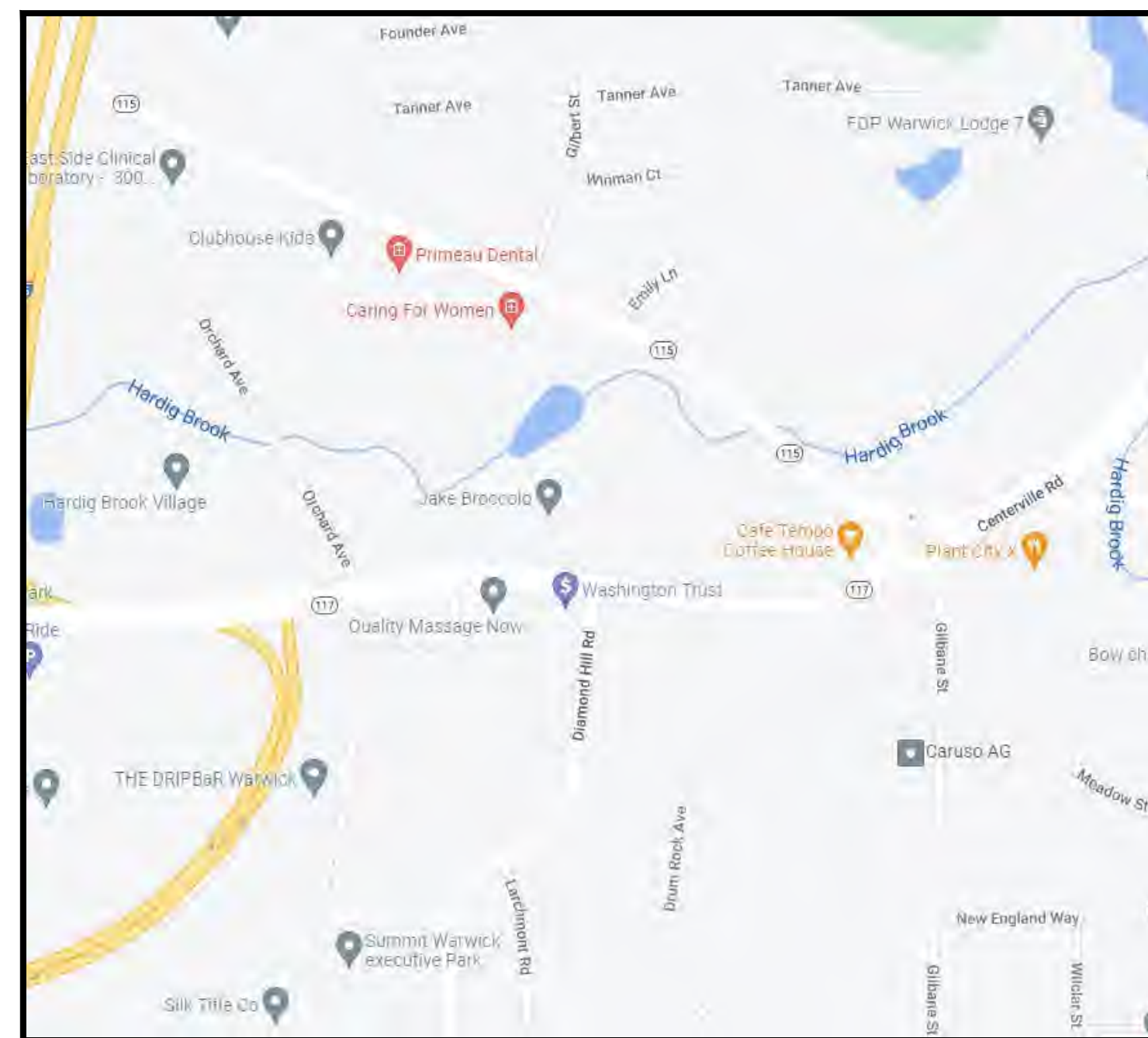


MAJOR LAND DEVELOPMENT PRELIMINARY PLAN SUBMISSION

FOR

CENTERVILLE ROAD DEVELOPMENT PHASE I

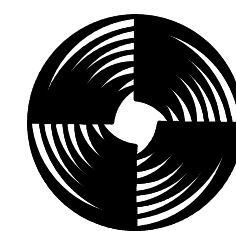


LOCUS MAP
NOT TO SCALE

A.P. 246, LOTS 246, 247, 250, 251 & 257
203 CENTERVILLE ROAD
WARWICK, RHODE ISLAND

APPLICANT:
CENTERVILLE ASSOCIATES
164 CENTERVILLE ROAD (Rte. 117)
WARWICK, RHODE ISLAND 02886

PREPARED BY:



GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
P.O. BOX 6145 PROVIDENCE, R.I. 02940
1-401-273-6000

AND



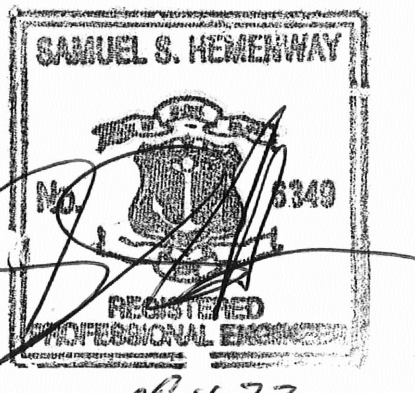
**ARCHITECT
OF
RECORD**

BRADY HARDING

SHEET INDEX

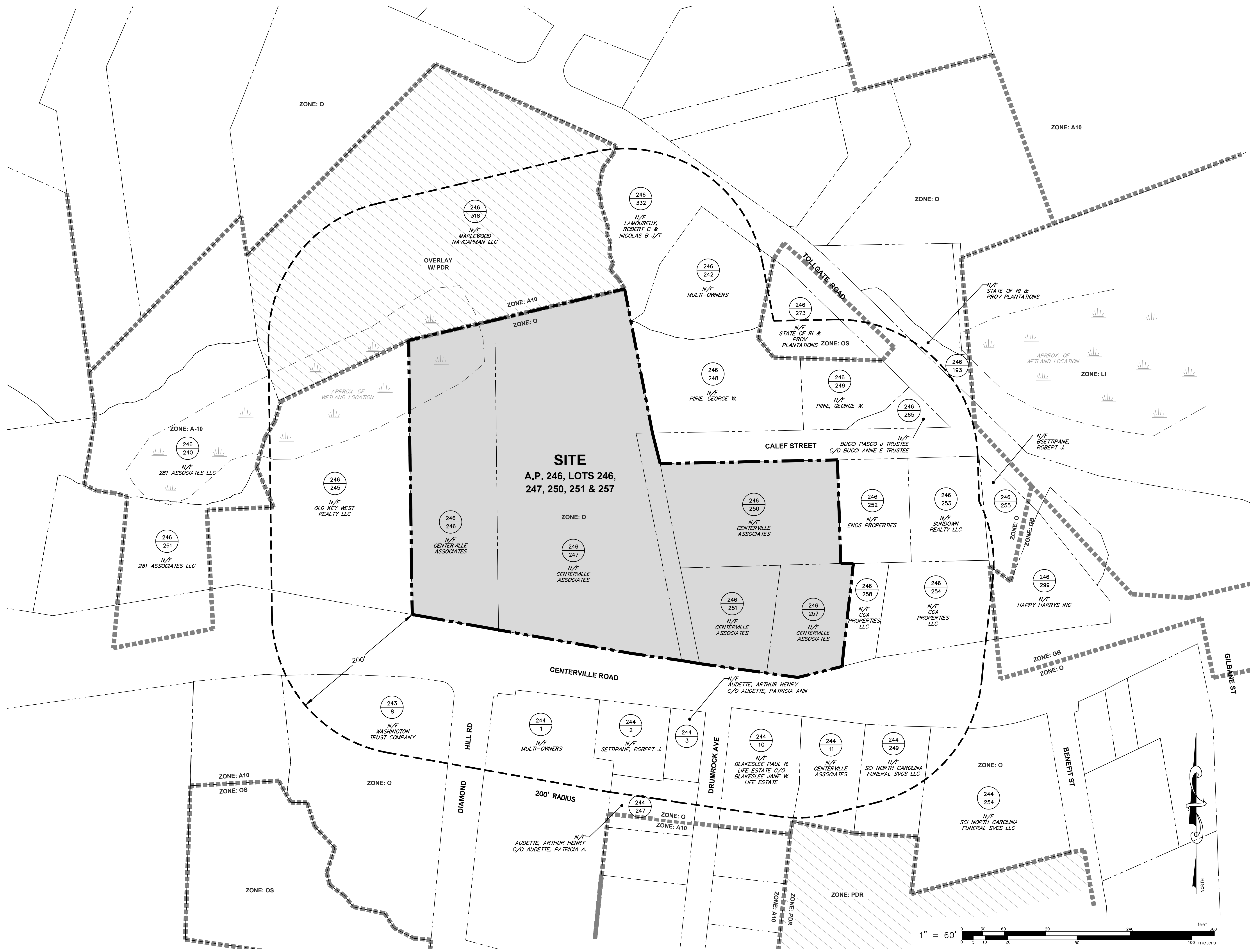
SHEET	PLAN TITLE	LATEST REVISION
-	COVER SHEET	
GENERAL PLANS:		
G-1	200' RADIUS MAP	
G-2	APPROVED MASTER PLAN	
S-1	ADMINISTRATIVE SUBDIVISION	
-	COMPREHENSIVE BOUNDARY SURVEY	
ENTRANCE SITE PLANS:		
CG-1	GENERAL NOTES & LEGEND	
CG-2	SITE LAYOUT PLAN	7/20/2023
CG-3	GRADING, DRAINAGE & UTILITY PLAN	3/14/2023
CG-4	SOIL EROSION & SEDIMENT CONTROL PLAN	
CG-5	TRAFFIC SIGNAL PLAN	9/11/2023
CG-6	CONSTRUCTION DETAILS - 1	
CG-7	CONSTRUCTION DETAILS - 2	
CG-8	CONSTRUCTION DETAILS - 3	
CG-9	CONSTRUCTION DETAILS - 4	
CG-10	CONSTRUCTION DETAILS - 5	9/22/2023
PROPOSED CAR WASH AND CAFE PLANS:		
-	COVER	
C1	GENERAL NOTE AND LEGEND	
C2	AERIAL MAP	
C3	200' RADIUS MAP	
C4.1	EXISTING CONDITIONS PLAN NO.1	
C4.2	EXISTING CONDITIONS PLAN NO.2	
C5	SITE LAYOUT PLAN	
C6	GRADING AND DRAINAGE PLAN	
C7	UTILITY PLAN	
C8	SOIL EROSION CONTROL PLAN	
C9	MISCELLANEOUS DETAIL PLAN NO.1	
C10	MISCELLANEOUS DETAIL PLAN NO.2	
C11	MISCELLANEOUS DETAIL PLAN NO.3	
C12	MISCELLANEOUS DETAIL PLAN NO.4	
C13	MISCELLANEOUS DETAIL PLAN NO.5	
E1	LIGHTING PLAN	
L1	LANDSCAPE PLAN	9/20/2023
L2	LANDSCAPE DETAIL PLAN	
C-1	SNOW STOCKPILE EXHIBIT	
A-300	EXTERIOR ELEVATIONS	
A-301	EXTERIOR ELEVATIONS	

JOB NO. 7303-00
DATE: FEBRUARY, 2023
(REV: SEPTEMBER 22, 2023)



09/11/23

L:\7303-00_Concepts at Centerville Road (Centerville Builders) - Warwick, RI.dwg | Current | Preliminary | Plan | Drawn: 7/30/2023 | Radius Map.dwg | 08/02/2023 | kyming | 11:48



200' RADIUS MAP
 FOR
 A.P. 246, LOTS 246, 247, 250,
 251 & 257
 SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
 WARWICK, RI
 PREPARED FOR
203 CENTERVILLE ROAD, LLC
 AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE

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 GAROFALO & ASSOCIATES, INC.
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 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000

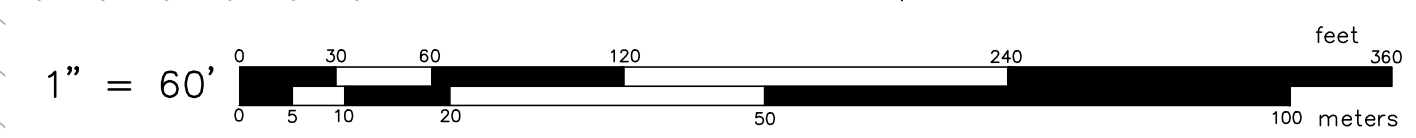
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 project of this site and are not to
 be used for any other purpose,
 location or owner without written
 consent of this owner or one of its
 directors.

JOB NO. 7303-00	DRAWN BY K.Y.Y.
DWG. NO. 7303-00-200' Radius Map	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: MAY, 2022

SHEET

G-1

1 OF 1 SHEET



TENANT DESIGN NOTE:

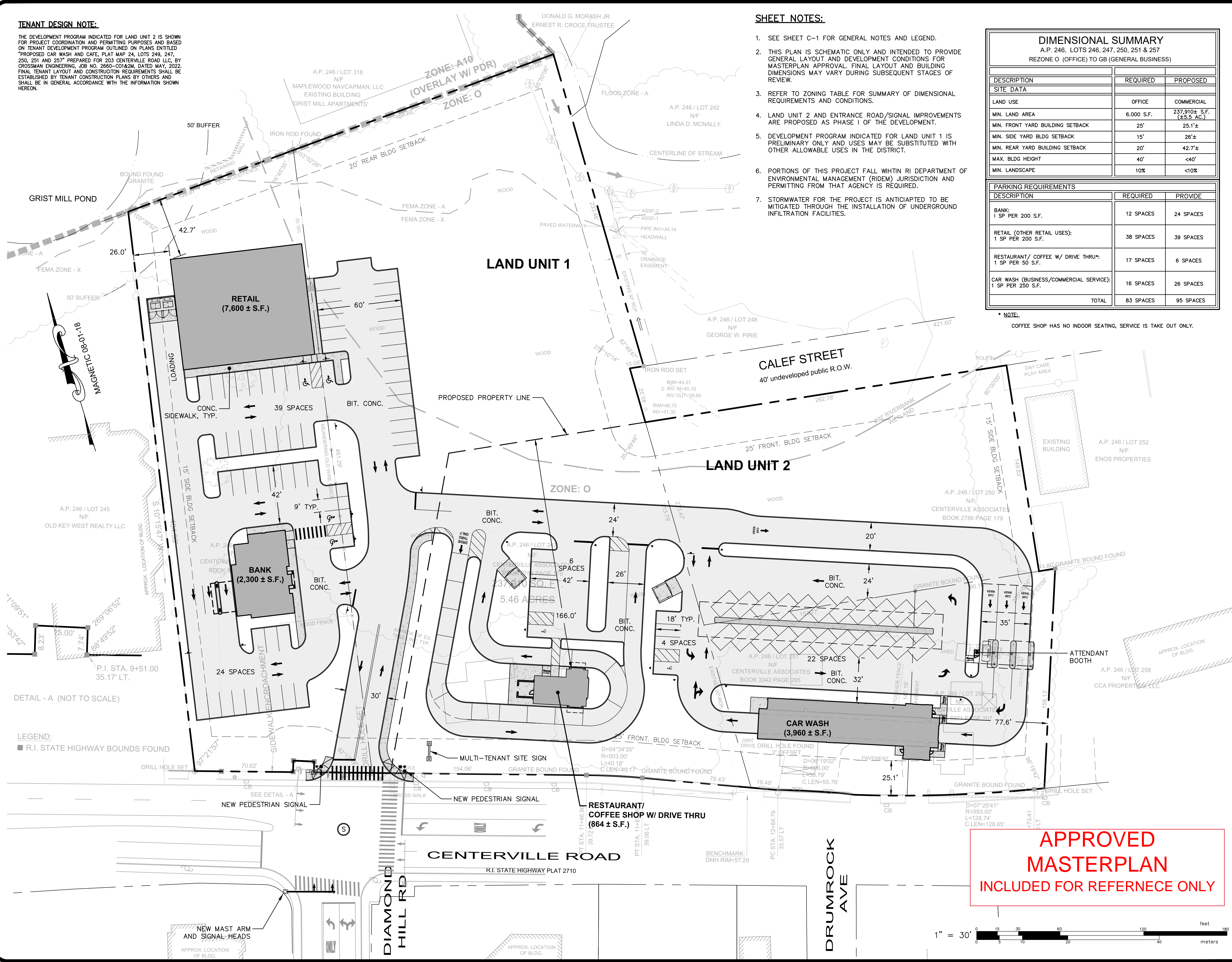
THE DEVELOPMENT PROGRAM INDICATED FOR LAND UNIT 2 IS SHOWN FOR PROJECT COORDINATION AND PERMITTING PURPOSES AND BASED ON TENANT DEVELOPMENT PROGRAM OUTLINED ON PLANS ENTITLED "PROPOSED CAR WASH AND CAFE, PLAT MAP 24, LOTS 249, 247, 250, 251 AND 257" PREPARED FOR 203 CENTERVILLE ROAD LLC, BY CROSSMAN ENGINEERING, JOB NO. 2660-CO1&2M, DATED MAY, 2022. FINAL TENANT LAYOUT AND CONSTRUCTION REQUIREMENTS SHALL BE ESTABLISHED BY TENANT CONSTRUCTION PLANS BY OTHERS AND SHALL BE IN GENERAL ACCORDANCE WITH THE INFORMATION SHOWN HEREON.

SHEET NOTES:

- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
- THIS PLAN IS SCHEMATIC ONLY AND INTENDED TO PROVIDE GENERAL LAYOUT AND DEVELOPMENT CONDITIONS FOR MASTERPLAN APPROVAL. FINAL LAYOUT AND BUILDING DIMENSIONS MAY VARY DURING SUBSEQUENT STAGES OF REVIEW.
- REFER TO ZONING TABLE FOR SUMMARY OF DIMENSIONAL REQUIREMENTS AND CONDITIONS.
- LAND UNIT 2 AND ENTRANCE ROAD/SIGNAL IMPROVEMENTS ARE PROPOSED AS PHASE 1 OF THE DEVELOPMENT.
- DEVELOPMENT PROGRAM INDICATED FOR LAND UNIT 1 IS PRELIMINARY ONLY AND USES MAY BE SUBSTITUTED WITH OTHER ALLOWABLE USES IN THE DISTRICT.
- PORTIONS OF THIS PROJECT FALL WITHIN RI DEPARTMENT OF ENVIRONMENTAL MANAGEMENT (RIDEM) JURISDICTION AND PERMITTING FROM THAT AGENCY IS REQUIRED.
- STORMWATER FOR THE PROJECT IS ANTICIPATED TO BE MITIGATED THROUGH THE INSTALLATION OF UNDERGROUND INFILTRATION FACILITIES.

DIMENSIONAL SUMMARY		
A.P. 246, LOTS 246, 247, 250, 251 & 257		
REZONE O (OFFICE) TO GB (GENERAL BUSINESS)		
DESCRIPTION	REQUIRED	PROPOSED
SITE DATA		
LAND USE	OFFICE	COMMERCIAL
MIN. LAND AREA	6,000 S.F.	237,910± S.F. (±5.5 AC.)
MIN. FRONT YARD BUILDING SETBACK	25'	25.1'±
MIN. SIDE YARD BLDG SETBACK	15'	26'±
MIN. REAR YARD BUILDING SETBACK	20'	42.7'±
MAX. BLDG HEIGHT	40'	<40'
MIN. LANDSCAPE	10%	<10%
PARKING REQUIREMENTS		
DESCRIPTION	REQUIRED	PROVIDE
BANK: 1 SP PER 200 S.F.	12 SPACES	24 SPACES
RETAIL (OTHER RETAIL USES): 1 SP PER 200 S.F.	38 SPACES	39 SPACES
RESTAURANT/ COFFEE W/ DRIVE THRU: 1 SP PER 50 S.F.	17 SPACES	6 SPACES
CAR WASH (BUSINESS/COMMERCIAL SERVICE): 1 SP PER 250 S.F.	16 SPACES	26 SPACES
TOTAL	83 SPACES	95 SPACES

* NOTE:
COFFEE SHOP HAS NO INDOOR SEATING, SERVICE IS TAKE OUT ONLY.



DEVELOPMENT OVERALL PLAN
FOR
A.P. 246, LOTS 246, 247, 250, 251 & 257
SITUATED AT
203 CENTERVILLE ROAD
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND **CENTERVILLE ASSOCIATES**

NO.	REVISION	BY	DATE



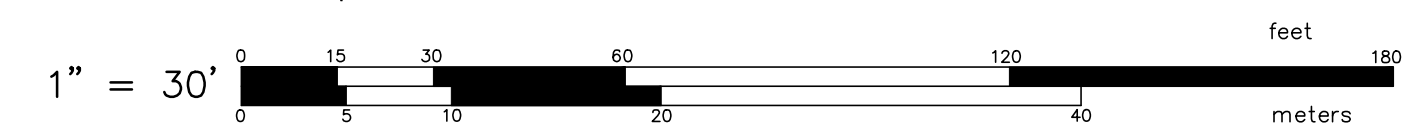
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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

JOB NO. 7303-00	DRAWN BY K.Y.Y.
DWG. NO. 7303-00-Base.dwg	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: JUNE 6, 2022

APPROVED MASTERPLAN
INCLUDED FOR REFERENCE ONLY



SHEET
G-2
1 OF 1 SHEET

L:\7303-00_Concepts at Centerville Road (Centerville Builders) - Warwick, RI\Drawings\Current\7303-00-Base.dwg, 06/24/2022, by:ngng, 08:22



LOCUS MAP
N.T.S.

NEW PARCEL DATA

PARCEL "A" DATA
PARCEL "B" DATA

EXISTING PARCEL DATA

PARCEL DATA	PARCEL DATA
A.P. 246, LOT 246 N/F CENTERVILLE ASSOCIATES BOOK 8924 PAGE 61	A.P. 246, LOT 247 N/F CENTERVILLE ASSOCIATES BOOK 2786 PAGE 179
PARCEL DATA	PARCEL DATA
A.P. 246, LOT 250 N/F CENTERVILLE ASSOCIATES BOOK 2786 PAGE 179	A.P. 246, LOT 251 N/F CENTERVILLE ASSOCIATES BOOK 3342 PAGE 295
PARCEL DATA	PARCEL DATA
A.P. 246, LOT 257 N/F CENTERVILLE ASSOCIATES BOOK 6971 PAGE 207	A.P. 246, LOT 245 N/F OLD KEY WEST REALTY LLC

INTENT OF PLAN

THE INTENT OF THIS PLAN IS TO CREATE A NEW LOT LINE BETWEEN A.P. 246, LOTS 246, 247, 250, 251 & 257.

STREET INDEX

CENTERVILLE ROAD
DIAMOND HILL ROAD
DRUM ROCK ROAD
CALEF STREET

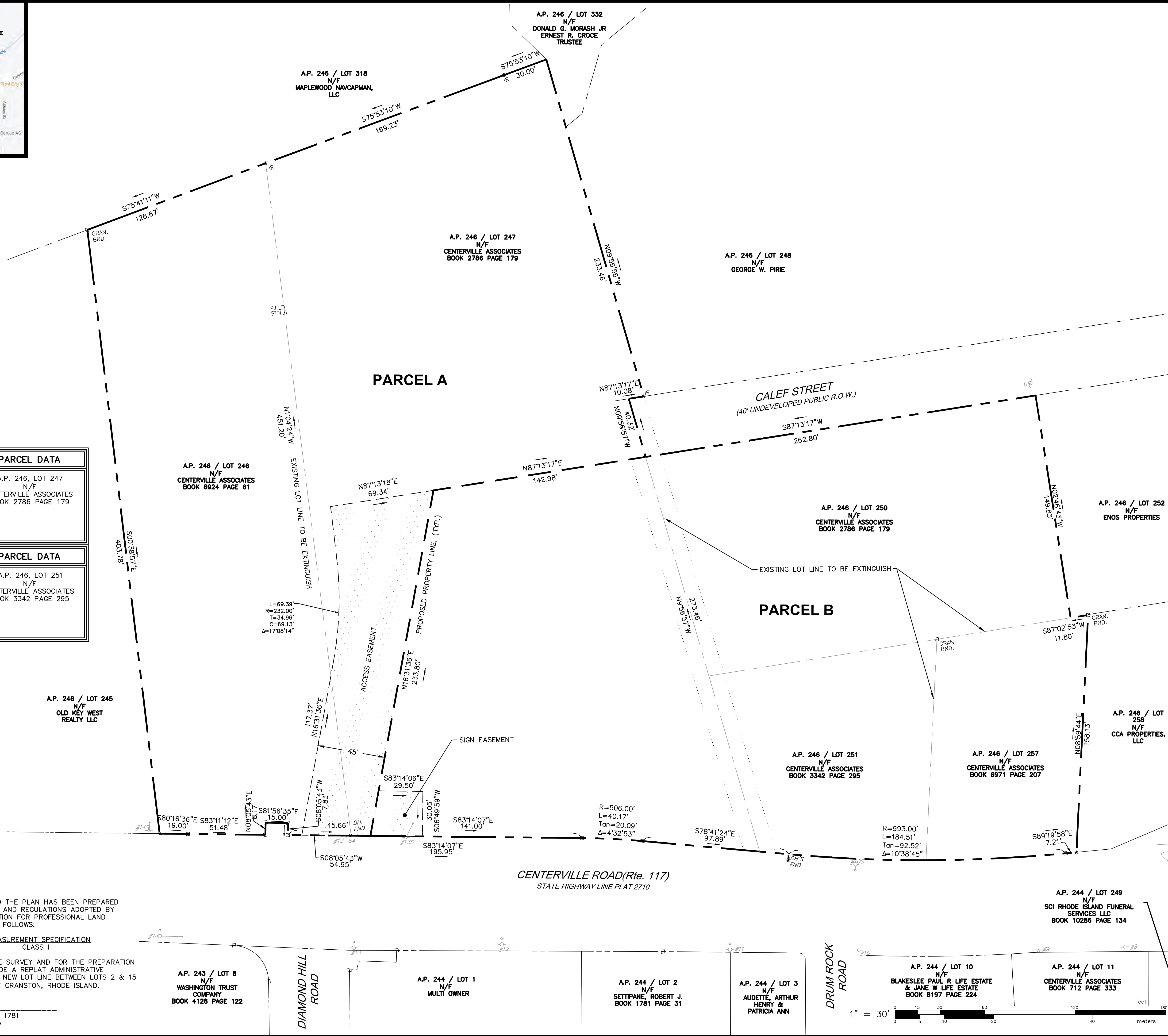
CERTIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: COMPREHENSIVE BOUNDARY SURVEY
MEASUREMENT SPECIFICATION CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: TO PROVIDE A REPLAT ADMINISTRATIVE SUBDIVISION SURVEY PLAN SHOWING THE NEW LOT LINE BETWEEN LOTS 2 & 15 ON ASSESSOR'S PLAT 14 IN THE CITY OF CRANSTON, RHODE ISLAND.

BY: SAMUEL A. WHITE LICENSE NO. 1781
LS A59-COA



**ADMINISTRATIVE
SUBDIVISION PLAN**
FOR
A.P. 246, LOTS 246, 247, 250,
251 & 257
SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE

DRAFT

GAROFALO
GAROFALO & ASSOCIATES, INC.
CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

85 CORLISS STREET
P.O. BOX 6145
PROVIDENCE, R.I. 02940
TEL. 401-273-6000

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JOB NO. 7303-00	DRAWN BY K.Y.Y.
DWG. NO. 7303-00-Prelim_Sub	CHECKED BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: AUGUST, 2023

SHEET

S-1

1 OF 1 SHEET

L:\7303-00_Concepts at Centerville Road (Centerville Builders) - Warwick, RI\dwg\01-Current\Preliminary Plan Draft\7303-00-Prelim_Sub.dwg 08/09/2023 kjyngong 09.08

GENERAL CONSTRUCTION NOTES:

1. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE TRAILER AT ALL TIMES. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS BY WRITTEN APPROVAL FROM THE ENGINEER.
2. SITEWORK CONSTRUCTION SHALL NOT COMMENCE UNTIL ALL APPROVALS HAVE BEEN SECURED. REQUIRED PERMITS/APPROVALS FOR THE PROJECT INCLUDE BUT NOT LIMITED TO THE FOLLOWING: WARWICK MAJOR LAND DEVELOPMENT APPROVAL, RIDOT PHYSICAL ALTERNATION PERMIT, RIDEM STORMWATER CONSTRUCTION PERMIT AND WATER QUALITY CERTIFICATION, WARWICK WATER DEPARTMENT CONNECTION PERMIT & WARWICK SEWER AUTHORITY (WSA) CONNECTION PERMIT.
3. ALL IMPROVEMENTS INDICATED HEREON MUST COMPLY WITH THE 'AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)'. NOTE THAT THE DETAIL CONTAINED WITHIN THIS PLAN MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ADAAG REQUIREMENTS BUT THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS THESE STANDARDS.
4. THE CONTRACTOR MUST RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR IN THE STATE OF RHODE ISLAND TO LAYOUT ON THE GROUND ALL NEW ELEMENTS OF WORK. IF ANY WORK IS INSTALLED PRIOR TO THE ABOVE REQUIREMENT AND IF ANY WORK IS NOT SATISFACTORY TO THE ENGINEER, THE CONTRACTOR MUST REPLACE THE WORK AT NO ADDITIONAL COST TO THE OWNER.
5. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING, INSTALLING OR PROCEEDING WITH WORK.
6. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER NECESSARY MEASURES NEEDED TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING UNDERGROUND UTILITIES AND FACILITIES ON THE DRAWINGS. HOWEVER, THE INFORMATION SHOWN IS FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE ANY EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION, VERIFY ALL DIMENSIONS, SITE CONDITIONS AND MATERIALS. THE CONTRACTOR MUST CONTACT THE LOCAL UTILITY COMPANIES FOR EXACT LOCATION OF UTILITIES PRIOR TO THE START OF ANY CONSTRUCTION AND SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES BEFORE START OF ANY WORK. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGE MADE TO UTILITIES BY THE CONTRACTOR.
7. THE CONTRACTOR MUST NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITIES IN THE AREA OF PROPOSED CONSTRUCTION, EXCAVATION OR BLASTING AT LEAST THREE WORKING DAYS, BUT NOT MORE THAN TEN WORKING DAYS PRIOR TO THE START OF ANY CONSTRUCTION, EXCAVATION OR BLASTING. ALL WATER, SEWER, GAS AND ALL OTHER UTILITIES MUST BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
8. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS FOR THE CITY OF WARWICK AND THE STATE OF RHODE ISLAND DEPARTMENT OF TRANSPORTATION. THE STATE OF RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2004 EDITION, AS AMENDED, AND THE RHODE ISLAND STANDARD DETAILS ARE MADE A PART HEREOF, AS IF ATTACHED HERETO.
9. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY PAVEMENT, DRIVEWAYS, SIDEWALKS, WALL, CURBS, ETC. DAMAGED DURING CONSTRUCTION WITH MATCHING MATERIALS.
10. THE CONTRACTOR AGREES THAT HE WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR THE PROJECT SITE CONDITIONS THROUGHOUT CONSTRUCTION, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONJUNCTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT.
11. ALL MATERIALS USED FOR CONSTRUCTION MUST BE NEW AND FREE OF DEFECTS. USED OR SALVAGED MATERIAL WILL NOT BE ALLOWED UNLESS WRITTEN APPROVAL FROM THE OWNER IS OBTAINED BY THE CONTRACTOR.
12. AT ALL TIMES THE CONTRACTOR MUST MAINTAIN ACCESS FOR EMERGENCY VEHICLES AROUND AND TO ALL BUILDINGS. (I.E. IN TIMES OF RAIN OR SNOW, ROADS MUST BE ABLE TO CARRY A FIRE TRUCK BY BEING PAVED OR HAVING A CRUSHED STONE BASE, ETC.). WIDTH OF EMERGENCY VEHICLE ACCESS MUST BE A MINIMUM OF 20 FEET WIDE. ACCESS TO BUILDINGS THAT HAVE A FIRE SPRINKLER SYSTEM OR STANDPIPE MUST BE WITHIN 40 FEET OF THE FIRE DEPARTMENT CONNECTION (FDC). NFPA 1141 3-1.
13. NECESSARY BARRICADES, LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAYBE NECESSARY FOR THE PROTECTION OF THE PUBLIC MUST BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION BY THE CONTRACTOR.
14. ALL RI HIGHWAY BOUNDS AND PERMANENT SURVEY MARKERS SHALL BE PROTECTED THROUGHOUT CONSTRUCTION.
15. ALL TRAFFIC CONTROL SHALL CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES 2009 INCLUDING ALL REVISIONS.
16. REFER TO ARCHITECTURAL, STRUCTURAL, AND MECHANICAL PLANS FOR ALL BUILDING INFORMATION.
17. ALL CURB RADI ARE 5' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
18. PRIOR TO THE START OF CONSTRUCTION THE CONTRACTOR IS REQUIRED TO DEVELOP AND IMPLEMENT A PLAN FOR THE TEMPORARY CONTROL OF VEHICULAR AND PEDESTRIAN TRAFFIC FOR WORK WITHIN PUBLIC STREET RIGHT-OF-WAY AT THE SITE EGRESS. CONTRACTOR SHALL OBTAIN APPROVAL OF SAID PLAN FROM APPROPRIATE STATE AND COMMUNITY PUBLIC SAFETY OFFICIALS.
19. WHEN IT IS NECESSARY TO CLOSE OFF A STREET, THE FIRE DEPARTMENT AND POLICE DEPARTMENT SHALL BE NOTIFIED BY THE CONTRACTOR.
20. PRECAST STRUCTURES MAY BE USED AT CONTRACTOR'S OPTION. SHOP DRAWINGS OF PRECAST STRUCTURES SHALL BE REVIEWED BY THE ENGINEER AND APPROVED BEFORE USE.
21. IF ANY EXISTING STRUCTURES AND/OR UTILITIES TO REMAIN ARE DAMAGED DURING CONSTRUCTION, EITHER ON THE PROJECT SITE, ADJACENT PROPERTIES, OR WITHIN STATE RIGHT-OF-WAY, IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO REPAIR AND/OR REPLACE THE EXISTING STRUCTURE AS NECESSARY TO RETURN IT TO EXISTING CONDITIONS OR BETTER.

PLAN REFERENCES :

1. THE EXISTING CONDITIONS INDICATED ARE BASED ON PLAN ENTITLED "COMPREHENSIVE BOUNDARY SURVEY, AP 246/LOT 246, 221 CENTERVILLE ROAD, WARWICK, RI", PREPARED FOR CENTERVILLE BUILDERS, INC. BY OCEAN STATE PLANNERS, INC., JOB NO. 3916A, DWC 3916A-JNP, DATED AUGUST 22, 2018.
2. THE EXISTING CONDITIONS HAVE BEEN SUPPLEMENTED BY FIELD SURVEY PERFORMED ON JULY, 2022, DATA OBTAINED FROM GIS SOURCES AND RECORD INFORMATION. HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
3. THE DEVELOPMENT PROGRAM INDICATED FOR LAND UNIT 2 IS BASED ON PLANS ENTITLED "PROPOSED CAR WASH AND CAFE, PLAT MAP 24, LOTS 249, 247, 250, 251 AND 257" PREPARED FOR 203 CENTERVILLE ROAD LLC, BY CROSSMAN ENGINEERING, JOB NO. 2660-COI&2M, DATED MAY, 2022.

