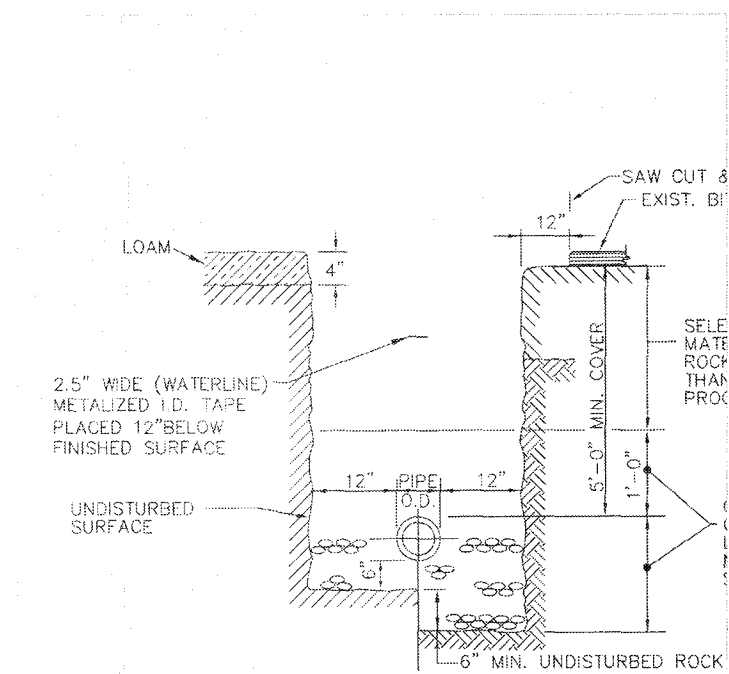


PATRICIA K. WALKER
No. 5331
REGISTERED PROFESSIONAL ENGINEER
1/18/24

OWNER / APPLICANT:
HOLDEN DEVELOPMENT, LLC
144 METRO CENTER BOULEVARD
UNIT F
WARWICK, RI 02886
401-640-5757

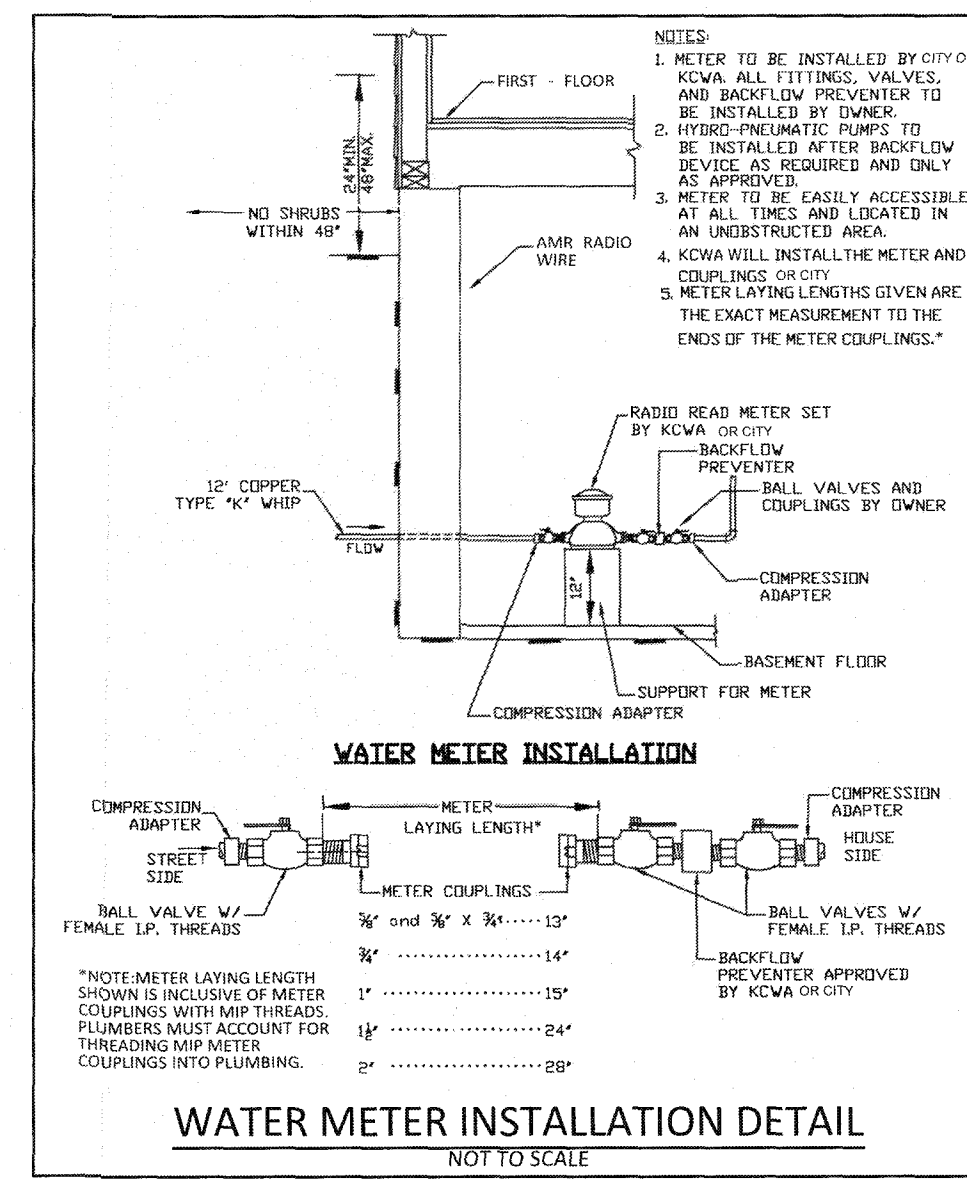
SEWER NOTES & DETAILS NO. 2
HOLDEN SCHOOL PLAT
ASSESSOR'S PLAT 320 / LOT 243
61 HOXSIE AVENUE
WARWICK, RHODE ISLAND 02888

DATE: OCTOBER 2023 SHEET: SND - 2 SHEET 11 OF 18
REVISED JANUARY 2024

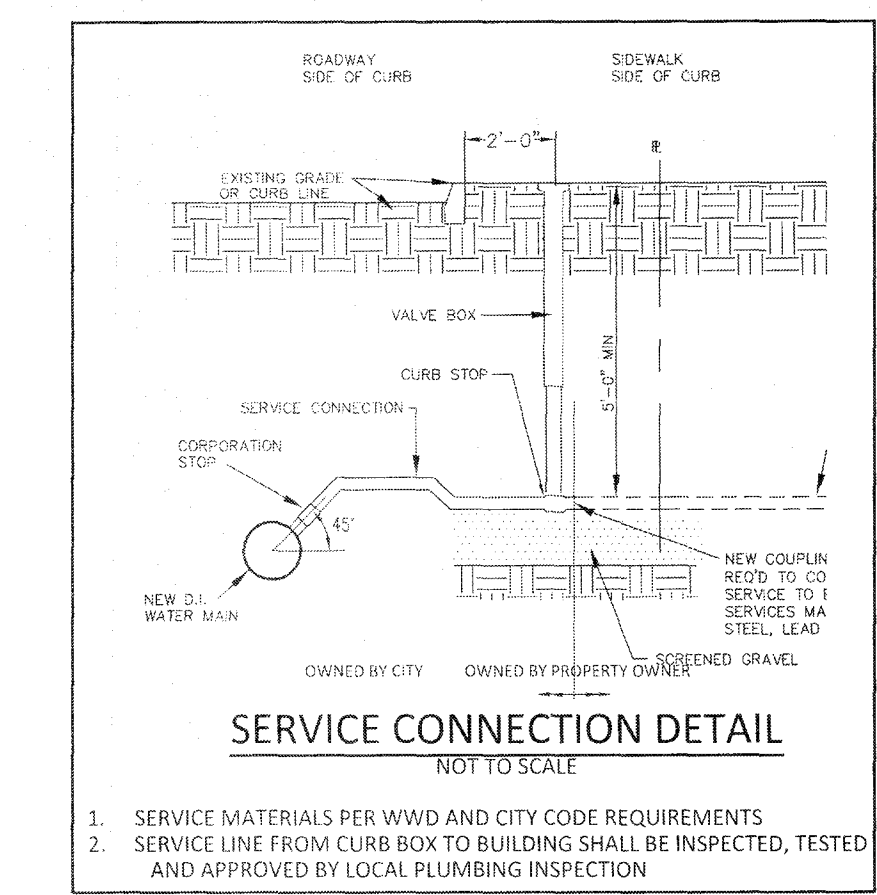


**WATER TRENCH INSTALLATION
IN ROCK AND SOIL DETAIL**
NOT TO SCALE

NOTES:
1. ROADWAY RESTORATION IN ACCORDANCE WITH COM RIDDOT.

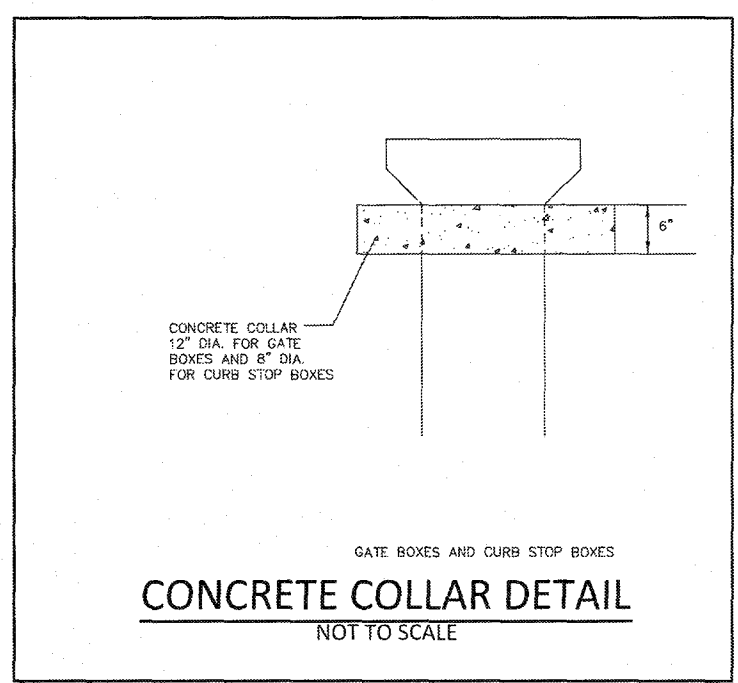


WATER METER INSTALLATION DETAIL
NOT TO SCALE



SERVICE CONNECTION DETAIL
NOT TO SCALE

1. SERVICE MATERIALS PER WWD AND CITY CODE REQUIREMENTS
2. SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY LOCAL PLUMBING INSPECTION



CONCRETE COLLAR DETAIL
NOT TO SCALE

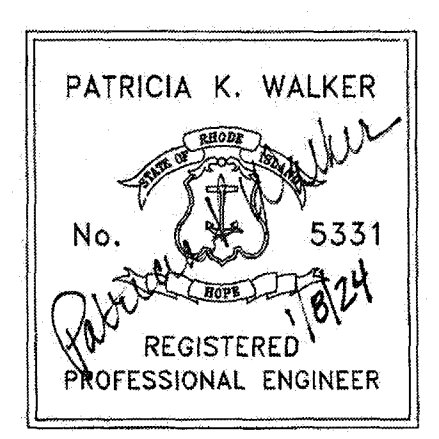
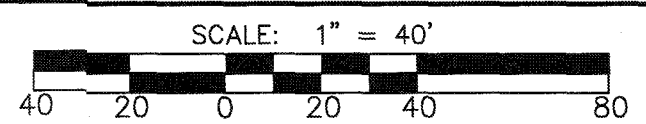
WATER NOTES

1. NEW WATER SERVICE TO BUILDING SHALL BE METERED AND CONSTRUCTED IN ACCORDANCE TO ALL APPLICABLE CITY AND STATE REQUIREMENTS.
2. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND, CITY OF WARWICK AND WARWICK WATER DEPARTMENT (WWD) PRIOR TO COMMENCING ANY WORK.
3. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE WWD AND TOWN/STATE DPW.
4. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE WWD RULES, REGULATIONS, SPECIFICATIONS, AND DETAILS.
5. WATER PIPE SHALL BE WWD APPROVED MATERIAL AND IN ACCORDANCE WITH AWWA STANDARD 1.
6. ALL FITTINGS SHALL BE WWD APPROVED STYLE MECHANICAL JOINT (BY AMERICAN MANUFACTURER ONLY).
7. ALL INSTALLATION, JOINTS, CONSTRUCTION METHODS, AND MATERIALS SHALL BE ACCORDING TO MANUFACTURER'S RECOMMENDATIONS, WWD RECOMMENDATIONS, AWWA STANDARDS, AND GOVERNMENTAL REQUIREMENTS.
8. CONSTRUCTION SHALL INCLUDE ALL PIPE, JOINTS, BENDS, TEES, FITTINGS, THRUST RESTRAINTS, GATE VALVES, GATE BOXES, SERVICE CONNECTIONS AND ALL MISCELLANEOUS ITEMS REQUIRED TO CONSTRUCT THE PROPOSED SYSTEM.
9. THRUST RESTRAINTS SHALL BE INSTALLED IN LOCATIONS INDICATED AND AT ALL BENDS, FITTINGS, PLUGS, ETC.
10. LEAKAGE TESTS AND DISINFECTING PIPES SHALL BE PERFORMED BY THE CONTRACTOR IN CONFORMANCE TO AWWA RECOMMENDATIONS, WWD REQUIREMENTS, AND GOVERNMENTAL AGENCIES HAVING JURISDICTION.
11. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS, SUCH AS GATE VALVE, PIPE, THRUST RESTRAINTS, FITTINGS, CASTINGS, ETC. SHALL BE WWD APPROVED MATERIALS AND METHODS (AT THE TIME OF CONSTRUCTION).
12. WATER LINE TRENCH TO BE AWWA TYPE 5. SAW CUTTING AND MATCHING WILL BE REQUIRED WHERE THE TRENCH IS LOCATED WITHIN EXISTING PAVEMENT. TRENCH PATCHING WILL CONFORM TO RIDOT, TOWN OF WESTERLY, AND WWD REGULATIONS.
13. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND VALIDATIONS OF STANDARDS AND SPECIFICATIONS AS REQUIRED BY WWD.
14. METHODS OF TRENCHING, BEDDING, INSTALLATION, BACKFILLING, TESTING AND CHLORINATING OF WATER FACILITIES SHALL CONFORM TO WWD REQUIREMENTS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTING AS-BUILT PLANS DETAILING LOCATION OF CONNECTIONS, TEES, AND VALVES AS REQUIRED BY AND IN CONFORMANCE WITH WWD REQUIREMENTS AND SHALL BE AT A SCALE IN ACCORDANCE WITH THE WWD RULES AND REGULATIONS. SAID AS-BUILT SHALL BE PREPARED BY A REGISTERED LAND SURVEYOR OR PROFESSIONAL ENGINEER.
16. VALVES TO BE WWD APPROVED TYPES.
17. IN ANY LOCATIONS WHERE THE SEWER LINE IS WITHIN 10 FEET HORIZONTAL AND/OR 18 INCHES VERTICAL OF ANY NEW WATER LINES, THE SEWER LINE SHALL BE SLEEVED OR DUCTILE IRON IN ACCORDANCE WITH WWD RULES, REGULATIONS, AND STANDARDS.
18. RESTRAINING DEVICES SHALL BE UTILIZED ON ALL MAINS UNDER THE FOLLOWING CONDITIONS: PIPELINE DIRECTION CHANGES (TEES, BENDS), VERTICAL AND HORIZONTAL, DEAD END LINES (CAPS OR PLUGS), TRANSITION PIECES (REDUCERS), VALVES ON DEAD END LINES, AND HYDRANTS.
 - A. THRUST BLOCKS SHALL BE CONSTRUCTED FROM CONCRETE 3000 PSI AT 28 DAYS, SIZED ACCORDING TO THE SIZE OF PIPELINE, TYPE OF FITTING, WATER PRESSURE AND THE CHARACTERISTICS OF THE SOIL. BEARING SURFACE SHALL BE AGAINST UNDISTURBED SOLID EARTH FOR THE REQUIRED BEARING AREA. THE CONCRETE SHALL BE PROPERLY FORMED AS TO SLOPE FOR THE GIVEN APPLICATION AND BEARING WIDTH. THE CONCRETE SHALL BE IN CONTACT ONLY WITHIN THE FITTING, NOT WITH THE PIPE ITSELF, FASTENERS OR THE JOINT. CONCRETE CURING TIME SHALL BE A MINIMUM OF 5 DAYS.
 - B. THRUST BLOCKS SHALL BE DESIGNED TO WITHSTAND THE FORCE IMPARTED BY THE HYDRAULIC INFLUENCE ENCOUNTERED WITHIN THE MAIN. MINIMUM 1-1/2 TIMES THE ANTICIPATED WORKING PRESSURE OF THE MAIN, BUT NOT LESS THAN 150 PSI. MAXIMUM LATERAL BEARING CAPACITY SHALL BE 1500 LB/SF.
 - C. STONE, TIMBER, CONCRETE BLOCK OR ANY MATERIALS THAT DETERIORATE ARE STRICTLY FORBIDDEN TO USE AS PERMANENT THRUST BLOCK OR RESTRAINT.
 - D. OPTIONAL THRUST RESTRAINT SHALL BE VIA RESTRAINED JOINT, DUCTILE IRON PIPE MEETING ANSI/ AWWA C151/A21.11 AND ANSI/AWWA C11/A21.11 AND APPROVED BY THE WWD GENERAL MANAGER/CHIEF ENGINEER. RESTRAINED JOINT PIPE LENGTHS (RESTRAINED LENGTH) SHALL BE SUFFICIENT TO RESTRAIN THRUST IMPARTED BY 1-1/2 TIMES THE ANTICIPATED WORKING PRESSURE, BUT NOT LESS THAN 150 PSI WITH A 1.5 FACTOR OF SAFETY.
 - E. THE USE OF TIE RODS MAY BE ALLOWED BY WRITTEN PERMISSION OF THE WWD GENERAL MANAGER/CHIEF ENGINEER. THIS TYPE OF RESTRAINT CONFIGURATION WILL ONLY BE CONSIDERED IN SITUATIONS WHERE APPROVED TYPES OF RESTRAINT SYSTEMS CANNOT BE USED. IF ALLOWED, THEY SHALL BE OF SUFFICIENT STRENGTH TO WITHSTAND FORCES IMPARTED TO THEM. A FACTOR OF SAFETY SHALL BE 2.0 FOR ALL ROD THICKNESS CALCULATIONS. ALL RODS SHALL BE STAINLESS STEEL OR PROTECTED FROM CORROSION WITH TWO COATS OF EPOXY PAINT.
 - F. APPROVED THRUST RESTRAINT SHALL BE BY AN APPROVED STYLE RESTRAINING GLAND SYSTEM UTILIZED IN COMBINATION WITH MECHANICAL JOINT PIPE AND FITTINGS. ALL CALCULATIONS MUST BE CONTAINED IN THE APPLICATION SUBMISSION AND SHALL BE IN CONFORMANCE WITH THE MANUFACTURING REQUIREMENTS FOR LENGTH, FITTING AND TYPE OF RESTRAINT.

REVISIONS	
DATE	DESCRIPTION
JAN 2024	CITY PRELIM SUBMISSION / SHEETS ADDED

WEL Walker Engineering, Ltd.

31 Vale Court Phone / Fax (401) 397-8745
West Greenwich, RI 02817 Email: wel31.pw@gmail.com

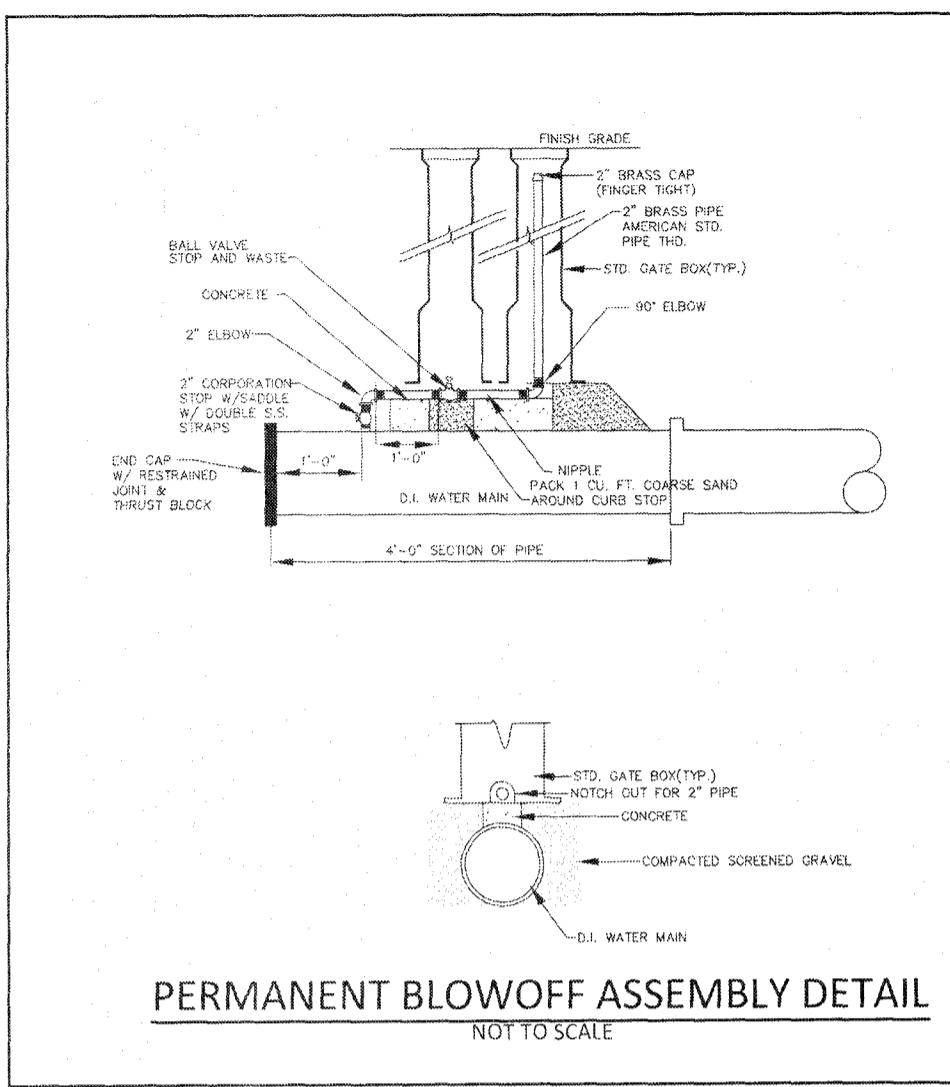


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WARWICK, RI 02886
401-640-5757

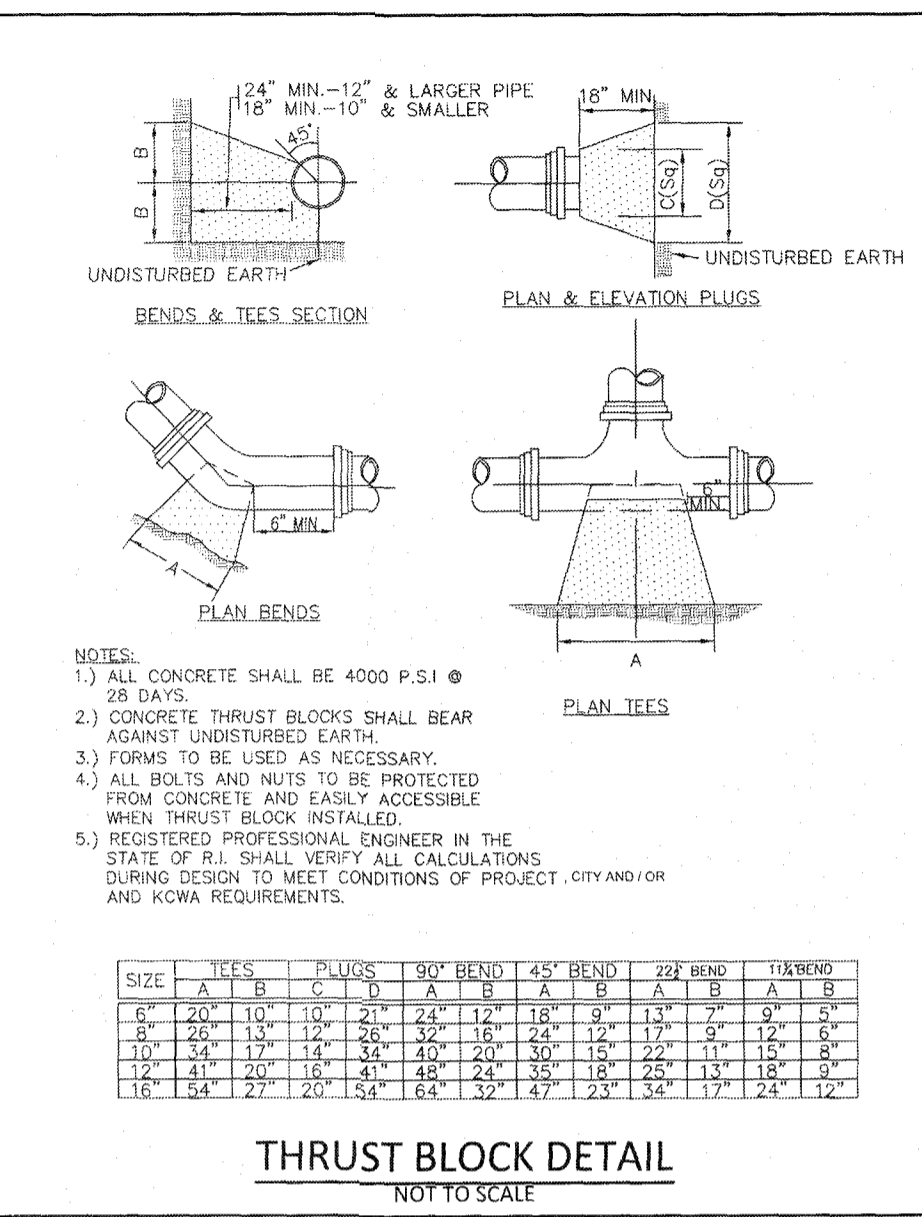
WATER NOTES & DETAILS NO. 1
HOLDEN SCHOOL PLAT
ASSESSOR'S PLAT 320 / LOT 243
61 HOXSIE AVENUE
WARWICK, RHODE ISLAND 02888