GENERAL UTILITY NOTES:

1. THE CONTRACTOR SHALL NOTIFY DIG-SAFE (1-888-344-7233) AND ALL LOCAL AUTHORITIES & UTILITY COMPANIES TO VERIFY LOCATIONS OF UTILITIES WITHIN THE AREA 72 HOURS PRIOR TO BEGINNING ANY EXCAVATION OR DEMOLITION FOR THE PURPOSE OF COORDINATING THE MARKING OF UNDERGROUND UTILITIES. LOCATION AND DEPTHS OF EXISTING UTILITIES SHOWN ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY, LOCATE AND PROTECT EXISTING UTILITIES IN THE FIELD WHETHER OR NOT SHOWN ON THE DRAWINGS.
2. ALL WORK SHALL BE IN COMPLETE ACCORDANCE WITH ALL APPLICABLE STATE, FEDERAL AND LOCAL CODES, AND ALL NECESSARY LICENSES AND PERMITS SHALL BE OBTAINED BY THE CONTRACTOR AT HIS EXPENSE UNLESS PREVIOUSLY OBTAINED BY THE OWNER/DEVELOPER. THE CONTRACTOR SHALL REFER TO THE WARWICK WATER DEPARTMENT RULES & REGULATIONS FOR THE SERVICE INSTALLATION & EXTENSION REQUIREMENTS OF WATER LINES.
3. THE CONTRACTOR SHALL COORDINATE LOCATION AND INSTALLATION OF ALL UNDERGROUND UTILITIES AND APPURTENANCES TO MINIMIZE DISTURBANCE OF CURBING, PAVING AND COMPACTED SUBGRADE. THE CONTRACTOR SHALL NOTIFY THE TOWN ENGINEER & ALL LOCAL UTILITY COMPANIES 48 HOURS BEFORE EACH PHASE OF CONSTRUCTION. THE CONTRACTOR SHALL IMMEDIATELY INFORM THE ENGINEER OF ANY DISCREPANCIES OR ERRORS DISCOVERED IN THE PLANS.
4. BEDDING REQUIREMENTS SPECIFIED HEREIN ARE TO BE CONSIDERED AS MINIMUMS FOR RELATIVELY DRY, STABLE EARTH CONDITIONS. ADDITIONAL BEDDING SHALL BE REQUIRED FOR ROCK TRENCHES AND WET AREA. CONTRACTOR SHALL HAVE THE RESPONSIBILITY TO PROVIDE SUCH ADDITIONAL BEDDING AS MAY BE REQUIRED TO PROPERLY CONSTRUCT THE WORK.
5. THE CONTRACTOR SHALL REMOVE ANY ABANDONED FOUNDATIONS, UTILITY STRUCTURES, BURIED DEBRIS ETC. WHICH INTERFERE WITH THE INSTALLATION OF THE UTILITY WORK. ALL SUCH STRUCTURES SHALL BE COMPLETELY REMOVED AND THE EXCAVATED AREA SHALL BE BACKFILLED WITH COMPACTED GRAVEL IN 6" LIFTS TO 95% COMPACTION TO 6" BELOW THE BOTTOM OF THE UTILITY AND PIPE.
6. COMPACTION OF THE BACKFILL OF ALL TRENCHES SHALL BE COMPACTED TO THE DENSITY OF 95% OF THE THEORETICAL MAXIMUM DRY DENSITY (ASTM D698). BACKFILL MATERIAL SHALL BE FREE FROM ROOTS, STUMPS OR OTHER FOREIGN DEBRIS AND SHALL BE PLACED IN LIFTS NOT TO EXCEED ONE FOOT IN COMPACTED FILL THICKNESS. CORRECTION OF ANY TRENCH SETTLEMENT WITHIN A YEAR FROM THE DATE OF PROJECT APPROVAL WILL BE THE RESPONSIBILITY OF THE CONTRACTOR.
7. ALL PIPING LAYOUT INDICATED ON THESE PLANS IS DIAGRAMMATIC ONLY AND DOES NOT SHOW ALL THE REQUIRED FITTINGS FOR PROPER ALIGNMENT. THE CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO OBTAIN PROPER ALIGNMENT AND FOR EXISTING UTILITY CONNECTIONS BASED UPON FIELD CONDITIONS.
8. IF DURING EXCAVATION THE TRENCH WIDTH EXCEEDS THE SUM OF THE PIPE O.D. PLUS 2'-0", PLACE AND COMPACT THE FILL TO 12" ABOVE THE PIPE AND RE-EXCAVATE TO REQUIRED GRADE.
9. DOMESTIC AND FIRE PROTECTION WATER SERVICE IS PROVIDED TO THE PROPERTY BY THE WARWICK WATER DEPARTMENT. THE ON-SITE WATER SYSTEM ON THE PROPERTY IS PRIVATE WATER PIPING AND SHALL BE (AWWA C901) DR9 POLYETHYLENE OR TYPE K COPPER FOR 2" SERVICES OR SMALLER, OR CLASS 52 DOUBLE CEMENT LINED DUCTILE IRON PIPE WITH TYTON JOINTS FOR 4" SERVICES OR LARGER. ALL BENDS, TEES ETC. SHALL BE JOINT RESTRAINED BY THE USE OF CONCRETE THRUST BLOCKS AND "MEG-A-LUG". ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE WARWICK WATER DEPARTMENT REGULATIONS, STANDARDS AND SPECIFICATIONS. NOTIFICATION SHALL BE PROVIDED TO SAID AUTHORITIES AT LEAST 72 HOURS PRIOR TO INITIATING CONSTRUCTION.
10. GATE VALVES SHALL BE CAST IRON BODY BRONZE MOUNTED, COMPLETE WITH ROAD BOX AND SHALL CONFORM TO THE WARWICK WATER DEPARTMENT REGULATIONS, STANDARDS AND SPECIFICATIONS.
11. ALL FIRE AND PLUMBING FIXTURES MUST CONFORM TO LOCAL SPECIFICATIONS AND AS STIPULATED BY THE LOCAL FIRE MARSHALL AND/OR THE BUILDING OFFICIAL.
12. ALL SANITARY SEWER MATERIALS AND WORKMANSHIP ASSOCIATED WITH THE INSTALLATION AND TESTING OF SANITARY SEWERS SHALL CONFORM TO THE WARWICK SEWER AUTHORITY (WSA) REGULATIONS, STANDARDS AND SPECIFICATIONS. ALL SEWER SYSTEM COMPONENTS MUST BE TESTED, CLEANED AND AS-BUILT INFORMATION MUST BE SUBMITTED TO THE CITY OF WARWICK AND APPROVED, PRIOR TO ISSUANCE OF A PERMIT TO CONNECT TO PUBLIC SEWER SYSTEM.
13. SANITARY SEWER MAINS AND SERVICES SHALL BE SDR-35 (ASTM D-3034) PVC SEWER PIPE WITH PUSH ON RUBBER RING JOINT UNLESS OTHERWISE NOTED. CLEANOUTS SHALL BE INSTALLED AT BUILDING FACES (INCLUDING PLUMBING WORK WITHIN 5' OF THE BUILDING), NEOPRENE COUPLINGS WITH STAINLESS STEEL BAND AND SHEER RINGS SHALL BE REQUIRED FOR JOINING DIFFERENT TYPES OF SANITARY SEWER PIPES.
14. SEWER LINES SHALL BE INSTALLED AT A MINIMUM 10 FOOT HORIZONTAL SEPARATION FROM ANY PROPOSED OR EXISTING WATER LINE.
15. WHENEVER SEWER LINES MUST CROSS WATER LINES, THE SEWER SHALL BE INSTALLED SO THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN. WHERE 18 INCH VERTICAL SEPARATION & 10 FOOT HORIZONTAL SEPARATION CAN NOT BE MET AT WATER AND SEWER CROSSINGS, THE SEWER PIPE SHALL BE ENCASED IN CONCRETE OR BE EITHER DUCTILE IRON OR C900 BLUE BRUTE FOR A DISTANCE OF 10 FEET ON EACH SIDE OF CROSSING.
16. WHENEVER NEW SEWER LINES CONNECT TO EXISTING SEWER MANHOLES THE CONTRACTOR SHALL REBUILD THE EXISTING SEWER MANHOLE CHANNEL TO ACCOMMODATE THE NEW CONNECTION.
17. STORM DRAINS 12" AND OVER SHALL BE SMOOTH INTERIOR WALL AND EXTERIOR CORRUGATED HIGH DENSITY POLYETHYLENE (HDPE) PIPE CAPABLE OF WITHSTANDING (H-20) LOAD UNLESS NOTED OTHERWISE. PIPE SHALL BE JOINED USING BELL & SPIGOT JOINTS MEETING OR EXCEED ASTM F2648. THE JOINT SHALL BE SOIL-TIGHT AND GASKETS SHALL MEET OR EXCEED ASTM F477. HDPE PIPE SHALL BE AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS INC. (ADS). HANCOCK PIPE OR LANE PIPE. ALL STORM DRAINAGE PIPING SHALL BE LAID ON A SMOOTH CONTINUOUS GRADE WITH NO VISIBLE BENDS AT THE JOINTS. WHERE INDICATED ON DRAWINGS REINFORCED CONCRETE PIPE (RCP) PIPE SHALL BE CLASS III RCP WITH "O" RING GASKET JOINTS
18. GAS SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE UTILITY INSTALLATIONS AS REQUIRED TO ENSURE ADEQUATE GAS SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE GAS COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION.
19. ELECTRIC SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. ELECTRIC SERVICE AND TRANSFORMER PAD SHALL CONFORM TO THE REQUIREMENTS OF THE ELECTRIC COMPANY. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE ELECTRIC SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE, ETC.) AS ARE REQUIRED BY THE ELECTRIC COMPANY FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR DETAILS ON ALL UNDERGROUND ELECTRIC.
20. TEL/CABLE SERVICE FACILITIES SHALL BE DESIGNED BY OTHERS. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ADEQUATE UTILITY SERVICE IS PROVIDED AND SHALL BE RESPONSIBLE FOR ALL INSTALLATION PROCEDURES (TRENCHING, LAYING PIPE ETC.) AS IS REQUIRED BY THE LOCAL UTILITY CO. FOR COMPLETE AND IN PLACE CONSTRUCTION. REFER TO ELECTRICAL DRAWINGS FOR ALL UNDERGROUND ELECTRIC.
21. SITE LIGHTING ELEMENTS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE CONTRACTOR SHALL PROVIDE A PHOTO METRICS PLAN TO THE CITY OF WARWICK PRIOR TO CONSTRUCTION. THE PLAN SHALL MEET THE APPLICABLE REQUIREMENTS OF THE CITY OF WARWICK. SITE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE INSTALLATION OF LIGHT POLE BASES IN LOCATIONS INDICATED. REFER TO SITE LIGHTING PLANS FOR INSTALLATION REQUIREMENTS.
22. WHENEVER UTILITIES ARE TO BE INSTALLED WITHIN THE SANDY LANE RIGHT OF WAY, THE TRENCH MUST BE BACKFILLED WITH FLOWABLE FILL. ALL AREAS OF ROADWAY PAVEMENT DISTURBED DURING CONSTRUCTION SHALL BE RE-PAVED PER THE CITY OF WARWICK AND STATE STANDARDS AND SPECIFICATIONS.

GENERAL DRAINAGE & GRADING NOTES:

1. THE MAXIMUM RUNNING SLOPE ALONG ANY SIDEWALK SHALL BE 5%. THE MAXIMUM CROSS SLOPE ACROSS ANY SIDEWALK SHALL BE 2%. A MINIMUM 5'x5' LANDING SHALL BE PROVIDED IN FRONT OF ALL BUILDING ENTRANCES.
2. ALL ADAAG PARKING SPACES AND LOADING SPACES SHALL BE 2% MAXIMUM SLOPE IN ANY DIRECTION.
3. CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
4. ALL GRATES AND COVERS IN PAVED AREAS SHALL BE FLUSH WITH PAVEMENT, AND SHALL HAVE TRAFFIC BEARING RING & COVERS. MANHOLES IN UNPAVED AREAS SHALL BE 3" ABOVE FINISH GRADE.
5. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
6. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL. CONTRACTOR SHALL APPLY STABILIZATION FABRIC TO ALL SLOPES 3H:1V OR STEEPER. CONTRACTOR SHALL GRASS DISTURBED AREAS IN ACCORDANCE WITH THE CITY OF PROVIDENCE SPECIFICATIONS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.

STORMWATER SYSTEM MAINTENANCE NOTES:

THE DRAINAGE SYSTEMS ARE TO BE MONITORED THROUGHOUT THE ENTIRE CONSTRUCTION PERIOD BY THE CONTRACTOR. UPON COMPLETION OF THE PROJECT THE CONTRACTOR MUST DO A FINAL FULL MAINTENANCE & CLEAN UP OF THE STORMWATER MANAGEMENT SYSTEM AND THE SITE. UPON COMPLETION OF THE CONTRACTOR'S FINAL MAINTENANCE & CLEAN UP OF THE PROJECT, MONITORING OF THE STORMWATER MANAGEMENT SYSTEM SHALL BE THE RESPONSIBILITY OF THE OWNER.

CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF CONTRACTOR)

1. SILT BARRIER: MONITOR SILT BARRIER ON A WEEKLY BASIS AND AFTER EVERY RAIN STORM EVENT AND REPAIR OR REPLACE ANY DAMAGED AREAS IMMEDIATELY. IMMEDIATELY CLEAN THE SILT BARRIER IF SIX INCHES OR MORE OF SEDIMENT HAS ACCUMULATED ON THE HAYBALE & SILT BARRIER.
2. PAVED AREAS: PARKING LOTS, PUBLIC & PRIVATE ROADWAYS AND GUTTERS SHALL BE SWEEPED CLEAN OF ALL SEDIMENT & DEBRIS. SWEEPING & REMOVAL OF DEBRIS SHALL BE PERFORMED ON A WEEKLY BASIS AT A MINIMUM.
3. CATCH BASINS: ALL CATCH BASINS SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
4. DRAIN MANHOLES: DRAIN MANHOLES SHALL BE INSTALLED AS DETAILED AND INSPECTED AFTER EVERY RAIN STORM EVENT. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED WITHIN THE DRAIN MANHOLE.
5. STORMWATER BMPS: NO CONSTRUCTION RUNOFF SHALL BE DIRECTED TO STORMWATER BMPS UNTIL UPGRADIENT AREAS ARE STABILIZED.

POST CONSTRUCTION MONITORING/MAINTENANCE PROCEDURES SHALL BE AS FOLLOWS: (RESPONSIBILITY OF OWNER)

1. PAVED AREAS: PARKING LOTS, ROADS AND ALL ACCESS WAYS AND GUTTERS MUST BE SWEEPED CLEAN OF ALL SEDIMENT AND DEBRIS ON BI-ANNUAL BASIS IN SPRING AND FALL OF EACH YEAR OR AS NECESSARY.
2. CATCH BASINS: ALL CATCH BASINS MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. CATCH BASINS MUST BE INSPECTED TO ENSURE THEY HAVE ADEQUATE SUMP CAPACITY. FRAMES AND GRATES ARE NOT DAMAGED, AND OIL/WATER SEPARATING DEVICES ARE IN PLACE. CATCH BASIN SUMPS ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE CATCH BASIN SUMP IF TWO FEET OR MORE OF SEDIMENT HAS ACCUMULATED WITHIN THE CATCH BASIN.
3. DRAIN MANHOLES: ALL DRAIN MANHOLES MUST BE INSPECTED AND MAINTAINED ON A BI-ANNUAL BASIS IN MARCH AND OCTOBER OF EACH YEAR. DRAIN MANHOLES MUST BE INSPECTED TO ENSURE FRAMES AND COVERS ARE NOT DAMAGED AND NO BLOCKAGES HAVE OCCURRED WITHIN THE MANHOLE. DRAIN MANHOLES ARE TO BE CLEANED OUT DURING BI-ANNUAL INSPECTIONS IN MARCH AND OCTOBER OF EACH YEAR. IMMEDIATELY CLEAN THE DRAIN MANHOLE IF ANY SEDIMENT HAS ACCUMULATED.
4. STORMWATER MANAGEMENT FACILITIES - REFER TO OPERATIONS AND MAINTENANCE PLAN UNDER SEPARATE COVER.

INFILTRATION AREA CONSTRUCTION PROTECTION

FOR THE LONG-TERM FUNCTION OF THE INFILTRATING SYSTEMS, CARE MUST BE TAKEN IN THIS AREA DURING CONSTRUCTION. THE CONTRACTOR SHALL EMPLOY THE FOLLOWING MINIMUM BEST MANAGEMENT PRACTICES (BMP'S):

1. THE INFILTRATION AREAS SHALL NOT BE USED AS A CONSTRUCTION SEDIMENTATION SYSTEM.
2. CONSTRUCTION EQUIPMENT, VEHICULAR TRAFFIC, PARKING OF VEHICLES, AND STOCKPILING OF CONSTRUCTION AND EARTH MATERIALS SHALL BE OUTSIDE THE LIMITS OF THE INFILTRATION AREA UNTIL INSTALLATION IS COMPLETED. THE SUBGRADE BENEATH THE SYSTEM SHALL NOT BE COMPACTED.
3. EXCAVATION FOR CONSTRUCTION OF THE INFILTRATION AREAS SHALL BE PERFORMED MANUALLY OR BY HYDRAULIC EXCAVATOR OR SOME OTHER SIMILAR MEANS TO ENSURE THAT THE EQUIPMENT IS NOT IN DIRECT CONTACT WITH THE NATURAL INFILTRATION EARTH MATERIAL AND DOES NOT CAUSE COMPACTION OF THE MATERIAL AND THE ENTIRE AREA IS TO BE SACRIFICED PRIOR TO INSTALLATION.
4. THE CONTRACTOR SHALL INSTALL TEMPORARY CONSTRUCTION FENCING AND EROSION CONTROLS AROUND THE PERIMETER OF THE INFILTRATION AREA TO PREVENT THE USE OF THIS AREA FOR ALL ACTIVITIES THAT MIGHT DAMAGE THE INFILTRATION CAPABILITIES OF THE AREA. THIS FENCING MAY BE REMOVED FOR BACKFILLING AND FINAL CONSTRUCTION.

SITE LEGEND

EXISTING	NEW	DESCRIPTION
		CENTERLINE (LAYOUT)
		STORM DRAIN
		ELECTRIC (UNDERGROUND)
		FIRE SERVICE
		FOOTING DRAIN
		GAS
		OVERHEAD WIRE
		PROPERTY LINE
		SANITARY SEWER
		SITE LIGHTING SERVICE
		TELEPHONE
		WATER
		CONTOUR
		SPOT GRADE
		SPOT GRADE (BOT. OF CURB)
		SPOT GRADE (TOP OF CURB)
		SPOT GRADE (BOT. OF WALL)
		SPOT GRADE (TOP OF WALL)
		PRECAST CONC. CURB
		CHAINLINK FENCE (CLF)
		STOCKADE FENCE (STKF)
		BORING LOCATION
		CATCH BASIN
		DOUBLE GRATE CATCH BASIN
		CONCRETE THRUST BLOCK
		DRAIN MANHOLE
		FLARED END STRUCTURE
		SEWER MANHOLE
		WATER SERVICE
		UTILITY POLE
		FIRE HYDRANT
		GATE VALVE AND CURB BOX
		HANDICAP SYMBOL (PRKG. SPACE)
		SIGN
		WETLAND
		SOIL EVALUATION LOCATION
		TEST PIT LOCATION
		FIRE DEPARTMENT CONNECTION
		POST INDICATOR VALVE (PIV)
		ELECTRIC MANHOLE (EMH)
		TELEPHONE MANHOLE (TMH)
		TRANSFORMER PAD
		GENERATOR PAD
		GROUND CLEANOUT
		SIGHT LIGHT POLE
		TRAFFIC FLOW DIRECTION
		LIMIT OF DISTURBANCE
		COMPOST SILT SOCKS
		PAVEMENT SAWCUT & MATCH TO EXISTING
		RIDOT STD DETAIL REFERENCE

ABBREVIATIONS

CI	CAST IRON PIPE
CLDI	CEMENT LINED DUCTILE IRON PIPE
CLF	CHAINLINK FENCE
CTE	POINT OF CONNECTION TO EXISTING
D.I.	DUCTILE IRON PIPE
ESHWT	ESTIMATED SEASONAL HIGH WATER TABLE
ETR	EXISTING TO REMAIN
EX.	EXISTING
F&I	FURNISH AND INSTALL
HDPE	HIGH DENSITY POLYETHYLENE PIPE
INV.	INVERT ELEVATION
MTC	MATCH TO EXISTING
NIC	NOT IN CONTRACT
NTS	NOT TO SCALE
PVC	POLYVINYL CHLORIDE PIPE
RCP	REINFORCED CONCRETE PIPE
VF	VERIFY IN FIELD
WQS	WATER QUALITY STRUCTURE

GENERAL NOTES & LEGEND

FOR
A.P. 246, LOTS 246, 247, 250,
251 & 257
SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT

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LAND PLANNERS/ENVIRONMENTAL SCIENTISTS

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DWG. NO. 7303-00-Prelim_Cover & Notes	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: JANUARY, 2023

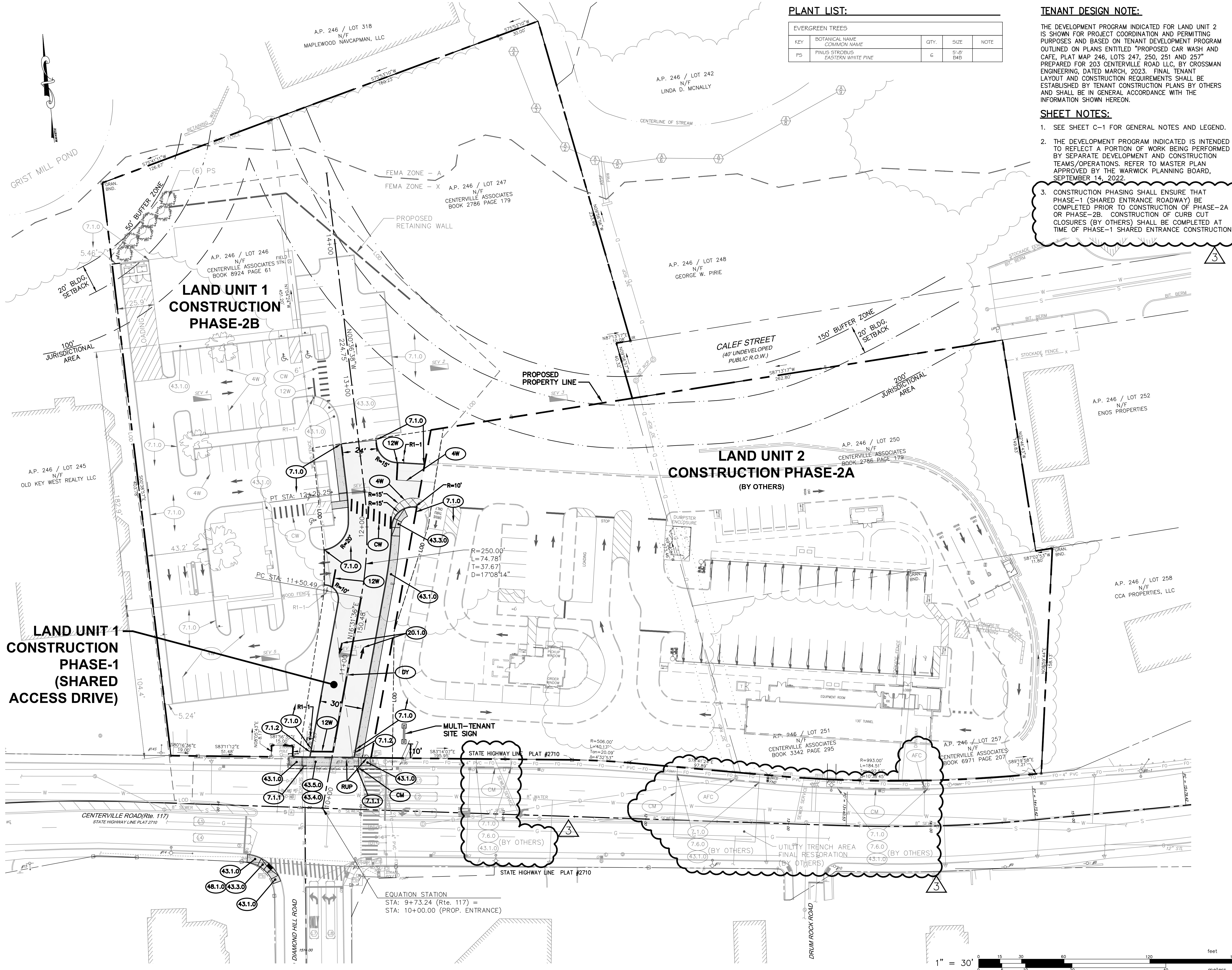
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CG-1

2 OF 11 SHEETS

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PLANT LIST:

KEY	BOTANICAL NAME COMMON NAME	QTY.	SIZE	NOTE
PS	EVERGREEN TREES PINUS STROBUS EASTERN WHITE PINE	6	9'-6" 8x8	

TENANT DESIGN NOTE:

THE DEVELOPMENT PROGRAM INDICATED FOR LAND UNIT 2 IS SHOWN FOR PROJECT COORDINATION AND PERMITTING PURPOSES AND BASED ON TENANT DEVELOPMENT PROGRAM OUTLINED ON PLANS ENTITLED "PROPOSED CAR WASH AND CAFE, PLAT MAP 246, LOTS 247, 250, 251 AND 257" PREPARED FOR 203 CENTERVILLE ROAD LLC, BY CROSSMAN ENGINEERING, DATED MARCH, 2023. FINAL TENANT LAYOUT AND CONSTRUCTION REQUIREMENTS SHALL BE ESTABLISHED BY TENANT CONSTRUCTION PLANS BY OTHERS AND SHALL BE IN GENERAL ACCORDANCE WITH THE INFORMATION SHOWN HEREON.

SHEET NOTES:

- SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.
- THE DEVELOPMENT PROGRAM INDICATED IS INTENDED TO REFLECT A PORTION OF WORK BEING PERFORMED BY SEPARATE DEVELOPMENT AND CONSTRUCTION TEAMS/OPERATIONS. REFER TO MASTER PLAN APPROVED BY THE WARWICK PLANNING BOARD, SEPTEMBER 14, 2022.
- CONSTRUCTION PHASING SHALL ENSURE THAT PHASE-1 (SHARED ENTRANCE ROADWAY) BE COMPLETED PRIOR TO CONSTRUCTION OF PHASE-2A OR PHASE-2B. CONSTRUCTION OF CURB CUT CLOSURES (BY OTHERS) SHALL BE COMPLETED AT TIME OF PHASE-1 SHARED ENTRANCE CONSTRUCTION.

SITE LAYOUT PLAN

FOR
A.P. 246, LOTS 246, 247, 250,
251 & 257
SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE
1	RIDEM	KJA	3/14/23
2	RIDOT COMMENTS	RAS	5/18/23
3	RIDOT COMMENTS	RAS	7/20/23

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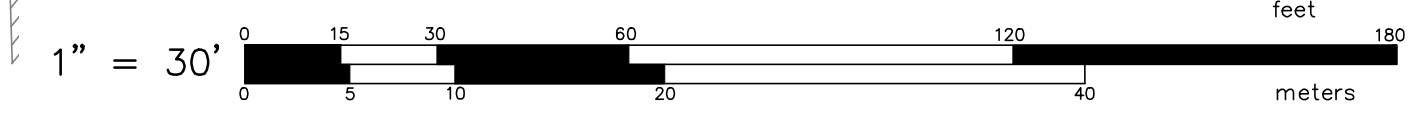
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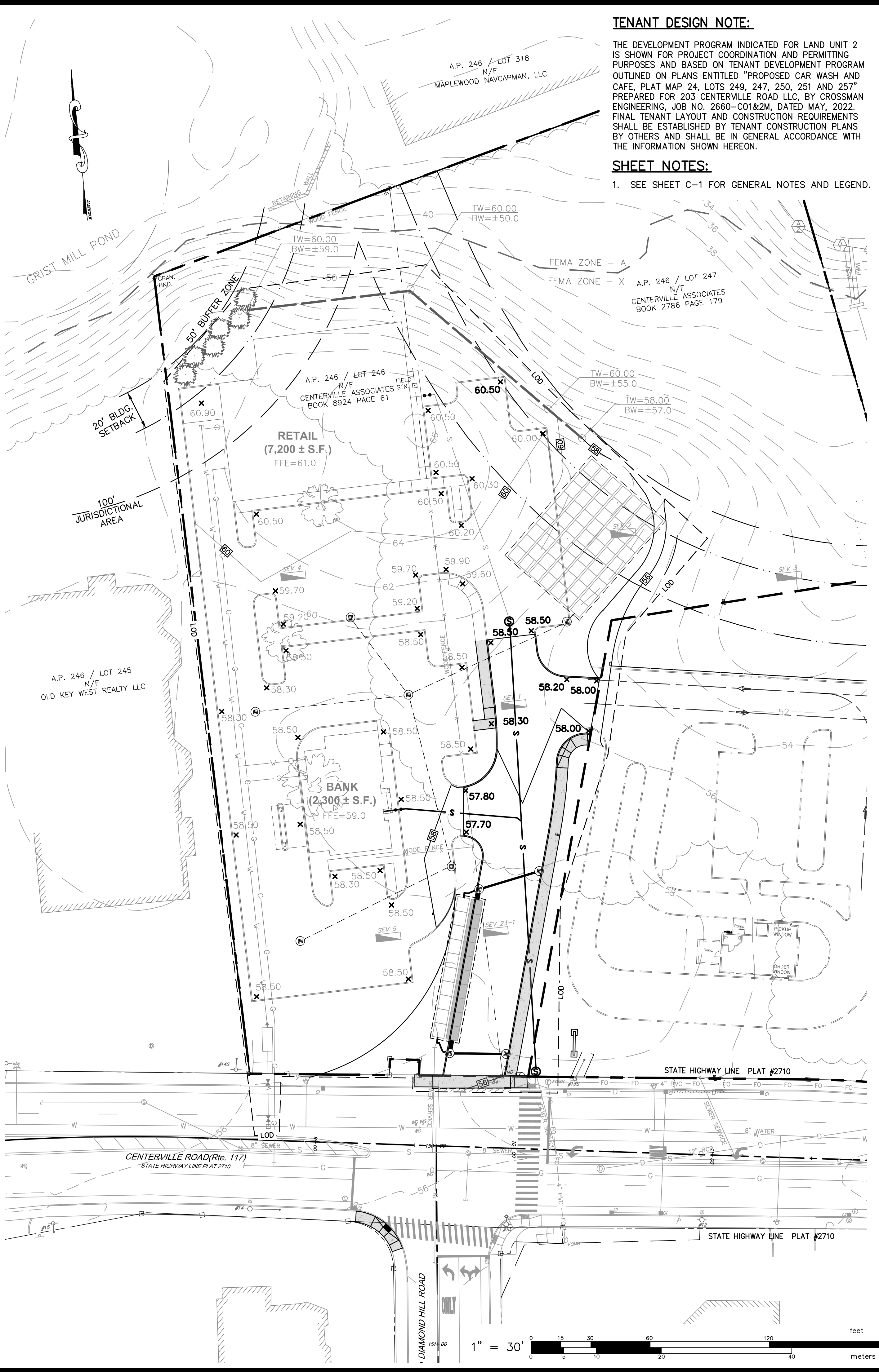
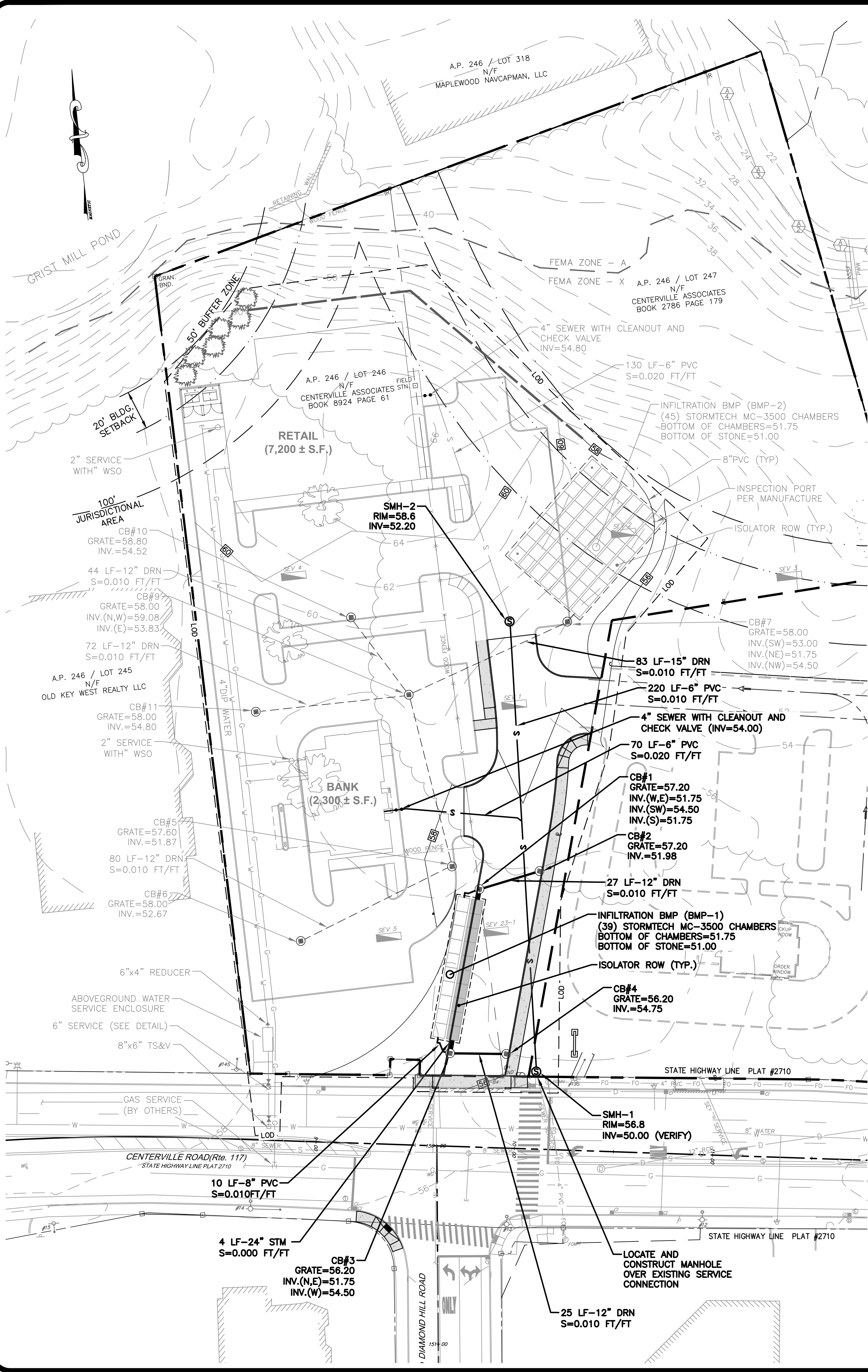
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3 OF 11 SHEETS



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TENANT DESIGN NOTE:

THE DEVELOPMENT PROGRAM INDICATED FOR LAND UNIT 2 IS SHOWN FOR PROJECT COORDINATION AND PERMITTING PURPOSES AND BASED ON TENANT DEVELOPMENT PROGRAM OUTLINED ON PLANS ENTITLED "PROPOSED CAR WASH AND CAFE, PLAT MAP 24, LOTS 249, 247, 250, 251 AND 257" PREPARED FOR 203 CENTERVILLE ROAD LLC, BY CROSSMAN ENGINEERING, JOB NO. 2860-CO1&2M, DATED MAY, 2022. FINAL TENANT LAYOUT AND CONSTRUCTION REQUIREMENTS SHALL BE ESTABLISHED BY TENANT CONSTRUCTION PLANS BY OTHERS AND SHALL BE IN GENERAL ACCORDANCE WITH THE INFORMATION SHOWN HEREON.

SHEET NOTES:

1. SEE SHEET C-1 FOR GENERAL NOTES AND LEGEND.

GRADING, DRAINAGE AND UTILITY PLAN
FOR
A.P. 246, LOTS 246, 247, 250, 251 & 257
SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND **CENTERVILLE ASSOCIATES**

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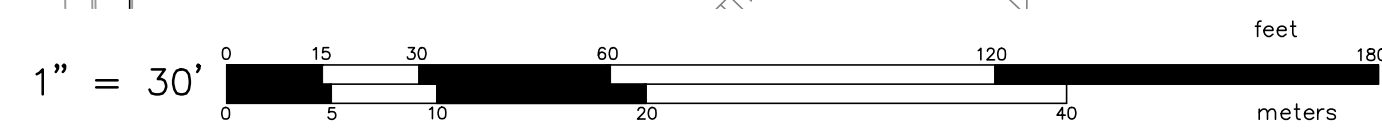
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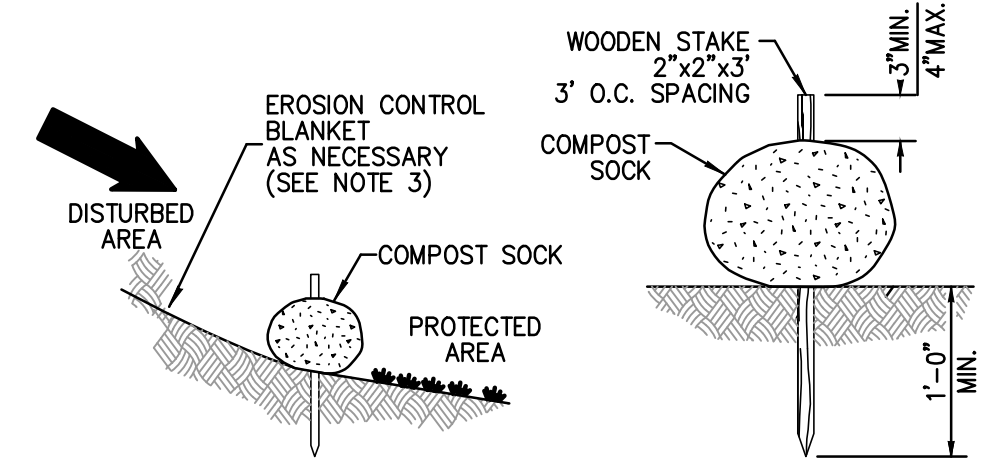
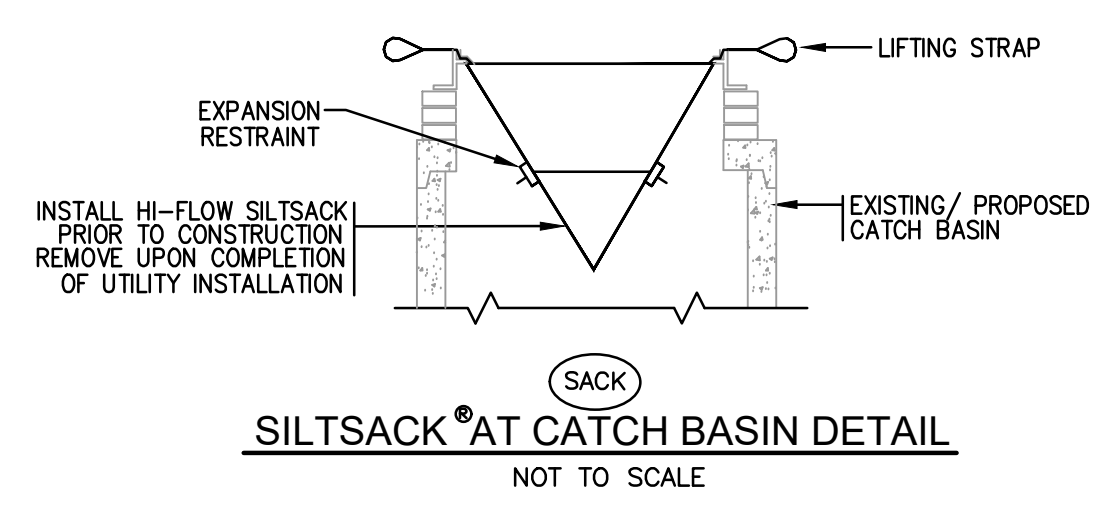
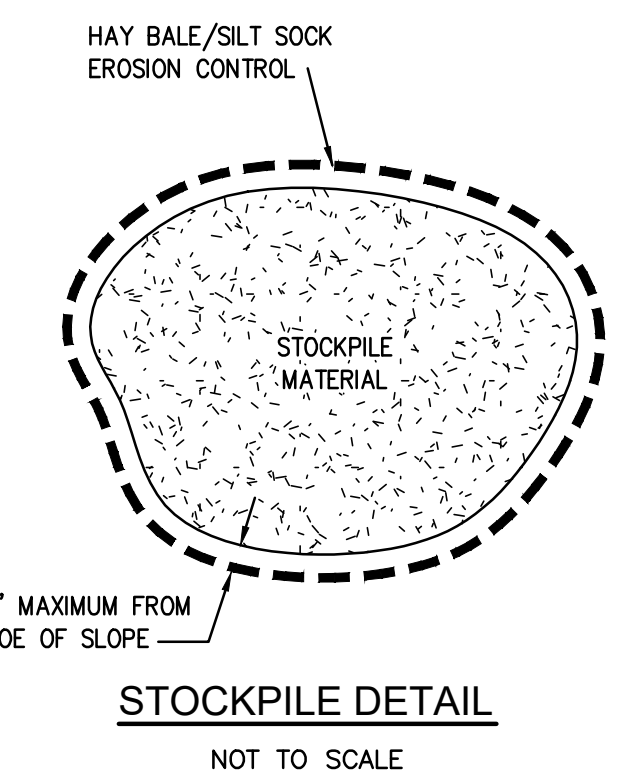
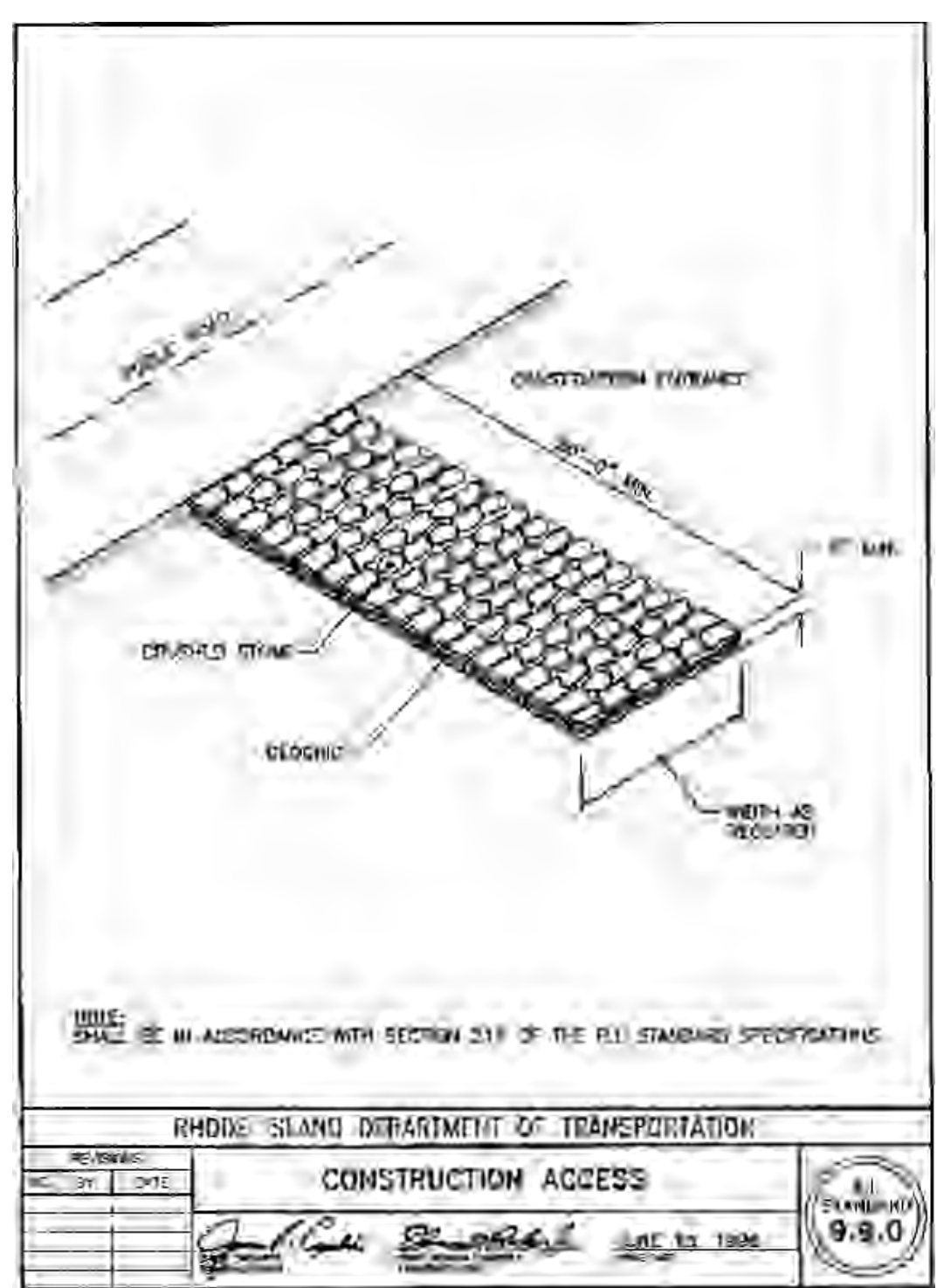
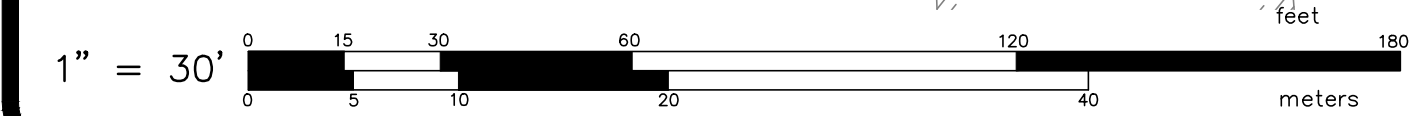
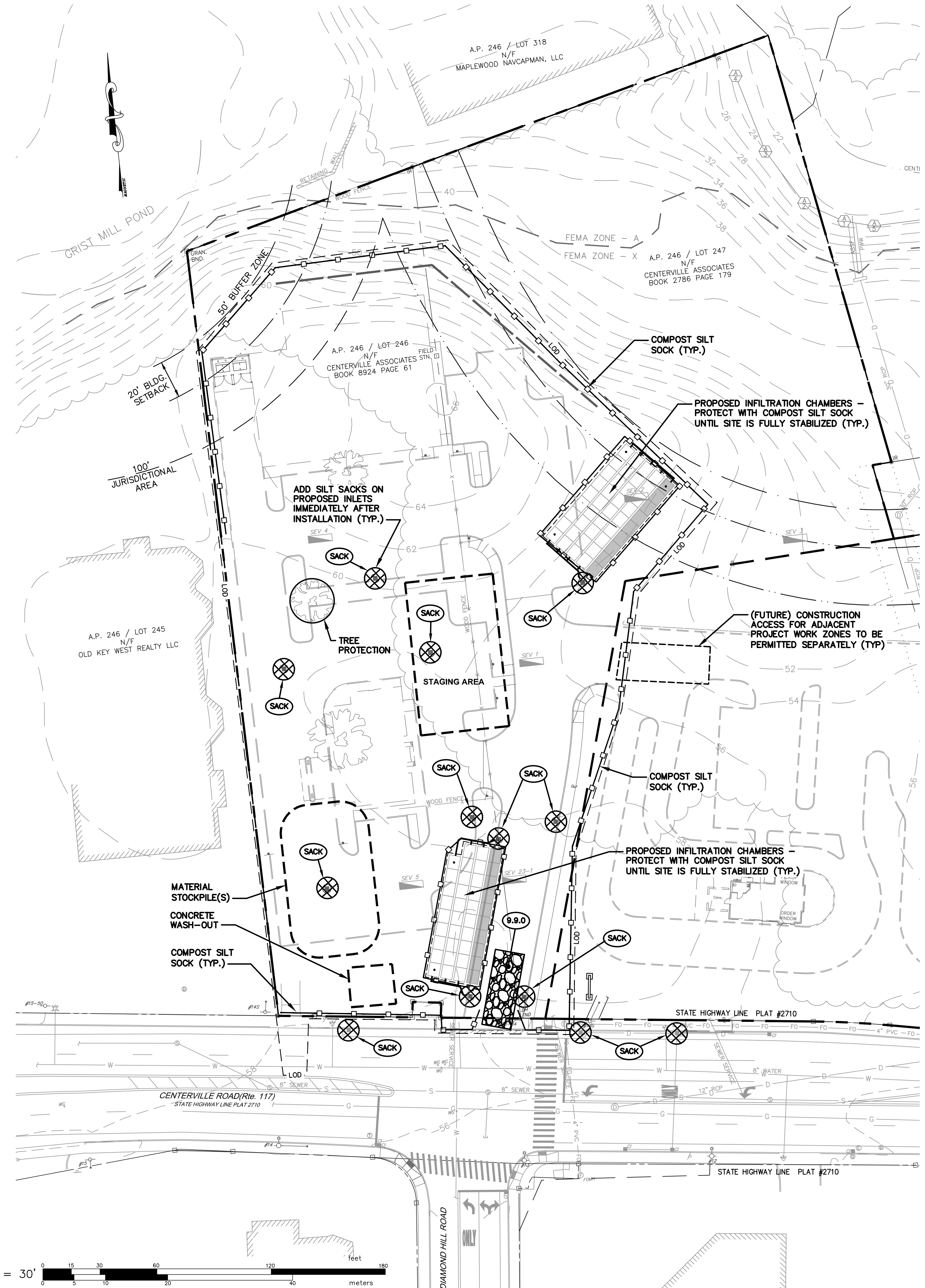
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4 OF 11 SHEETS



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- NOTES:
1. COMPOST SOCK SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS. COMPOST SOCK SHALL BE A MINIMUM OF 8" IN DIAMETER.
 2. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE ENGINEER.
 3. WHEN PLACING COMPOST SOCK ON SLOPES, USE EROSION CONTROL BLANKET IF SPECIFIED ON PLANS.
 4. ALWAYS INSTALL COMPOST SOCK PERPENDICULAR TO SLOPE AND ALONG CONTOUR LINES.
 5. REMOVE SEDIMENT FROM THE UP SLOPE SIDE OF THE COMPOST SOCK WHEN ACCUMULATION HAS REACHED 1/2 OF THE EFFECTIVE HEIGHT OF THE COMPOST SOCK.
 6. WHERE COMPOST SOCK IS INSTALLED ON PAVEMENT SHALL BE ADEQUATELY HIGH AT 8"-0" O.C. MIN.

COMPOST SILT SOCK DETAIL
NOT TO SCALE

TENANT DESIGN NOTE:

THE DEVELOPMENT PROGRAM INDICATED FOR LAND UNIT 2 IS SHOWN FOR PROJECT COORDINATION AND PERMITTING PURPOSES AND BASED ON TENANT DEVELOPMENT PROGRAM OUTLINED ON PLANS ENTITLED "PROPOSED CAR WASH AND CAFE, PLAT MAP 24, LOTS 249, 247, 250, 251 AND 257" PREPARED FOR 203 CENTERVILLE ROAD LLC, BY CROSSMAN ENGINEERING, JOB NO. 2660-CO1&2M, DATED MAY, 2022. FINAL TENANT LAYOUT AND CONSTRUCTION REQUIREMENTS SHALL BE ESTABLISHED BY TENANT CONSTRUCTION PLANS BY OTHERS AND SHALL BE IN GENERAL ACCORDANCE WITH THE INFORMATION SHOWN HEREON.

EROSION CONTROL & SOIL STABILIZATION PROGRAM:

1. DENUDED SLOPES SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME.
 2. ALL DISTURBED SLOPES EITHER NEWLY CREATED OR EXPOSED PRIOR TO OCTOBER 15, SHALL BE SEED OR PROTECTED BY THAT DATE FOR ANY WORK COMPLETED DURING EACH CONSTRUCTION YEAR.
 3. TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH OR PROTECTIVE COVERS SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
 4. HAY OR STRAW APPLICATIONS SHOULD BE IN THE AMOUNT OF 2000 LBS/ACRE.
 5. ALL HAYBALES OR TEMPORARY PROTECTION SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
 6. THE TOPSOIL SHALL HAVE A SANDY LOAM TEXTURE RELATIVELY FREE OF SUBSOIL MATERIAL, STONES, ROOTS, LUMPS OF SOIL, TREE LIMBS, TRASH OR CONSTRUCTION DEBRIS.
 7. THE SEED MIX SHALL BE INOCULATED WITHIN TWENTY FOUR (24) HOURS, BEFORE MIXING AND PLANTING, WITH APPROPRIATE INOCULUM FOR EACH VARIETY.
 8. THE DESIGN MIX FOR TEMPORARY EROSION CONTROL AND SOIL STABILIZATION SHALL BE COMPRISED OF THE FOLLOWING:

TYPE	% BY WEIGHT
CREeping RED FESCUE	70
ASTORIA BENTGRASS	5
BIRDFOOT TREEFOIL	15
PERENNIAL RYEGRASS	10
- APPLICATION RATE 100 LBS/ACRE
- LIMING AND FERTILIZING AS REQUIRED TO COMPLIMENT OR UPGRADE EXISTING CONDITIONS.
9. THE CONTRACTOR MUST REPAIR AND/OR RESEED ANY AREAS THAT DO NOT DEVELOP WITHIN THE PERIOD OF ONE (1) YEAR, AND HE SHALL DO SO AT NO ADDITIONAL EXPENSE.
 10. THE NORMAL ACCEPTABLE SEASONAL SEEDING DATES ARE APRIL 1ST THROUGH OCTOBER 15TH.
 11. STABILIZATION OF ONE FORM OR ANOTHER AS DESCRIBED ABOVE SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
 12. STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS OR FLOOD PLAINS. THEY SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%) AND STOCKPILES SHALL ALSO BE SEED AND/OR STABILIZED AND COMPLETELY ENCIrcLED WITH A CONTINUOUS LINE OF STAKED HAYBALES AND/OR SILTFENCE. (SEE DETAIL).
 13. ON BOTH STEEP AND LONG SLOPES, CONSIDERATION SHOULD BE GIVEN TO "CRIMPING" OR "TRACKING" TO TACK DOWN MULCH APPLICATIONS.

SEQUENCE AND STAGING OF LAND DISTURBING ACTIVITIES:

1. SURVEY AND STAKE THE DRAINAGE STRUCTURES, LIMIT OF WORK AND SEDIMENTATION BARRIERS.
2. PLACE SEDIMENTATION BARRIERS (SILT SOCK) AS SHOWN ON THE PLANS AND STAKED OUT IN THE FIELD. IN NO CASE IS THE LIMIT OF WORK TO EXTEND BEYOND THE SEDIMENTATION BARRIERS.
3. BEGIN GRADING AND DRAINAGE WORK (CLEARING AND GRUBBING, EXCAVATING AND GRADING, ETC.). TOP SOIL TO BE STRIPPED AND STOCKPILED IN APPROVED AREAS. THE STOCKPILES ARE TO BE PROTECTED BY A ROW OF SEDIMENTATION BARRIER AND COVERED OR TEMPORARILY SEEDED.
4. INSTALL DRAINAGE SYSTEM. INSTALL SEDIMENT PROTECTION IMMEDIATELY AFTER INSTALLATION.
5. COMPLETE SITE GRADING.
6. INSTALL BMPs IN ACCORDANCE WITH PLANS. SEDIMENT CONTROLS SHALL BE MAINTAINED AT THE BMP STRUCTURES UNTIL THE BINDER COURSE OF PAVEMENT IS INSTALLED AND DISTURBED AREAS ARE STABILIZED WITH VEGETATION.
7. COMPLETE LANDSCAPING AND PERMANENT STABILIZATION. SWEEP THE ROADWAY AREAS TO REMOVE ALL SEDIMENTS.
8. FLUSH AND/OR REPAIR DRAINAGE AREAS AS NEEDED.
9. REMOVE ALL TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES FOLLOWING VEGETATIVE ESTABLISHMENT OF ALL DISTURBED AREAS.

SEDIMENTATION CONTROL PROGRAM:

1. EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY SEDIMENTS FROM ENTERING THE STATE HIGHWAY OR ADJOINING PROPERTIES.
2. BANKS OR SLOPES OVER 5% SHALL BE SEED AS SOON AS POSSIBLE AND SHALL BE PROTECTED WITH A HAY, STRAW OR FIBER MULCH.
3. DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING STORMS AND PERIODS OF RAINFALL.
4. SEDIMENTATION CONTROL DEVICES SHALL BE INSPECTED CLOSELY AND MAINTAINED PROMPTLY AFTER EACH RAINFALL.
5. CARE SHALL BE TAKEN SO AS NOT TO PLACE "REMOVED SEDIMENTS" WITHIN THE PATH OF EXISTING, NEWLY CREATED (BOTH TEMPORARY AND PERMANENT) OR PROPOSED WATERCOURSES OR THOSE AREAS SUBJECT TO STORM WATER FLOW.
6. ADDITIONAL SILT SOCKS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.

SOIL EROSION & SEDIMENT CONTROL PLAN
 FOR
 A.P. 246, LOTS 246, 247, 250, 251 & 257
 SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
 PREPARED FOR
203 CENTERVILLE ROAD, LLC
 AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT

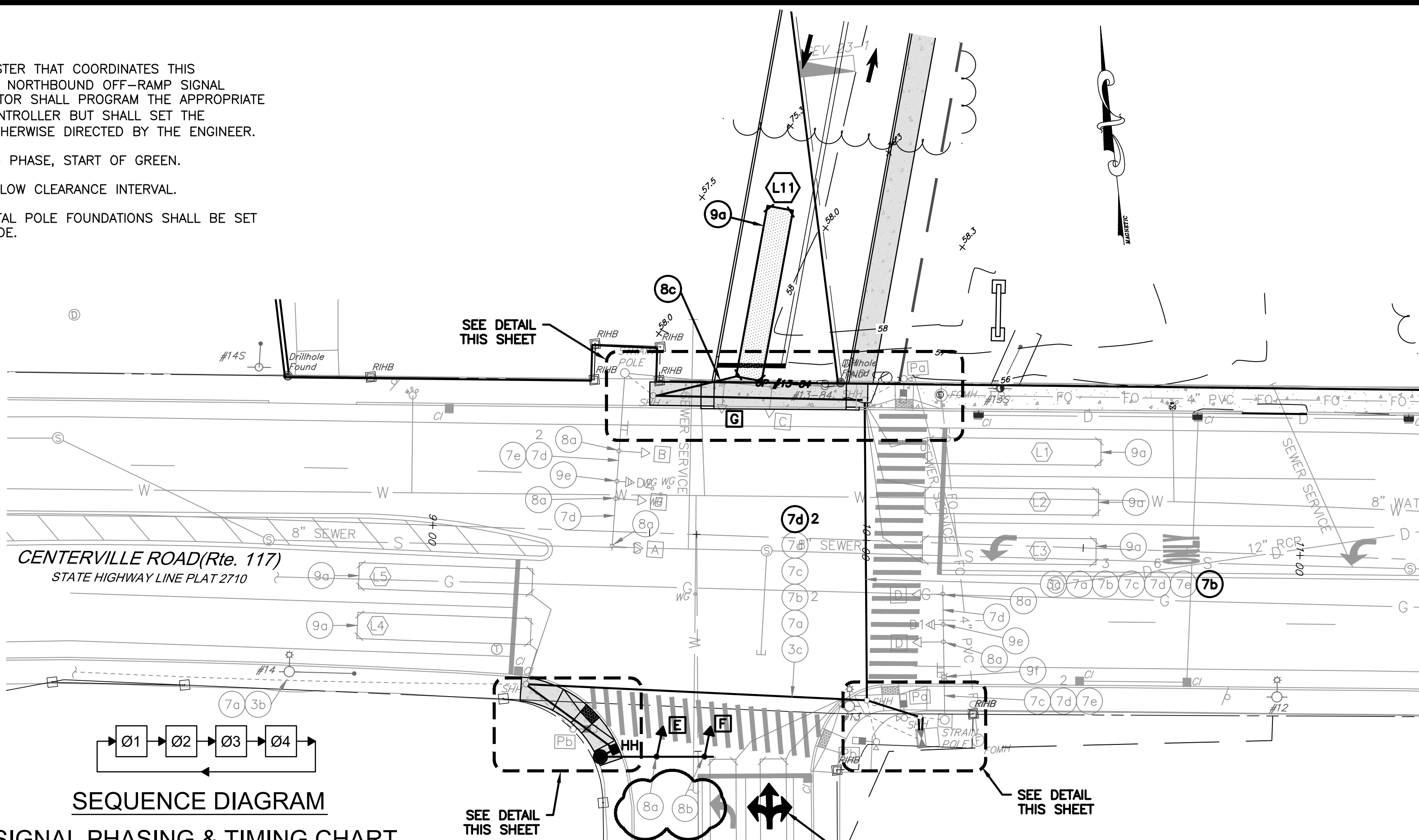
GAROFALO
 GAROFALO & ASSOCIATES, INC.
 CIVIL & STRUCTURAL ENGINEERS/SURVEYORS
 LAND PLANNERS/ENVIRONMENTAL SCIENTISTS
 85 CORLISS STREET
 P.O. BOX 6145
 PROVIDENCE, R.I. 02940
 TEL. 401-273-6000
 These drawings are the property of the engineer/surveyor and have been prepared for the specific project of this site and are not to be used for any other purpose, location or owner without written consent of this owner or one of its directors.

JOB NO. 7303-00	DRAWN BY K.J.A.
DWG. NO. 7303-00-Prelim_Site	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: JANUARY, 2023

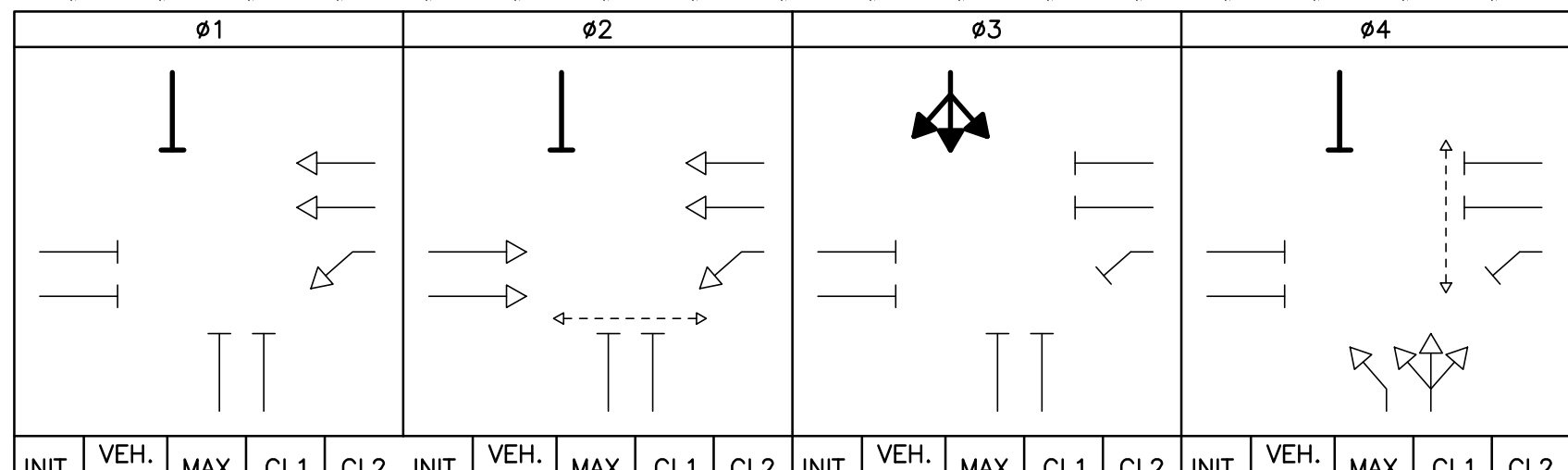
SHEET
CG-4
5 OF 11 SHEETS

NOTES:

1. THE CONTROLLER IS THE ON-STREET MASTER THAT COORDINATES THIS INTERSECTION WITH THE ROUTE 117/1-95 NORTHBOUND OFF-RAMP SIGNAL IMMEDIATELY TO THE WEST. THE CONTRACTOR SHALL PROGRAM THE APPROPRIATE TIME-OF-DAY (TOD) PLANS INTO THE CONTROLLER BUT SHALL SET THE INTERSECTION TO RUN "FREE" UNLESS OTHERWISE DIRECTED BY THE ENGINEER.
2. OFFSETS TO BE APPLIED AT COORDINATED PHASE, START OF GREEN.
3. EXTEND PEDESTRIAN CLEARANCE INTO YELLOW CLEARANCE INTERVAL.
4. ALL MAST ARM FOUNDATIONS AND PEDESTAL POLE FOUNDATIONS SHALL BE SET FLUSH WITH THE FINISHED SIDEWALK GRADE.



**SEQUENCE DIAGRAM
SIGNAL PHASING & TIMING CHART
(FREE OPERATION)**



SIGNAL HEADS	ø1		ø2		ø3		ø4		FLASH												
	INIT.	VEH. EXT.	INIT.	VEH. EXT.	INIT.	VEH. EXT.	INIT.	VEH. EXT.													
A	6	2.6	16	3.5	1.0	10	3.0	4.5	1.5	6	2.7	11	3.5	1.0	6	2.7	28	3.5	1.0	FLASH	
B	←G	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y	←Y
C	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
D	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
E	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R
F	R	R	R	R	R	R	R	R	R	G/←G	←Y	R	R	R	R	R	R	R	R	R	R
G	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R	R

● SIGNAL HEAD B WILL REMAIN "G" IF PHASE 2 IS NEXT.

TIME OF DAY

WEEKDAYS		WEEKENDS	
D/S/O	TIME	DSO	TIME
1/1/1	0700-1100	3/1/1	0900-1900
2/1/1	1100-1500		
3/1/1	1500-1800		

LOOP DETECTOR CHART

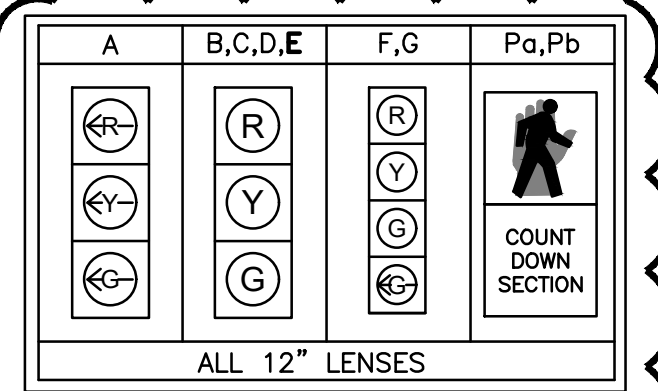
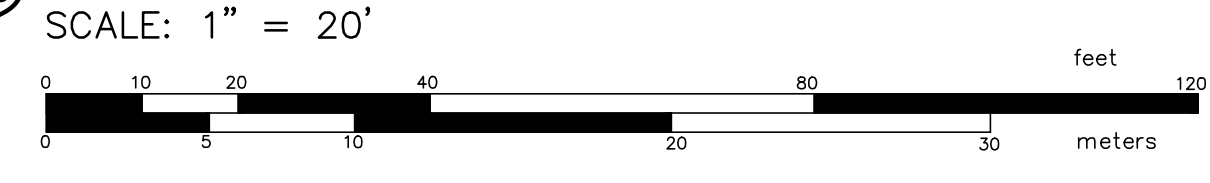
LOOP DESIGNATION	SIZE	PHASE	RELAY	SLOT	DELAY SETTING (SECONDS)	MODE
L1 (EX)	6'x40'	2	1	2	3	PRESENCE
L2 (EX)	6'x40'	2	1	2	3	PRESENCE
L3 (EX)	6'x40'	1	1	2	3	PRESENCE
L5 (EX)	6'x40'	2	2	4	3	PRESENCE
L6 (EX)	6'x40'	2	2	4	3	PRESENCE
L7 (EX)	6'x40'	3	2	4	3	PRESENCE
L8 (EX)	6'x40'	3	2	4	3	PRESENCE
L9 (EX)	6'x6'	-	3	6	-	PRESENCE
L10 (EX)	6'x6'	-	3	6	-	PRESENCE
L11	6'x40'	3	3	6	3	PRESENCE

PROPOSED TRAFFIC SIGNAL MATERIALS LIST

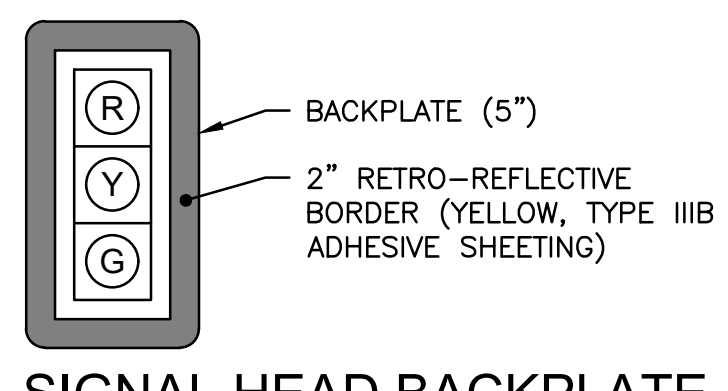
- | ITEM No. | LEGEND | ITEM DESCRIPTION |
|----------|--------|---|
| 1a | ■ | PRECAST TYPE A, HANDHOLE (RI STD. 18.2.0) |
| 1b | ■ | PRECAST TYPE H, HEAVY-DUTY HANDHOLE (RI STD. 18.2.1) |
| 1c | SHH○ | BREAK INTO EXISTING HANDHOLE |
| 3c | — | 3" SCH. 80 PVC CONDUIT (UNDER EXISTING PAVEMENT) |
| 6a | — | 25' GALV. STEEL MAST ARM W/ POST & FOUNDATION (RI STD. 19.2.0) |
| 7b | — | LOOP DETECTOR SHIELDED, TWISTED CABLE, 2 CONDUCTOR, No. 14 A.W.G. |
| 7d | — | No. 14 A.W.G., 5 CONDUCTOR CABLE |
| 8a | → | 1-WAY, 3 SECTION, 12 INCH, MAST ARM MOUNTED SIGNAL HEAD |
| 8b | → | 1-WAY, 4 SECTION, 12 INCH, MAST ARM MOUNTED SIGNAL HEAD |
| 8c | → | 1-WAY, 1 SECTION, 12 INCH SIGNAL HEAD, ATTACH TO EXISTING SIGNAL HEAD |
| 9a | — | TRAFFIC DETECTOR, LOOP TYPE (RI STD. 19.6.0) |
| 9b | — | TRAFFIC DETECTOR RELAY LOOP, 4 CHANNEL (REPLACE EXISTING 2 CHANNEL) |

EXISTING TRAFFIC SIGNAL MATERIALS LIST

- | ITEM No. | LEGEND | ITEM DESCRIPTION |
|----------|--------|--|
| 2a | — | 2" RIGID STEEL CONDUIT (OVERHEAD) |
| 2b | — | 2" RIGID STEEL CONDUIT (UNDERGROUND) |
| 2c | — | 3" RIGID STEEL CONDUIT (UNDERGROUND) |
| 3a | — | 2" PVC CONDUIT (OVERHEAD) |
| 3b | — | 3" SCH. 80 PVC CONDUIT (UNDERGROUND) |
| 5a | ○ | 8' STD. ALUMINUM PEDESTAL POLE AND FOUNDATION (RI STD. 19.4.0) |
| 6b | □ | 30' GALV. STEEL MAST ARM W/ POST AND FOUNDATION (RI STD. 19.2.0) |
| 6f | ○ | 35'x40' DUAL GALV. STEEL MAST ARM W/ POST AND FOUNDATION (RI STD. 19.2.0) |
| 7a | — | CABLE, SINGLE CONDUCTOR, 6 A.W.G., 600V. INSULATION |
| 7c | — | No. 14 A.W.G. 3 CONDUCTOR CABLE |
| 7e | — | OPTICAL DETECTOR CABLE |
| 8b | ■ | 1-WAY PEDESTAL MOUNTED L.E.D. PEDESTRIAN SIGNAL HEAD W/ COUNTDOWN TIMER |
| 9c | — | TRAFFIC DETECTOR RELAY LOOP, 4 CHANNEL |
| 9d | ◀ | HEAVY DUTY PEDESTRIAN DETECTOR PUSHBUTTON W/ SIGN AND AUDIBLE PEDESTRIAN EQUIPMENT |
| 9e | ◀ | OPTICAL DETECTOR, SINGLE CHANNEL, 1-WAY |
| 9f | * | OPTICAL DETECTOR CONFIRMATION BEACON |
| 10a | ■ | TS-2 CONTROLLER (TYPE 1), 8 PHASE W/ 8 PHASE ASSEMBLY, GROUND MOUNTED INCLUDING CABINET AND FOUNDATION |
| 10b | — | METER SOCKET W/ MANUAL BY-PASS |
| 10c | — | TRAFFIC SIGNAL SYSTEM MASTER |
| 10d | — | TELEPHONE MODEM AND SERVICE CONNECTION |
| 10e | — | OPTICAL PHASE SELECTOR AND CHASSIS |

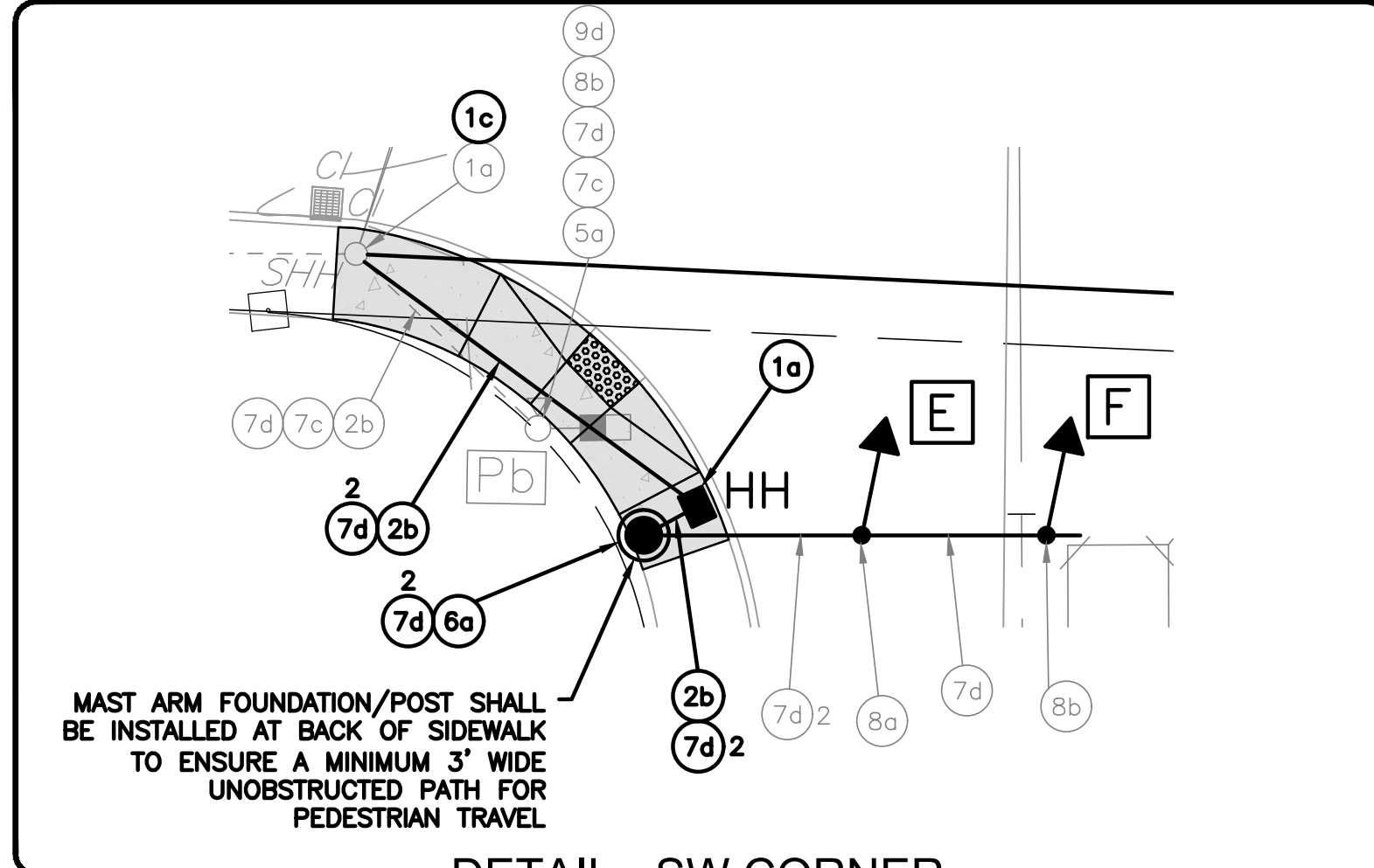


SIGNAL HEAD DATA

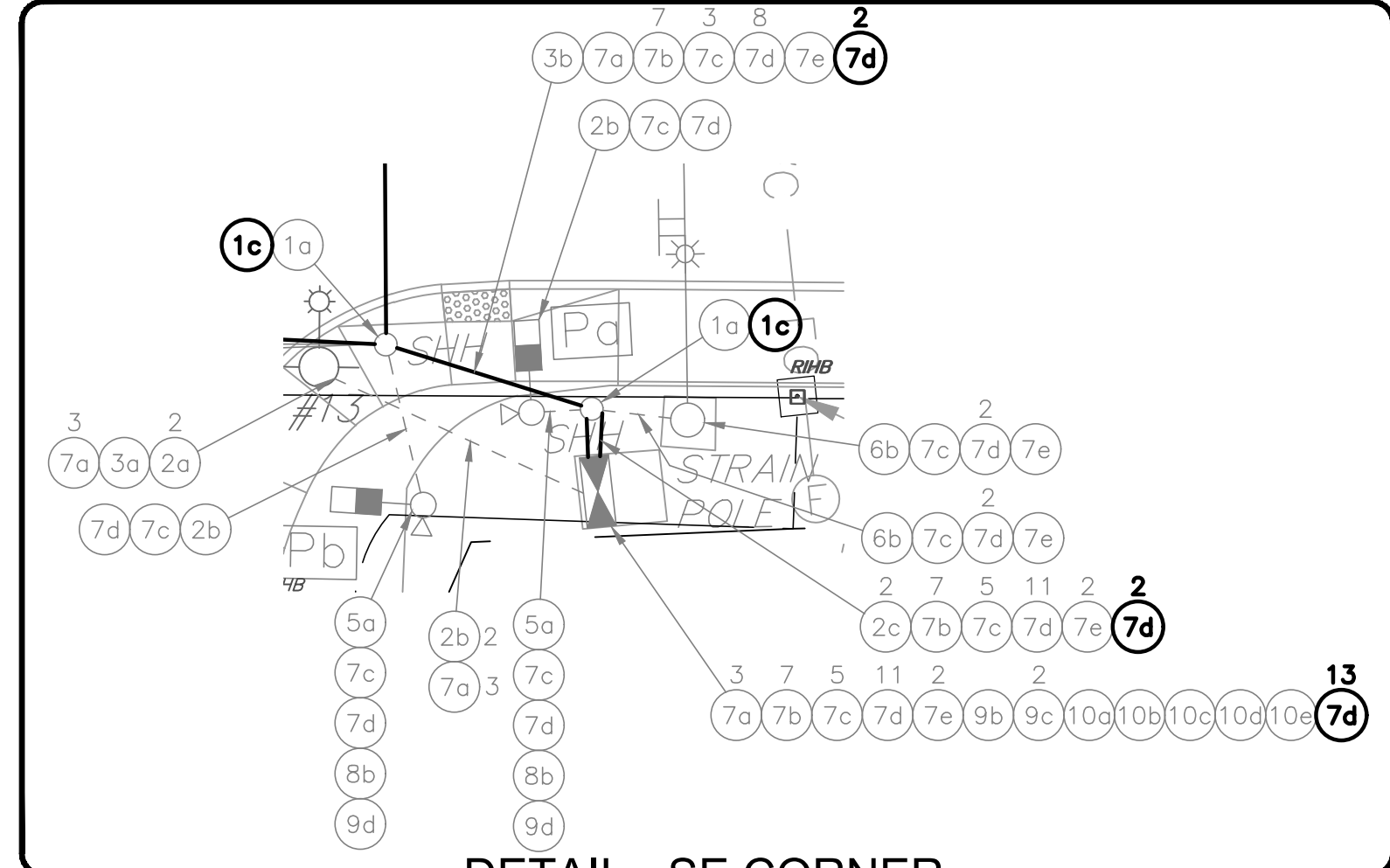


SIGNAL HEAD BACKPLATE & BORDER DETAIL

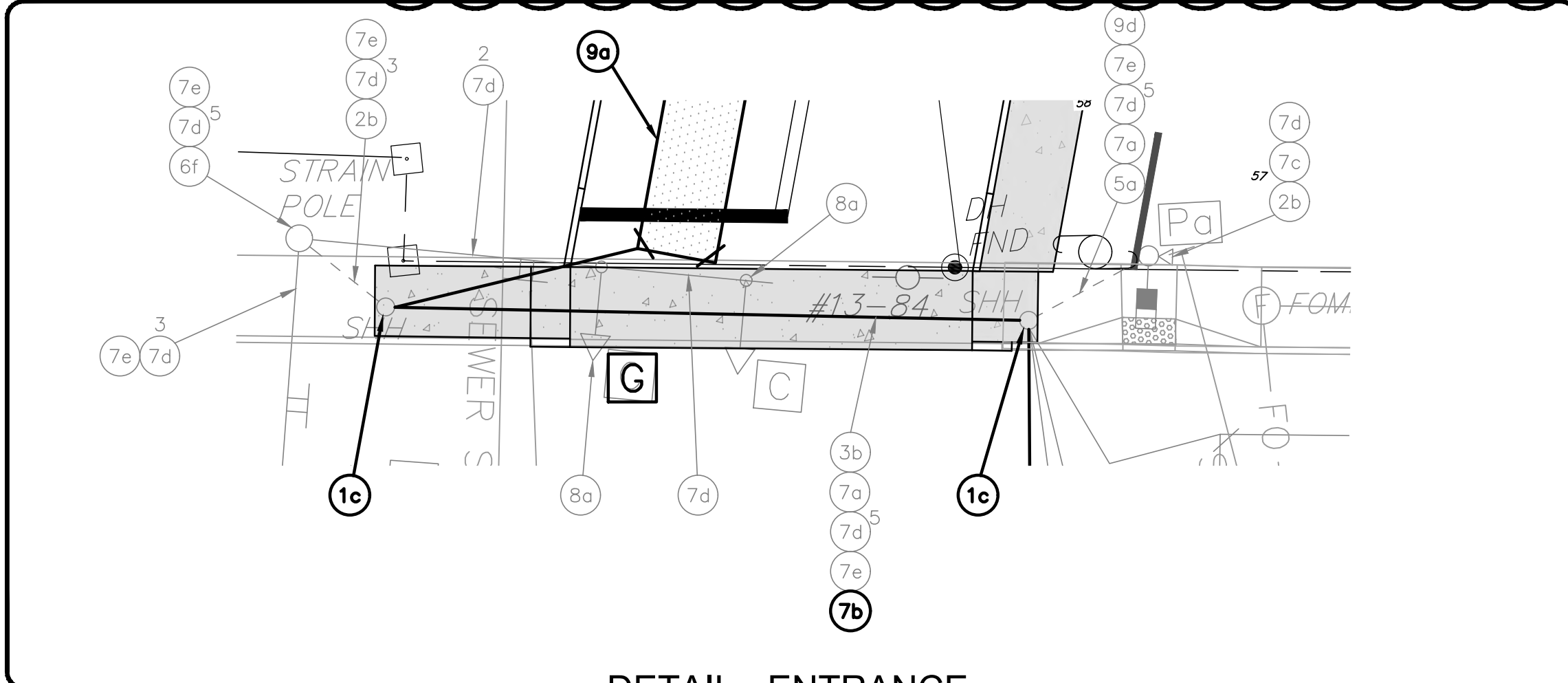
- NOTES:**
1. ALL NEW SIGNAL INDICATIONS SHALL HAVE L.E.D. LENSES AND SNOW SCOOP VISORS. VISORS SHALL BE BLACK.
 2. BACKPLATES WITH 2" REFLECTORIZED BORDERS SHALL BE PROVIDED ON ALL VEHICULAR SIGNAL HEADS.
 3. THE EXISTING BACKPLATE ON THE 3-WAY, 3-SECTION SIGNAL HEAD (G) SHALL BE REMOVED AND REPLACED WITH A NEW BACKPLATE FOR A 4-SECTION HEAD.
 4. THE PROPOSED 1-WAY, 1 SECTION SIGNAL HEAD SHALL BE POWERED USING SPARE CONDUCTOR ON THE EXISTING 5 CONDUCTOR CABLE AT THE EXISTING SIGNAL HEAD G. IF THE SPARE CONNECTOR IS NOT USABLE A NEW NO.14 AWG 7 CONDUCTOR SHALL BE INSTALLED.