DATE: OCTOBER 2023
REVISED JANUARY 2024

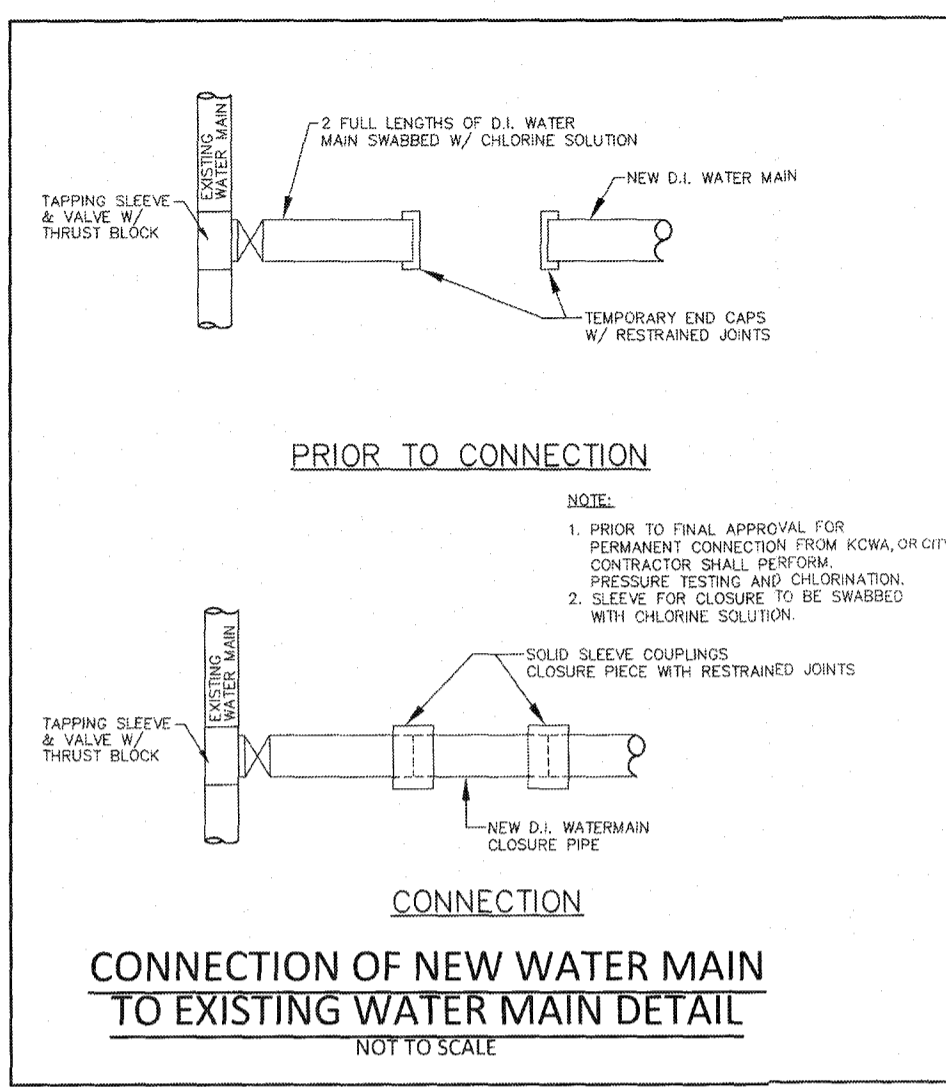
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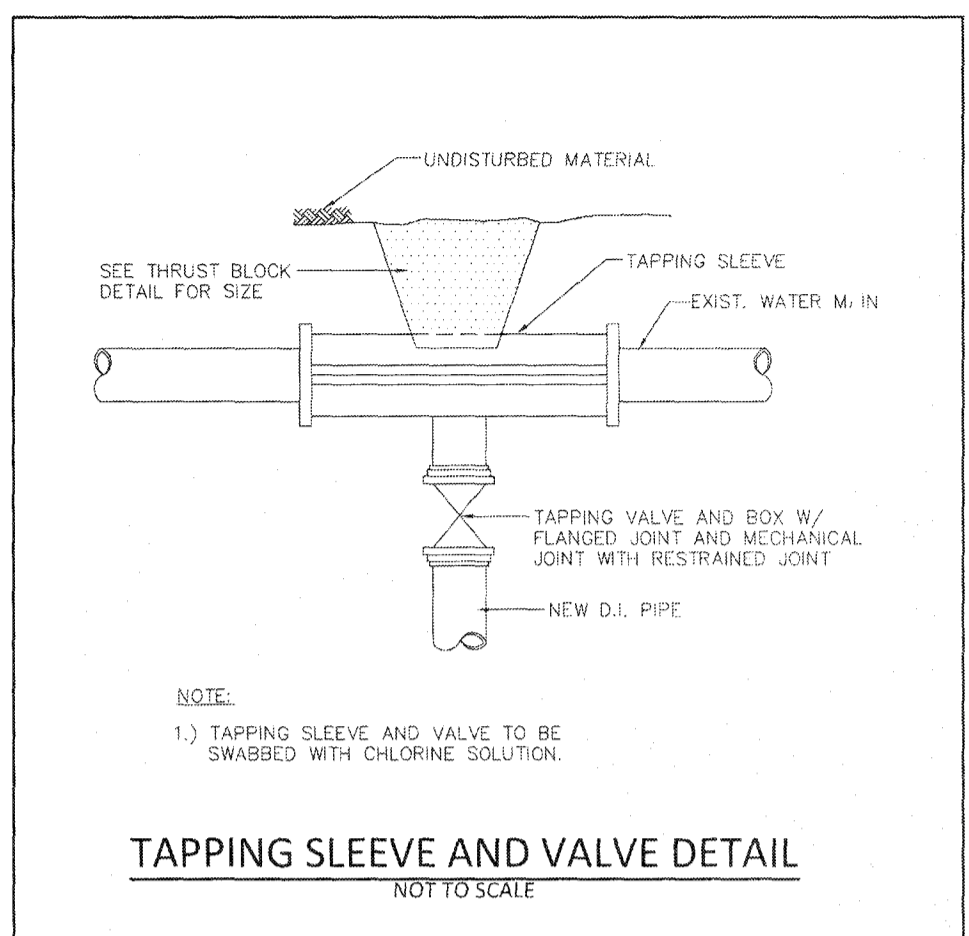
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NOT TO SCALE



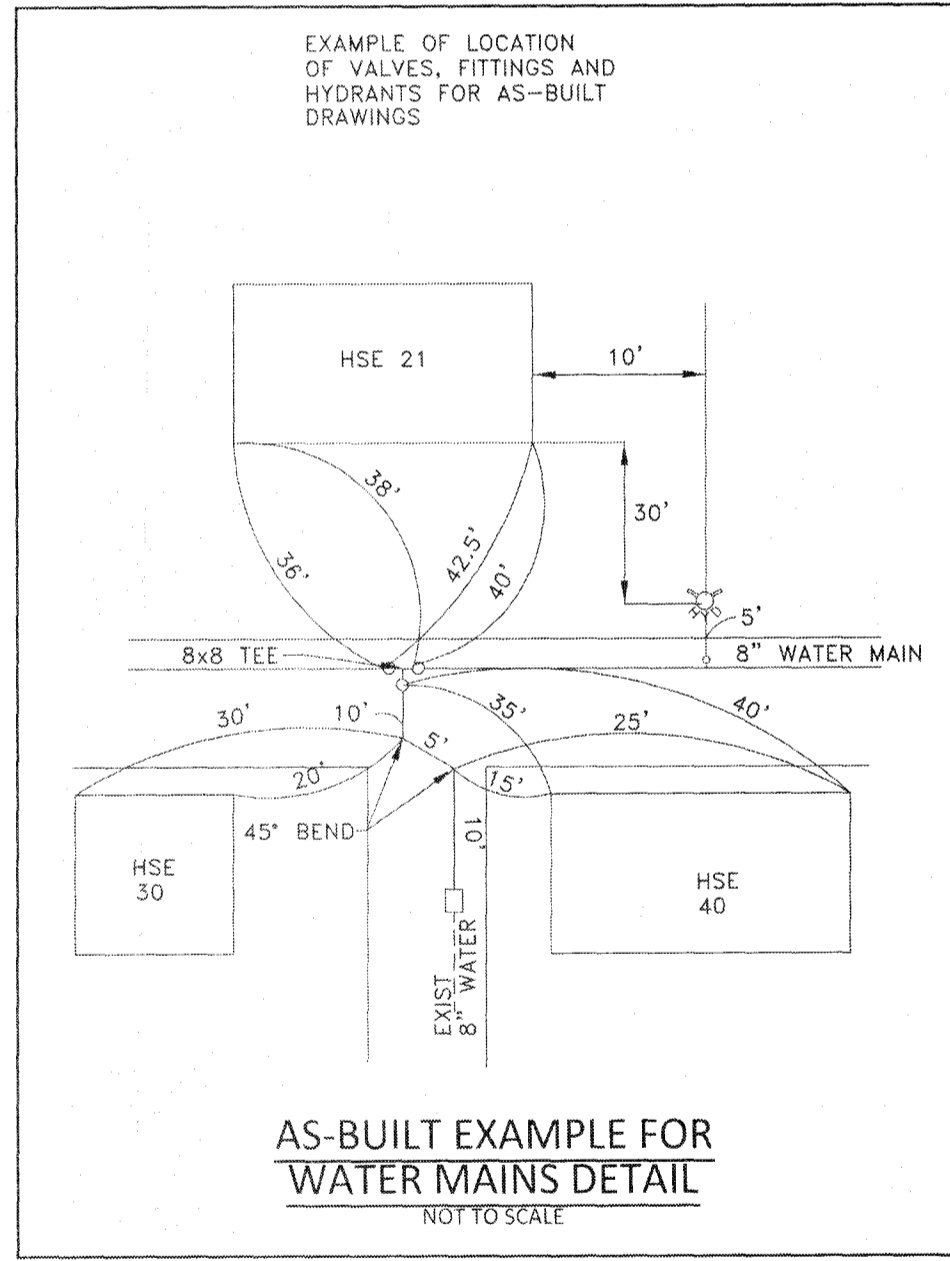
THRUST BLOCK DETAIL
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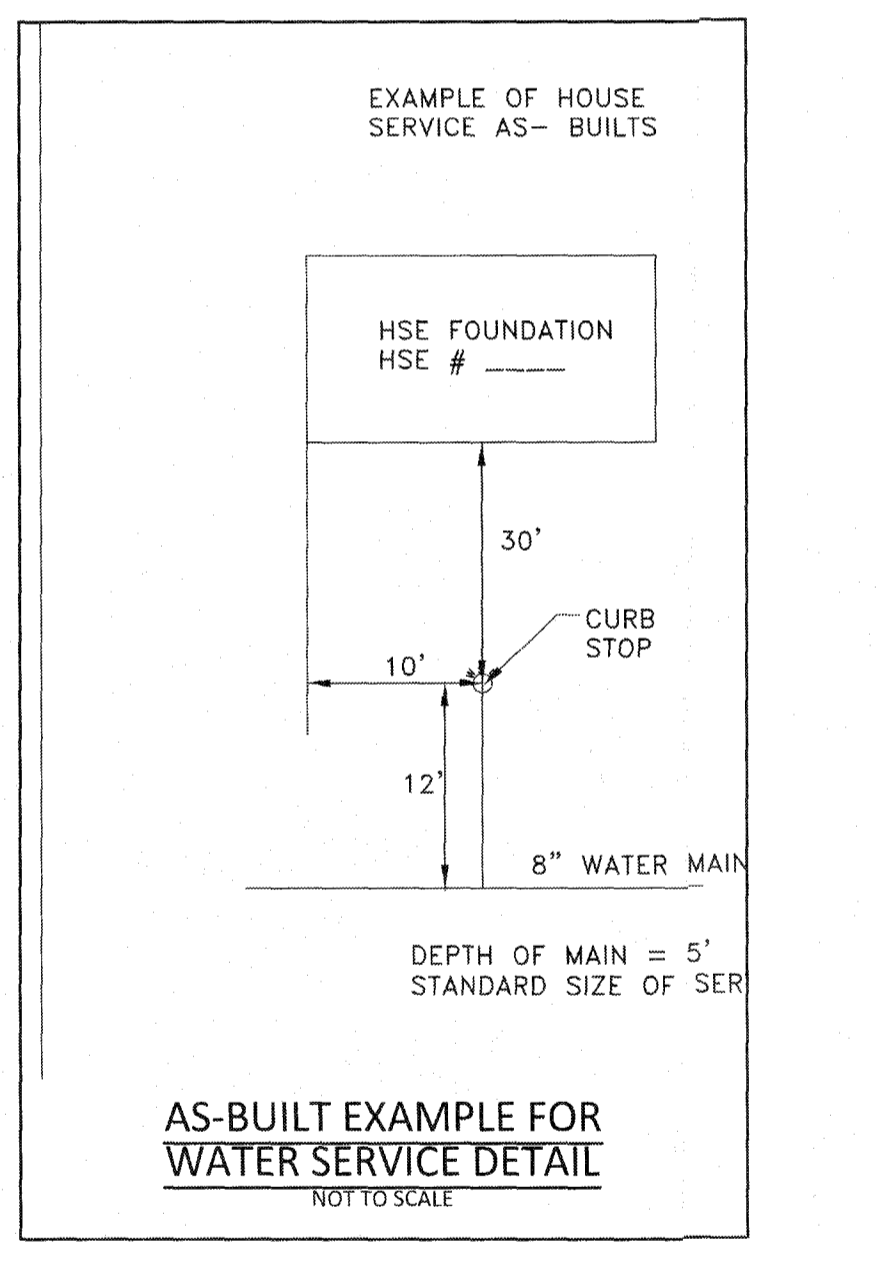
CONNECTION OF NEW WATER MAIN TO EXISTING WATER MAIN DETAIL
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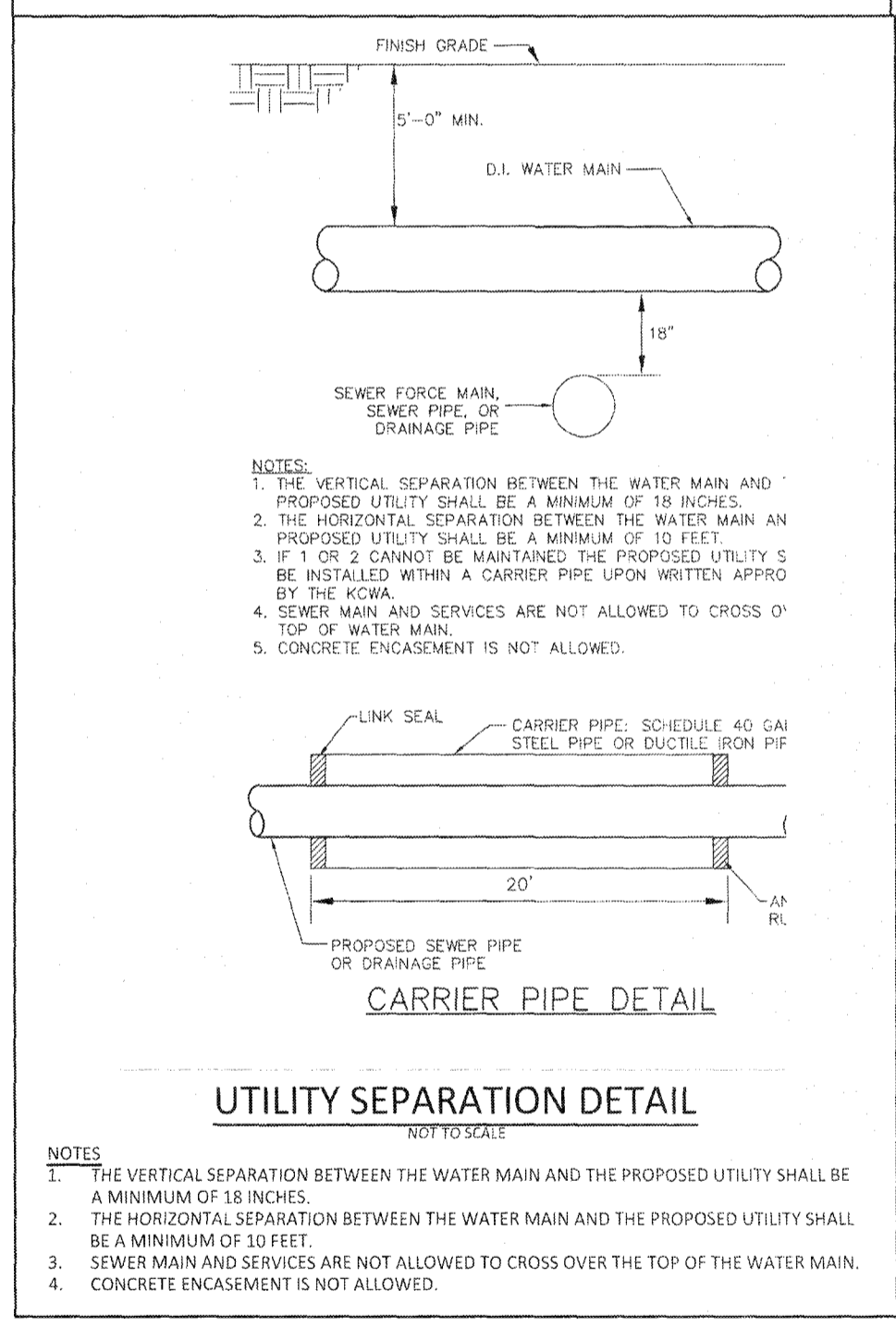
TAPPING SLEEVE AND VALVE DETAIL
NOT TO SCALE