DETAIL - SW CORNER
SCALE: 1"=10'



DETAIL - SE CORNER
SCALE: 1"=10'



DETAIL - ENTRANCE
SCALE: 1"=10'

TRAFFIC SIGNAL PLAN
FOR
A.P. 246, LOTS 246, 247, 250,
251 & 257
SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE
1	draft_PER PLANNING	KYY	08/02/22
2	RIDOT COMMENTS	RAS	5/10/23
3	RIDOT COMMENTS	RAS	7/20/23
4	PER CROSSMAN COMMENTS	KYY	09/11/23

ISSUED FOR PERMIT

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PROVIDENCE, R.I. 02940
TEL. 401-273-6000

JOB NO. 7303-00	DRAWN BY K.J.A.
DWG. NO. 7303-00-Prelim_Signal	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
	DATE: JANUARY, 2023

SHEET
CG-5
6 OF 11 SHEETS

L:\7303-00_Concepts at Centerville Road (Centerville Builders) - Warwick, R.I.\dwg\01-Current\Preliminary Plan_Dwg\7303-00-Prelim_Del.dwg 09/22/2023 klyngang 11:19

CIRCULAR CURB

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR RAMP PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 3. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 4. DETECTABLE WARNING TO BE PAID FOR UNDER COST OF CURB.
 5. EXPOSED EDGE TO HAVE 1/4" RADIUS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
PRECAST CONCRETE CURB
 R.I. STANDARD 7.1.0

5'-0" PRECAST CONCRETE TRANSITION CURB

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR RAMP PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 3. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 4. DETECTABLE WARNING TO BE PAID FOR UNDER COST OF CURB.
 5. EXPOSED EDGE TO HAVE 1/4" RADIUS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
5'-0" PRECAST CONCRETE TRANSITION CURB
 R.I. STANDARD 7.1.0

6'-0" PRECAST CONCRETE TRANSITION CURB

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR RAMP PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 3. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 4. DETECTABLE WARNING TO BE PAID FOR UNDER COST OF CURB.
 5. EXPOSED EDGE TO HAVE 1/4" RADIUS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
6'-0" PRECAST CONCRETE TRANSITION CURB
 R.I. STANDARD 7.1.0

6'-0" PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR RAMP PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 3. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 4. DETECTABLE WARNING TO BE PAID FOR UNDER COST OF CURB.
 5. EXPOSED EDGE TO HAVE 1/4" RADIUS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
6'-0" PRECAST CONCRETE WHEELCHAIR RAMP TRANSITION CURB
 R.I. STANDARD 7.1.0

CURB SETTING DETAIL

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR RAMP PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 3. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 4. DETECTABLE WARNING TO BE PAID FOR UNDER COST OF CURB.
 5. EXPOSED EDGE TO HAVE 1/4" RADIUS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CURB SETTING DETAIL
 R.I. STANDARD 7.1.0

CEMENT CONCRETE SIDEWALK

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. FOR CURB SETTING DETAIL REFERENCE STD. 7.6.0.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CEMENT CONCRETE SIDEWALK
 R.I. STANDARD 4.3.1.0

WHEELCHAIR RAMP

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. WHEN ANY OBSTRUCTION LOCATED IN THE SIDEWALK FALLS WITHIN A CROSSWALK AREA, THE WHEELCHAIR RAMP SHALL BE PLACED SUCH THAT THE OBSTRUCTION FALLS OUTSIDE OF THE RAMP.
 3. AT NO TIME IS ANY PART OF THE WHEELCHAIR RAMP TO BE LOCATED OUTSIDE OF THE CROSSWALK, AND IT IS TO BE CENTERED WHENEVER POSSIBLE.
 4. LOCATION OF WHEELCHAIR RAMP TO BE AS SHOWN ON CONTACT DRAWING.
 5. IN NO INSTANCE SHALL THE SIDEWALK CROSS SLOPE EXCEED 1:50 EXCEPT WITHIN THE RAMP AREA.
 6. THE WHEELCHAIR RAMP SLOPE AND SIDE SLOPES (TRANSITIONS) MUST NOT BE STEEPER THAN 1:12. HOWEVER, THESE SLOPES MAY BE FLATTER THAN 1:12 WHEN WARRANTED BY SURROUNDING CONDITIONS.
 7. WHERE THE ROAD PROFILE EXCEEDS ON THE HIGH SIDE TRANSITION LENGTH (T) SHALL BE EIGHTEN FEET (18'-0").
 8. IN NO CASE, WHEN A STOP LINE IS WARRANTED, SHALL A RAMP BE PLACED BEHIND THE STOP LINE.
 9. THE ENTRANCE OF THE WHEELCHAIR RAMP SHALL BE FLUSH WITH THE SIDEWALK.
 10. THE WHEELCHAIR RAMP SHALL BE CENTERED RADIALLY CONCRETE THE RAMP POINT WHEN POSSIBLE.
 11. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR RAMP PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 12. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 13. DETECTABLE WARNINGS TO BE PAID FOR UNDER SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 14. 8" CONCRETE DEPTH FOR RADIUS WHEELCHAIR RAMPS ONLY. USE 4" DEPTH FOR TANGENT (WID-BLOCK) LOCATIONS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
WHEELCHAIR RAMP
 R.I. STANDARD 4.3.3.0

WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR RAMP PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 3. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 4. DETECTABLE WARNING TO BE PAID FOR UNDER COST OF CURB.
 5. EXPOSED EDGE TO HAVE 1/4" RADIUS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
WHEELCHAIR RAMP FOR LIMITED RIGHT-OF-WAY AREAS
 R.I. STANDARD 4.3.3.1

DRIVEWAY DEVELOPMENT FOR 4'-0" TRANSITION CURB

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
 2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR RAMP PIECES TO BE 3'-0" (GREATER LENGTHS PREFERRED).
 3. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 4. DETECTABLE WARNING TO BE PAID FOR UNDER COST OF CURB.
 5. EXPOSED EDGE TO HAVE 1/4" RADIUS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
DRIVEWAY DEVELOPMENT FOR 4'-0" TRANSITION CURB
 R.I. STANDARD 7.1.0

CEMENT CONCRETE DRIVEWAYS

NOTES:
 1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
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 3. ALL REQUIRED OUTSIDE OF CURB PIECES TO BE PAID FOR UNDER COST OF CURB.
 4. DETECTABLE WARNING TO BE PAID FOR UNDER COST OF CURB.
 5. EXPOSED EDGE TO HAVE 1/4" RADIUS.

RHODE ISLAND DEPARTMENT OF TRANSPORTATION
CEMENT CONCRETE DRIVEWAYS
 R.I. STANDARD 7.1.0

CONSTRUCTION DETAILS - I
 FOR
 A.P. 246, LOTS 246, 247, 250,
 251 & 257
 SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
 PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE

ISSUED FOR PERMIT

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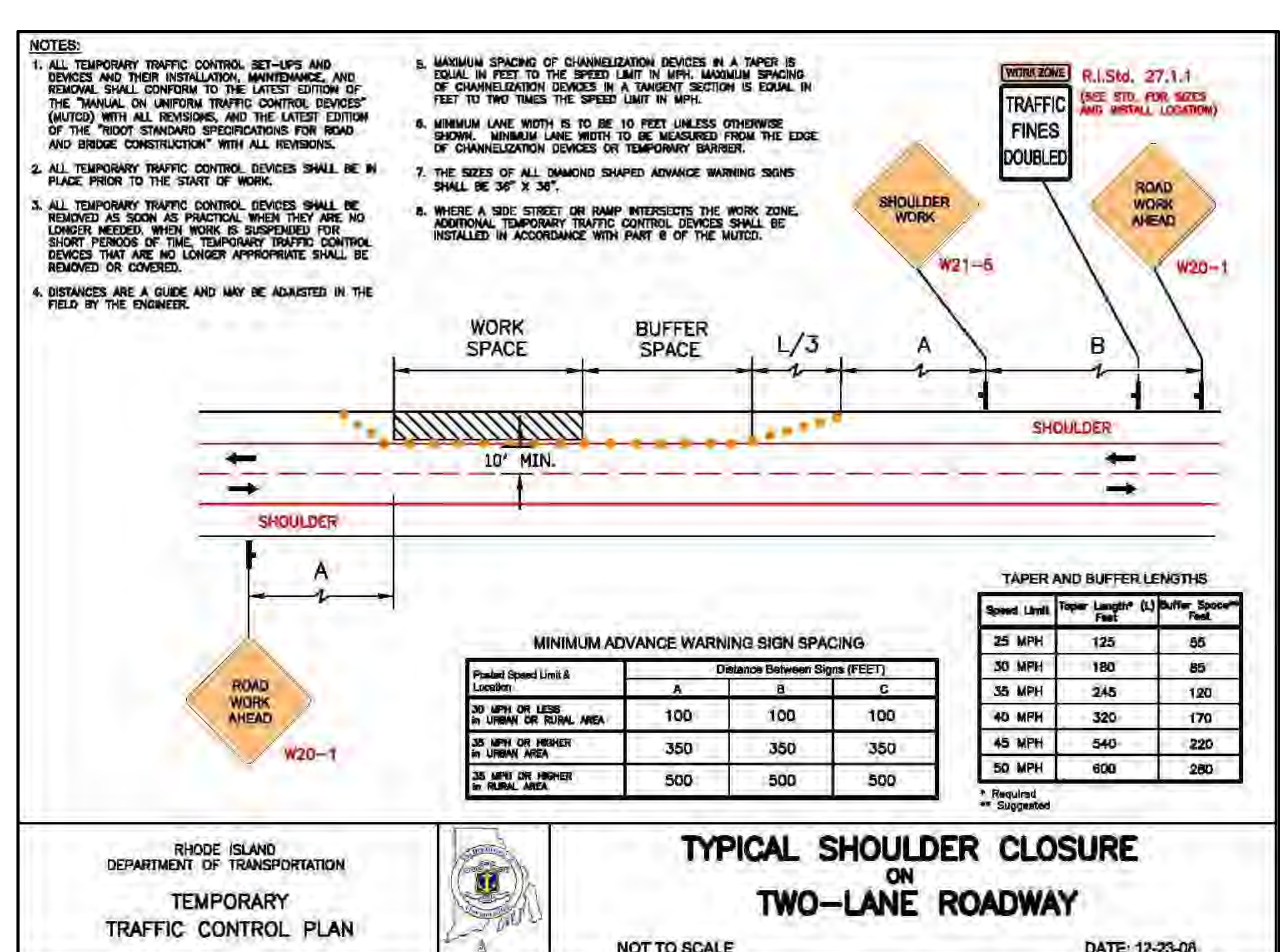
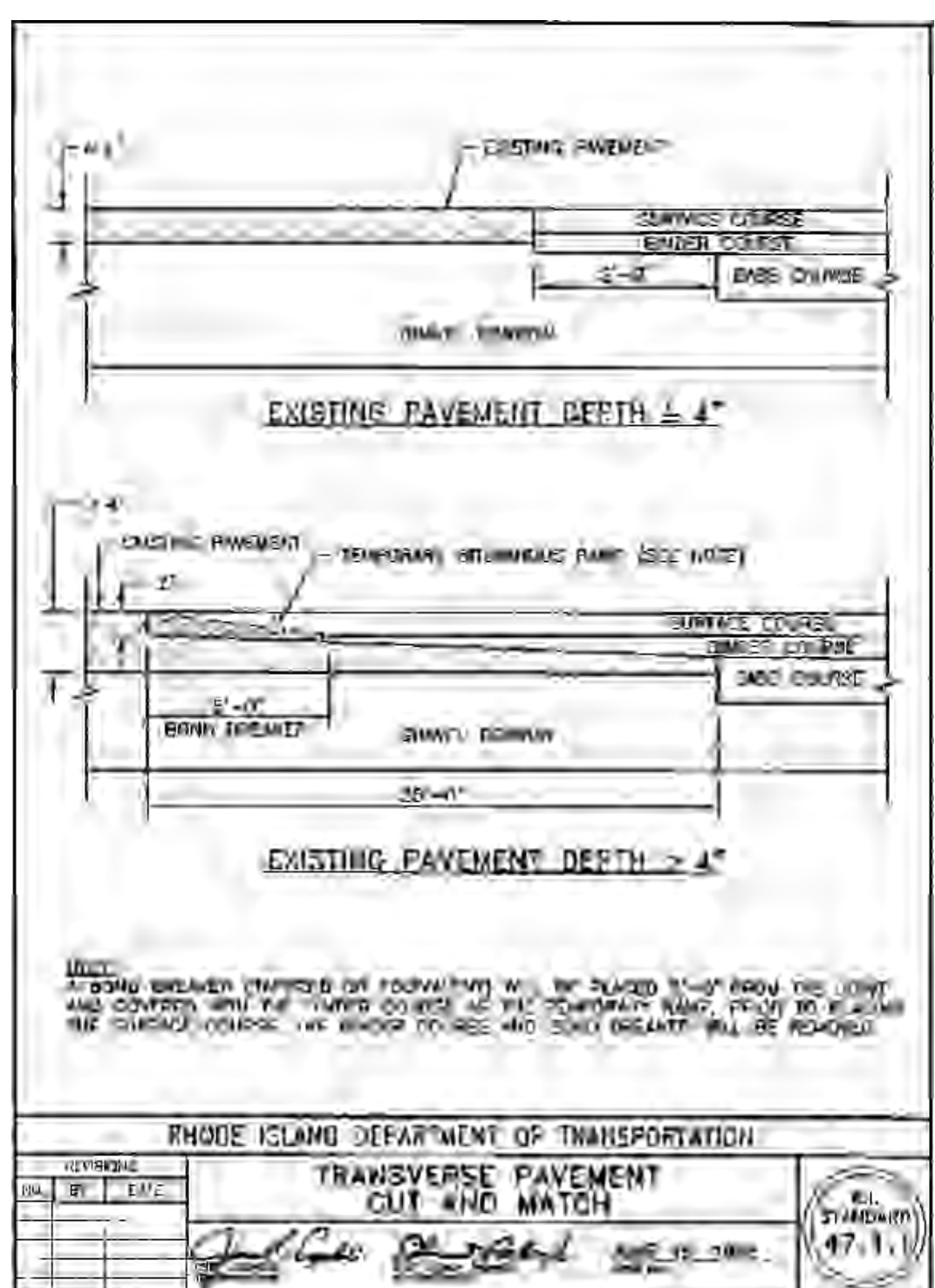
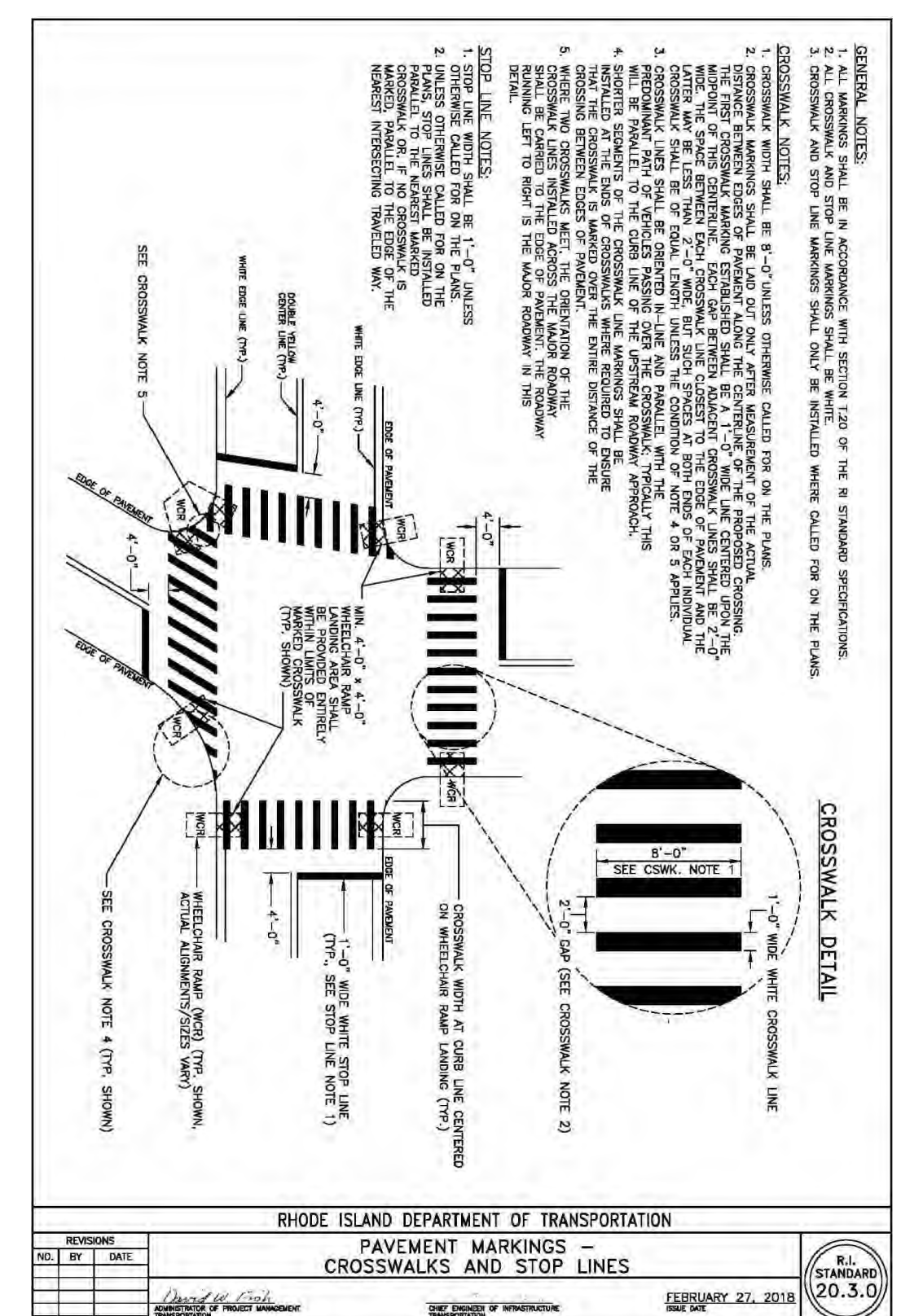
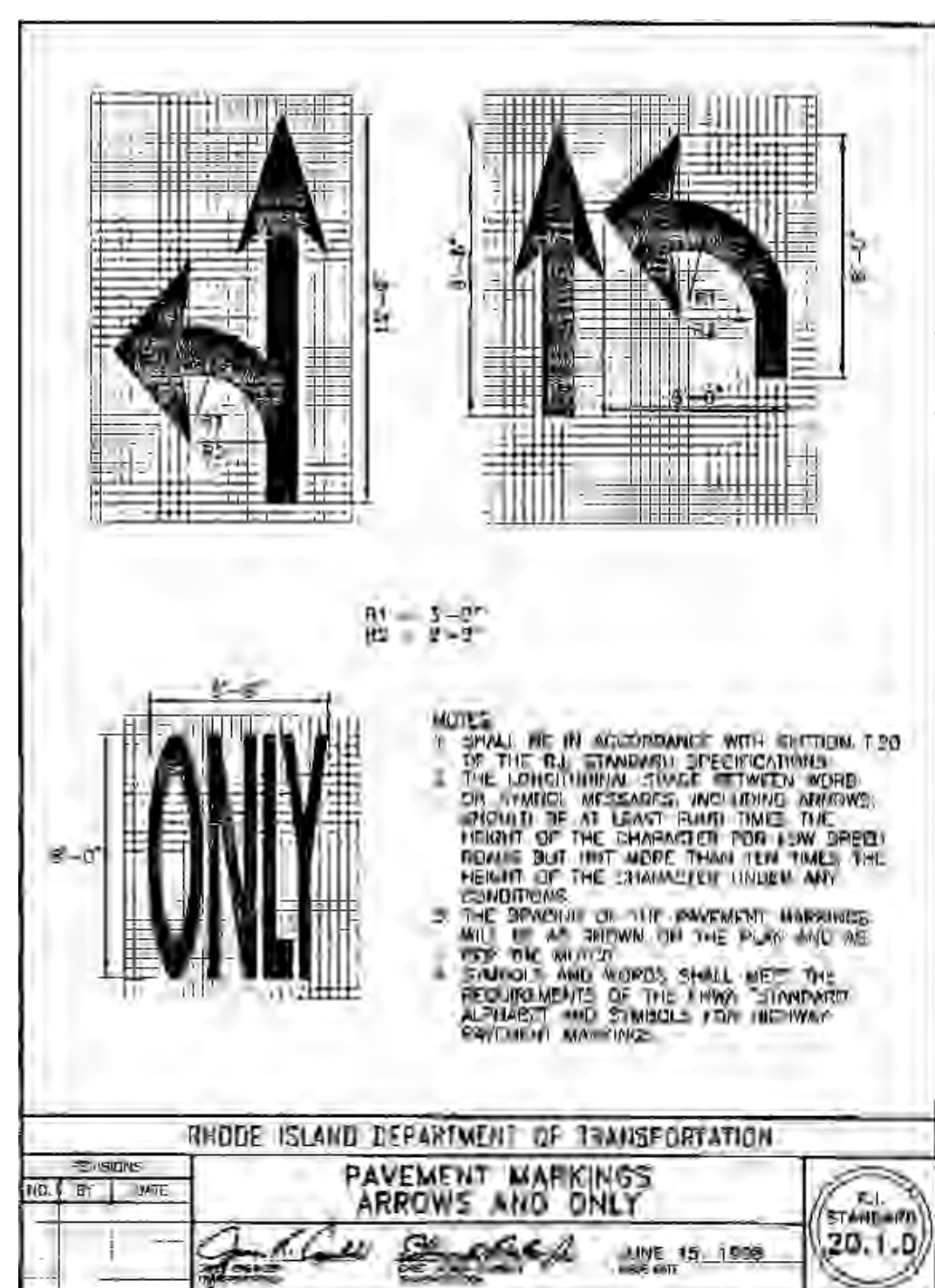
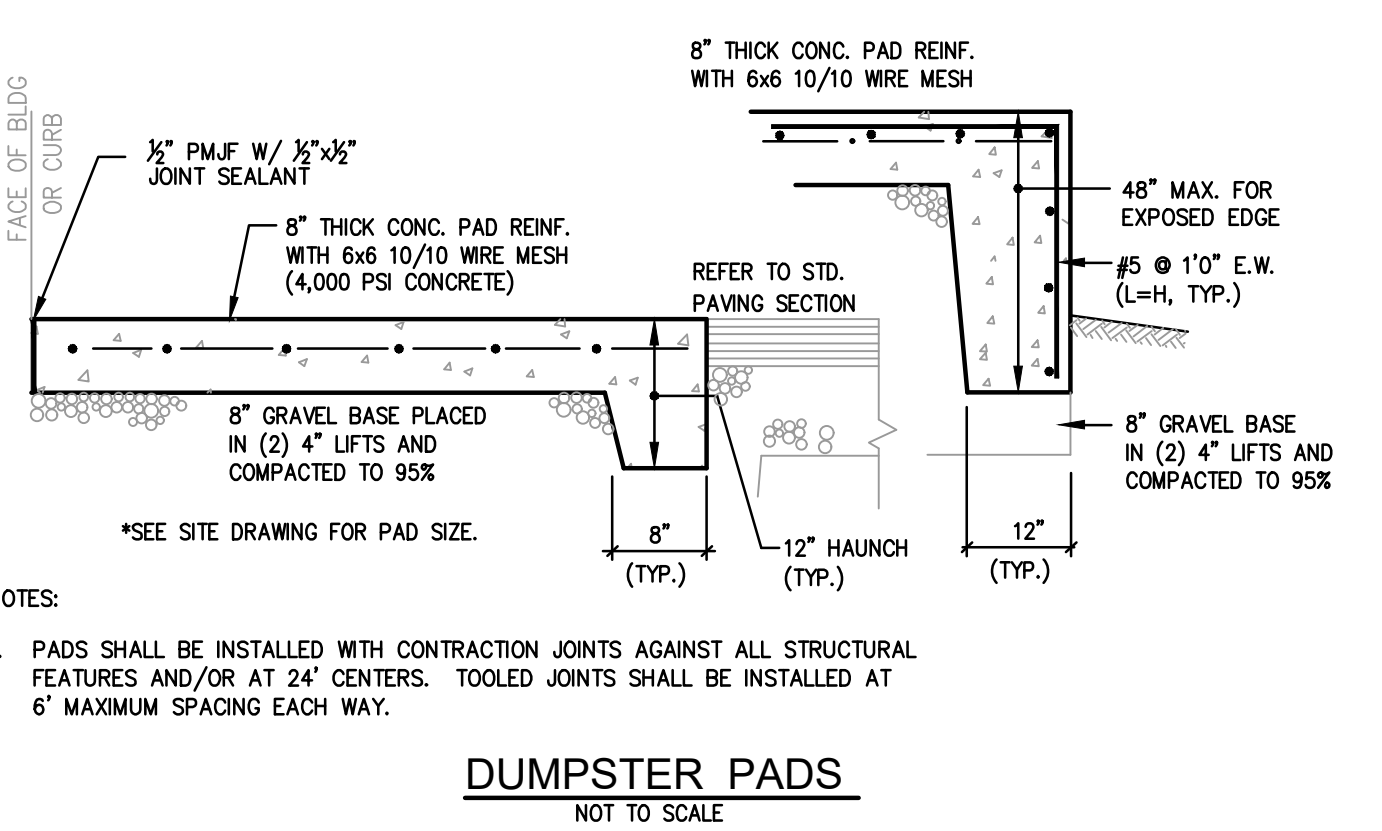
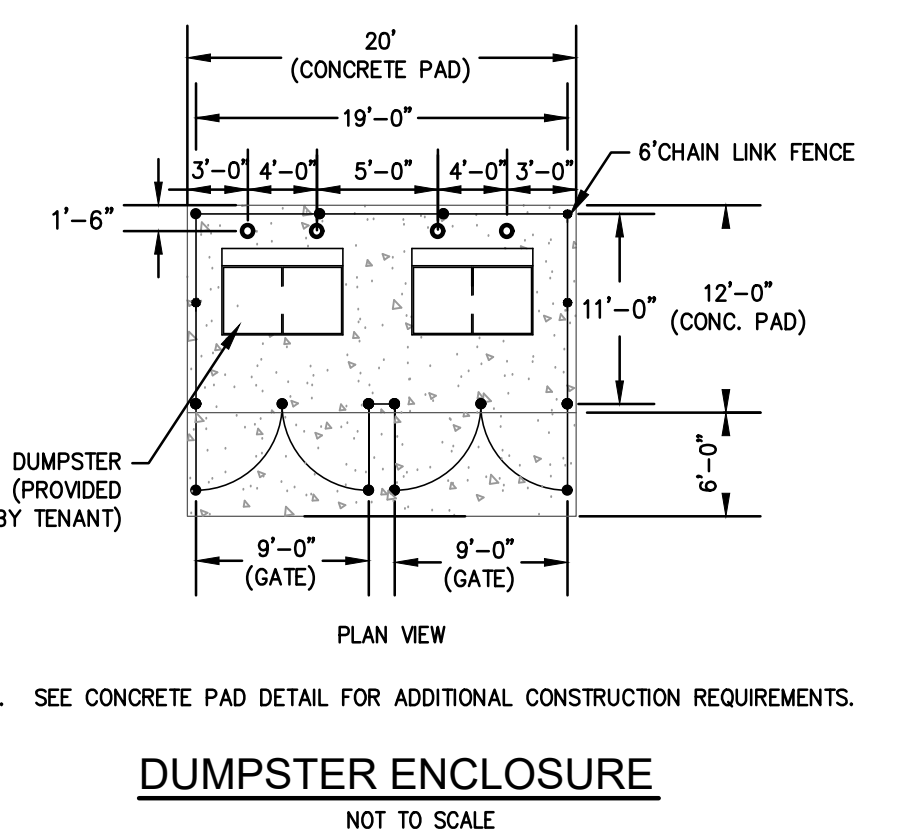
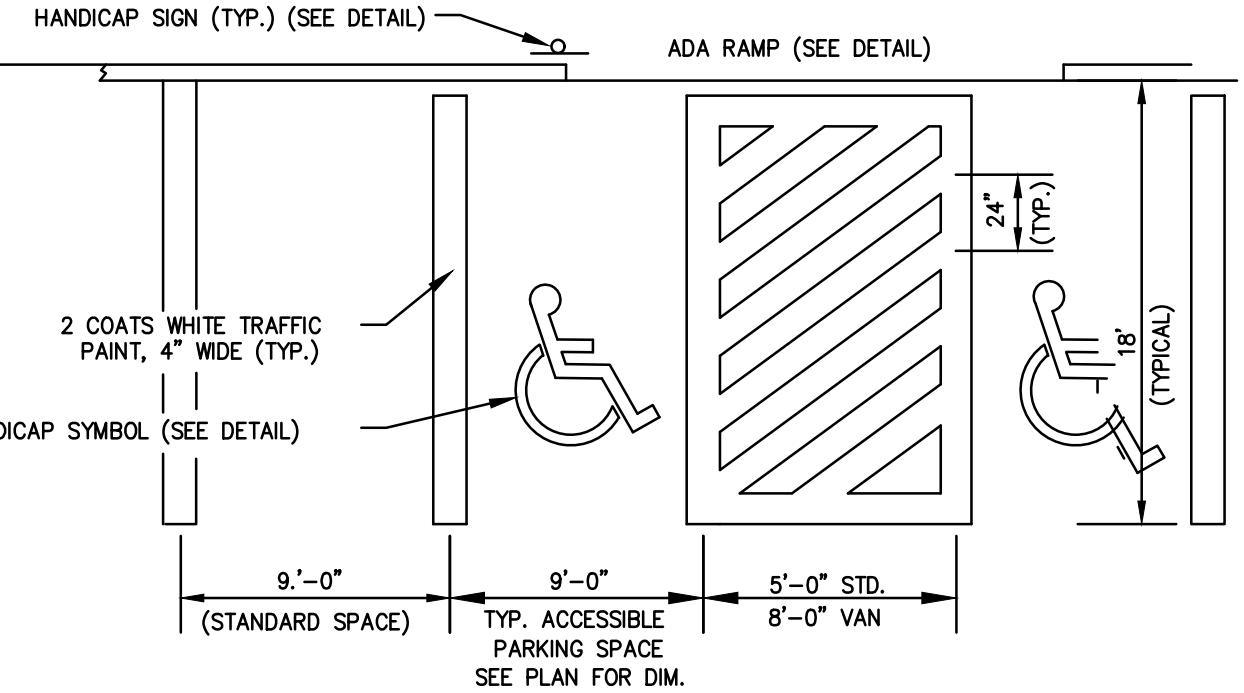
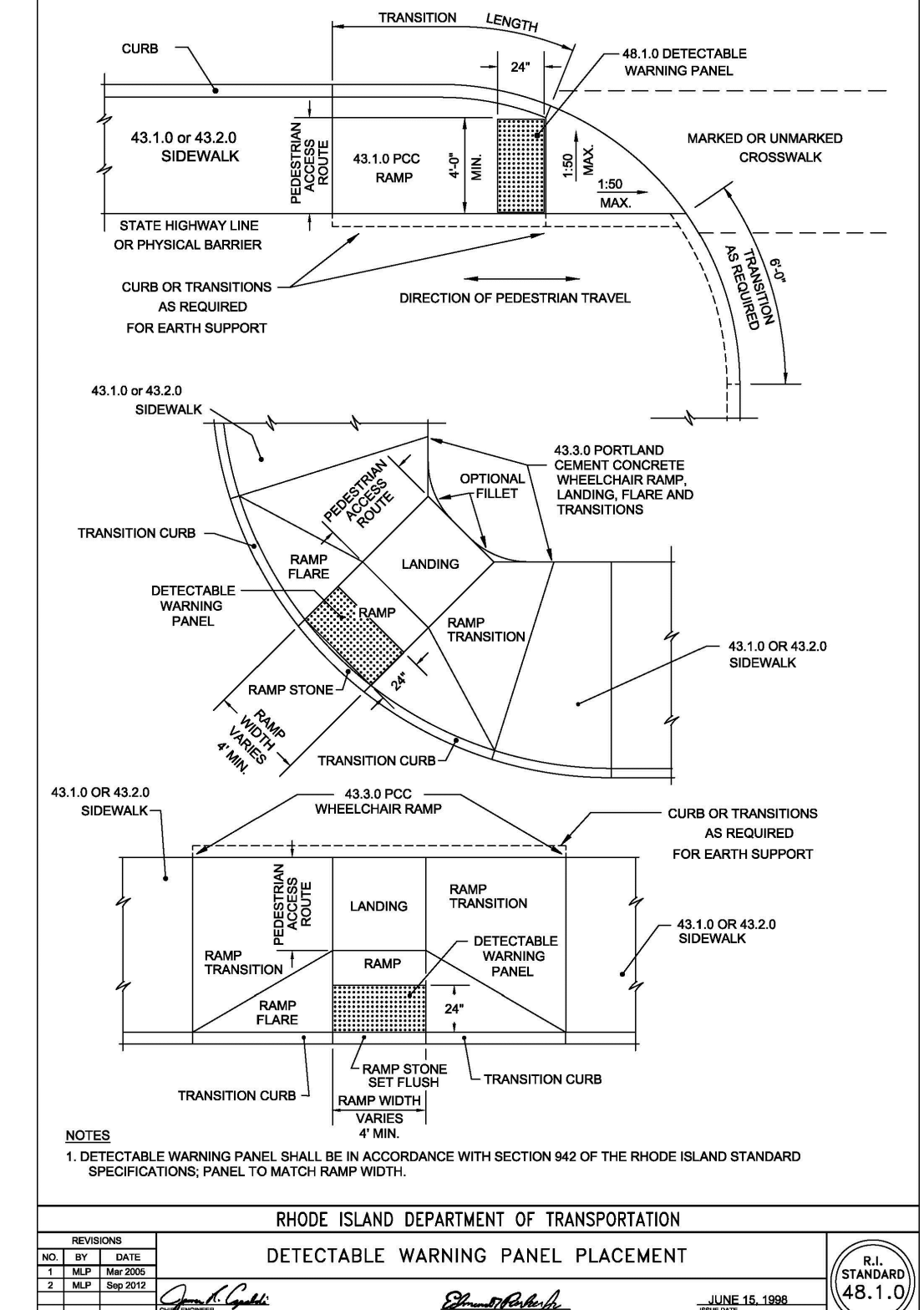
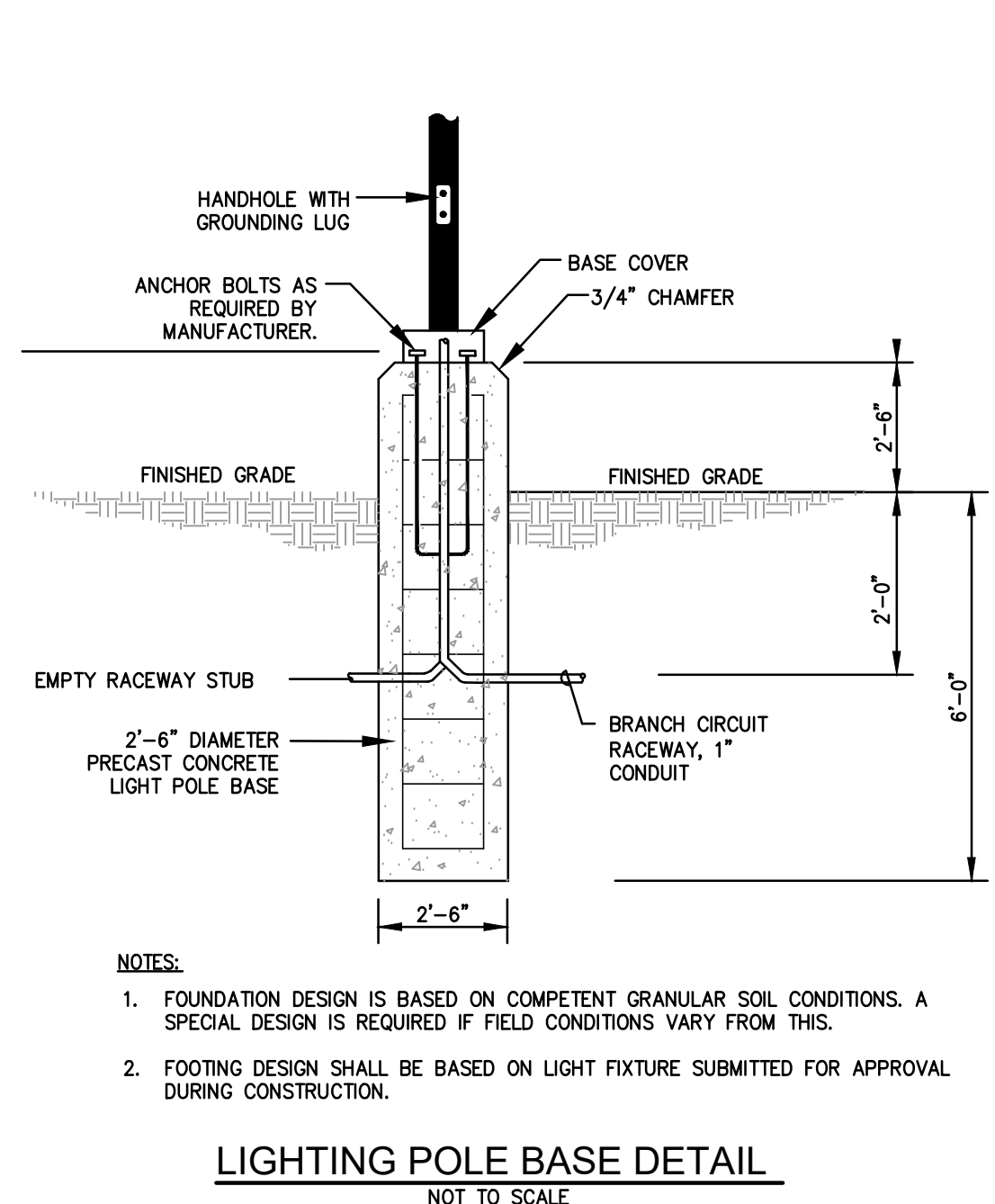
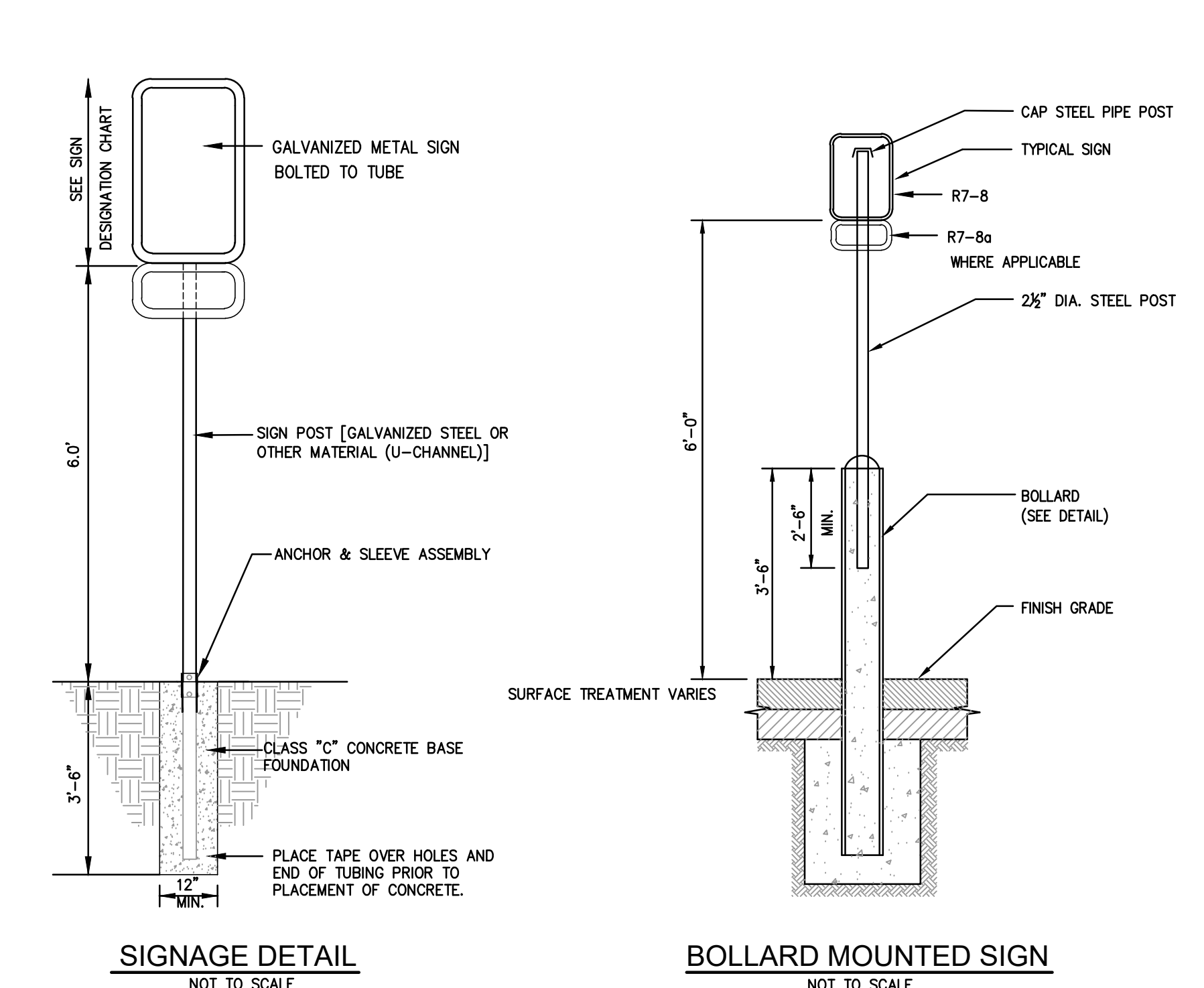
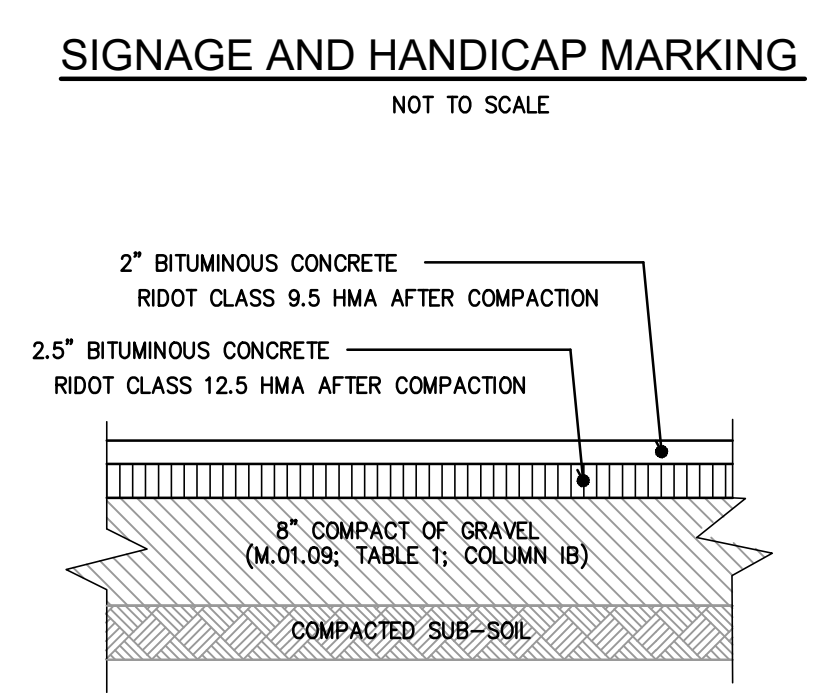
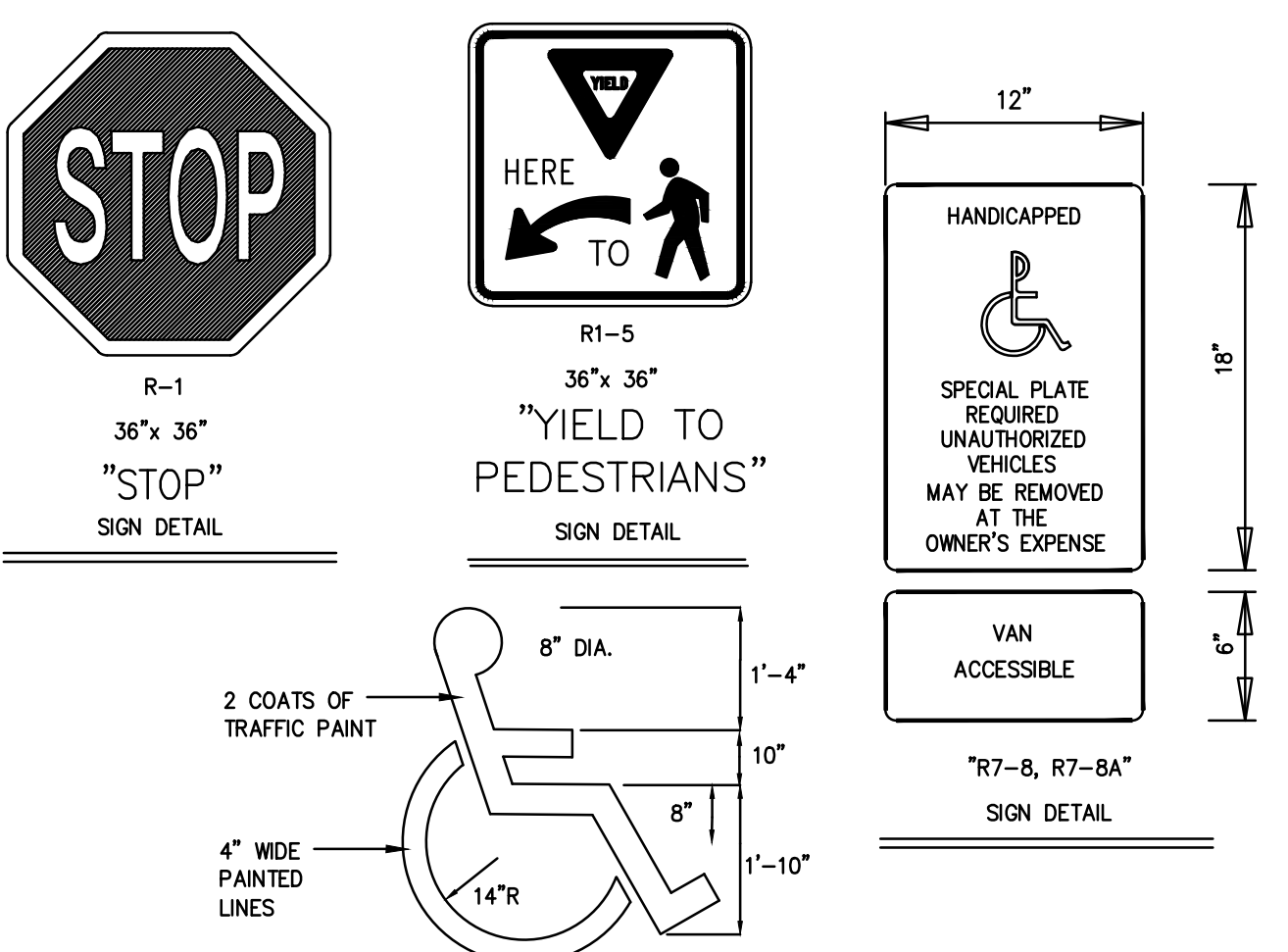
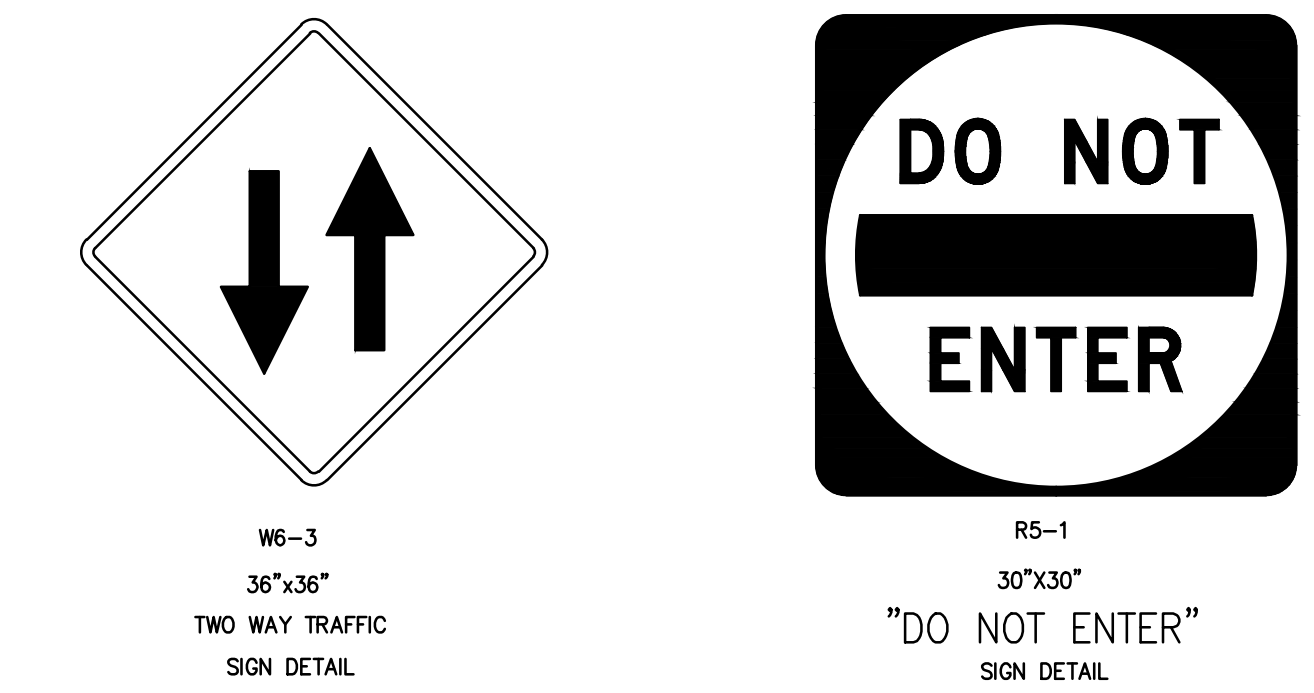
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DWG. NO. 7303-00-Prelim_Det	CHECK BY S.S.H.
SCALE: AS SHOWN	APPROVED S.S.H.
DATE: JANUARY, 2023	

SHEET

CG-6

7 OF 11 SHEETS



CONSTRUCTION DETAILS - 2
FOR
A.P. 246, LOTS 246, 247, 250,
251 & 257
SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE

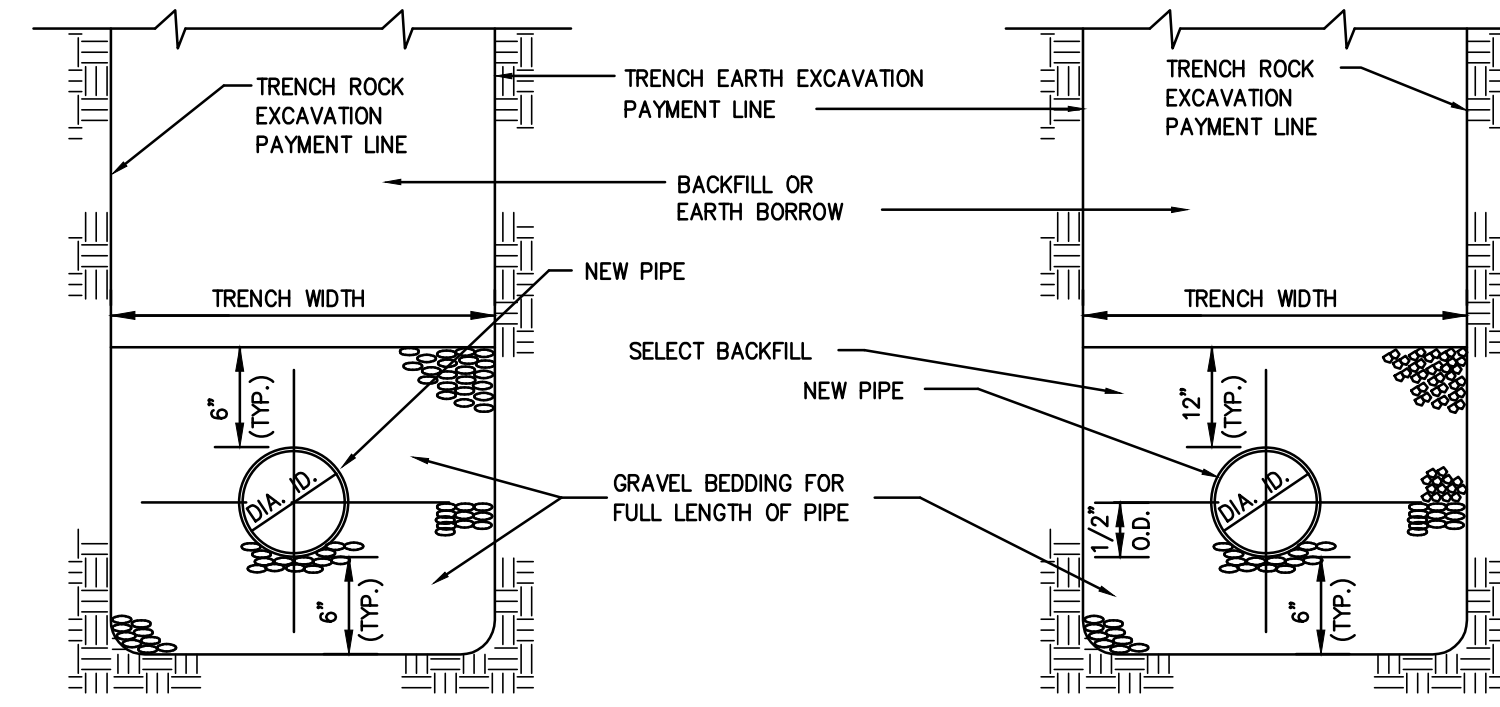
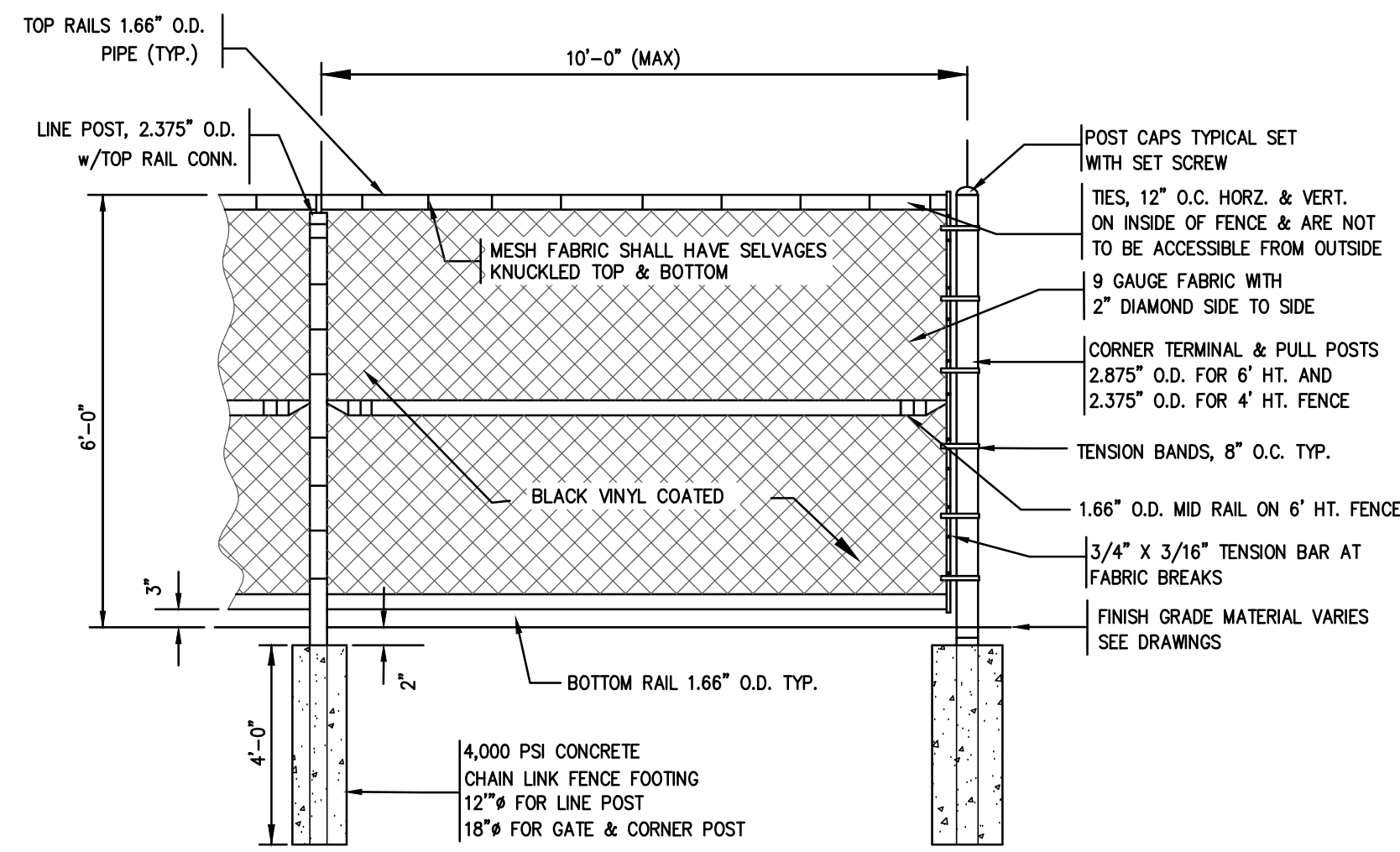
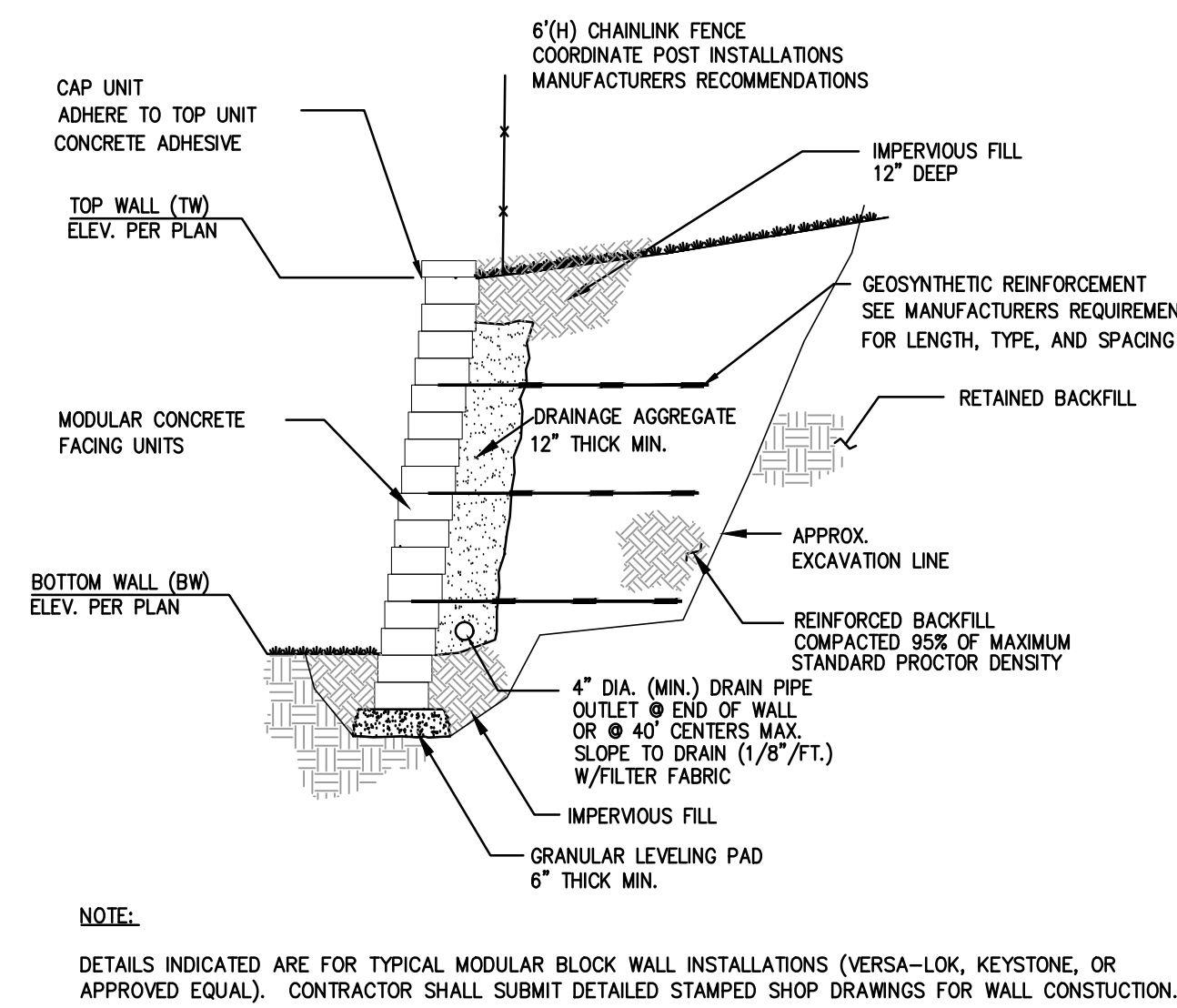
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TEL. 401-273-6000

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CHECK BY S.S.H.
APPROVED S.S.H.
DATE: JANUARY, 2023

SHEET
CG-7
8 OF 11 SHEETS



WATERLINES

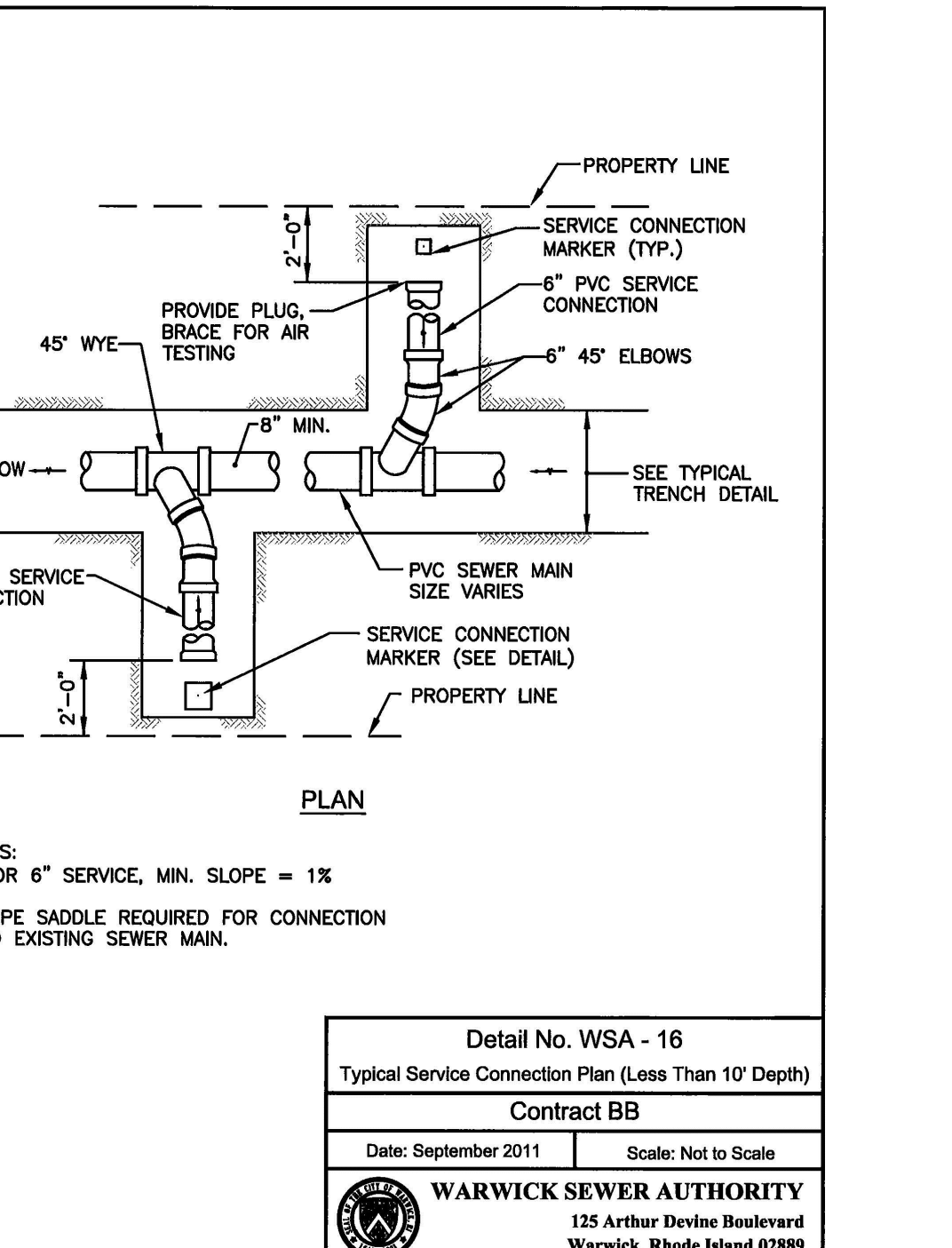
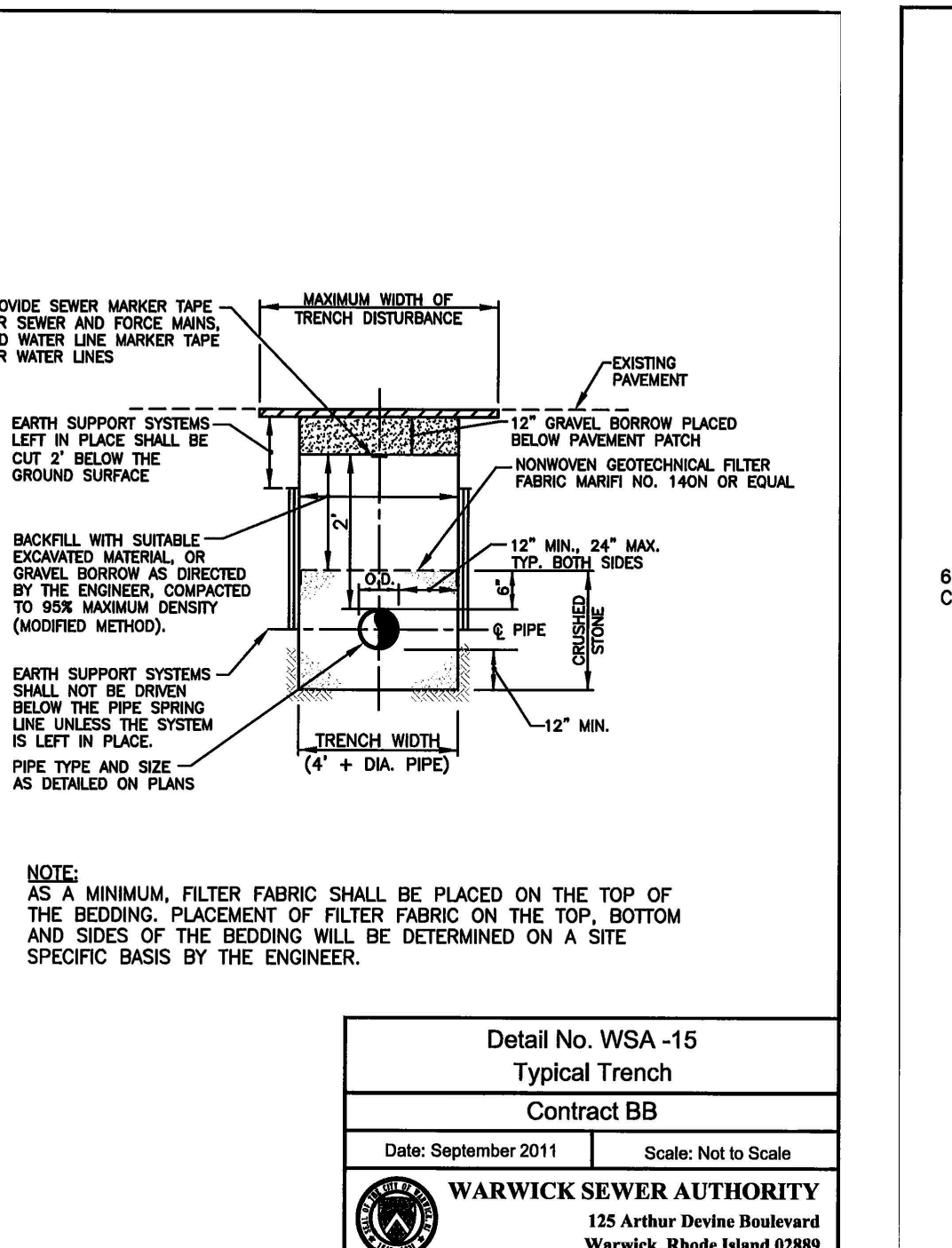
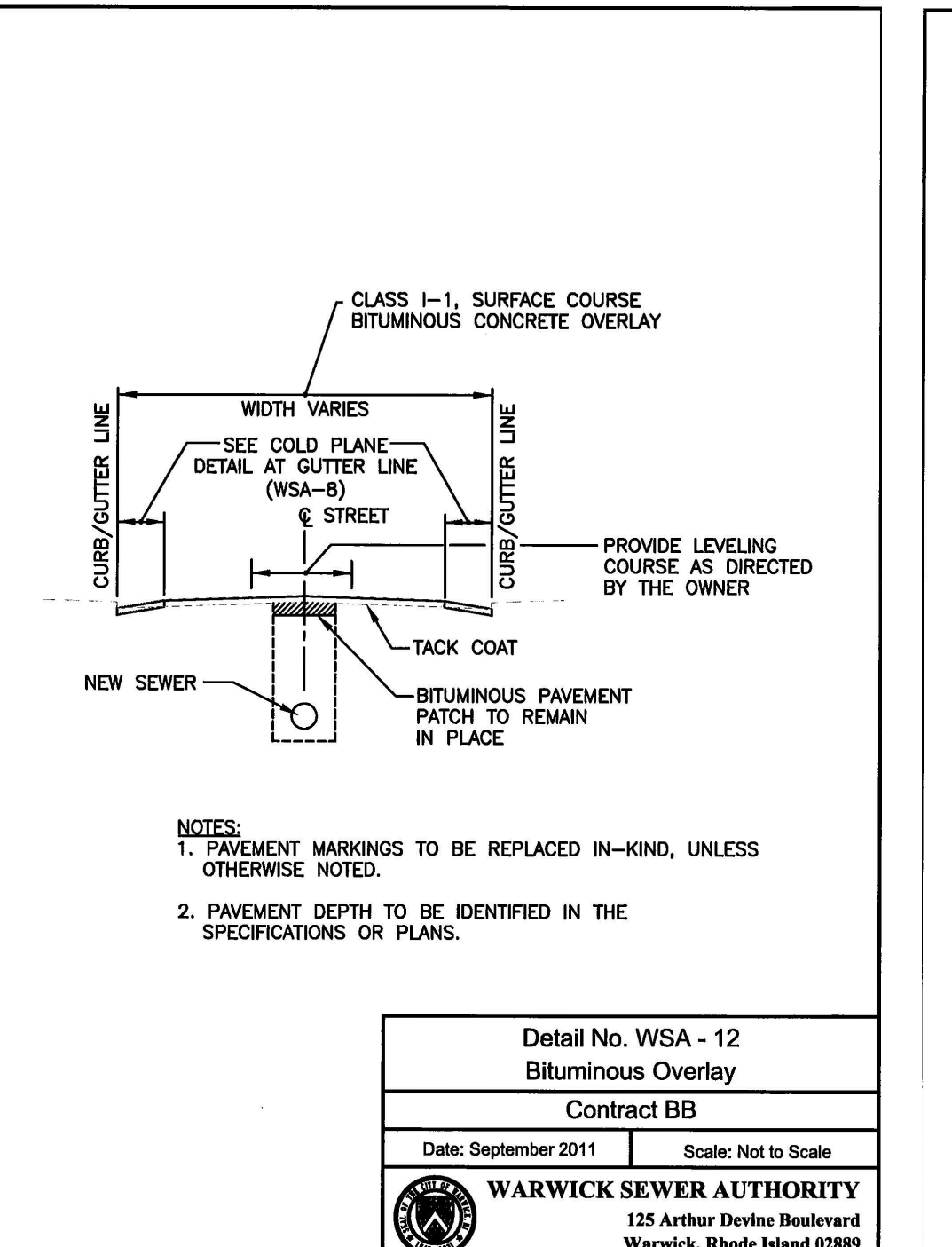
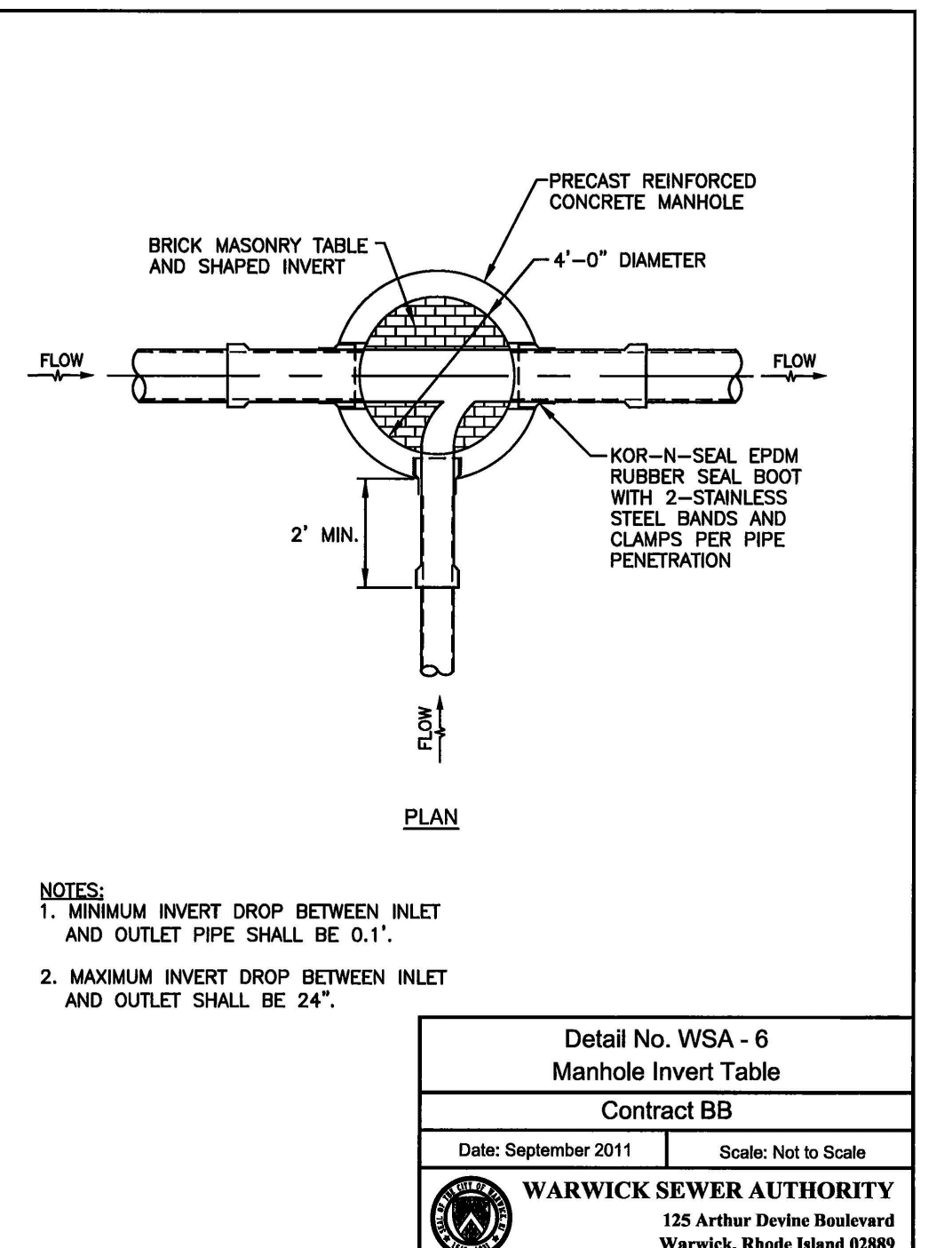
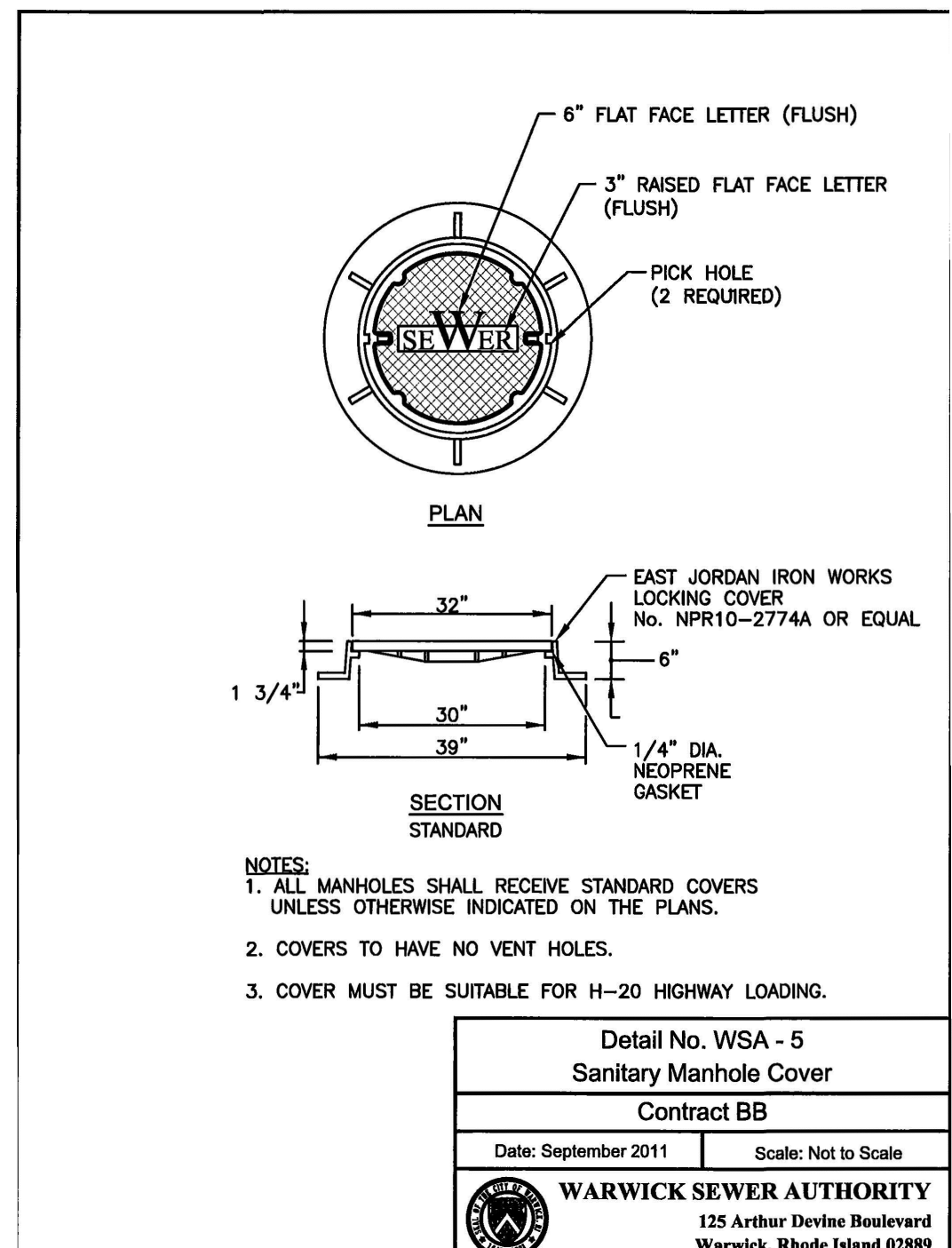
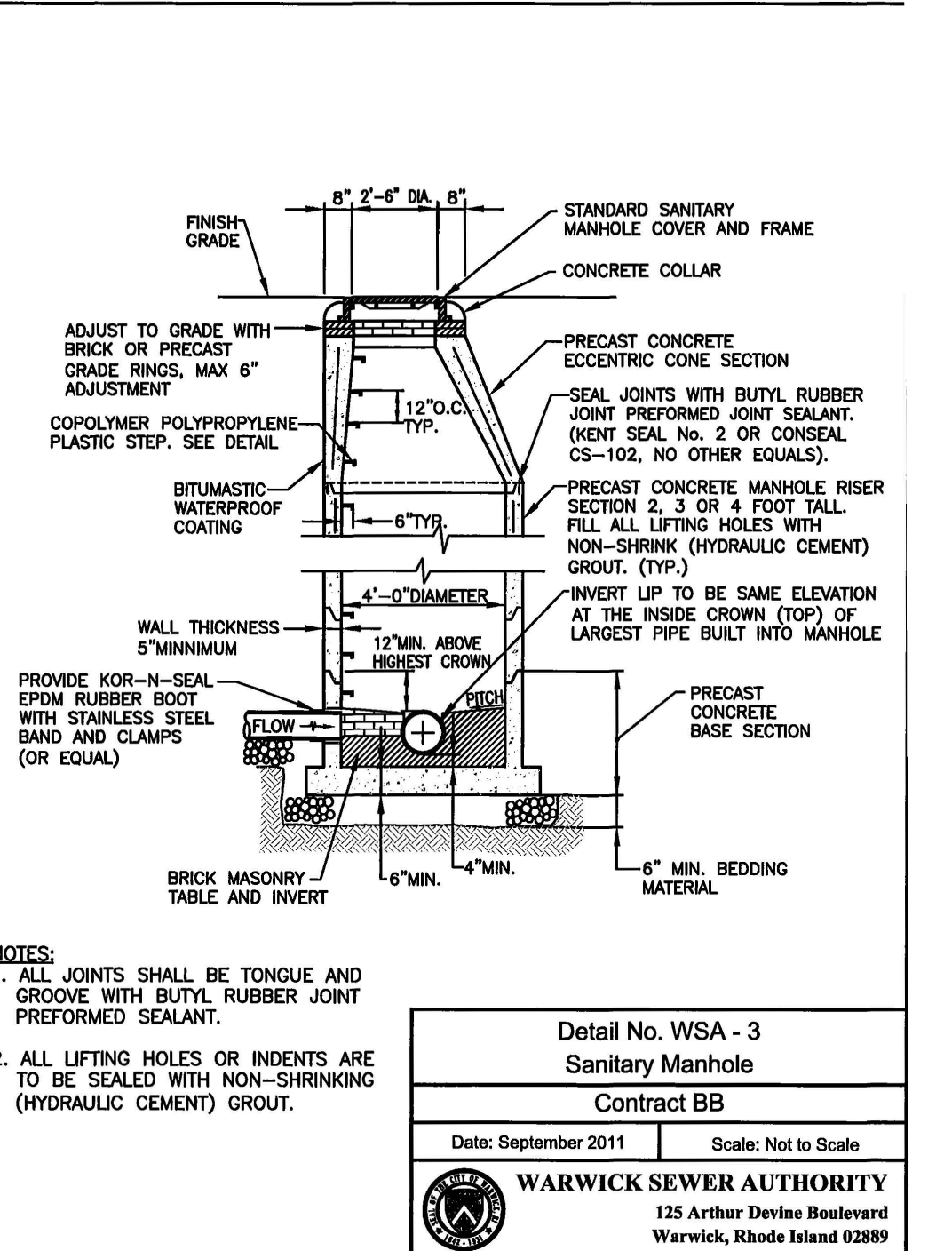
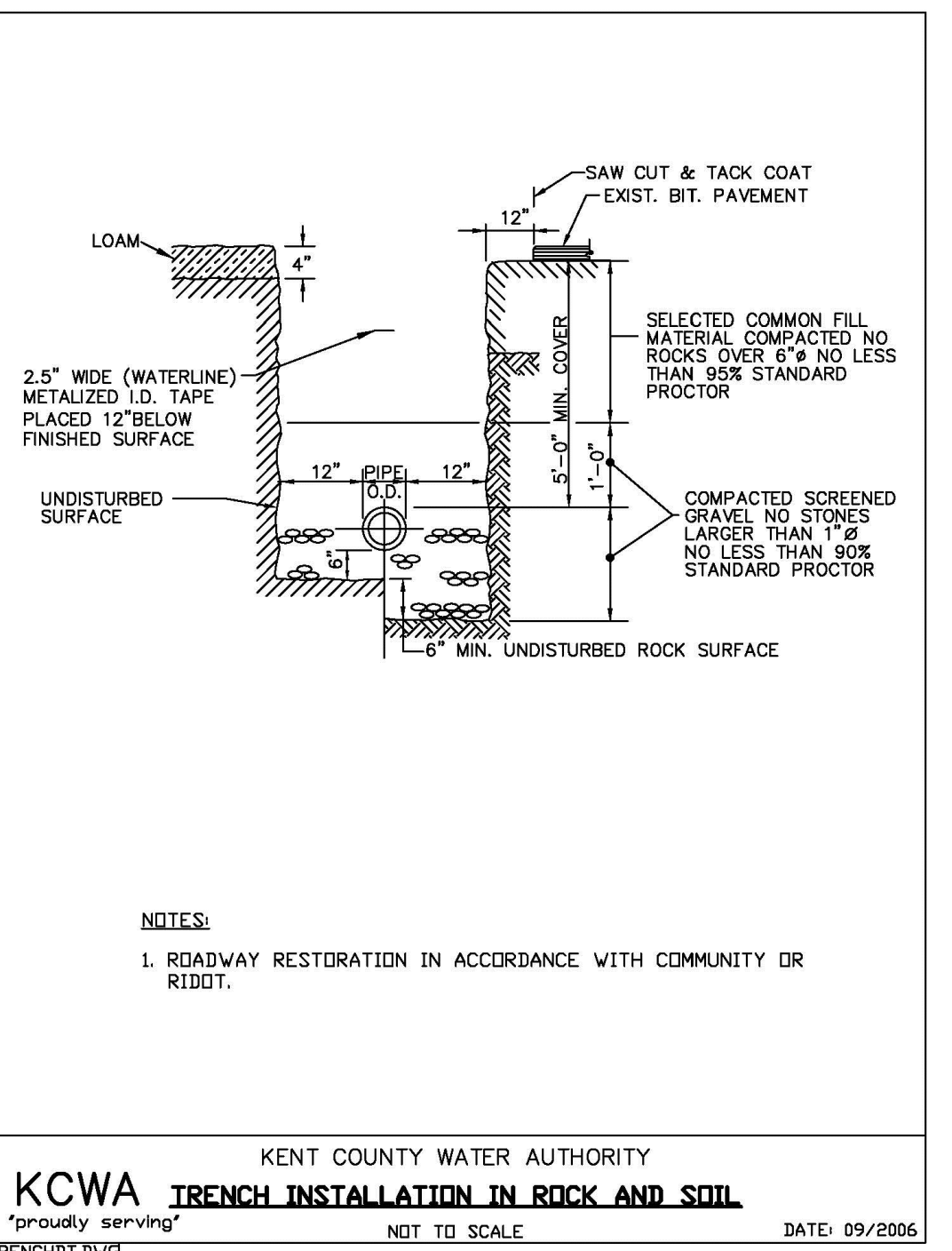
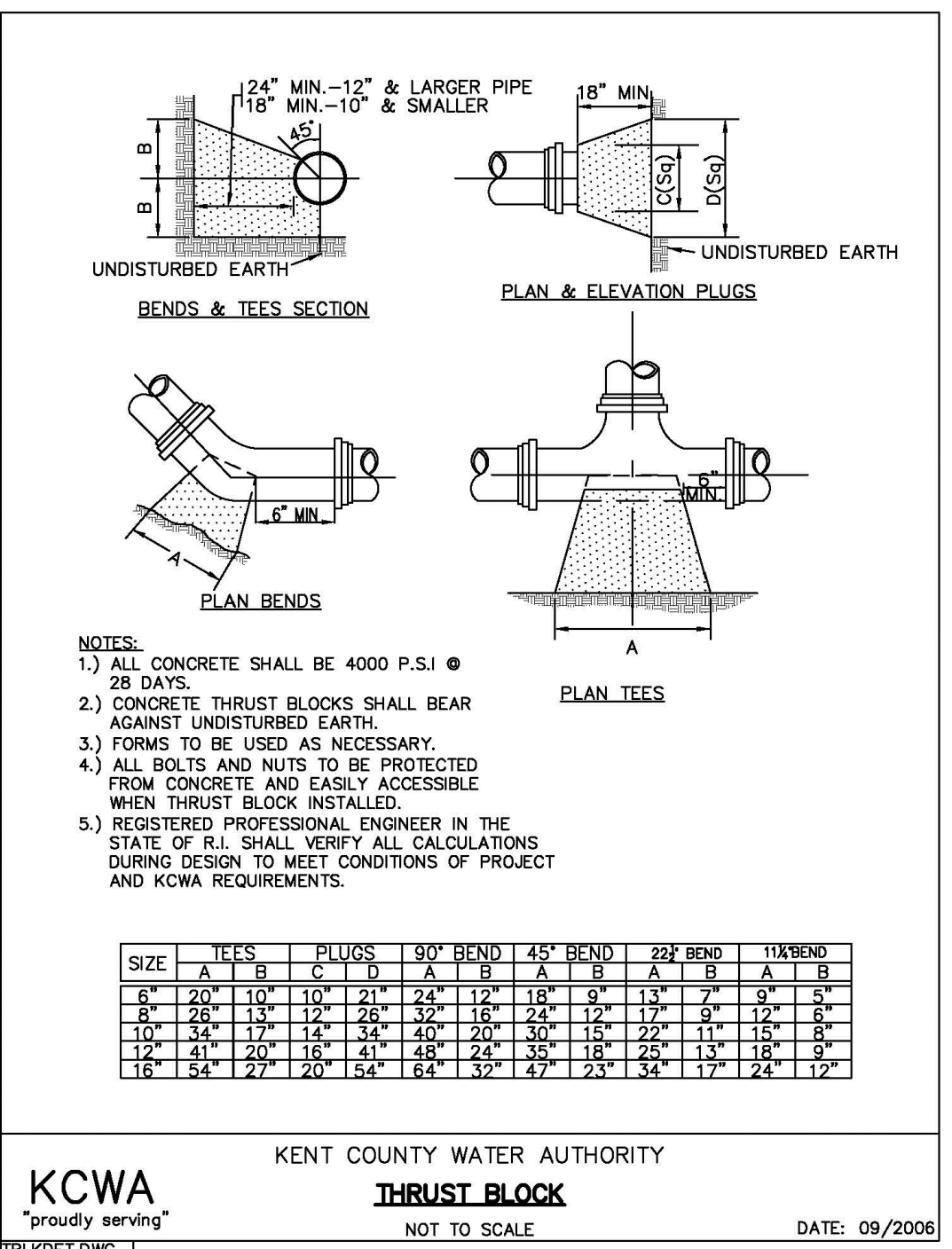
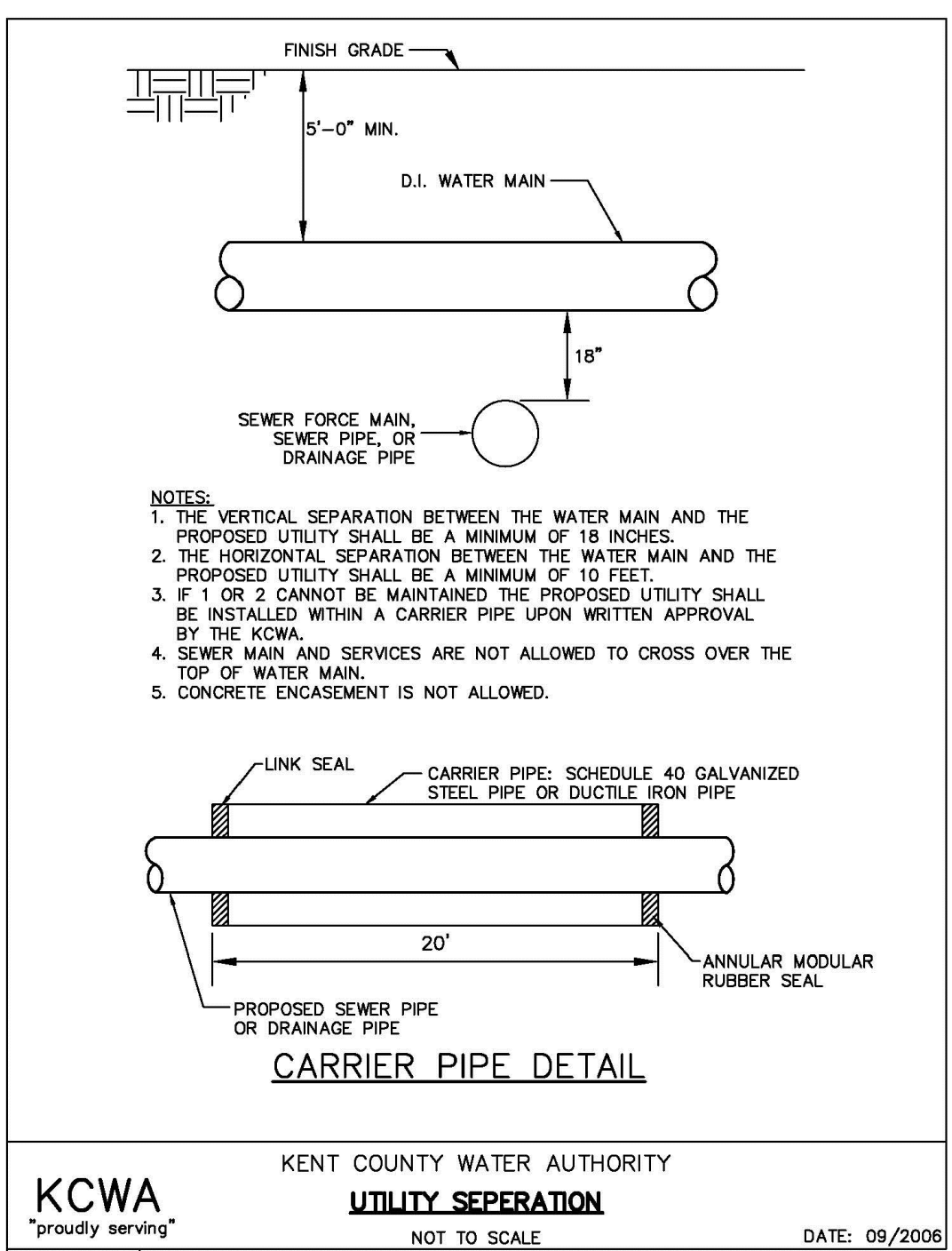
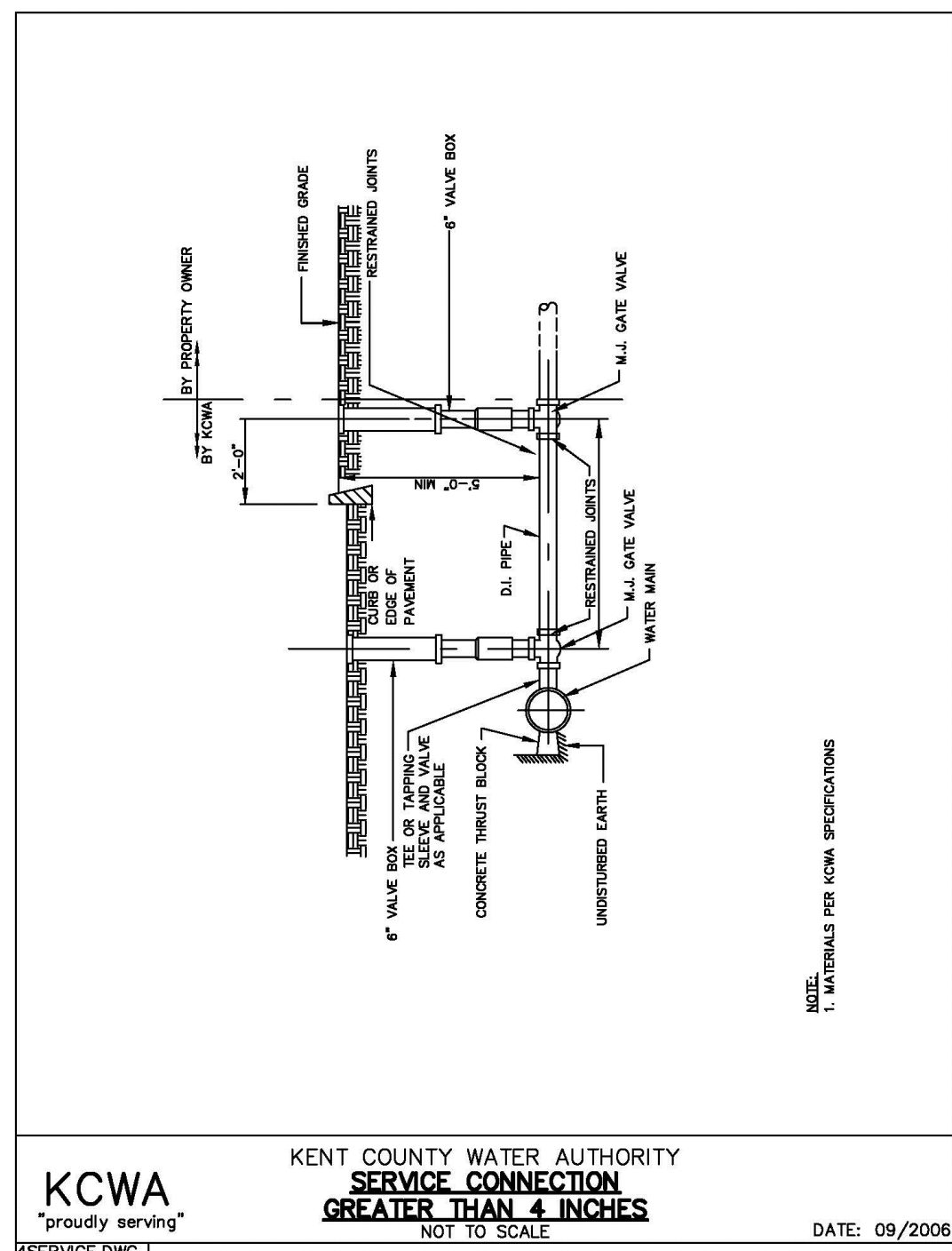
PIPE (I.D.)	TRENCH WIDTH
4" - 12"	3'-0"
15" - 24"	DIA. + 2'-0"
27" - 36"	DIA. + 2'-3"
OVER 36"	DIA. + 3'-0"