AS-BUILT EXAMPLE FOR WATER MAINS DETAIL
NOT TO SCALE



AS-BUILT EXAMPLE FOR WATER SERVICE DETAIL
NOT TO SCALE



UTILITY SEPARATION DETAIL
NOT TO SCALE

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DATE	DESCRIPTION
JAN 2024	CITY PRELIM SUBMISSION / SHEETS ADDED

WEL Walker Engineering, Ltd.

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SCALE: 1" = 40'

PATRICIA K. WALKER

REGISTERED PROFESSIONAL ENGINEER

OWNER / APPLICANT:
HOLDEN DEVELOPMENT, LLC
144 METRO CENTER BOULEVARD UNIT F
WARWICK, RI 02886
401-640-5757

WATER NOTES & DETAILS NO. 2
HOLDEN SCHOOL PLAT
ASSESSOR'S PLAT 320 / LOT 243
61 HOXSIE AVENUE
WARWICK, RHODE ISLAND 02888

DATE: OCTOBER 2023
REVISED JANUARY 2024

SHEET: WND - 2 SHEET 13 OF 18

PHASING AND GENERAL CONSTRUCTION SEQUENCE

IN ORDER TO FURTHER MINIMIZE SEDIMENT LOSS ON THE SITE, A GENERAL CONSTRUCTION SEQUENCE PLAN HAS BEEN DEVELOPED.

1. PRIOR TO CONDUCTING WORK ASSOCIATED WITH THIS PROJECT, THE CONTRACTOR SHALL BE REQUIRED TO OBTAIN ALL COPIES OF PERMIT APPLICATIONS AND APPROVALS THAT OUTLINE CONDITIONS GOVERNING THE PROPOSED WORK. THE CONTRACTOR WILL ALSO REVIEW THE DRAWINGS PREPARED FOR THE PROJECT.
2. THE CONTRACTOR WILL PLACE ALL EROSION AND SEDIMENTATION CONTROL SYSTEMS IN ACCORDANCE WITH THE DRAWINGS, OR AS MAY BE DICTATED BY SITE CONDITIONS, IN ORDER TO MAINTAIN THE INTENT OF THE SPECIFICATIONS AND PERMITS. DEFICIENCIES OR CHANGES ON THE DRAWINGS SHALL BE CORRECTED OR IMPLEMENTED AS SITE CONDITIONS CHANGE. CHANGES DURING CONSTRUCTION SHALL BE NOTED AND POSTED ON THE DRAWINGS (SITE PLANS).
3. THE INTENT IS TO DIRECT ALL WATER FROM DISTURBED AREAS THROUGH A SEDIMENTATION CONTROL PRIOR TO DISCHARGING TO RECEIVING DRAINAGE AREAS OR TO OFF-SITE WETLANDS. THERE SHALL BE NO DISCHARGE OF UNTREATED CONSTRUCTION RUNOFF FROM THIS SITE. THE CONTRACTOR SHALL CREATE SUFFICIENT HOLDING CAPACITY WITHIN THE TEMPORARY SEDIMENTATION BASINS TO HOLD ALL UNTREATED SITE RUNOFF.
4. THE CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION AND SEDIMENTATION CONTROL SYSTEMS AS DICTATED BY SITE CONDITIONS, INDICATED IN THE CONSTRUCTION DOCUMENTS, OR AS DIRECTED BY GOVERNING AUTHORITIES OR OWNER TO CONTROL SEDIMENT UNTIL FINAL STABILIZATION.
5. THE CONTRACTOR SHALL RESPOND TO ANY MAINTENANCE OR ADDITIONAL WORK ORDERED BY OWNER OR GOVERNING AUTHORITIES IMMEDIATELY IF REQUIRED, AND ALWAYS WITHIN 7 DAYS.
6. THE CONTRACTOR SHALL INCORPORATE PERMANENT EROSION CONTROL FEATURES, PERMANENT SLOPE STABILIZATION, AND VEGETATION INTO THE PROJECT PLANS AT THE EARLIEST PRACTICAL TIME TO MINIMIZE THE NEED FOR TEMPORARY CONTROLS.
7. THE CONTRACTOR SHALL STABILIZE ALL DISTURBED AREAS WITHIN 7 CALENDAR DAYS. IN THE EVENT THAT IT IS NOT PRACTICAL TO SEED AREAS, SLOPES MUST BE STABILIZED WITH GEOTEXTILE FABRIC OR OTHER MEANS TO REDUCE THE EROSION POTENTIAL OF THE AREA.

GENERAL LANDSCAPE NOTES

1. THE CONTRACTOR SHALL LAY OUT ALL WORK. THE CONTRACTOR SHALL STAKE OUT ALL LOCATIONS OF ALL ROADWAYS, DRIVEWAYS, WALKS, DRAINAGE MEASURES, BUILDINGS, AND RELATED SITE IMPROVEMENTS FOR APPROVAL BY THE ENGINEER OR SITE LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL MAKE ADJUSTMENTS TO THE ALIGNMENT, GRADE, ETC. AS DIRECTED IN THE FIELD AS WARRANTED.
2. ALL WORK SHALL BE BASED UPON THE USE OF SPECIFIC MATERIALS AS INDICATED ON THE PLANS OR AS MAY BE REQUIRED BY LOCAL AND STATE PLANTING MEASURES. NO SUBSTITUTION SHALL BE MADE WITHOUT PRIOR APPROVAL OF THE OWNER AND/OR DEVELOPER.
3. ALL PLANT MATERIAL AND LANDSCAPE IMPROVEMENTS SHALL CARRY A ONE (1) YEAR GUARANTEE. ALL PLANT MATERIAL SHALL MEET AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AS TO GRADING AND QUALITY.
4. MULCH ALL PLANTINGS (EXCLUDING GROUND COVER AND PERENNIAL BEDS) WITH 3" DARK BROWN, FINE SHREDDED PINE BARK MULCH. GROUND COVER AND PERENNIAL BEDS SHALL BE PREPARED TO A DEPTH OF 12" MINIMUM WITH A LOAM/COMPOST MIX.
5. EXISTING BOULDERS MAY BE USED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT. NO BOULDER RETAINING WALL SHALL EXCEED A 3-FOOT MAXIMUM HEIGHT.
6. ALL LAWN AREAS SHALL BE PREPARED TO A DEPTH OF 6" (MIN.) WITH SCREENED LOAM.
7. ALL WORK SHALL BE EXECUTED IN A THOROUGH AND WORKMANLIKE MANNER IN ACCORDANCE TO STATE AND LOCAL CODES TO THE SATISFACTION OF THE OWNER.
8. SEEDING SHALL BE DONE IN ACCORDANCE WITH SECTION L.02.03 OF THE RI STANDARD SPECIFICATIONS AND ONLY DURING THE FOLLOWING DATES: MARCH 15 - MAY 31 AND / OR AUGUST 15 - OCTOBER 15
9. LANDSCAPE DESIGN SHALL SUPERCEDE ANY NOTES CONTAINED HEREIN SHOULD THERE BE ANY DISCREPANCIES

ORDER OF PROCEDURE

1. PRIOR TO COMMENCING OPERATIONS, THE APPROVED LIMITS OF DISTURBANCE (VEGETATIVE CLEARING AND SOIL DISTURBANCE) SHALL BE LOCATED AND FLAGGED IN THE FIELD BY THE PROJECT SURVEYOR. SAID FLAGGING SHALL BE TEMPORARY, HIGH-VISIBILITY MARKINGS.
2. PRIOR TO COMMENCING OPERATIONS, EROSION CONTROLS SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS AND WETLAND AREAS.
3. ALL SEDIMENTATION BARRIERS SHALL BE PROPERLY INSTALLED, AS APPLICABLE AND AS SHOWN ON THE PLANS AND AS MAY BE REQUIRED IN THE FIELD.
4. A CONTINUOUS SEDIMENTATION BARRIER SHALL BE INSTALLED WITHIN THE APPROVED LIMITS OF DISTURBANCE AS SHOWN ON THE PLANS PRIOR TO ANY SITE GRADING OR SOIL DISTURBANCE ACTIVITIES.
5. PRIOR TO GENERAL BUILDING CONSTRUCTION, TEMPORARY SEDIMENTATION BASINS SHALL BE CONSTRUCTED AS MAY BE REQUIRED TO RECEIVE AND CONTAIN CONSTRUCTION STORMWATER RUNOFF. SAID SEDIMENTATION BASINS SHALL BE CONSTRUCTED OUTSIDE OF ANY WETLAND OR ASSOCIATED PERIMETERS AS SITE CONDITIONS WARRANT.
6. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
7. DURING CONSTRUCTION PHASE, SITE STABILIZATION ACTIVITIES INCLUDING SEEDING AND EROSION & SEDIMENTATION CONTROL REPLACEMENT SHALL BE INITIATED ON SEPTEMBER 1 OF THE YEAR IN PREPARATION FOR SITE OVER WINTER PERIOD.
8. IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
9. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
10. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
11. TEMPORARY EROSION AND SEDIMENTATION CONTROLS AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

GENERAL NOTES

1. IT SHALL BE THE CONTRACTOR'S AND/OR OWNER'S SOLE RESPONSIBILITY TO OBTAIN ANY AND ALL PERMITS REQUIRED BY THE STATE OF RHODE ISLAND AND CITY OF WARWICK PRIOR TO COMMENCING ANY WORK.
2. THE CONTRACTOR SHALL COORDINATE ALL WORK WITH THE CITY PUBLIC WORKS AND ENGINEERING DEPARTMENTS.
3. IN ALL EXCAVATION AND PLACEMENT OF FILL, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RI STANDARD SPECIFICATIONS.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ANY AND ALL UNDERGROUND UTILITIES BEFORE EXCAVATION BEGINS BY CONTACTING "DIG SAFE" AND THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY TOWN, STATE, OR FEDERAL AGENCY THAT MAY BE APPLICABLE. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY.
5. THE CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY COMPANIES. ALL WORK, MATERIALS, AND CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY.
6. ALL WORK, MATERIALS, ETC. WILL BE IN ACCORDANCE WITH THE STATE OF RHODE ISLAND AND CITY OF WARWICK RULES, REGULATIONS, SPECIFICATIONS AND DETAILS.
7. ALL DISTURBED AREAS ARE TO BE PROTECTED AGAINST EROSION AND/OR SEDIMENTATION.
8. PROPOSED ROADWAY SHALL CONFORM TO RIDOT AND CITY OF WARWICK STANDARDS AND REQUIREMENTS.
9. PERIMETER CONDITIONS AND DRAINAGE PATTERNS SHALL REMAIN UNCHANGED.
10. EMBANKMENT SLOPES ARE NOT TO EXCEED 3:1 AND SHALL BE FULLY COMPACTED TO PROVIDE A STABLE PRODUCT.
11. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
12. EROSION AND SEDIMENTATION CONTROLS SHALL BE PLACED ALONG THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.
13. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE.
14. EXISTING BOULDERS MAY BE USED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT. NO BOULDER RETAINING WALL SHALL EXCEED A 3-FOOT MAXIMUM HEIGHT.

LIMITS OF DISTURBANCE NOTES:

1. PROPOSED LIMITS OF DISTURBANCE (LOD) SHOWN ILLUSTRATES AREA OF IMPACT OF CONSTRUCTION.
2. THE CONTINUOUS LINE OF EROSION CONTROLS (HAYBALES & SILT FENCE, RI STD. 9.3.0, COMPOST SOCKS OR STRAW WATTLES OR APPROVED EQUAL) SHALL BE LOCATED WITHIN THE LOD AS SITE CONDITIONS WARRANT AND AS SHOWN ON THE PLANS ON THE DOWNHILL SIDE OF THE LOD. ADDITIONAL EROSION CONTROLS SHALL BE INSTALLED AS SITE CONDITIONS WARRANT.
3. EXISTING VEGETATION WITHIN THE LOD SHALL BE MAINTAINED AND PROTECTED TO THE GREATEST EXTENT POSSIBLE DURING CONSTRUCTION.
4. AREAS DISTURBED DURING CONSTRUCTION, EXCLUDING THE DRIVES, STRUCTURES, AND DRAINAGE MEASURES SHALL BE LANDSCAPED PER LANDSCAPE DESIGN AND AT A MINIMUM BE LOAM & SEEDED.
5. ALL EROSION CONTROLS SHALL BE INSTALLED PRIOR TO CONSTRUCTION AND MAINTAINED UNTIL STABLE GROUND COVER IS ESTABLISHED
6. NO BOULDERS OR STUMPS SHALL BE BURIED ON SITE. EXISTING BOULDERS MAY BE UTILIZED FOR LANDSCAPING PURPOSES AS SITE CONDITIONS WARRANT.