- NOTES:**
- METALIZED 2" WIDE DETECTABLE IDENTIFICATION TAPE SHALL BE INSTALLED OVER UTILITY LINES 1' BELOW FINISH GRADE.
 - SEE DETAIL BELOW FOR SEWER TRENCH REQUIREMENTS.
 - ELECTRIC/TELEPHONE/CABLE MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH UTILITY COMPANY STANDARDS AND ALL APPLICABLE CODES.

CONSTRUCTION DETAILS - 3
FOR
A.P. 246, LOTS 246, 247, 250,
251 & 257
SITUATED AT
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WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE

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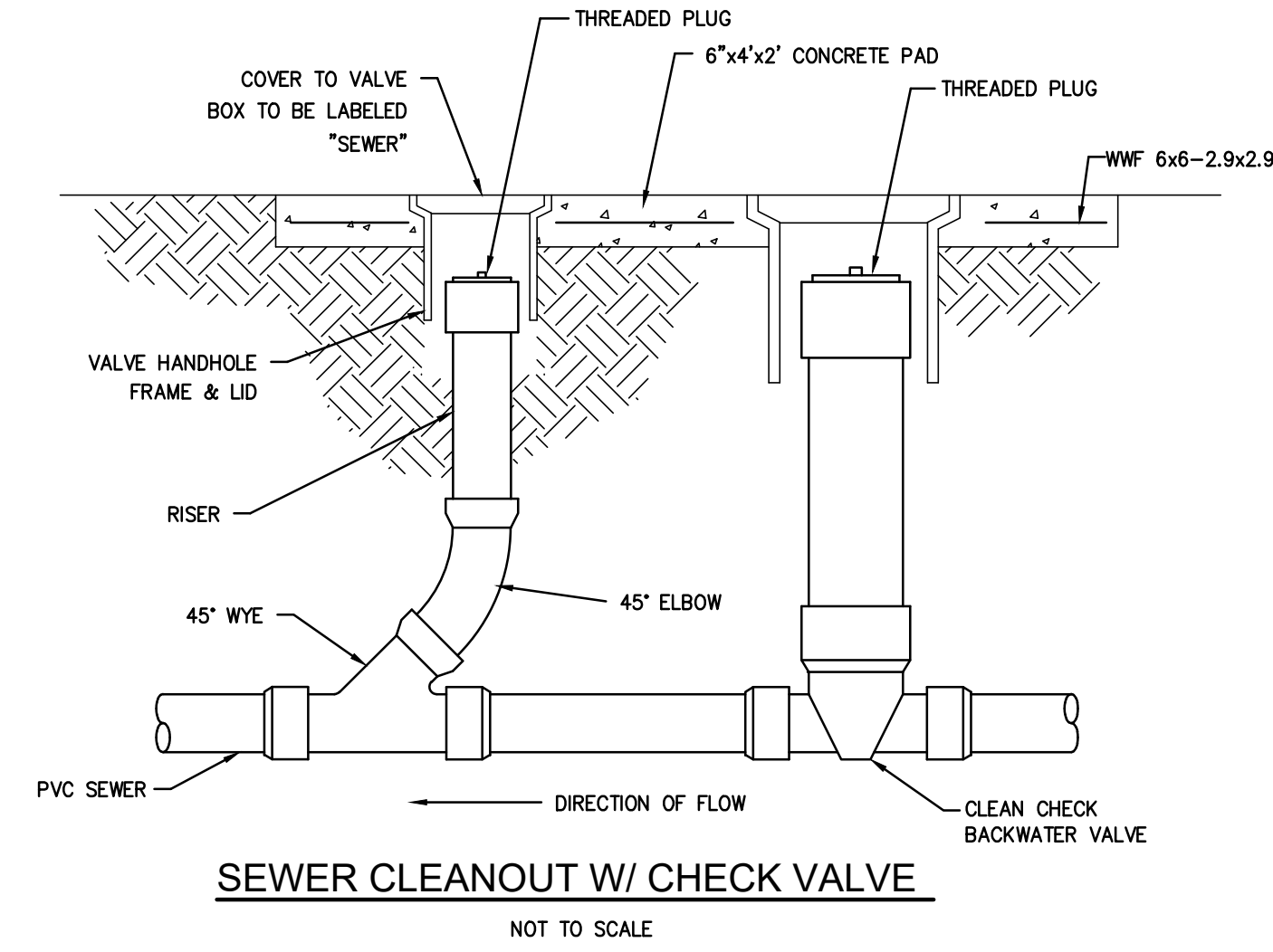
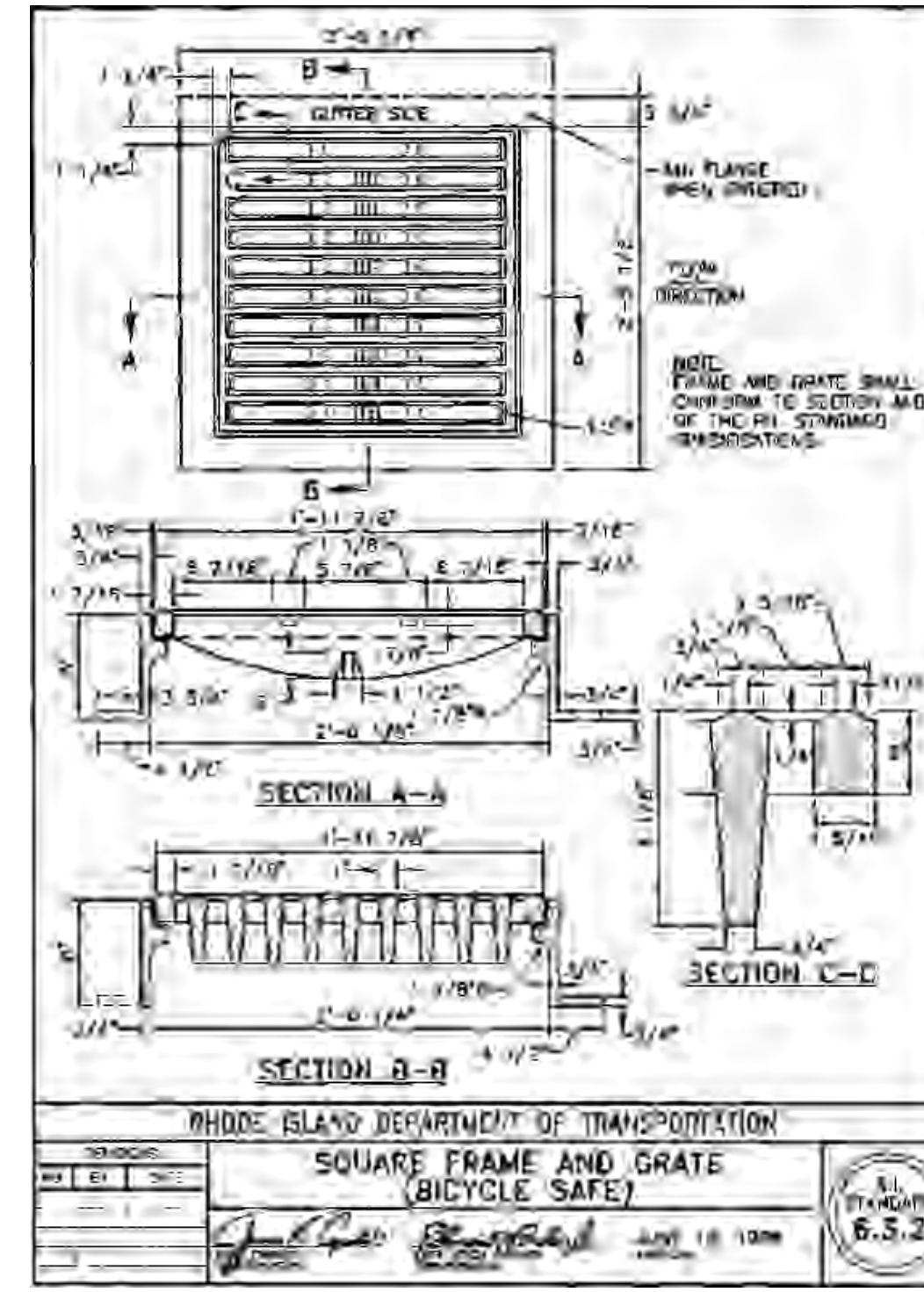
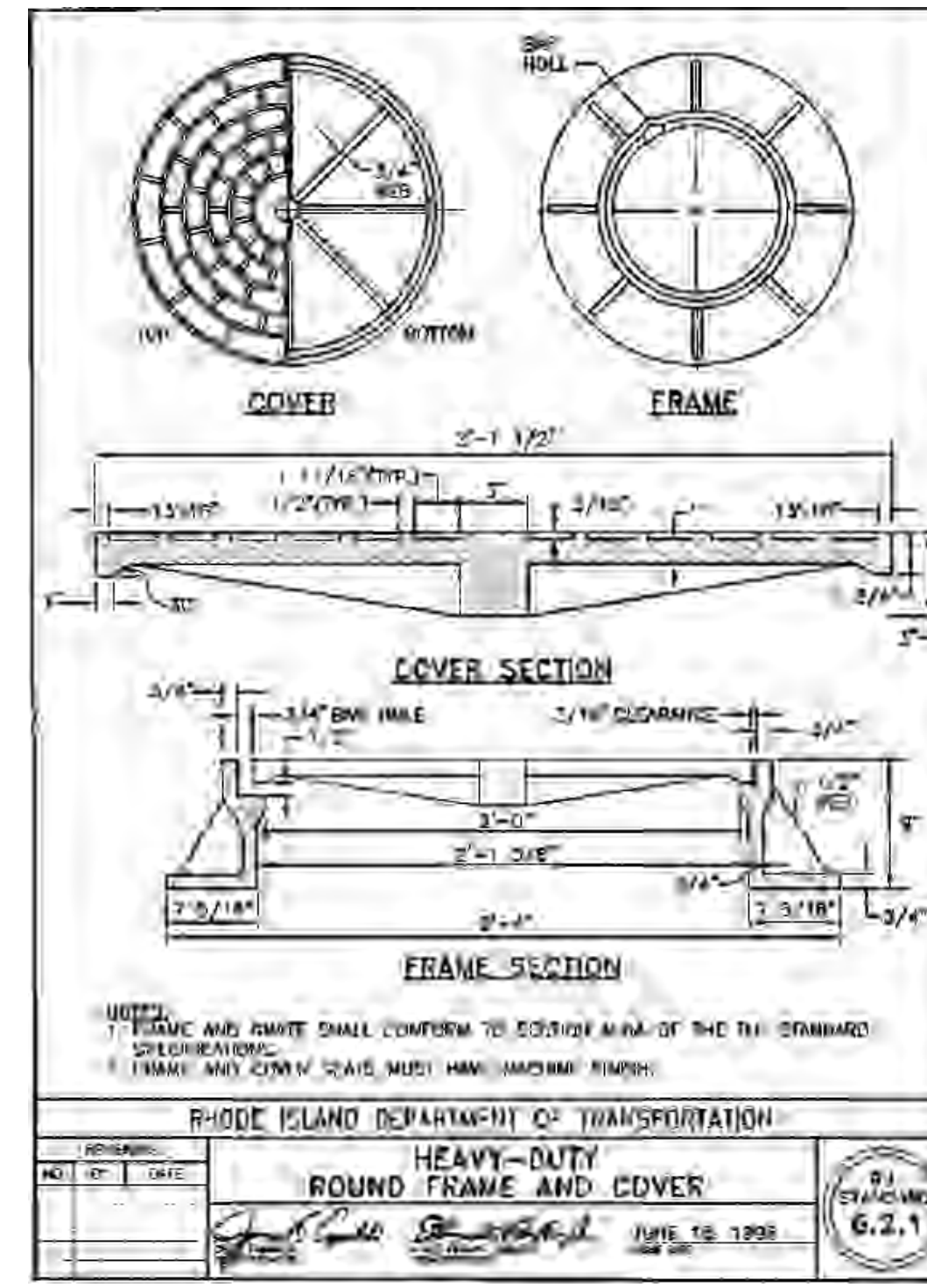
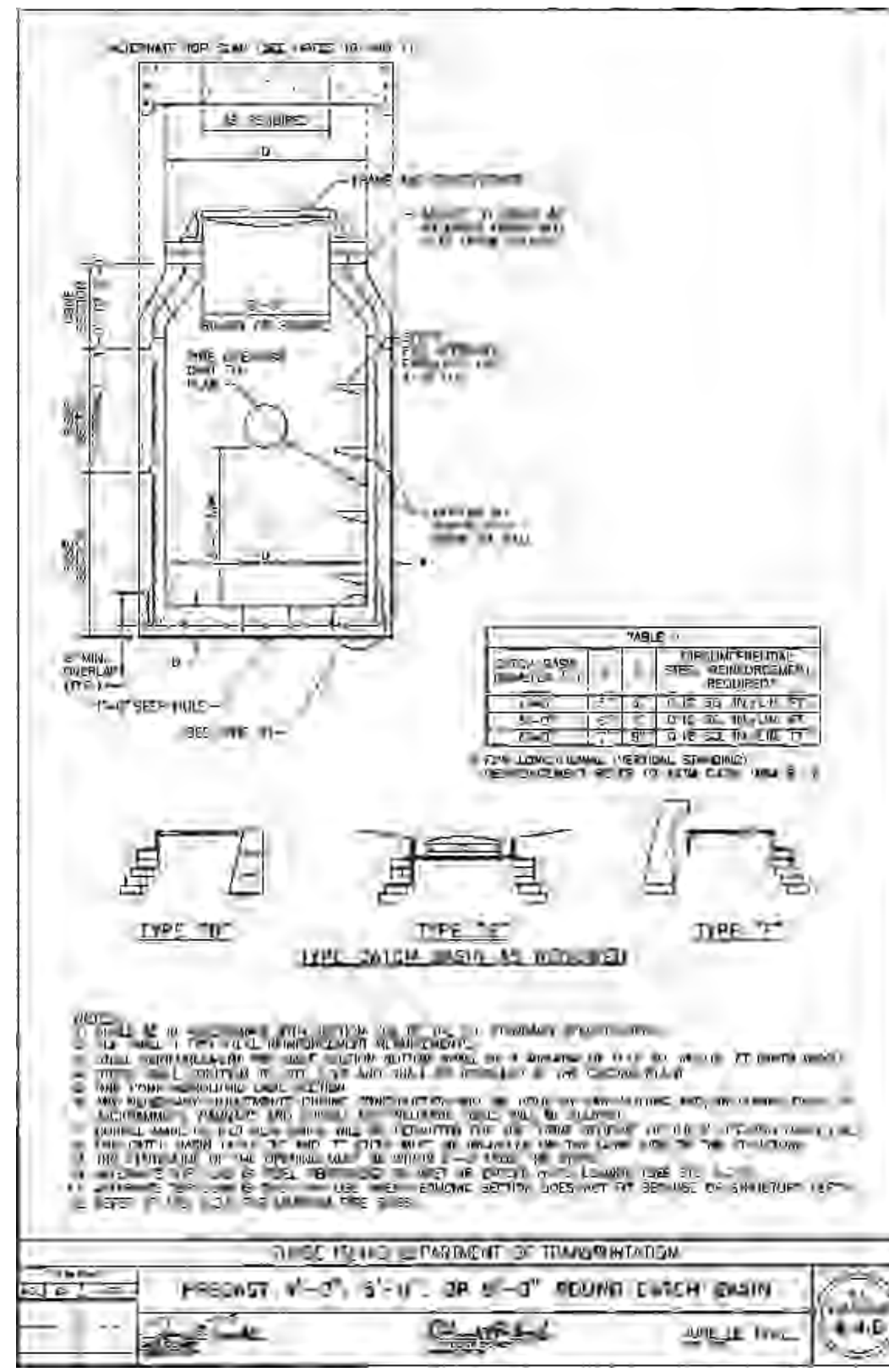
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DWG. NO. 7303-00-Prelim_Det
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CHECK BY S.S.H.
APPROVED S.S.H.
DATE: JANUARY, 2013

CG-8
9 OF 11 SHEETS

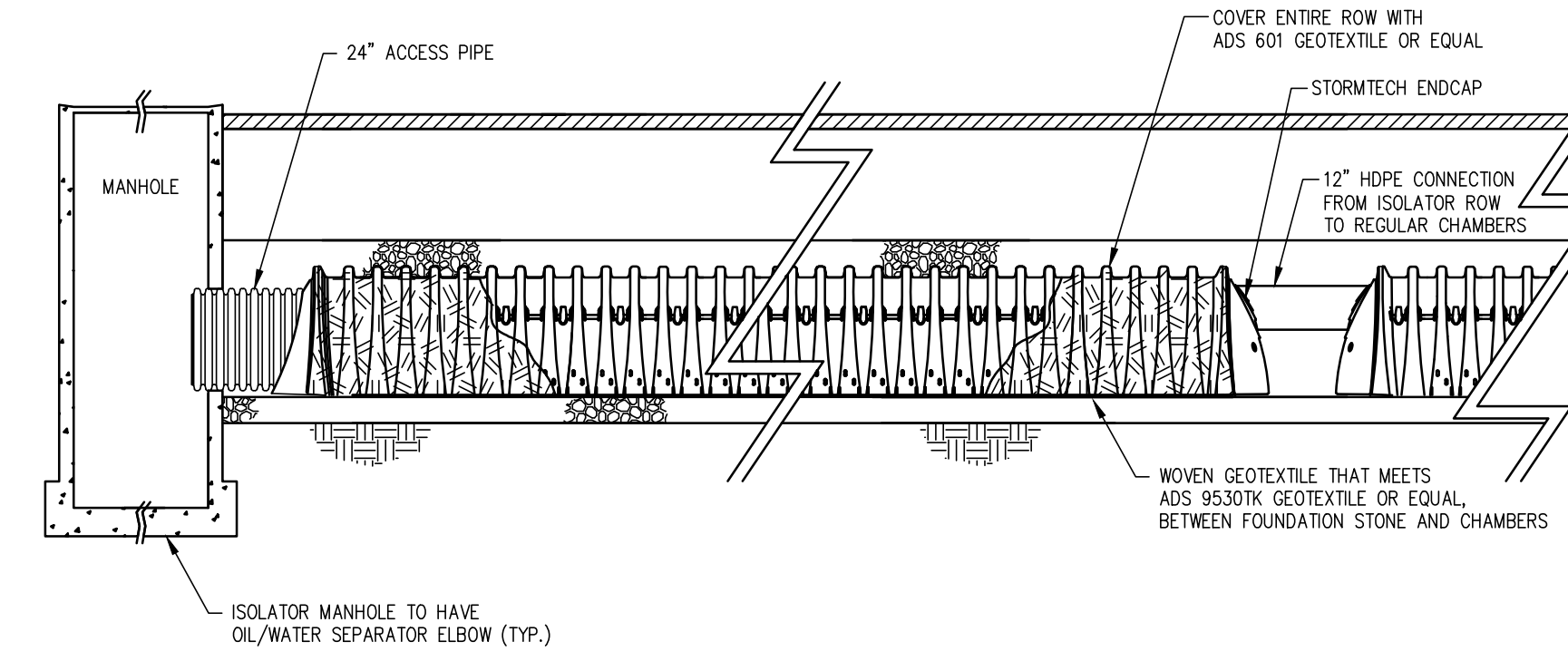
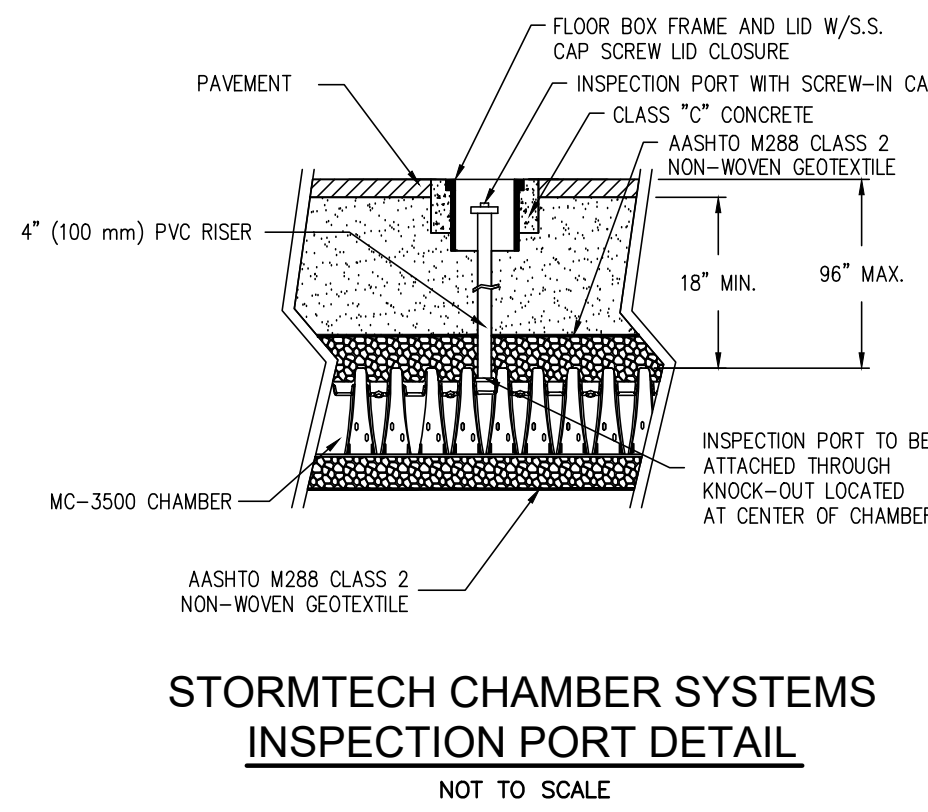
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L:\7303-00_Concepts at Centerville Road (Centerville Builders) - Warwick, RI\Drawings\Current\Preliminary Plan Drawings\7303-00-Prelim_Det.dwg 09/22/2023 kyngiang 11:21



STORMWATER CHAMBER SPECIFICATIONS

- CHAMBERS SHALL BE STORMTECH MC-3500, OR APPROVED EQUAL.
- CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
- CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW OR LIMIT ACCESS FOR INSPECTION.
- THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE INSTALLATION REQUIREMENTS SHALL ENSURE THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET FOR:
 - LONG-DURATION DEAD LOADS AND
 - SHORT-DURATION LIVE LOADS, BASED ON THE AASHTO DESIGN TRUCK WITH CONSIDERATION FOR IMPACT AND MULTIPLE VEHICLE PRESENCES.
- CHAMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM F 2787, "STANDARD PRACTICE FOR STRUCTURAL DESIGN OF THERMOPLASTIC CORRUGATED WALL STORMWATER COLLECTION CHAMBERS".
- ONLY CHAMBERS THAT ARE APPROVED BY THE ENGINEER WILL BE ALLOWED. THE CONTRACTOR SHALL SUBMIT (3 SETS) OF THE FOLLOWING TO THE ENGINEER FOR APPROVAL BEFORE DELIVERING CHAMBERS TO THE PROJECT SITE:
 - A STRUCTURAL EVALUATION BY A REGISTERED STRUCTURAL ENGINEER THAT DEMONSTRATES THAT THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, SECTION 12.12 ARE MET.
 - STRUCTURAL CROSS SECTION DETAIL ON WHICH THE STRUCTURAL CROSS SECTION IS BASED.
- THE INSTALLATION OF CHAMBERS SHALL BE IN ACCORDANCE WITH THE MANUFACTURER'S LATEST INSTALLATION INSTRUCTIONS.