TREATMENT OF EXISTING CONDITIONS

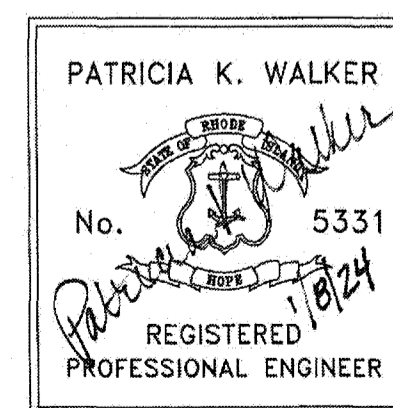
1. EXISTING VEGETATION SHALL BE PRESERVED TO THE GREATEST EXTENT POSSIBLE ALONG THE PERIMETER OF THE PROPERTY AND WITHIN THE LIMITS OF DISTURBANCE
2. VEGETATION SHALL BE SUPPLEMENTED WHERE SITE CONDITIONS WARRANT BY PROPOSED LANDSCAPING TO ENSURE ADEQUATE SCREENING BUFFERS ARE PROVIDED IN ACCORDANCE WITH STATE AND CITY REQUIREMENTS.
3. LANDSCAPING DESIGN PREPARED BY OTHERS SHALL ENSURE THE CITY'S LANDSCAPING REQUIREMENTS HAVE BEEN MET.

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W^EL Walker Engineering, Ltd.

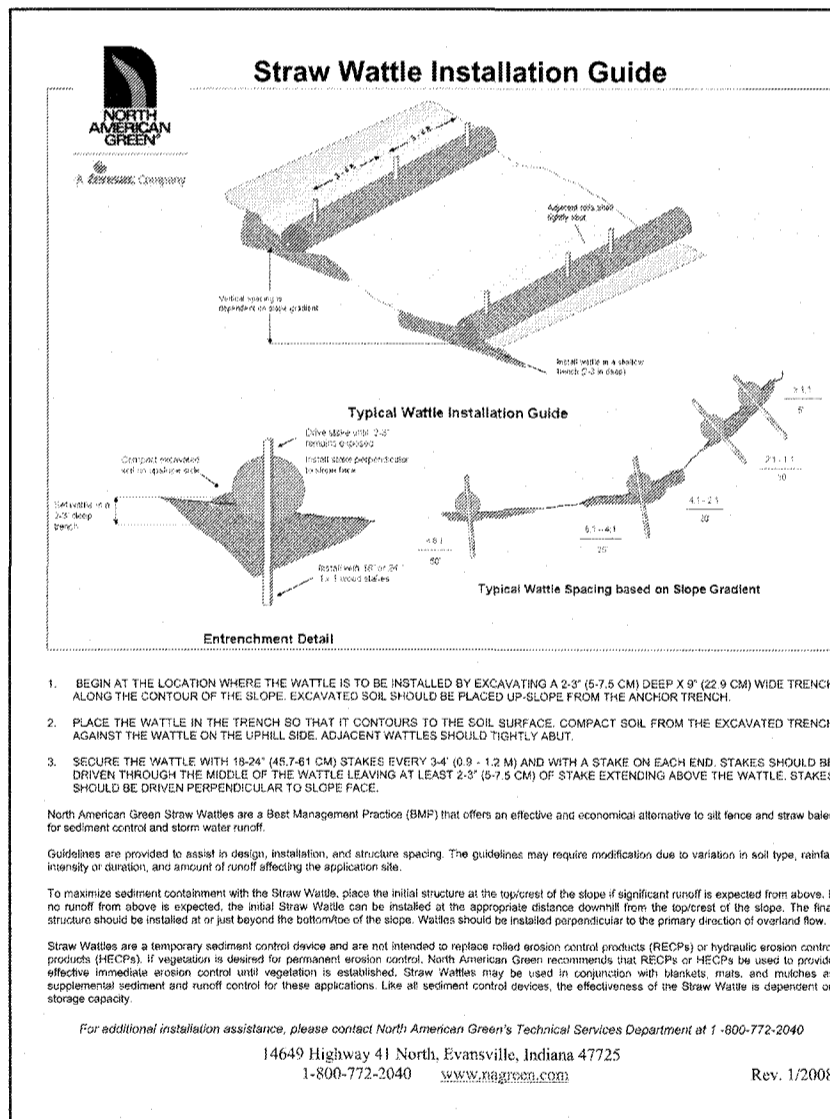
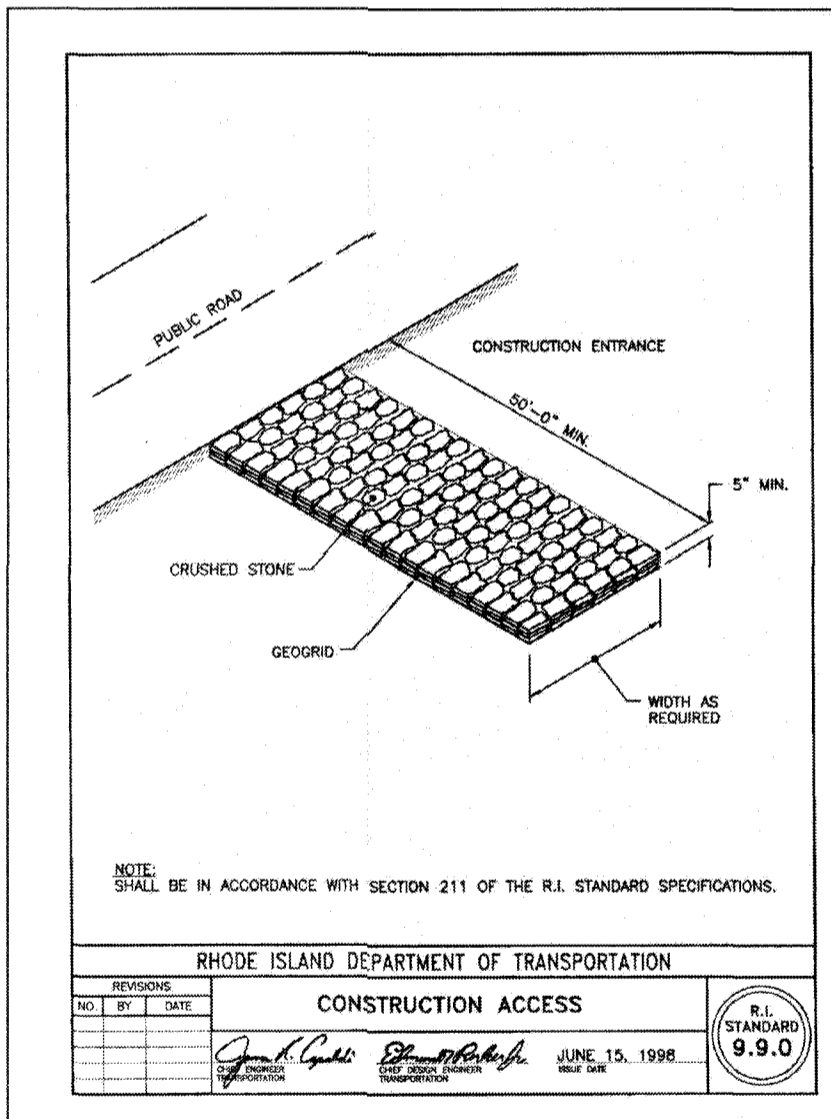
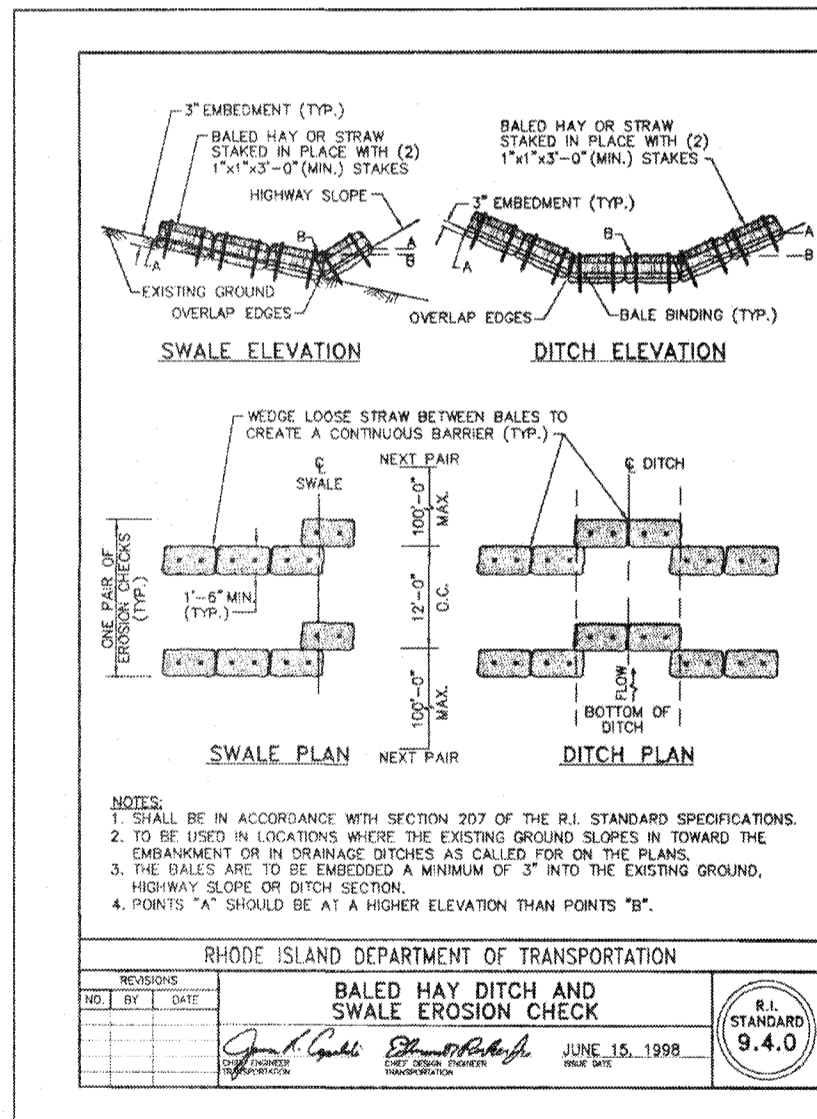
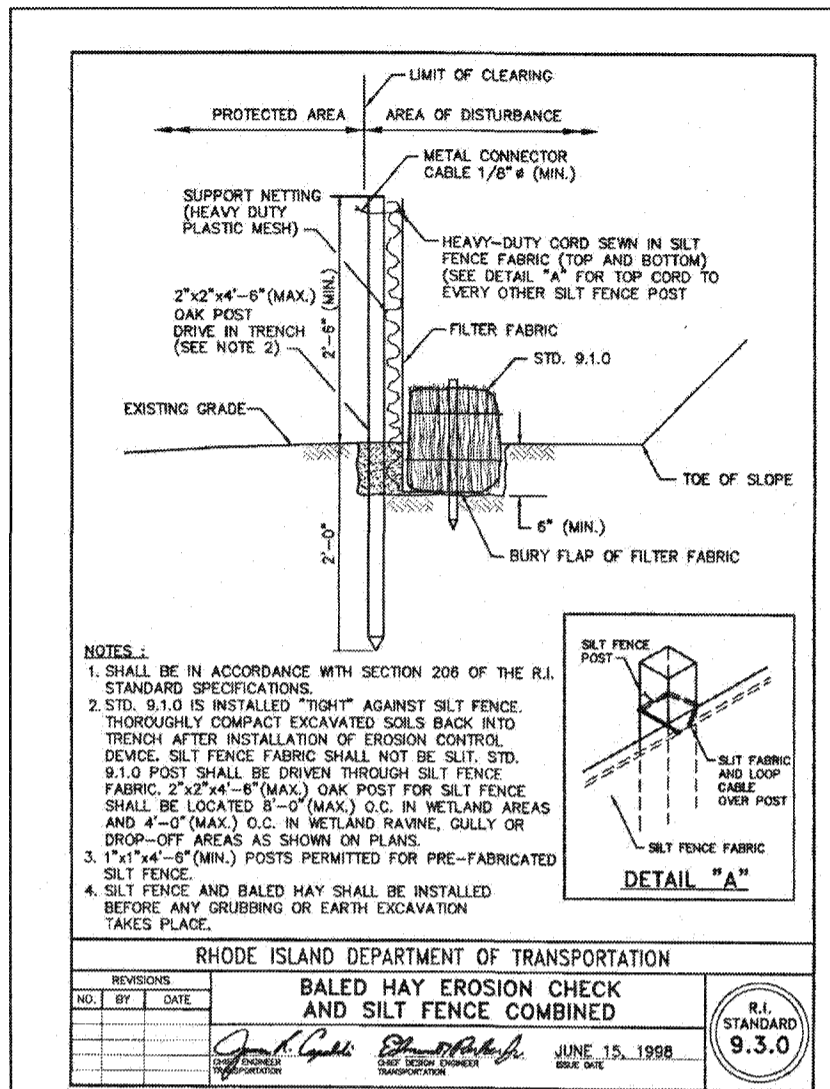
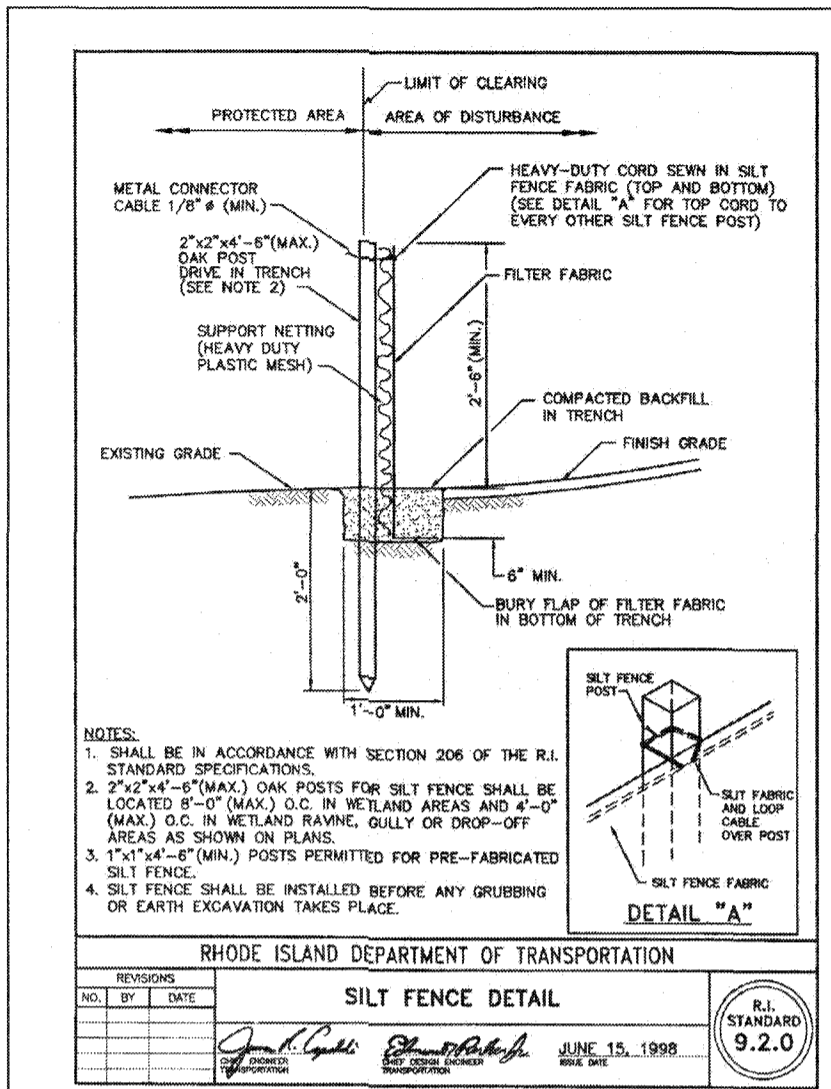
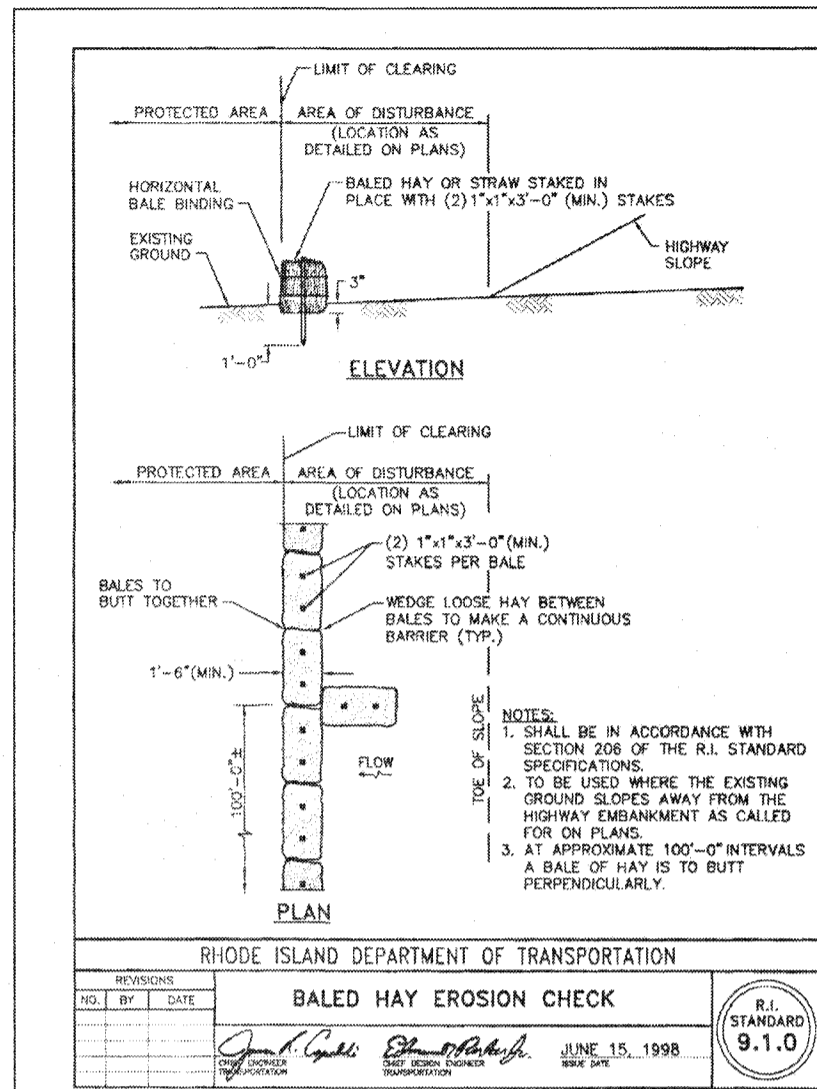
31 Vale Court Phone / Fax (401) 397-8745
West Greenwich, RI 02817 Email: wel31.pw@gmail.com