NOMINAL MC-3500 CHAMBER SPECIFICATIONS

SIZE (L x W x H)	86" x 77" x 45" [2186 mm x 1956 mm x 1143 mm]
CHAMBER STORAGE	108.9 lb [51.11 kg]
MINIMUM INSTALLED STORAGE	178.9 lb [80.66 kg]
WEIGHT	134 lbs [60.8 kg]

NOMINAL MC-3500 END CAP SPECIFICATIONS

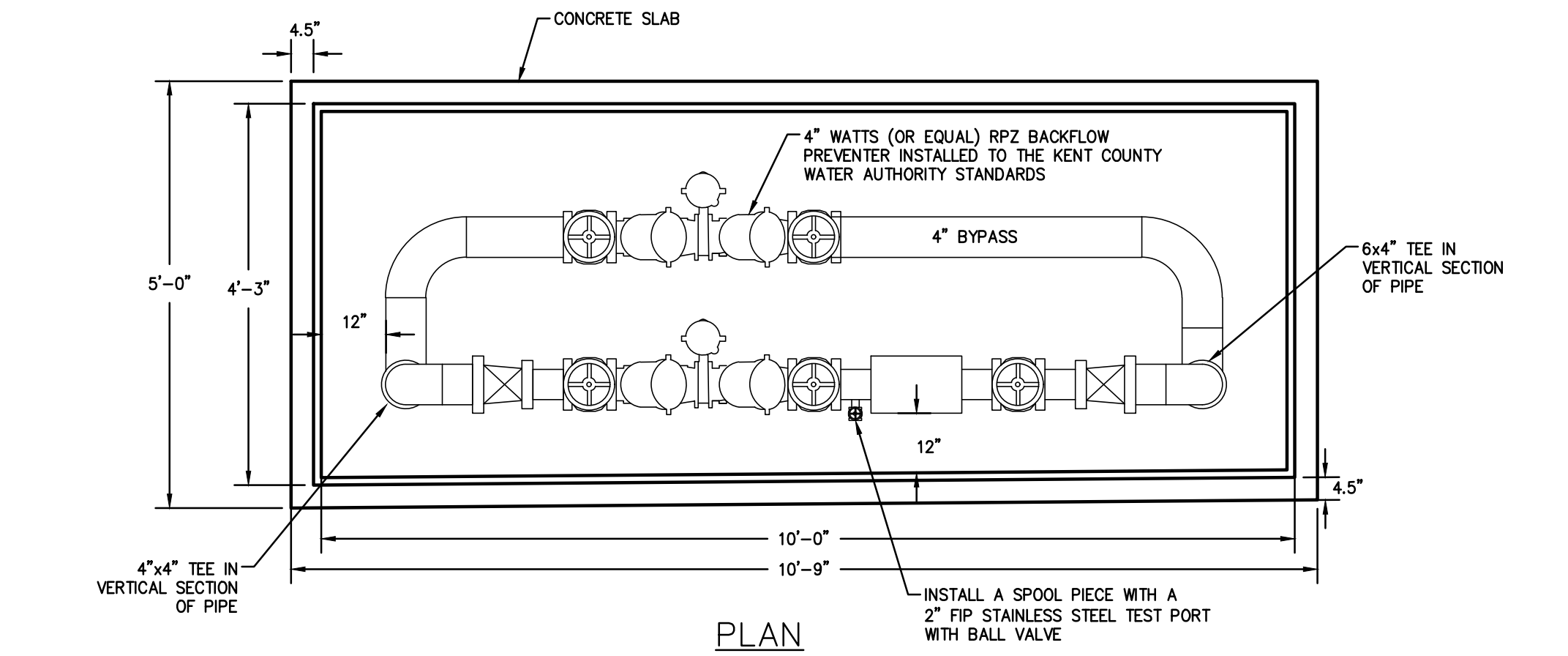
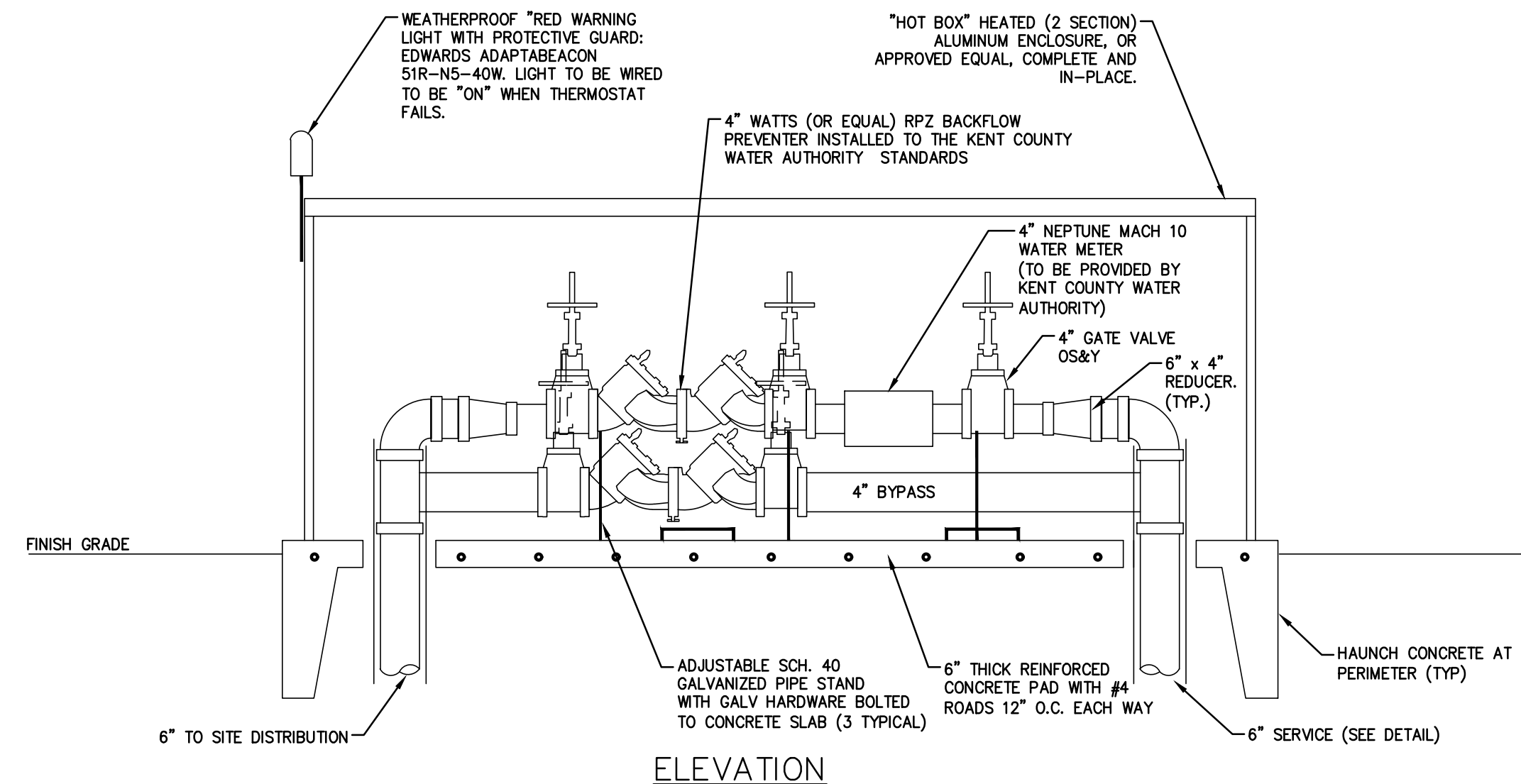
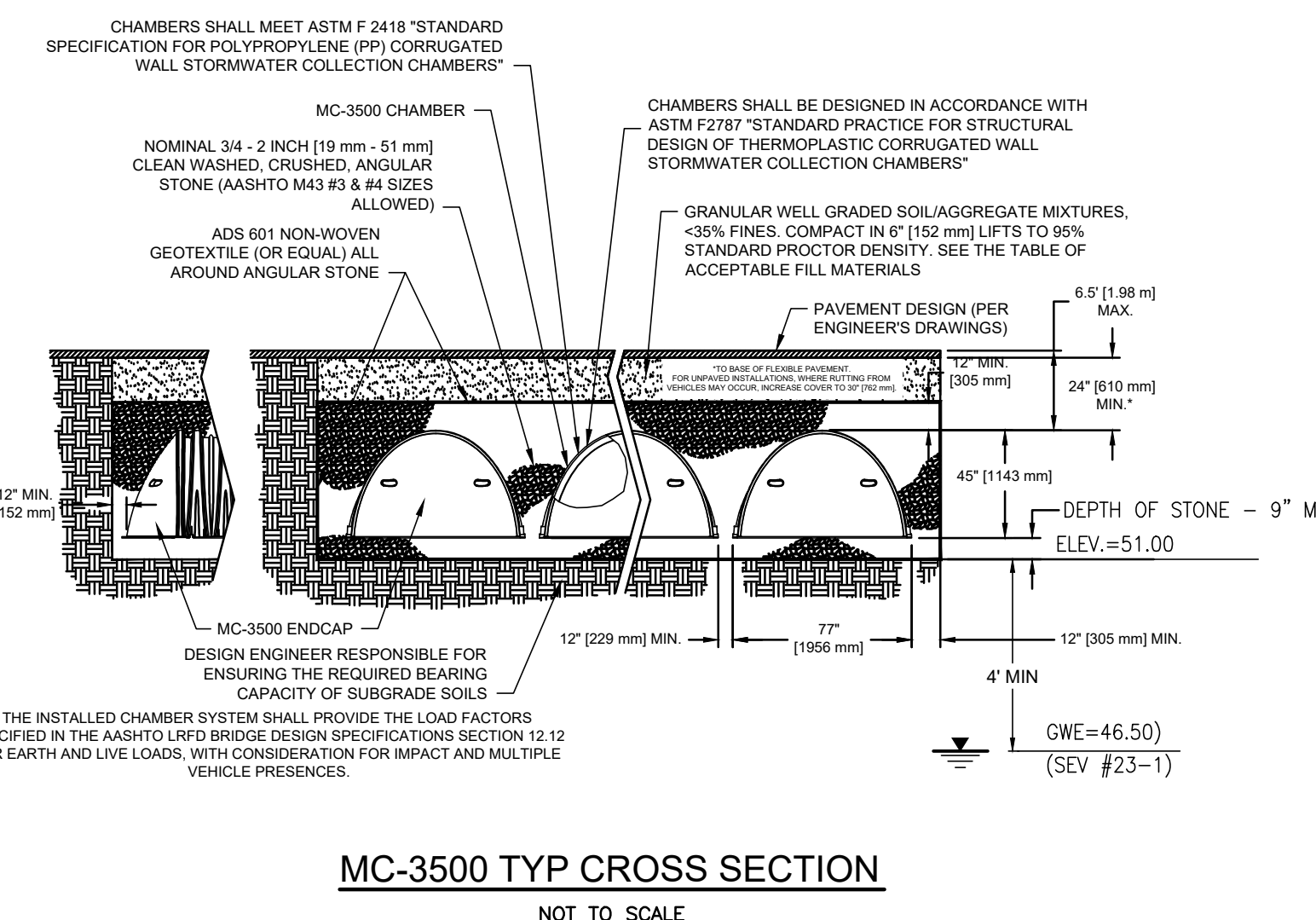
SIZE (L x W x H)	26.5" x 71" x 45" [673 mm x 1803 mm x 1145 mm]
END CAP STORAGE	15.6 lb [7.04 kg]
MINIMUM INSTALLED STORAGE	46.9 lb [21.33 kg]
WEIGHT	43 lbs [19.5 kg]

MC-3500 TECHNICAL SPECIFICATIONS

PART	STUB	B	C
MC3500EPE127	12" (305 mm)	26.30" (667.0 mm)	N/A
MC3500EPE128	12" (305 mm)	N/A	1.30" (34 mm)
MC3500EPE151	15" (375 mm)	N/A	23.30" (594 mm)
MC3500EPE158	15" (375 mm)	N/A	1.50" (38 mm)
MC3500EPE187	18" (450 mm)	20.03" (509 mm)	N/A
MC3500EPE188	18" (450 mm)	N/A	1.77" (45 mm)
MC3500EPE247	24" (600 mm)	14.48" (368 mm)	N/A
MC3500EPE248	24" (600 mm)	N/A	2.00" (52 mm)

NOTE: ALL DIMENSIONS ARE NOMINAL.

CUSTOM PRECURED INVERTS ARE AVAILABLE UPON REQUEST. INVENTED MANIFOLDS INCLUDE 12" - 24" SIZE ON SIZE AND 15" THROUGH 48" ECCENTRIC MANIFOLDS.



- NOTES:**
- CONTRACTOR SHALL INSTALL ALL FITTINGS, METERS, BACKFLOW PREVENTORS, PIPES AND APPURTENANCES IN ACCORDANCE WITH THE KENT COUNTY WATER AUTHORITY REQUIREMENTS. THE KENT COUNTY WATER AUTHORITY SHALL BE NOTIFIED PRIOR TO ORDERING FOR CONFIRMATION SUITABILITY OF ALL EQUIPMENT MANUFACTURERS/MODELS UTILIZED.
 - CONTRACTOR SHALL VERIFY ALL INDICATED DIMENSIONS ARE ADEQUATE. FINAL EQUIPMENT SELECTION AND SHALL MODIFY CONFIGURATION AS REQUIRED FOR COMPLETE AND IN-PLACE CONSTRUCTION.
 - CONTRACTOR SHALL INSTALL A STRAINER PRIOR TO THE BACKFLOW PREVENTERS IF RECOMMENDED BY SELECTED MANUFACTURER.

WATER SERVICE ENCLOSURE

N.T.S.

CONSTRUCTION DETAILS - 4

FOR
A.P. 246, LOTS 246, 247, 250,
251 & 257
SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

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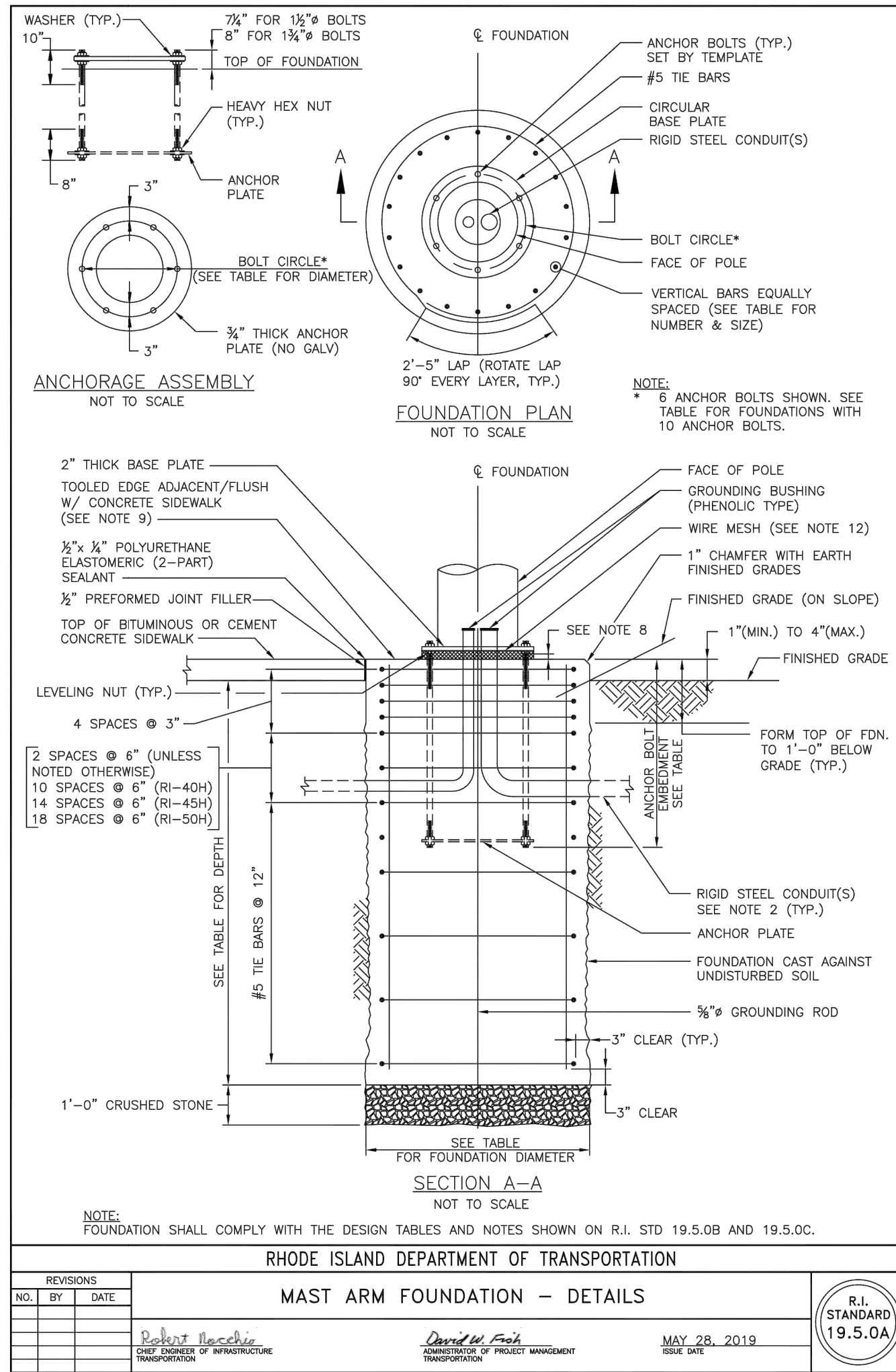
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JOB NO. 7303-00
DWG. NO. 7303-00-Prelim_Det
SCALE: AS SHOWN
SHEET

DRAWN BY K.J.A.
CHECK BY S.S.H.
APPROVED S.S.H.
DATE: JANUARY, 2023

CG-9



DESIGN TABLES

STEP 1
CHOOSE SOIL CLASS USING THE SITE SPECIFIC SOIL TYPE.

SOIL CLASS	SOIL TYPE
1	LOOSE SAND (SP, SW) LOOSE SAND AND GRAVEL (GP, GW) MEDIUM DENSE SILTY SAND (SM) COMPACTED COMMON BORROW MEDIUM DENSE SAND (SP, SW) MEDIUM DENSE SAND AND GRAVEL (GP, GW) DENSE SILTY SAND (SM) COMPACTED GRAVEL BORROW
2	DENSE SAND (SP, SW) DENSE SAND AND GRAVEL (GP, GW) VERY DENSE SAND AND GRAVEL (SW, GP, GW, GLACIAL TILL)

STEP 2
CHOOSE THE MAST ARM TYPE FROM R.I. STD. 19.5.0B BASED ON THE MAXIMUM OF THE OVERTURNING MOMENT OR TORSION APPLIED AT THE BASE OF THE POLE.

MAST ARM TYPE	MAST ARM LENGTH (FT)	LOADING	MAXIMUM OVERTURNING MOMENT (K-FT)	MAXIMUM TORSION (K-FT)	BOLT CIRCLE DIAMETER (IN)	NUMBER OF ANCHOR BOLTS	DIAMETER OF BOLTS (IN)	ANCHOR BOLT EMBEDMENT (IN)
Ri-20	20	STANDARD	61.0	31.0	17.0	6	1.5	42"
Ri-25	25	STANDARD	69.0	44.0	19.0	6	1.5	42"
Ri-30	30	STANDARD	84.0	56.0	19.0	6	1.5	42"
Ri-35	35	STANDARD	93.0	70.0	20.0	6	1.5	42"
Ri-40	40	STANDARD	108.0	84.0	21.0	6	1.5	42"
Ri-45	45	STANDARD	143.0	119.0	24.0	6	1.75	42"
Ri-50	50	STANDARD	163.0	141.0	25.0	6	1.75	42"
Ri-30H	30	HEAVY	99.0	72.0	21.0	6	1.75	42"
Ri-35H	35	HEAVY	169.0	133.0	25.0	10	1.75	42"
Ri-40H	40	HEAVY	198.0	160.0	25.0	10	1.75	42"
Ri-45H	45	HEAVY	262.0	210.0	26.0	10	1.75	42"
Ri-50H	50	HEAVY	288.0	244.0	26.0	10	1.75	42"

STEP 3
DETERMINE THE SIZE, DEPTH AND REINFORCING FOR THE FOUNDATION. SEE R.I. STD. 19.5.0A FOR FOUNDATION DETAILS.

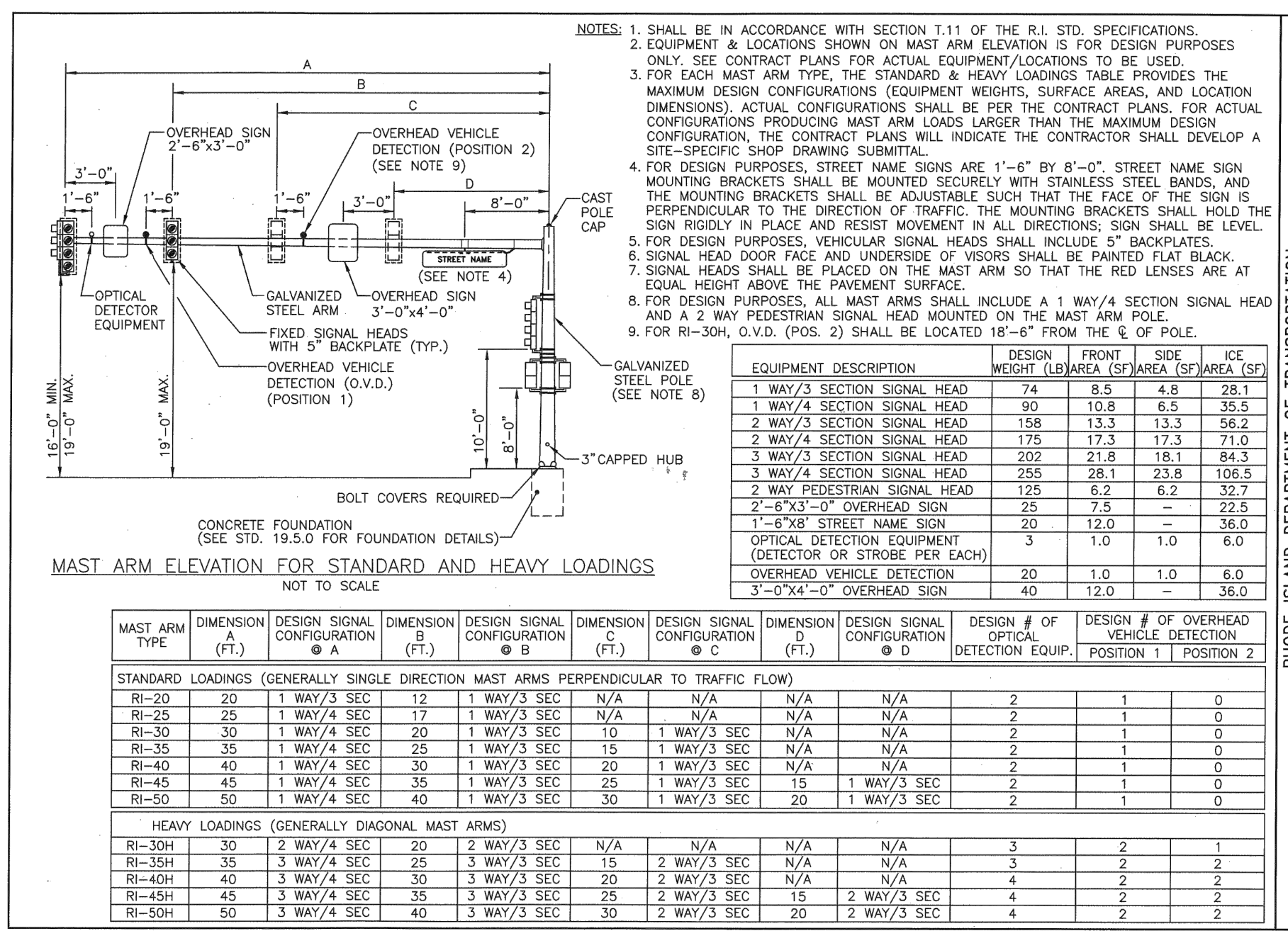
SOIL CLASS	MAST ARM TYPE				SOIL CLASS	MAST ARM TYPE				
	DIA.	DEPTH	DEPTH	VERTICALS		DIA.	DEPTH	DEPTH	VERTICALS	
1	3'-0"	9'-0"	9'-0"	13-#8	1	3'-6"	11'-0"	11'-0"	18-#8	
	3'-0"	8'-0"	8'-0"	13-#8		2	3'-6"	9'-0"	9'-0"	18-#8
	3'-0"	7'-0"	8'-0"	13-#8		3	3'-6"	8'-0"	8'-0"	18-#8
2	3'-0"	9'-0"	9'-0"	13-#8	2	3'-6"	11'-0"	11'-0"	18-#8	
	3'-0"	8'-0"	8'-0"	13-#8		2	3'-6"	9'-0"	9'-0"	18-#8
	3'-0"	7'-0"	8'-0"	13-#8		3	3'-6"	8'-0"	8'-0"	18-#8
3	3'-0"	9'-0"	9'-0"	13-#8	3	3'-6"	11'-0"	11'-0"	18-#8	
	3'-0"	8'-0"	8'-0"	13-#8		2	3'-6"	9'-0"	9'-0"	18-#8
	3'-0"	7'-0"	8'-0"	13-#8		3	3'-6"	8'-0"	8'-0"	18-#8

REVISIONS

NO.	BY	DATE

RODENT BACCHIO
DAVID W. FRANK
MAY 28, 2019

R.I. STANDARD 19.5.0B



STEEL MAST ARM

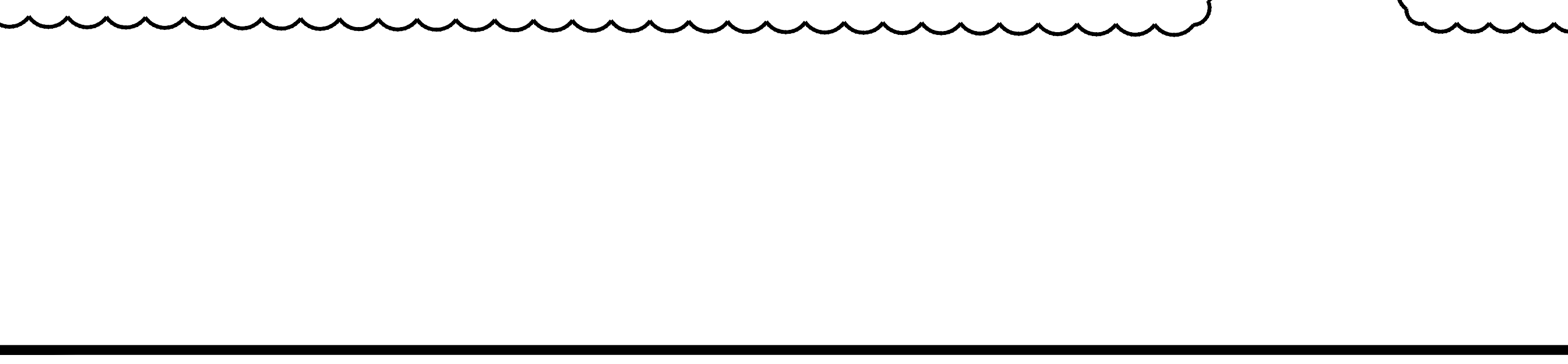
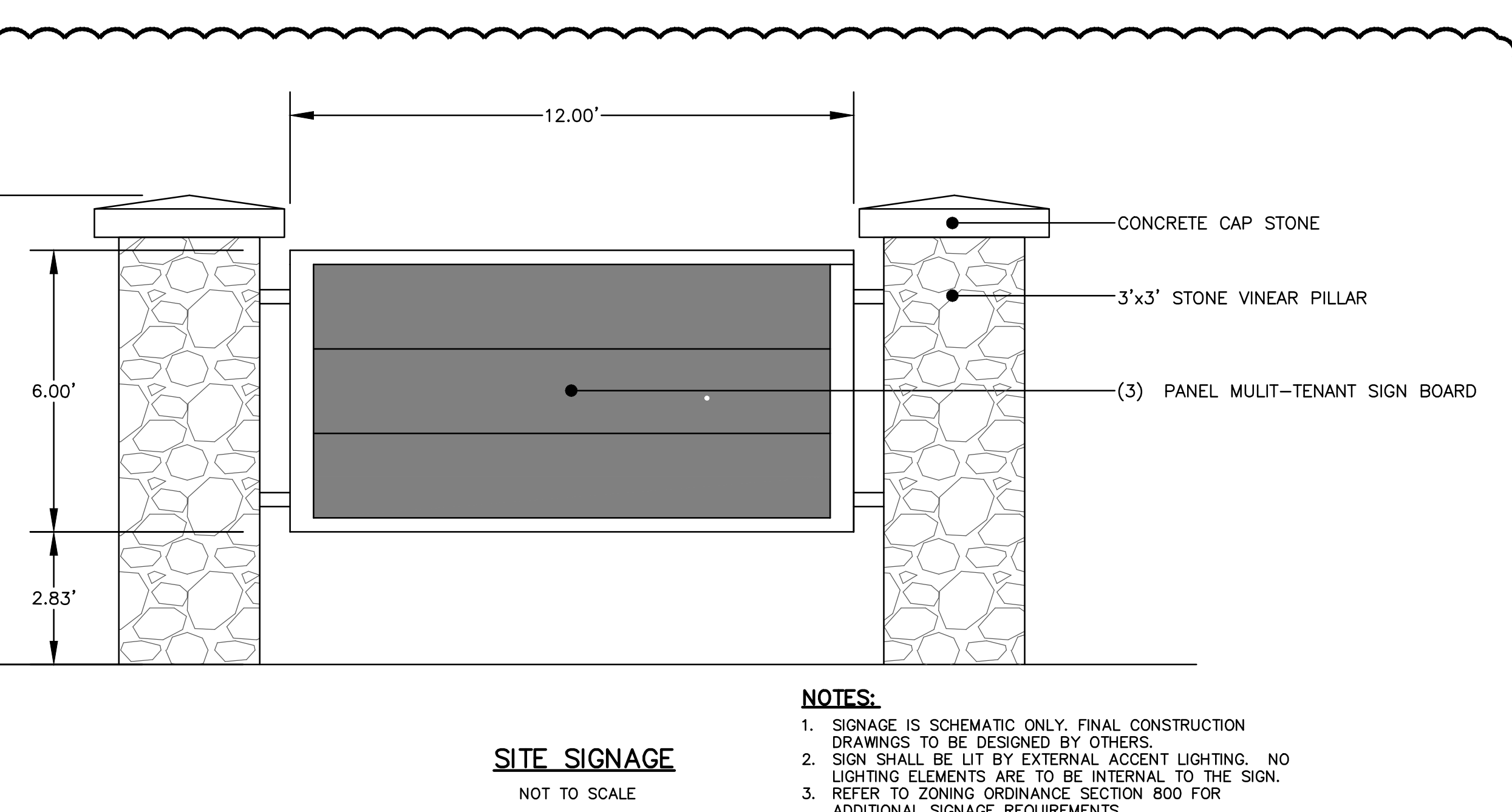
EQUIPMENT DESCRIPTION	DESIGN WEIGHT (LBS)	FRONT AREA (SQ FT)	SIDE AREA (SQ FT)	ICE AREA (SQ FT)
1 WAY/3 SECTION SIGNAL HEAD	74	8.5	4.8	28.1
2 WAY/3 SECTION SIGNAL HEAD	90	10.8	6.5	35.5
3 WAY/3 SECTION SIGNAL HEAD	158	13.3	13.3	56.2
4 WAY/3 SECTION SIGNAL HEAD	175	17.3	17.3	71.0
5 WAY/3 SECTION SIGNAL HEAD	202	21.8	18.1	84.3
6 WAY/3 SECTION SIGNAL HEAD	255	28.1	23.8	106.5
2 WAY PEDESTRIAN SIGNAL HEAD	125	6.2	6.2	32.7
2'-6"x3'-0" OVERHEAD SIGN	25	7.5	-	22.5
1'-6"x8" STREET NAME SIGN	20	12.0	-	36.0
OPTICAL DETECTION EQUIPMENT (DETECTOR OR STROBE PER EACH)	3	1.0	1.0	6.0
3'-0"x4'-0" OVERHEAD SIGN	40	12.0	-	36.0

REVISIONS

NO.	BY	DATE

RODENT BACCHIO
DAVID W. FRANK
MAY 28, 2019

R.I. STANDARD 19.5.0C



CONSTRUCTION DETAILS - 5

FOR
A.P. 246, LOTS 246, 247, 250,
251 & 257
SITUATED AT
203 CENTERVILLE ROAD (Rte. 117)
WARWICK, RI
PREPARED FOR
203 CENTERVILLE ROAD, LLC
AND CENTERVILLE ASSOCIATES

NO.	REVISION	BY	DATE
1	RIDEM	KJA	3/14/23
2	RIDOT COMMENTS	RAS	5/18/23
3	ADDED SITE SIGNAGE	KYY	9/22/23

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DRAWN BY K.J.A.
CHECK BY S.S.H.
APPROVED S.S.H.
DATE: JANUARY, 2023

CG-10

11 OF 11 SHEETS

SITE PLAN SET

FOR

PROPOSED CAR WASH and CAFE

PLAT MAP 246, LOTS 247, 250, 251 and 257

ZONING DISTRICT: GB

GENERAL BUSINESS DISTRICT

181 CENTERVILLE ROAD

WARWICK, RHODE ISLAND

PREPARED FOR:

203 CENTERVILLE ROAD, LLC
C/O BASS, DOHERTY and FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

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Phone: (401) 738-5660

Massachusetts
103 Commonwealth Avenue
North Attleboro, MA 02763
Phone: (508) 695-1700

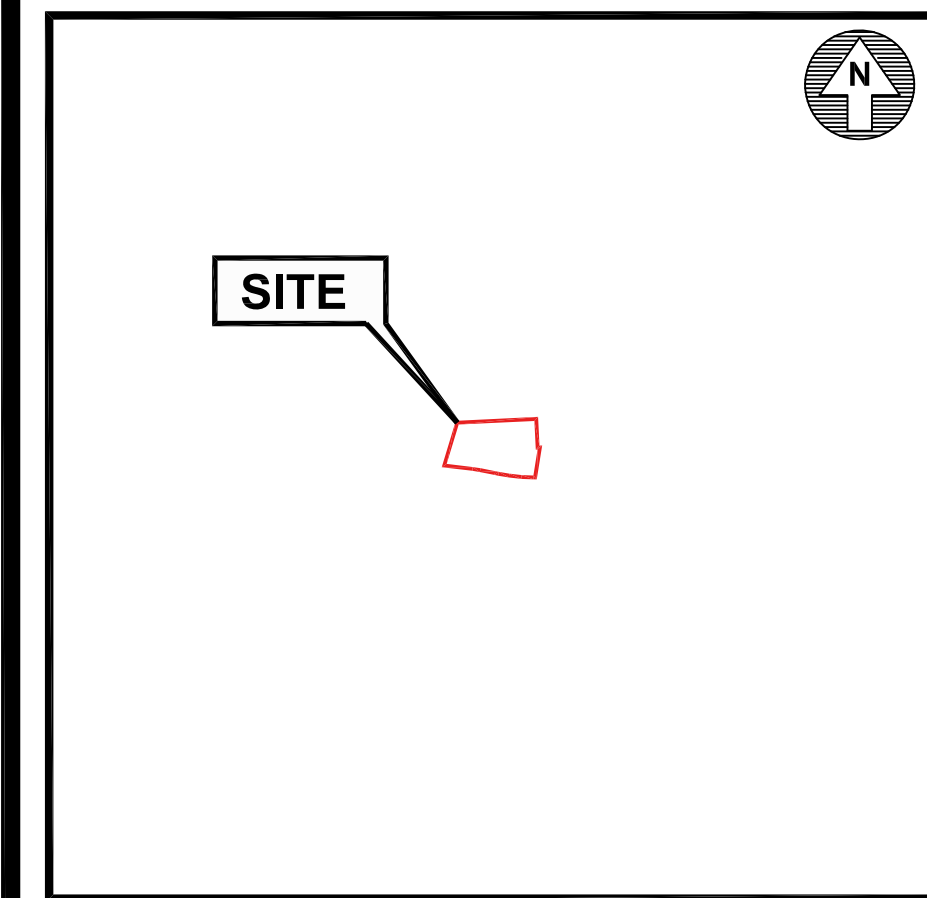
Email: cei@crossmaneng.com

MARCH 2023

SHEET 1 of 18

OWNER/APPLICANT:

CENTERVILLE ASSOCIATES
164 CENTERVILLE ROAD
WARWICK, RI 02886



LOCATION MAP
SCALE: 1"=1,000'

INDEX OF DRAWINGS

DRAWING No.	PLAN
C1	GENERAL NOTES and LEGEND
C2	AERIAL MAP
C3	RADIUS MAP
C4.1	EXISTING CONDITIONS PLAN No. 1
C4.2	EXISTING CONDITIONS PLAN No. 2
C5	SITE LAYOUT PLAN
C6	GRADING and DRAINAGE PLAN
C7	UTILITY PLAN
C8	SOIL EROSION CONTROL PLAN
C9	MISCELLANEOUS DETAIL PLAN No. 1
C10	MISCELLANEOUS DETAIL PLAN No. 2
C11	MISCELLANEOUS DETAIL PLAN No. 3
C12	MISCELLANEOUS DETAIL PLAN No. 4
C13	MISCELLANEOUS DETAIL PLAN No. 5
E1	SITE LIGHTING PLAN
L1	LANDSCAPE PLAN
L2	LANDSCAPE DETAIL PLAN

REVISIONS

No.	DESCRIPTION	DATE
1	UTILITIES	07/19/23

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GENERAL NOTES

- ALL EXISTING UTILITIES HAVE BEEN PLOTTED BASED UPON BEST AVAILABLE INFORMATION AND REPRESENT APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING DRAINAGE AND UTILITIES, BOTH UNDERGROUND AND OVERHEAD, BEFORE EXCAVATION BEGINS IN ACCORDANCE WITH "DIG SAFE PROGRAM LAW" ENACTED BY THE RHODE ISLAND LEGISLATURE AND BY CONTACTING THE INDIVIDUAL UTILITY COMPANIES. EXCAVATION SHALL BE IN ACCORDANCE WITH ALL STATUTES, ORDINANCES, RULES AND REGULATIONS OF ANY MUNICIPALITY, STATE OR FEDERAL AGENCY THAT MAY APPLY. ANY DAMAGE TO EXISTING UTILITIES SHALL BE THE CONTRACTOR'S RESPONSIBILITY. A MINIMUM ADVANCE NOTICE OF 72 HOURS IS REQUIRED PRIOR TO START OF CONSTRUCTION.
- SPECIFICATIONS TO GOVERN THIS PROJECT ARE R.I.D.O.T. STANDARD INSTALLATION, SPECIFICATIONS AND DETAILS. FOR ALL EXCAVATION, PLACEMENT OF FILL, PIPE BITUMINOUS PAVEMENT, CUTTING INTO CATCHBASIN/MANHOLES, CONCRETE AND SAWCUTTING, THE CONTRACTOR SHALL PERFORM THE WORK IN FULL COMPLIANCE WITH THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2018 EDITION, WITH LATEST REVISIONS UNLESS OTHERWISE SHOWN ON PLANS. THE "METHOD OF MEASUREMENT" AND "BASIS OF PAYMENT" ARE NOT APPLICABLE.
- THE CONTRACTOR MUST VERIFY PRIOR TO CONSTRUCTION THAT ALL REQUIRED AUTHORIZATION TO PERFORM WORK HAS BEEN OBTAINED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION OPERATIONS INCLUDING ALL ACTIONS OR OMISSIONS OF ANY SUBCONTRACTORS, AGENTS OR EMPLOYEES. THE CONTRACTOR MUST ENSURE THAT THE CONDITIONS OF ALL PERMITS, SPECIFICATIONS AND FEDERAL, STATE AND LOCAL REGULATIONS ARE STRICTLY ENFORCED. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ASPECTS OF ON-SITE SAFETY INCLUDING ANY DAMAGE TO EXISTING STRUCTURES.
- WORK SHOWN ON THE PLANS FOR WHICH THERE ARE NO PARTICULAR DETAILS, SPECIFICATIONS OR PAYMENT ITEM DOES NOT RELIEVE THE CONTRACTOR FROM FURNISHING AND INSTALLING THE WORK. THE CONTRACTOR SHALL THOROUGHLY EXAMINE THE CONTRACT DOCUMENTS AND PLANS AND INSPECT THE SITE. THE BID PRICE SHALL INCLUDE ALL SERVICES AND MATERIALS NECESSARY TO COMPLETE THE PROJECT. ANY CHANGES TO THE PROJECT OR THE INSTALLATION OF AN ITEM FOR WHICH NO PARTICULAR DETAIL OR SPECIFICATION WAS PROVIDED MUST BE REVIEWED BY AND MUST BE ACCEPTABLE TO THE ENGINEER.
- CONTRACTOR IS RESPONSIBLE TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DISCREPANCIES PRIOR TO ANY WORK.
- ALL DISTURBED AREAS SHALL BE REPLACED IN KIND UNLESS OTHERWISE SHOWN OR OTHERWISE INSTRUCTED IN WRITING BY THE OWNER.
- CONTRACTOR SHALL EXCAVATE TEST PITS TO CONFIRM UTILITY LOCATIONS/ELEVATIONS AT POTENTIAL CONFLICT POINTS (UTILITY/DRAIN CROSSINGS).
- THE CONTRACTOR SHALL USE CARE WHEN WORKING NEAR UTILITY POLES AND WIRING SO AS TO NOT DISTURB ELECTRICAL/TELEPHONE/CABLE SERVICE TO THE CUSTOMERS. IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN THESE SERVICES AT ALL TIMES.
- THE CONTRACTOR SHALL, AT NO ADDITIONAL EXPENSE, BRACE UTILITY POLES IF REQUIRED, AND REPAIR ANY DAMAGE TO EXISTING UTILITIES, SIDEWALKS, GUARDRAILS, CURBS, PAVING, SHRUBS, TREES, STONE WALLS, LAWNS, ETC.
- CHANGE ORDERS MAY ONLY BE APPROVED FOR PAYMENT BY THE OWNER.
- ALL OPEN EXCAVATIONS SHALL BE ADEQUATELY SAFEGUARDED BY PROVIDING TEMPORARY BARRICADES, CAUTION SIGNS, LIGHTS AND OTHER MEANS TO PREVENT ACCIDENTS TO PERSONS AND DAMAGE TO PROPERTY. THE CONTRACTOR SHALL, AT NO ADDITIONAL EXPENSE TO THE OWNER, PROVIDE SUITABLE AND SAFE CONDITIONS AT ALL AREAS OF THE WORK SITE AND SHALL PROVIDE SAFE VEHICULAR AND PEDESTRIAN ACCESS AROUND ALL WORK AREAS.
- CONTRACTOR SHALL PROVIDE, AT NO ADDITIONAL EXPENSE, ADEQUATE EROSION CONTROL, FRAC TANKS OR SEDIMENTATION CONTROLS SUBJECT TO THE APPROVAL OF THE CONSERVATION COMMISSION FOR THE DISCHARGE OF ANY TRENCH DEWATERING.
- ALL STRUCTURES AND WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS AND STANDARD SPECIFICATIONS OF THE TOWN OF CUMBERLAND DEPARTMENT OF PUBLIC WORKS. ALL EXCAVATION, BACKFILL AND RESTORATION WORK SHALL MEET THE CITY'S SPECIFICATIONS.
- THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEM FOUND WHICH DOES NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER PRIOR TO REMOVAL AND/OR INSTALLATION OF UTILITIES ON SITE. THE COORDINATION IS NECESSARY FOR THE ENGINEER TO SCHEDULE SITE INSPECTIONS. INSTALLATIONS PERFORMED WITHOUT INSPECTIONS BY THE ENGINEER MAY WARRANT COMPLETE REMOVAL AND REINSTALLATION AT THE CONTRACTOR'S SOLE EXPENSE.
- THE CONTRACTOR IS REQUIRED TO MAINTAIN DETAILED AS-BUILT INFORMATION FOR ALL UTILITY INSTALLATIONS. AS-BUILT INFORMATION MUST INCLUDE MATERIAL LIST, PIPE DEPTH AND SWING TIE LOCATIONS (2 MINIMUM) FROM NEW PIPE TO BUILDING CORNERS. ALL PIPE BEND/ELBOW LOCATIONS SHALL BE DIMENSIONED. FINAL PAYMENT WILL NOT BE MADE UNTIL SUITABLE AS-BUILT DATA IS PROVIDED.
- AS-BUILT AUTOCAD FILES AND HARD COPY PLANS SHALL BE PROVIDED UPON COMPLETION OF WORK. CONTRACTOR IS RESPONSIBLE FOR THIS INFORMATION. FINAL PAYMENT TO CONTRACTOR SHALL NOT BE PROVIDED UNTIL ACCEPTABLE AUTOCAD FILES OF THE AS-BUILTS ARE SUBMITTED AND APPROVED BY THE OWNER.