SCALE: 1" = 40'



OWNER / APPLICANT:
HOLDEN DEVELOPMENT, LLC
144 METRO CENTER BOULEVARD
UNIT F
WARWICK, RI 02886
401-640-5757

NOTES & DETAILS NO. 1
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CONCRETE TRUCK WASHOUT AREA DETAIL & NOTES

NOT TO SCALE

CONCRETE TRUCK WASHOUT AREA NOTES:

- LOCATIONS OF CONCRETE TRUCK WASHOUT AREAS SHALL BE INSTALLED ON SITE AS CONSTRUCTION PROGRESS WARRANTS
- PREPARE GROUND AREA AND REMOVE ANY DEBRIS OR MATERIALS. GROUND SHOULD BE CLEARED AND LEVELED.
- INSTALL HAY BALES, RI STD. 9.1.0 AROUND ENTIRE WASHOUT AREA
- INSTALL THICK POLYETHYLENE LINER (MIN 6ML THICKNESS) ON GROUND AND OVER AND AROUND HAY BALES.
- STAKE LINER IN PLACE TO ENSURE ITS PLACEMENT AND STABILITY
- LINER TO BE INSPECTED TO ENSURE ITS INTEGRITY
- LINER TO BE REPLACED AS CONDITIONS WARRANT THROUGHOUT CONCRETE POURING OPERATIONS ON SITE.
- LINER TO BE REMOVE AND DISPOSED OF OFF-SITE IN AN APPROPRIATE LOCATION AND MANNER
- UPON COMPLETION, THE WASHOUT AREA SHALL BE INSPECTED AND ANY OVERSPILL SHALL BE REMOVED OF OFF-SITE

ORDER OF PROCEDURE

- PRIOR TO ANY CONSTRUCTION OR EXCAVATION, EROSION & SEDIMENTATION (E&S) CONTROL MEASURES (HAYBALES AND SILT FENCE, COMPOST SOCKS, STRAW WATTLES OR OTHER APPROVED MEASURES) SHALL BE INSTALLED AT THE PROPERTY LINE OR LIMIT OF DISTURBANCE. E&S CONTROL MEASURES SHALL BE INSTALLED AT THE LIMIT OF WORK ACTIVITY IF CONSTRUCTION IS TO BE DONE IN PHASES.
- PRIOR TO COMMENCING OPERATIONS, E&S CONTROL MEASURES SHALL BE PLACED SO AS TO PREVENT SEDIMENT FROM ENTERING EXISTING AND PROPOSED DRAINAGE SYSTEMS OR WETLANDS.
- ALL E&S CONTROL STRUCTURES SHALL BE PERIODICALLY MAINTAINED AS PER THE RESPECTIVE PROGRAMS DURING THE CONSTRUCTION.
- IF WORK PROGRESS IS TO BE INTERRUPTED AT ANY TIME, REFERENCE EROSION AND SEDIMENTATION PROGRAMS FOR TEMPORARY CONTROLS.
- TEMPORARY HAYBALES AND SANDBAGS ALONG AND AT THE ENDS OF THE ROADWAY MAY ALSO BE REMOVED AFTER FINAL SOIL STABILIZATION HAS BEEN ACHIEVED AND APPROVED.
- E&S CONTROL MEASURES AT THE DRAINAGE STRUCTURES MUST REMAIN UNTIL SUCH TIME THAT A DESIRABLE STAND OF GRASS OR GROUND COVER HAS BEEN ESTABLISHED AND THE PROJECT RECEIVES A FAVORABLE APPROVAL FOR FINAL ACCEPTANCE FROM THE ENGINEER.

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PATRICIA K. WALKER

REGISTERED PROFESSIONAL ENGINEER

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144 METRO CENTER BOULEVARD UNIT F
WARWICK, RI 02886
401-640-5757

NOTES & DETAILS NO. 2
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DATE: OCTOBER 2023
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EROSION CONTROL PLAN

1. ALL WORK PROPOSED SHALL COMPLY WITH THE CONDITIONS SET FORTH IN THE "GENERAL PERMIT - RHODE ISLAND POLLUTANT DISCHARGE ELIMINATION SYSTEM STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY, EFFECTIVE DATE: SEPTEMBER 26, 2013 AND SHALL BE IN ACCORDANCE WITH THE "RI STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, AMENDED MARCH 2015.
2. EROSION AND SEDIMENT CONTROL METHODS FOR THE SITE INCLUDE STRUCTURAL AND STABILIZATION PRACTICES. STABILIZATION PRACTICES WILL BE IMPLEMENTED TO COVER EXPOSED SOIL SO THAT DISCHARGE OF SEDIMENT INTO WETLAND AREAS IS MINIMIZED. STABILIZATION PRACTICES REDUCE THE TIME SOIL IS EXPOSED TO THE ELEMENTS THEREFORE REDUCING THE POSSIBILITY OF EROSION. AN ADEQUATE STOCKPILE OF EROSION CONTROL MATERIALS WILL BE MAINTAINED AT THE CONSTRUCTION SITE IN THE EVENT OF EMERGENCY OR ROUTINE REPAIRS.
3. STRUCTURAL PRACTICES INVOLVE THE CONSTRUCTION OF DEVICES TO DIVERT AND LIMIT RUNOFF. THESE PRACTICES LIMIT THE AMOUNT OF STORMWATER ENTERING A DISTURBED AREA OR TRAP SEDIMENT PRIOR TO STORMWATER LEAVING A SITE. THE FOLLOWING ARE THE PROCEDURES TO BE FOLLOWED:
 - A. THE SITE CONSTRUCTION FOREMAN SHALL BE DESIGNATED AS THE ON-SITE INDIVIDUAL WHO WILL BE RESPONSIBLE FOR THE DAILY MAINTENANCE OF ALL SEDIMENT AND EROSION CONTROLS, AND SHALL IMPLEMENT ALL MEASURES NECESSARY TO CONTROL EROSION AND TO PREVENT SEDIMENT FROM LEAVING THE SITE.
 - B. PRIOR TO ANY SITE GRADING OR SITE WORK, THE CONTRACTOR SHALL INSTALL ALL SPECIFIED SEDIMENT AND EROSION CONTROLS JUST INSIDE THE LIMITS OF DISTURBANCE. THE SEDIMENT CONTROLS WILL BE A CONTINUOUS LINE OF HAYBALES AND SILT FENCE OR COMPOST SOCKS, OR STRAW WATTLES.
 - C. A 50-FOOT LONG CONSTRUCTION ACCESS, RI STD 9.9.0 SHALL BE INSTALLED TO SHED DIRT FROM CONSTRUCTION VEHICLE TIRES PRIOR TO ENTERING THE ROADWAY. THE CRUSHED STONE PAD WILL BE REPLACED/CLEANED AS NEEDED TO MAINTAIN ITS EFFECTIVENESS.
 - D. INFILTRATION BASIN(S) AND SEDIMENT FOREBAY(S) IF NECESSARY, SHALL BE USED AS TEMPORARY SEDIMENT BASINS DURING CONSTRUCTION. SEDIMENT SHALL BE REMOVED FROM THE BASINS ON AN AS NEEDED BASIS OR WHEN THE SEDIMENT REACHES A DEPTH OF MORE THAN 3".
 - E. CONSTRUCTION DEBRIS AND SEDIMENT SHALL BE KEPT ON SITE AND SHALL NOT BE PERMITTED TO MIGRATE BEYOND THE PROJECT BOUNDARIES OR TO ANY WETLAND AREA.
 - F. ONCE THE SITE HAS BEEN LOAMED AND SEEDED AND THE SITE IS STABLE, THE SEDIMENT AND EROSION CONTROLS MAY BE REMOVED.

OTHER CONTROLS

THE FOLLOWING ADDITIONAL CONTROLS SHALL BE IMPLEMENTED DURING CONSTRUCTION IN ORDER TO MINIMIZE EROSION AND RUNOFF FROM THE PROJECT LOCATION:

1. NO CHEMICALS (CEMENT, MORTAR, ETC.) SHALL BE MIXED OR Poured WITHIN ANY WETLANDS.
2. SOLID WASTE WILL BE COLLECTED AND STORED IN A SECURE DUMPSTER. THE DUMPSTER SHALL MEET ALL LOCAL AND STATE SOLID WASTE MANAGEMENT REGULATIONS.
3. CONSTRUCTION DEBRIS WILL INCLUDE ALL WOOD, STONE AND OTHER DEBRIS AND SITE MATERIALS REQUIRING REMOVAL. THESE MATERIALS WILL BE DISPOSED OF ACCORDING TO STATE AND FEDERAL LAW AND WILL NOT BE DISPOSED OF ON-SITE.
4. THE LIMITS OF ALL GRADING AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE THE LIMITS OF DISTURBANCE SHALL REMAIN UNDISTURBED.
5. CONTINUOUS LINES OF EROSION CONTROLS SHALL BE INSTALLED PRIOR TO START OF CONSTRUCTION AND SHALL BE MAINTAINED UNTIL WORK IS COMPLETE AND A STABLE GROUND SURFACE IS ESTABLISHED.
6. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED OR REPLACED AS REQUIRED TO ASSURE PROPER FUNCTION.
7. ALL BREACHES OR FAILURES IN SEDIMENT CONTROLS SHALL BE IMMEDIATELY REPAIRED OR REPLACED.
8. DEBRIS AND LITTER, WHICH ACCUMULATES ALONG THE CONSTRUCTION AREA, SHALL BE REMOVED DAILY AND DISPOSED OF OFF-SITE.
9. SEDIMENT BUILD-UP BEHIND ANY SILT FENCES OR EROSION CONTROL BARRIERS WILL BE MONITORED AND REMOVED WHENEVER SEDIMENT HAS ACCUMULATED TO 6-INCHES IN DEPTH.

EROSION CONTROL AND SOIL STABILIZATION PROGRAM

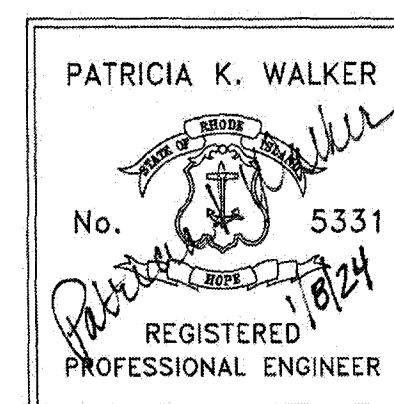
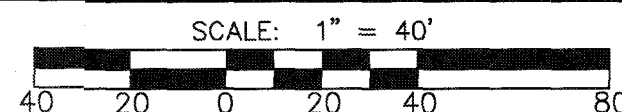
1. DENUDED SLOPES SHALL NOT BE UNATTENDED OR EXPOSED FOR EXCESSIVE PERIODS OF TIME.
2. STAKED HAY BALES AND SILT FENCES OR STRAW WATTLES SHALL BE INSTALLED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION, MAINTAINED ON A REGULAR BASIS, AND SHALL BE PLACED TO PREVENT SEDIMENTATION ONTO ADJACENT PROPERTY OR INTO DRAINAGE SYSTEMS OR WETLANDS.
3. DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR ALL EROSION CONTROLS MAINTENANCE AND SHALL INSPECT AND/OR REPLACE AS NEEDED.
4. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW.
5. ADDITIONAL HAY BALES AND SILT FENCES OR STRAW WATTLES WILL BE INSTALLED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
6. ALL EROSION CONTROL MEASURES (HAY BALES AND SILT FENCE OR STRAW WATTLES) WILL REMAIN IN PLACE UNTIL AN ACCEPTABLE GROUND COVER DEVELOPS AND POTENTIAL SEDIMENTATION SOURCES ARE REMOVED.
7. NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1 TO OCTOBER 15. REFER TO LANDSCAPE PLANTING PLAN, DETAILS AND NOTES FOR ADDITIONAL INFORMATION.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER, LOCAL DEPARTMENT OF PUBLIC WORKS, RIDOT OR RIDEM.
9. ALL AREAS SUBJECT TO EROSION FORCES SHALL RECEIVE PROTECTION.
10. HAY, STRAW, OR LINING APPLICATIONS SHALL BE USED AS REQUIRED ON EXPOSED SURFACES TO PREVENT EROSION. ALL METHODS SHALL BE APPROVED BY THE ENGINEER.
11. ALL VEGETATION WHICH DOES NOT SURVIVE AND DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR SHALL BE REPLACED BY THE CONTRACTOR AT NO ADDITIONAL EXPENSE.
12. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN 15 DAYS OF FINAL GRADING.
13. THE DRAINAGE SYSTEM SHALL BE CLEANED PRIOR TO ACCEPTANCE OF THE OVERALL PROJECT BY THE OWNER. SEDIMENTS SHALL BE DISPOSED OF IN A PROPER MANNER.
14. AS REQUIRED AND WARRANTED, SEDIMENTATION TRAPS WILL BE PROVIDED AT ALL DRAINAGE OUTLET STRUCTURES UNTIL PERMANENT STABILIZATION HAS OCCURRED.
15. NO SLOPES TO EXCEED 3:1.
16. STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW, OR FIBER MATTING.
17. STOCKPILES SHALL NOT BE LOCATED NEAR WATERWAYS AND SHALL HAVE NO SLOPE STEEPER THAN 3:1 AND SHALL BE SURROUNDED BY STAKED HAY BALES AND SEEDED AND/OR STABILIZED.
18. FINAL TREATMENT FOR DISTURBED AREAS SHALL BE 4" PLANTABLE SOIL AND EROSION CONTROL SEED MIX, UNLESS OTHERWISE SHOWN ON LANDSCAPING PLANS.
19. LANDSCAPING SHALL BE LOCATED AT LOCATIONS AS SHOWN ON THE PLANS AND/OR SHALL BE LOCATED AT THE DISCRETION AND PREFERENCE OF THE OWNER.
20. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS AND SHALL CONFORM WITH RI STANDARD SPECIFICATIONS.
21. THE SEED MIX SHALL BE INOCULATED 24 HOURS BEFORE MIXING AND PLANTING WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
22. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 3000 TO 4000 LBS PER ACRE.
23. ON BOTH STEEP AND LONG SLOPES CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.
24. ALL DISTURBED SLOPES, EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15 SHALL BE SEEDED AND PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
25. REFER TO THE LANDSCAPE DESIGN FOR PERMANENT SEEDING TREATMENT AND MIXTURES
26. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS) AND SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER OR LANDSCAPE ARCHITECT.
27. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED. IF NEEDED, TEMPORARY SEEDING CAN HELP TO MINIMIZE EROSION. A TEMPORARY SEEDING GUIDE MUST BE INCLUDED AS A REFERENCE. THE FOLLOWING SPECIES ARE RECOMMENDED.

SPECIES	LBS/1000 SF	LBS/ACRE	SEEDING DATES
ANNUAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
PERENNIAL RYEGRASS	1.0 - 1.5	40 - 60	MARCH 1 - JUNE 1
SUDAN GRASS	0.7 - 1.0	30 - 40	MAY 15 - AUGUST 15
MILLET	0.7 - 1.0	30 - 40	MAY 15 - JUNE 15
WINTER RYE	3.0	120	APRIL 15 - JUNE 15
28. ALL FILL SHALL BE THOROUGHLY COMPACTED UPON PLACEMENT IN STRICT CONFORMANCE WITH THE RIDPW STD SPECIFICATIONS SECTION 202
29. REFERENCE THE SEDIMENTATION CONTROL PROGRAM AND ORDER OF PROCEDURE FOR PROPER COORDINATION.

REVISIONS	
DATE	DESCRIPTION
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WEL Walker Engineering, Ltd.

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OWNER / APPLICANT:
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UNIT F
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NOTES & DETAILS NO. 3
HOLDEN SCHOOL PLAT
ASSESSOR'S PLAT 320 / LOT 243
61 HOXSIE AVENUE
WARWICK, RHODE ISLAND 02888

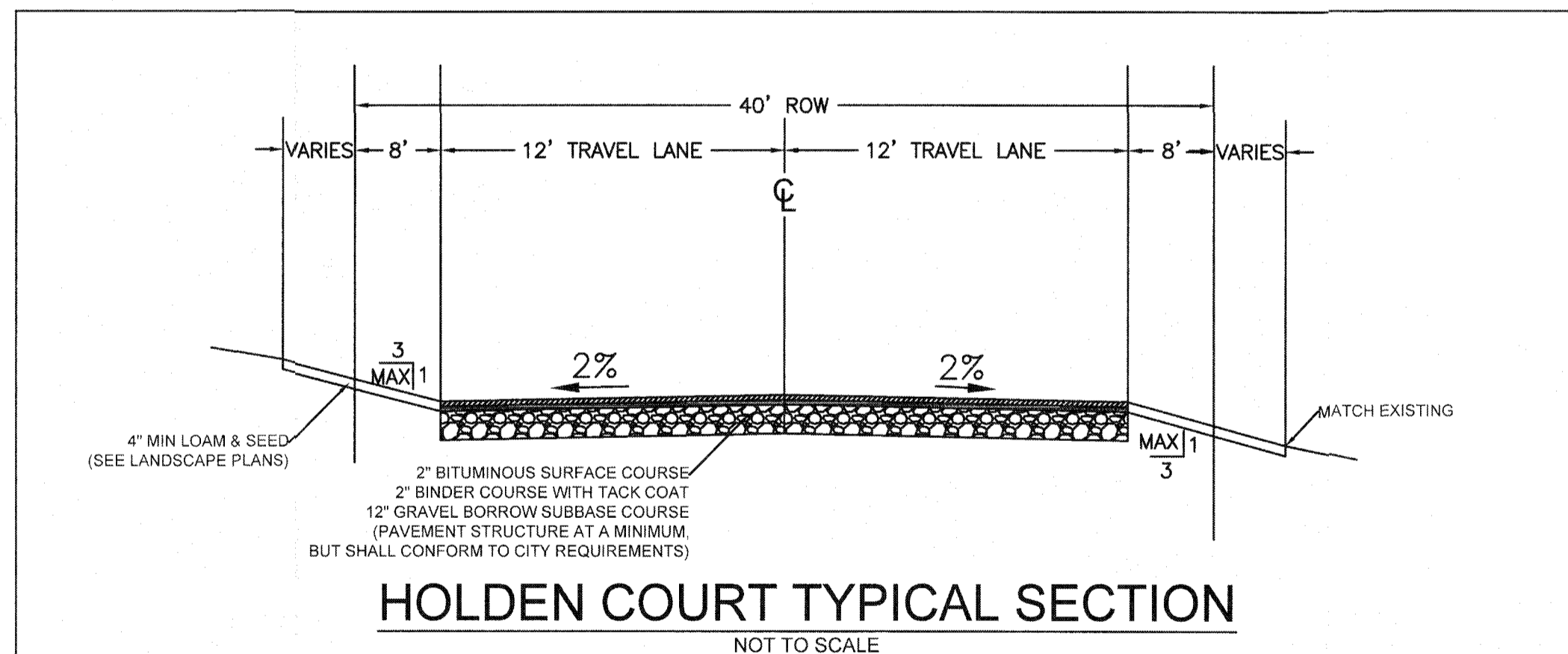
DATE: OCTOBER 2023
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SEDIMENTATION CONTROL PROGRAM

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEMS, STATE HIGHWAY, CITY ROADWAY, WETLANDS OR ADJOINING PROPERTIES.
2. ALL DISTURBED AREAS SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION.
3. BANKS OR SLOPES OVER 5 PERCENT SHALL BE SEEDED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
4. DURING CONSTRUCTION, THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
5. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
6. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATER COURSES OR WETLANDS OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
7. ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
8. ALL SEDIMENTS SHALL BE REMOVED FROM THE DRAINAGE FACILITIES WHEN DIRECTED BY THE ENGINEER OR THE LOCAL DEPARTMENT OF PUBLIC WORKS.
9. REFERENCE THE "RI EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY RIDEM AND THE US DEPARTMENT OF AGRICULTURE, SOIL CONSERVATION SERVICE, AND THE CITY OF WARWICK SOILS AND EROSION CONTROL ORDINANCES AS GUIDES.
10. ALL EARTH FILL USED FOR EMBANKMENT CONSTRUCTION SHALL BE FREE OF DETRIMENTAL AMOUNTS OF SODS, ROOTS, FROZEN SOILS, STONES, AND OTHER QUESTIONABLE MATERIAL.
11. A CONTINUOUS LINE OF STAKED HAY BALES AND SILT FENCES, RI STANDARDS OR CITY APPROVED EQUALS, OR STRAW WATTLES SHALL BE PLACED ALONG AND INSIDE THE LIMITS OF DISTURBANCE AND WHERE SHOWN AND AS REQUIRED.

STORMWATER NOTES DURING CONSTRUCTION

1. ANY DRAINAGE STRUCTURES SHALL BE CLEANED AND FLUSHED AS REQUIRED.
2. STORMWATER MEASURES DESIGNED FOR THE CHANGED CONDITIONS OF THE PROPOSED SITE IMPROVEMENTS PER STATE OF RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL (RISDISM) FOR THE PROJECT, INCLUDING THE STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT.
3. THE CONTRACTOR AND/OR OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DRAINAGE SYSTEMS IN ACCORDANCE WITH THE RISDISM AND CITY OF WARWICK REQUIREMENTS.
4. THE DRAINAGE SYSTEMS SHALL BE PROPERLY MAINTAINED AT ALL TIMES.
5. ALL DRAINAGE SYSTEM AREAS SHALL BE KEPT CLEAR OF DEBRIS AT ALL TIMES.
6. NO FOREIGN SUBSTANCES SHALL BE DUMPED INTO THE DRAINAGE SYSTEM AT ANY TIME.
7. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEEDED IMMEDIATELY.
8. AS CONDITIONS WARRANT, RIPRAP SHALL BE PLACED BETWEEN THE ROADWAY AREAS AND THE DRAINAGE BASINS TO PROTECT EMBANKMENTS FROM EROSION TENDENCIES.
9. THE DRAINAGE STRUCTURES SHALL BE CLEANED ON AN ANNUAL BASIS AND AS CONDITIONS MAY WARRANT.
10. MAINTENANCE OF THE SYSTEM SHALL BE PERFORMED ON AN ANNUAL BASIS UNDER NORMAL FUNCTIONING OF THE SYSTEM AT A MINIMUM. ANY OBSERVED BLOCKAGE, OVERFLOW OF ANY DRAINAGE SYSTEM COMPONENT OR OTHER OBSERVED ISSUES IN THE FIELD SHALL WARRANT AN INSPECTION AND CLEANOUT AS MAY BE REQUIRED OF ANY PORTION OF THE SYSTEM. MAINTENANCE OF THE SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTED TO A PROFESSIONAL SERVICER AS CONDITIONS WARRANT.
11. ANY AREAS EXPERIENCING EROSION TENDENCIES SHALL BE REPAIRED AND RESEEDED IMMEDIATELY.



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SCALE: 1" = 40'

PATRICIA K. WALKER

REGISTERED PROFESSIONAL ENGINEER

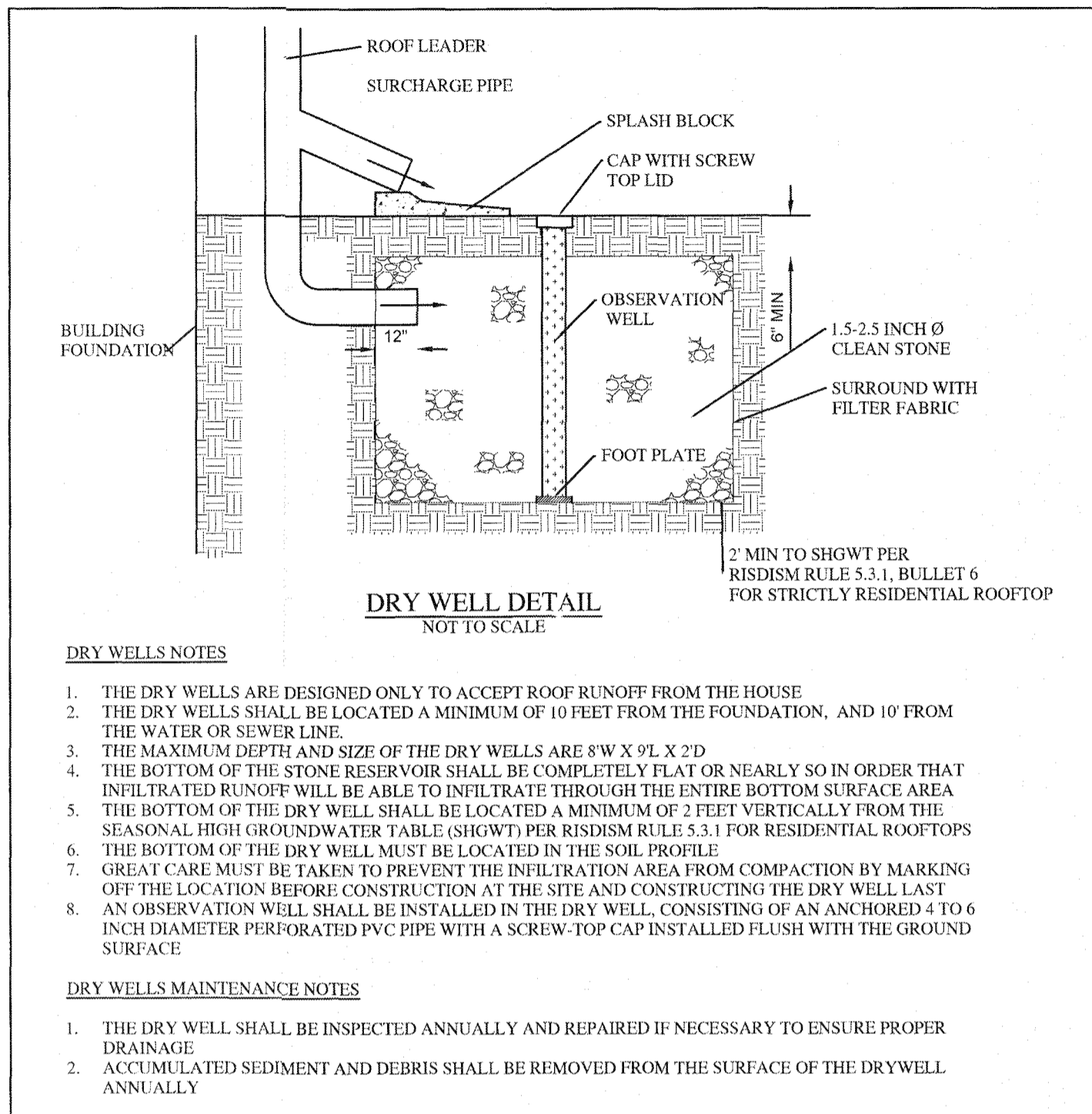
OWNER / APPLICANT:
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 144 METRO CENTER BOULEVARD
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NOTES & DETAILS NO. 4

HOLDEN SCHOOL PLAT
 ASSESSOR'S PLAT 320 / LOT 243
 61 HOXSIE AVENUE
 WARWICK, RHODE ISLAND 02888

DATE: OCTOBER 2023 REVISED JANUARY 2024	SHEET: ND - 4	SHEET 17 OF 18
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DRY WELL SUMMARY					
NOTES: ALL DRY WELLS ARE 8'W X 9'L X 24" D					
EACH DRY WELL ACCEPTS HALF OF THE ROOF AREA					
ROOF DRAIN CONNECTIONS ARE 4" PVC					
LOT #	DW ID	GR EL	DRY WELLS		
			TOP EL	BOT EL	SHGWT EL
1	DW 1-1	40.2 +/-	39.7 +/-	37.7 +/-	32.5 +/-
	DW 1-2	40.9 +/-	40.4 +/-	38.4 +/-	33.2 +/-
2	DW 2-1	41.1 +/-	40.6 +/-	38.6 +/-	33.3 +/-
	DW 2-2	41.1 +/-	40.6 +/-	38.6 +/-	33.5 +/-
3	DW 3-1	41.1 +/-	40.6 +/-	38.6 +/-	33.5 +/-
	DW 3-2	41.5 +/-	41 +/-	39 +/-	34.3 +/-
4	DW 4-1	42.2 +/-	41.7 +/-	39.7 +/-	34.3 +/-
	DW 4-2	42.4 +/-	41.9 +/-	39.9 +/-	34.4 +/-
5	DW 5-1	42.5 +/-	42 +/-	38 +/-	34.5 +/-
	DW 5-2	42.2 +/-	41.7 +/-	39.7 +/-	33.7 +/-
6	DW 6-1	42.2 +/-	41.7 +/-	39.7 +/-	34 +/-
	DW 6-2	42.2 +/-	41.7 +/-	39.7 +/-	34.5 +/-
7	DW 7-1	42.4 +/-	41.9 +/-	39.9 +/-	34.5 +/-
	DW 7-2	42.3 +/-	41.8 +/-	39.8 +/-	34.5 +/-
8	DW 8-1	40.5 +/-	40 +/-	38 +/-	32.7 +/-
	DW 8-2	40.8 +/-	40.3 +/-	38.3 +/-	33.3 +/-
9	DW 9-1	41.1 +/-	40.6 +/-	38.6 +/-	32.5 +/-
	DW 9-2	41.9 +/-	41.4 +/-	39.4 +/-	33.3 +/-
10	DW 10-1	41.9 +/-	41.4 +/-	39.4 +/-	34 +/-
	DW 10-2	41.9 +/-	41.4 +/-	39.4 +/-	34.6 +/-
11	DW 11-1	41.9 +/-	41.4 +/-	39.4 +/-	35.6 +/-
	DW 11-2	42.9 +/-	42.5 +/-	40.5 +/-	35 +/-
12	DW 12-1	42.9 +/-	42.5 +/-	40.5 +/-	35 +/-
	DW 12-2	42.9 +/-	42.5 +/-	40.5 +/-	34.5 +/-
13	DW 13-1	42.9 +/-	42.5 +/-	40.5 +/-	34.5 +/-
	DW 13-2	42.9 +/-	42.5 +/-	40.5 +/-	35 +/-
14	DW 14-1	42.9 +/-	42.5 +/-	40.5 +/-	35 +/-
	DW 14-2	42.5 +/-	42 +/-	38 +/-	34.8 +/-
15	DW 15-1	40 +/-	39.5 +/-	37.5 +/-	31.8 +/-
	DW 15-2	40.3 +/-	39.8 +/-	37.8 +/-	31.8 +/-
16	DW 16-1	40.3 +/-	39.8 +/-	37.8 +/-	32.1 +/-
	DW 16-2	40.7 +/-	40.2 +/-	38.2 +/-	32.8 +/-
17	DW 17-1	40.6 +/-	40.1 +/-	38.1 +/-	32.5 +/-
	DW 17-2	41.5 +/-	41 +/-	39 +/-	32.5 +/-
18	DW 18-1	41.5 +/-	41 +/-	39 +/-	32 +/-
	DW 18-2	42.5 +/-	42 +/-	40 +/-	33.3 +/-
19	DW 19-1	42 +/-	41.5 +/-	39.5 +/-	34 +/-
	DW 19-2	42.5 +/-	42 +/-	40 +/-	34.5 +/-
20	DW 20-1	42 +/-	41.5 +/-	39.5 +/-	34 +/-
	DW 20-2	42.6 +/-	42.1 +/-	40.1 +/-	35 +/-
21	DW 21-1	42.4 +/-	41.9 +/-	39.9 +/-	34.5 +/-
	DW 21-2	42.6 +/-	42.1 +/-	40.1 +/-	35 +/-
22	DW 22-1	42.5 +/-	42 +/-	40 +/-	35 +/-
	DW 22-2	42.9 +/-	42.4 +/-	40.4 +/-	34.8 +/-



GENERAL STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN

THE STORMWATER MANAGEMENT SYSTEM OPERATION & MAINTENANCE PLAN DESCRIBED HEREIN IS FOR THE PROPOSED HOLDEN SCHOOL PLAT SUBDIVISION LOCATED ON AP 320, LOT 243

RESPONSIBLE PARTY FOR MAINTENANCE

- THE OWNER / CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE ASSOCIATED WITH THE STORMWATER SYSTEM UNTIL THEY ARE COMPLETELY CONSTRUCTED.
- ONCE CONSTRUCTION IS COMPLETE, THE PROPERTY OWNER SHALL ASSUME ALL RESPONSIBILITY FOR MAINTENANCE ON THEIR INDIVIDUAL LOT.

DURING CONSTRUCTION

- PRIOR TO THE START OF ANY CONSTRUCTION, THE EROSION CONTROLS SHALL BE INSTALLED AND SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION UNTIL A STABLE GROUND COVER IS ESTABLISHED.
- DURING CONSTRUCTION, THE SOIL EROSION AND SEDIMENTATION PROGRAMS FOUND ON THE SITE PLANS PREPARED SHALL BE FOLLOWED AND BE THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR AS APPLICABLE.
- PREPARATION OF THE AREA FOR THE DRY WELLS SHALL CONFORM TO THE PROCEDURES DESCRIBED AS PART OF THIS PLAN SET PREPARED.
- CONSTRUCTION VEHICLES SHALL NOT BE ALLOWED TO DRIVE OVER THE DRY WELL AREAS DURING CONSTRUCTION. IF THE AREA BECOMES COMPACTED, SOIL MUST BE SUITABLY AMENDED, TILLED, AND REVEGETATED ONCE CONSTRUCTION IS COMPLETE TO RESTORE INFILTRATION CAPACITY.

DESCRIPTION OF ANNUAL MAINTENANCE TASKS

YARD / LAWN AREA ON LOT

- THE YARD AREA (LAWN AREA) SHALL BE CREATED AROUND THE PROPOSED RESIDENCE AND ITS ASSOCIATED AMENITIES.
- THE DRY WELLS SHALL BE MAINTAINED THROUGHOUT THE YEAR. SAID MAINTENANCE SHALL INCLUDE ANNUALLY INSPECTING THE DRY WELL AND REPAIR IF NECESSARY TO ENSURE PROPER DRAINAGE, AND TO REMOVE ANY ACCUMULATED SEDIMENT AND DEBRIS FROM THE SURFACE OF THE DRYWELL ANNUALLY
- ANY AREA SUBJECT TO EROSION TENDENCIES SHALL BE REPLACED IN KIND TO ENSURE THAT A STABLE GROUND COVER IS MAINTAINED AT ALL TIMES.
- MOWING AND OTHER RELATED MAINTENANCE SHALL BE PERFORMED AS SITE CONDITIONS WARRANT THROUGHOUT THE YEAR.

DESCRIPTION OF APPLICABLE EASEMENTS

NO EASEMENTS ARE REQUIRED TO PERFORM ANNUAL MAINTENANCE.

DESCRIPTION OF FUNDING SOURCES

THE PROPERTY OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEMS. AS SUCH, THE OWNER'S FUNDS SHALL BE USED AS REQUIRED.

MINIMUM VEGETATIVE COVER REQUIREMENTS

- THE VEGETATIVE COVER REQUIREMENTS ARE PROVIDED AS PART OF THE LANDSCAPE AND DRAINAGE DESIGN PROVIDED ON THE PLANS.
- ALL VEGETATION PROPOSED SHALL BE MAINTAINED AT ALL TIMES AND BE REPLACED IN KIND SHOULD IT BECOME DISEASED OR DIE.

ACCESS & SAFETY ISSUES

- THERE ARE NO SAFETY ISSUES RELATED TO THE MAINTENANCE AND OPERATION OF THE STORMWATER SYSTEM.

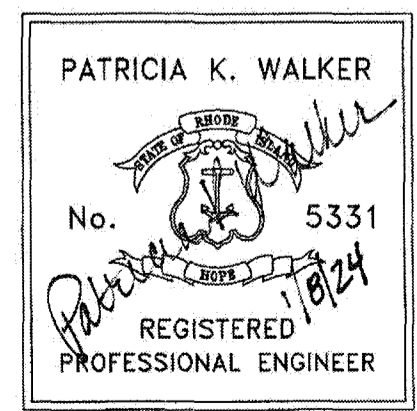
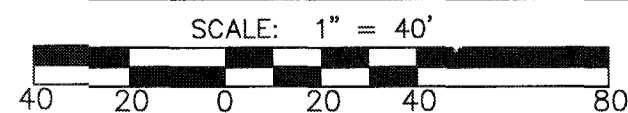
POLLUTION PREVENTION MEASURES

- ANY SEDIMENTATION THAT MAY ENTER THE STORMWATER SYSTEMS SHALL BE REMOVED OF PROMPTLY.

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