FLOOD ZONE NOTE

THE PROPOSED SITE IS LOCATED WITHIN FLOOD ZONE X, AREAS TO BE OUTSIDE THE 0.2% CHANCE FLOODPLAIN, ACCORDING TO FLOOD INSURANCE RATE MAP, KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS), PANEL 129 OF 251, MAP NUMBER 44003C0129J, MAP REVISED OCTOBER 2, 2015.

PROPOSED PAVEMENT STRUCTURE

PARKING SPACES

- 1 1/2" BITUMINOUS CONCRETE SURFACE COURSE, CLASS I-1
- 2 1/2" BITUMINOUS CONCRETE BASE COURSE
- 12" GRAVEL BASE

STANDARD NOTES

- ANY DAMAGE TO EXISTING PAVEMENT, BRIDGES, CULVERTS, CONDUIT, SIDEWALK, FENCES, ETC., CAUSED BY THE CONTRACTOR SHALL BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL PLACE ALL EQUIPMENT AND MATERIAL AS FAR AWAY AS POSSIBLE FROM THE EDGE OF THE TRAVEL LANE SO AS NOT TO CAUSE A SAFETY HAZARD.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT THE EXISTING CONDITIONS ARE NOT OBLITERATED BEFORE CONTROL POINTS ARE LOCATED AND CONSTRUCTION LAYOUT IS ESTABLISHED. THE CONSTRUCTION LAYOUT SHALL BE PROVIDED BY THE CONTRACTOR.
- ASPHALT EMULSION TACK COAT SHALL BE PLACED PRIOR TO PAVEMENT PLACEMENT ON ANY NEW COURSE WHICH HAS BEEN OPEN TO TRAFFIC, OR ANY NEW COURSE WHICH HAS BEEN EXPOSED FOR MORE THAN 3 DAYS, AND/OR AS DIRECTED BY THE ENGINEER. IT SHALL ALSO BE APPLIED TO VERTICAL PAVEMENT FACES BETWEEN ADJOINING PAVEMENT SECTIONS.
- THE LIMITS OF CLEARING AND SURFACE DISTURBANCE MUST BE STRICTLY ADHERED TO IN ALL AREAS. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND PLACING, AT HIS OWN EXPENSE, 2" MULCH IN AREAS WHICH ARE OUTSIDE OF THE PROJECT'S AREAS OF DISTURBANCE AND WHICH ARE IMPACTED BY CONSTRUCTION OPERATIONS INCLUDING THOSE AREAS WHERE VEHICLES, EQUIPMENT AND MATERIALS ARE STORED.
- CLEANING AND SWEEPING OF PAVEMENT WILL INCLUDE REMOVAL OF ALL PAVEMENT DEBRIS PRIOR TO THE PLACEMENT OF EACH BITUMINOUS PAVEMENT LIFT. ALL CLEANING AND SWEEPING SHALL BE DONE TO THE SATISFACTION OF THE ENGINEER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL ROADWAYS FREE OF DEBRIS RESULTING FROM THEIR CONSTRUCTION OPERATIONS. ALL DEBRIS SHALL BE REMOVED TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
- NO FUEL STORAGE, VEHICLE REFUELING, OR EQUIPMENT STORAGE SHALL TAKE PLACE IN DESIGNATED WETLANDS, NOR WITHIN 100' OF ANY WATER BODY. THIS REQUIREMENT SHALL NOT SUPERSEDE ANY FEDERAL, STATE OR LOCAL LAW, ORDINANCE, RULE OR REGULATION THAT APPLIES TO THE SAME, UNLESS THIS REQUIREMENT IS MORE STRINGENT THAN SAID LAW, ORDINANCE, RULE OR REGULATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT AT THE END OF FINAL PAVING OPERATIONS, FLOW TO EXISTING DRAINAGE STRUCTURES HAS BEEN REESTABLISHED AND THAT NO ISOLATED DEPRESSIONS REMAIN. THERE SHALL BE NO SEPARATE PAYMENT FOR THIS PROVISION; IT SHALL BE CONSIDERED INCIDENTAL TO PAVING OPERATIONS.
- ALL EMBANKMENTS AND TRENCH BACKFILL SHALL BE PLACED IN HORIZONTAL LAYERS NOT EXCEEDING 12" (AFTER COMPACTION) AND SHALL BE COMPACTED AS SPECIFIED BEFORE THE NEXT LAYER IS PLACED.

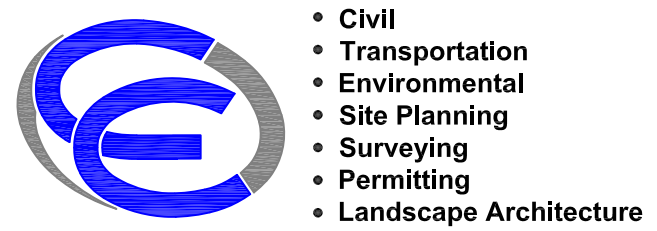
MAINTENANCE AND PROTECTION OF TRAFFIC NOTES

- ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS, CHANNELIZING DEVICES, ETC., SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, 2009 EDITION.
- ALL SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE STATE D.O.T. STANDARD SPECIFICATIONS, LATEST EDITION.
- THE CONTRACTOR SHALL COVER ALL EXISTING AND/OR TEMPORARY SIGNS THAT ARE NOT RELEVANT TO THE TRAFFIC CONTROL REQUIRED DURING ANY PARTICULAR STAGE OF THE CONTRACT.
- ADVANCE FLAGPERSON SIGNS SHALL BE USED IN ADVANCE OF ANY POINT AT WHICH A POLICE OFFICER HAS BEEN STATIONED TO CONTROL TRAFFIC. WHEN NEEDED, AN APPROPRIATE DISTANCE MESSAGE MAY BE DISPLAYED ON A SUPPLEMENTAL PLATE (24"x18") BELOW THE FLAGPERSON SYMBOL SIGN. THE SIGN SHALL BE PROMPTLY REMOVED OR COVERED WHENEVER THE FLAGPERSON IS NOT AT THE STATION.
- POLYETHYLENE DRUMS SHALL BE UTILIZED AS A CHANNELIZING DEVICE WHEN A TRAFFIC CONTROL SET-UP IS TO REMAIN BEYOND WORKING HOURS WHEN NO WORKERS ARE PRESENT. CONES SHALL BE UTILIZED WHEN A TRAFFIC CONTROL SET-UP IS TO REMAIN ONLY DURING WORKING HOURS AND IS SUBSEQUENTLY BROKEN DOWN AT THE END OF THE WORKDAY.
- TEMPORARY CONSTRUCTION SIGNS AND OTHER WORKZONE TRAFFIC CONTROL DEVICES THAT ARE DAMAGED OR REQUIRE RELOCATION SHALL BE REPLACED AND / OR RELOCATED UNDER THE PAY ITEM FOR "MAINTENANCE AND MOVEMENT TRAFFIC PROTECTION."
- THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED ON THE TRAVEL LANES OR SHOULDERS.
- TEMPORARY CONSTRUCTION SIGNS AND OTHER TEMPORARY TRAFFIC CONTROL DEVICES SHALL BE INSTALLED PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC, AND SHALL BE REMOVED AS SOON AS PRACTICAL WHEN THEY ARE NO LONGER APPROPRIATE.
- THE INTENDED VEHICLE PATHS THROUGH EACH WORK ZONE SHALL BE CLEARLY MARKED AT ALL TIMES.

EXISTING	LEGEND	PROPOSED
	PROPERTY LINE	
	EASEMENT LINE	
	CURB	
	BITUMINOUS BERM	
	UTILITY POLE	
	LIGHT POLE	
	DRAIN LINE	
	SANITARY SEWER	
	SANITARY FORCE MAIN	
	GAS LINE	
	WATER LINE	
	DRAINAGE MANHOLE	
	CATCH BASIN	
	SEWER MANHOLE	
	HYDRANT	
	WATER GATE	
	GAS GATE	
	CLEAN-OUT TO GRADE	
	SAWCUT PAVEMENT	
	CONTOURS	
	SPOT GRADES	
	GRADE TO DRAIN	
	CHAIN LINK FENCE	
	STOCKADE FENCE	
	SIGN	
	STREET SIGN	
	RETAINING WALL	
	STONE WALL	
	GUARDRAIL	
	BUILDING/STRUCTURE	
	WETLAND FLAG	
	WETLAND EDGE	
	150' BUFFER ZONE	
	20' SETBACK	
	200' JURISDICTIONAL AREA	
	LIMIT OF DISTURBANCE	
	FILTER SOXX	
	TEST PIT LOCATION	

SOIL EVALUATION DATA
SOIL EVALUATIONS WERE CONDUCTED BY BRIAN KING ON DECEMBER 21, 2022

TEST PIT 1	TEST PIT 2	TEST PIT 3	TEST PIT 4	TEST PIT 5	TEST PIT 6	TEST PIT 7	TEST PIT 8
<p>0" - 10YR3/3 Sandy Loam</p> <p>2" - 10YR4/6 Sandy Loam</p> <p>8" - 10YR4/4 Cobbly Gravelly Sand</p> <p>28" - 2.5Y5/4 Sand</p> <p>60" - 2.5Y3/1 Loamy Sand (Presence of Silt)</p> <p>121" -</p> <p>Soil Class: Outwash Limiting Layer: NA GW Seepage Depth: NA SHWT Design Depth: 108"</p>	<p>0" - 10YR3/3 Sandy Loam</p> <p>4" - 10YR3/4 Boulders Loamy Sand /Sandy Loam</p> <p>70" - 2.5Y35/4 Sand</p> <p>110" -</p> <p>Soil Class: Outwash Limiting Layer: NA GW Seepage Depth: NA SHWT Design Depth: 108"</p>	<p>0" - Forest Litter</p> <p>1" - 10YR3/4 Sandy Loam</p> <p>8" - 10YR4/6 Gravelly Sandy Loam</p> <p>14" - 10YR4/4 Cobbly Sandy Loam</p> <p>26" - 2.5Y4/6 Very Cobbly Stony Gravelly Sand</p> <p>98" - 2.5Y3/1 Loamy Sand (Presence of Silt)</p> <p>117" -</p> <p>Soil Class: Outwash Limiting Layer: NA GW Seepage Depth: NA SHWT Design Depth: 108"</p>	<p>0" - 10YR3/4 Sandy Loam</p> <p>7" - 10YR4/6 Sandy Loam</p> <p>18" - 10YR4/4 Cobbly Sand Loam</p> <p>29" - 2.5Y4/6 Very Cobbly Stony Gravelly Sand</p> <p>108" - 2.5Y3/1 Loamy Sand (Presence of Silt)</p> <p>120" -</p> <p>Soil Class: Outwash Limiting Layer: NA GW Seepage Depth: NA SHWT Design Depth: 108"</p>	<p>0" - Forest Litter</p> <p>1" - 10YR3/3 Sandy Loam</p> <p>6" - 10YR4/6 Sandy Loam</p> <p>12" - 10YR4/4 Cobbly Sandy Loam</p> <p>24" - 2.5Y5/4 Very Cobbly Stony Gravelly Sand</p> <p>65" - 2.5Y4/2 Gravelly Coarse Sand</p> <p>88" - 2.5Y6/3 Sand</p> <p>102" - 2.5Y3/1 Loamy Sand</p> <p>110" -</p> <p>Soil Class: Outwash Limiting Layer: NA GW Seepage Depth: NA SHWT Design Depth: 108"</p>	<p>0" - Forest Litter</p> <p>2" - 10YR3/3 Sandy Loam</p> <p>8" - 10YR4/6 Sandy Loam</p> <p>16" - 10YR4/4 Cobbly Sandy Loam</p> <p>23" - 2.5Y5/4 Very Cobbly Stony Gravelly Sand</p> <p>85" - 2.5Y5/4 Cobbly Gravelly Sand</p> <p>102" - 2.5Y4/2 Coarse Sand</p> <p>118" -</p> <p>Soil Class: Outwash Limiting Layer: NA GW Seepage Depth: NA SHWT Design Depth: 108"</p>	<p>0" - Forest Litter</p> <p>2" - 10YR3/3 Sandy Loam</p> <p>12" - 10YR4/6 Sandy Loam</p> <p>28" - 10YR4/6 Sandy Loam</p> <p>52" - 2.5Y3/1 Gravelly Loamy Sand (Presence of Silt)</p> <p>98" -</p> <p>Soil Class: Outwash Limiting Layer: NA GW Seepage Depth: NA SHWT Design Depth: 96"</p>	<p>0" - Forest Litter</p> <p>2" - 10YR3/3 Sandy Loam</p> <p>8" - 10YR4/6 Sandy Loam</p> <p>21" - 2.5Y5/4 Very Cobbly Stony Gravelly Sand</p> <p>52" - 2.5Y3/1 Gravelly Loamy Sand (Presence of Silt)</p> <p>98" -</p> <p>Soil Class: Outwash Limiting Layer: NA GW Seepage Depth: NA SHWT Design Depth: 98"</p>



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Massachusetts: 103 Commonwealth Avenue, North Attleboro, MA 02763, Phone (508) 695-1700
Email: ce@crossmaneng.com

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KEY PLAN

PROPOSED CAR WASH AND CAFE
PLAT MAP 246
LOTS 247, 250, 251 and 257
ZONING DISTRICT:GB
GENERAL BUSINESS DISTRICT
181 CENTERVILLE ROAD
WARWICK, RHODE ISLAND

PREPARED FOR:
203 CENTERVILLE ROAD LLC
C/O BASS, DOHERTY and FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

DRAWING TITLE: GENERAL NOTES and LEGEND

DATE: MARCH 2023 SCALE: NO SCALE
DWG. NAME: 2668-C01-NOTE-R1.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	UTILITIES	7/19/23

DRAWING NUMBER: **C1**
SHEET: 2 OF 18



- Civil
- Transportation
- Environmental
- Site Planning
- Surveying
- Permitting
- Landscape Architecture

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 181 CENTERVILLE ROAD
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203 CENTERVILLE ROAD LLC
 C/O BASS, DOHERTY and FINKS, PC
 1380 SOLDIERS FIELD ROAD
 SUITE 2100
 BOSTON, MA 02135-1023

DRAWING TITLE:
AERIAL MAP

DATE: MARCH 2023 SCALE: 1"=40'
 DWG. NAME: 2668-C02-AERIAL-R1.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER
C2
 SHEET: 3 OF 18





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**PROPOSED
CAR WASH and CAFE**
PLAT MAP 246
LOTS 247, 250, 251 and 257
ZONING DISTRICT: GB
GENERAL BUSINESS DISTRICT
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WARWICK, RHODE ISLAND

PREPARED FOR:

203 CENTERVILLE ROAD LLC
C/O BASS, DOHERTY and FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

DRAWING TITLE:

200' RADIUS MAP

DATE: MARCH 2023 SCALE: 1"=40'

DWG. NAME: 2000-C03-RADIUS-RI.dwg

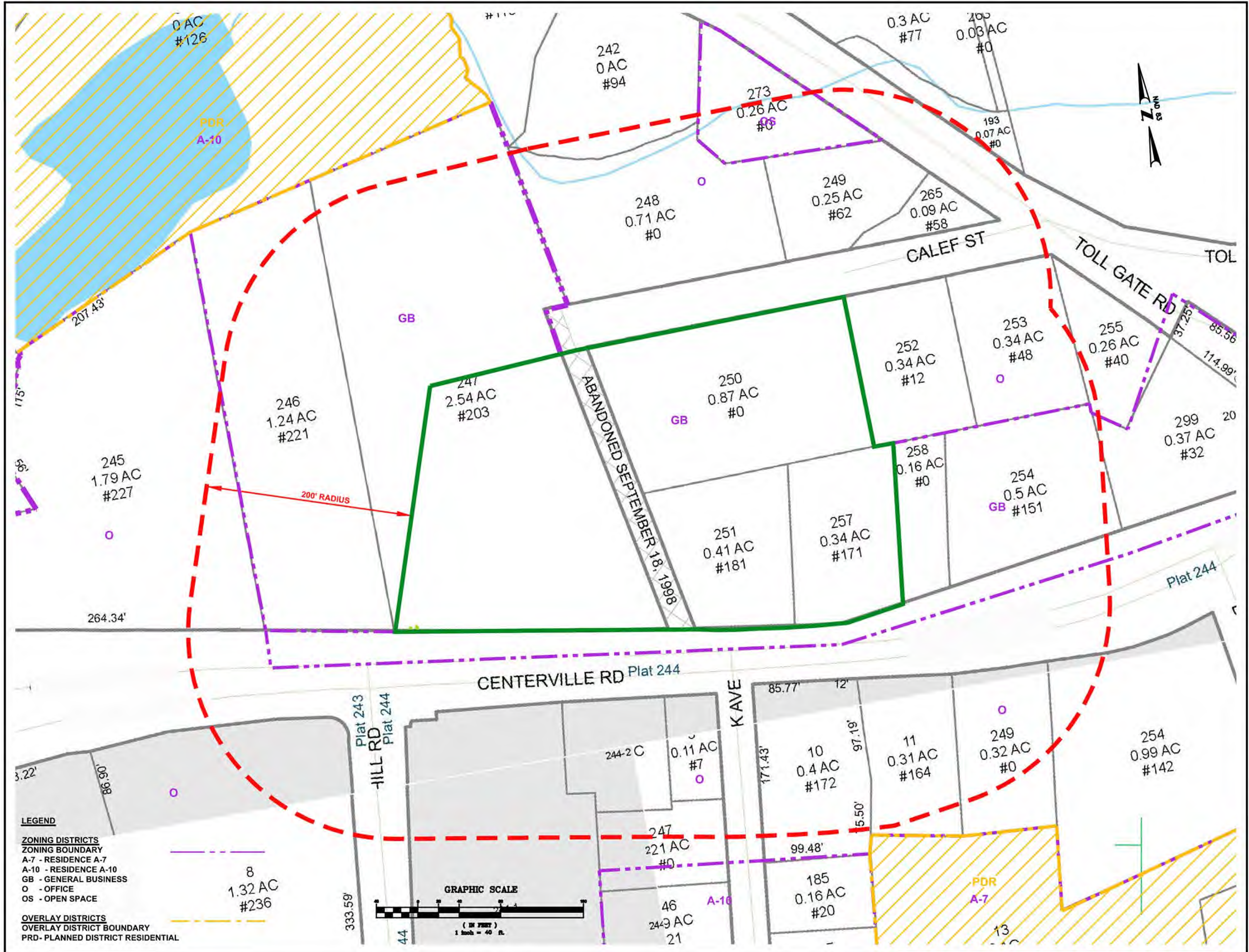
REVISIONS

NUMBER	REMARKS	DATE
1	UTILITIES	7/10/23

DRAWING NUMBER

C3

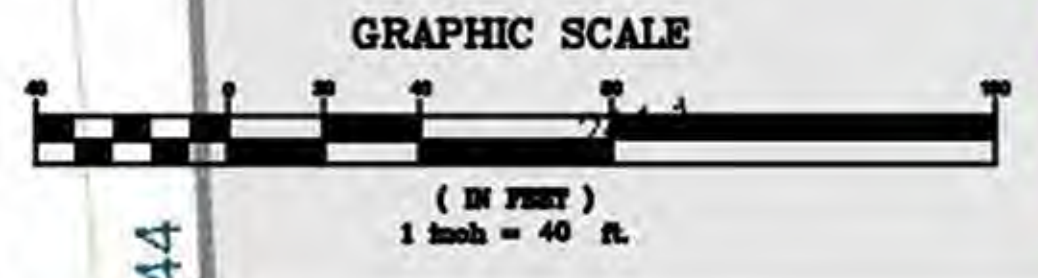
SHEET: 4 OF 18



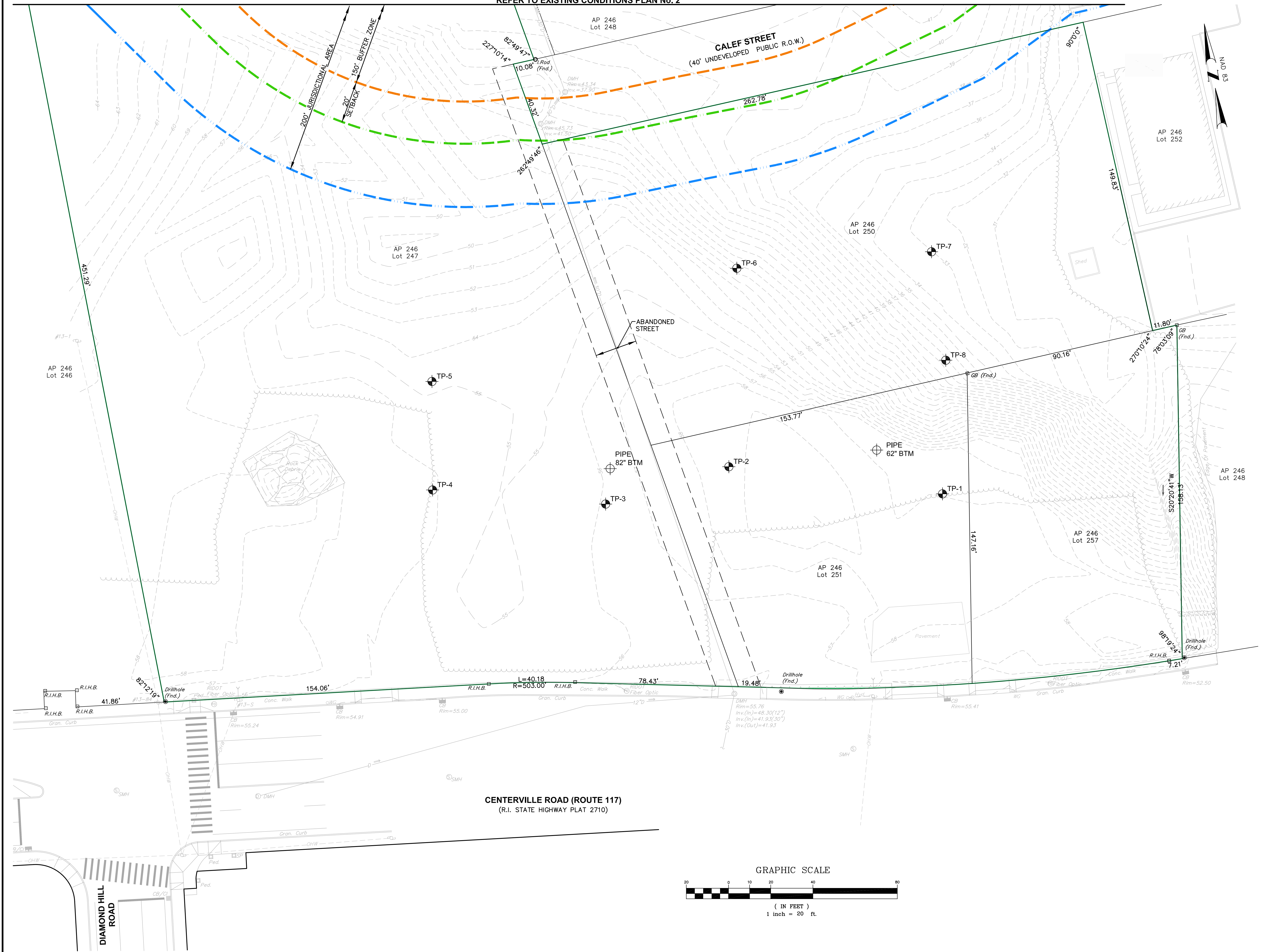
LEGEND

ZONING DISTRICTS
 ZONING BOUNDARY
 A-7 - RESIDENCE A-7
 A-10 - RESIDENCE A-10
 GB - GENERAL BUSINESS
 O - OFFICE
 OS - OPEN SPACE

OVERLAY DISTRICTS
 OVERLAY DISTRICT BOUNDARY
 PRD - PLANNED DISTRICT RESIDENTIAL



REFER TO EXISTING CONDITIONS PLAN No. 2



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KEY PLAN

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PROPOSED CAR WASH AND CAFE
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 GENERAL BUSINESS DISTRICT
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 WARWICK, RHODE ISLAND

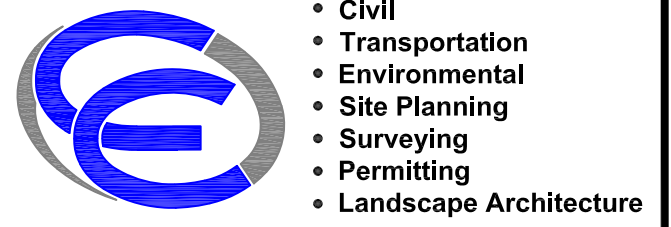
PREPARED FOR:
 203 CENTERVILLE ROAD LLC
 C/O BASS, DOHERTY and FINKS, PC
 1380 SOLDIERS FIELD ROAD
 SUITE 2100
 BOSTON, MA 02135-1023

DRAWING TITLE:
EXISTING CONDITION PLAN No. 1

DATE: MARCH 2023 **SCALE:** 1"=20'
DWG. NAME: 2668-C04-EXCN-R1.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER
C4.1
 SHEET: 5 OF 18



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KEY PLAN

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**PROPOSED
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203 CENTERVILLE ROAD LLC
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 SUITE 2100
 BOSTON, MA 02135-1023

DRAWING TITLE:

**EXISTING CONDITIONS
 PLAN No. 2**

DATE: MARCH 2023 SCALE: 1"=20'

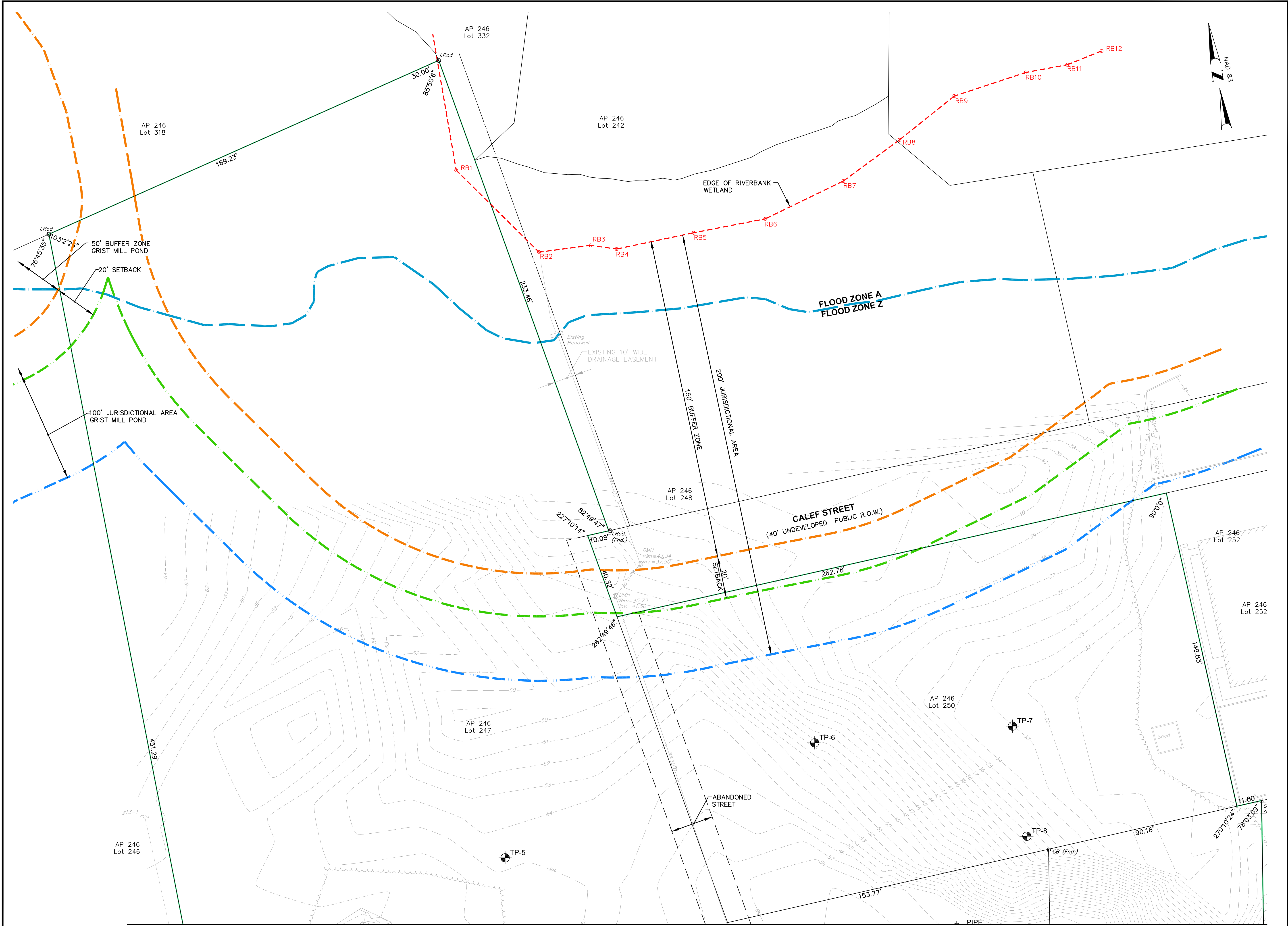
DWG. NAME: 2668-C04-EXCN-R1.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

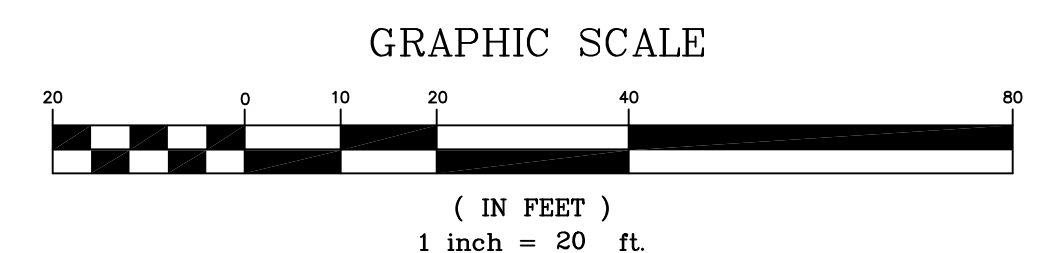
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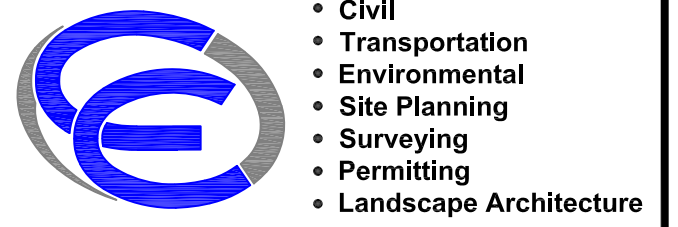
C4.2

SHEET: 6 OF 18



REFER TO EXISTING CONDITIONS PLAN No. 1





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KEY PLAN

PROJECT TITLE:

**PROPOSED
CAR WASH AND CAFE**
PLAT MAP 246
LOTS 247, 250, 251 and 257
ZONING DISTRICT: GB
GENERAL BUSINESS DISTRICT
181 CENTERVILLE ROAD
WARWICK, RHODE ISLAND

PREPARED FOR:

203 CENTERVILLE ROAD LLC
C/O BASS, DOHERTY and FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

DRAWING TITLE:

SITE LAYOUT PLAN

DATE: MARCH 2023 SCALE: 1"=20'

DWG. NAME: 2668-C05-SITE-R1.dwg

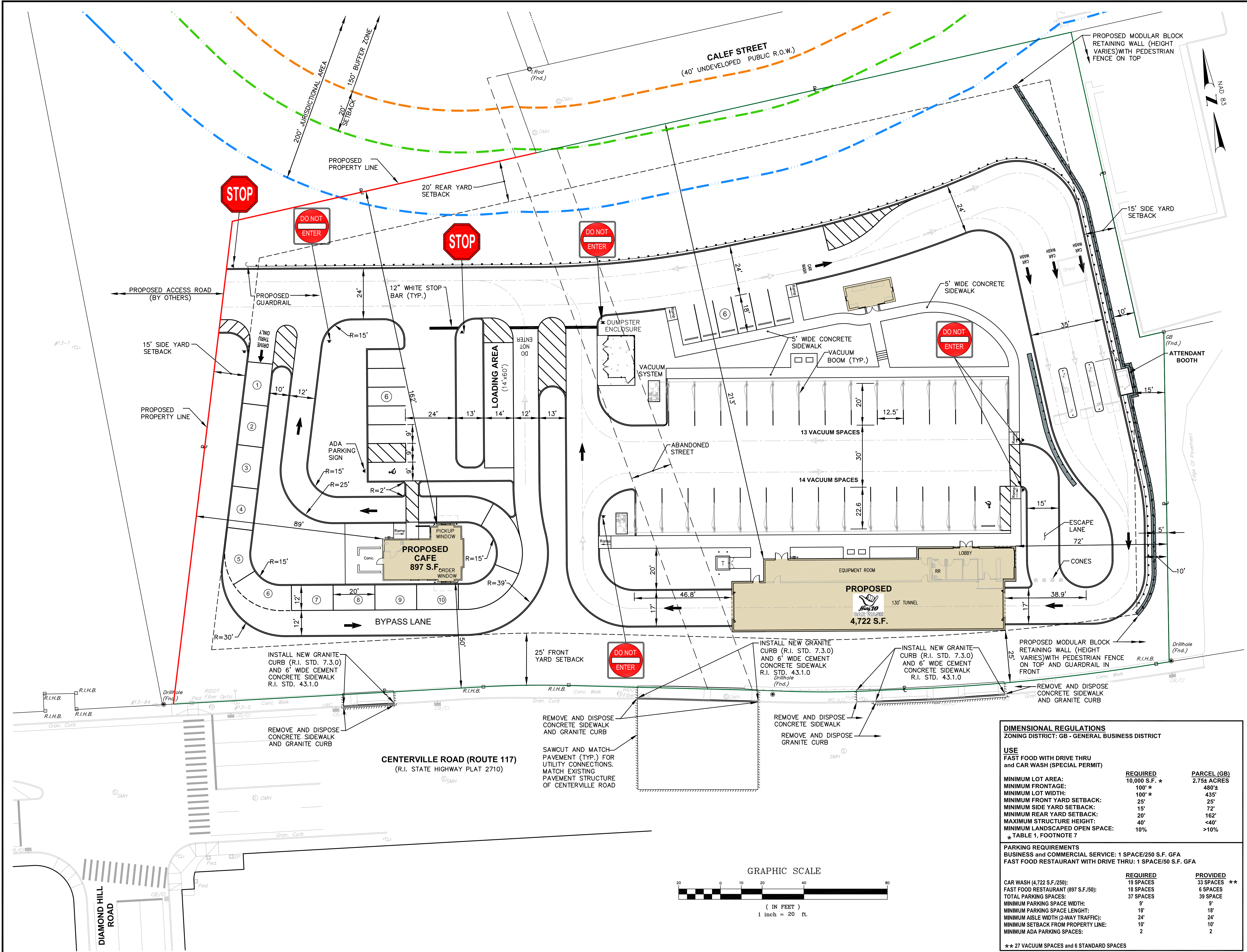
REVISIONS

NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER

C5

SHEET: 7 OF 18



DIMENSIONAL REGULATIONS
ZONING DISTRICT: GB - GENERAL BUSINESS DISTRICT

USE
FAST FOOD WITH DRIVE THRU
and CAR WASH (SPECIAL PERMIT)

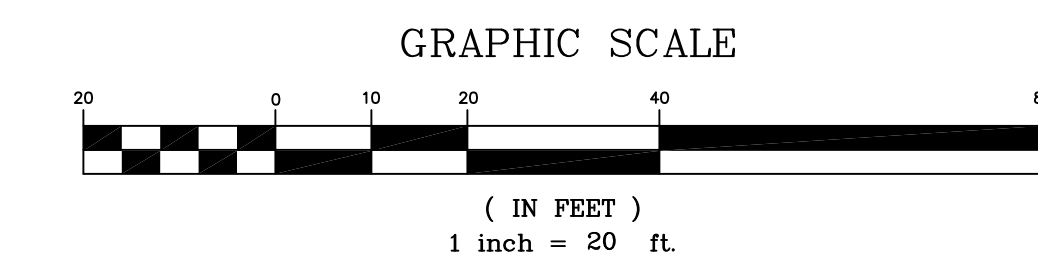
	REQUIRED	PARCEL (GB)
MINIMUM LOT AREA:	10,000 S.F. *	2,752 ACRES
MINIMUM FRONTAGE:	100' *	435'
MINIMUM LOT WIDTH:	100' *	435'
MINIMUM FRONT YARD SETBACK:	25'	25'
MINIMUM SIDE YARD SETBACK:	15'	72'
MINIMUM REAR YARD SETBACK:	20'	162'
MAXIMUM STRUCTURE HEIGHT:	40'	<40'
MINIMUM LANDSCAPED OPEN SPACE:	10%	>10%

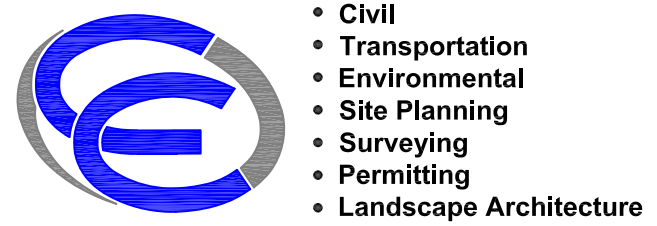
* TABLE 1, FOOTNOTE 7

PARKING REQUIREMENTS
BUSINESS and COMMERCIAL SERVICE: 1 SPACE/250 S.F. GFA
FAST FOOD RESTAURANT WITH DRIVE THRU: 1 SPACE/50 S.F. GFA

	REQUIRED	PROVIDED **
CAR WASH (4,722 S.F./250):	19 SPACES	33 SPACES **
FAST FOOD RESTAURANT (897 S.F./50):	18 SPACES	6 SPACES
TOTAL PARKING SPACES:	37 SPACES	39 SPACES
MINIMUM PARKING SPACE WIDTH:	9'	9'
MINIMUM PARKING SPACE LENGTH:	18'	18'
MINIMUM AISLE WIDTH (2-WAY TRAFFIC):	24'	24'
MINIMUM SETBACK FROM PROPERTY LINE:	10'	10'
MINIMUM ADA PARKING SPACES:	2	2

** 27 VACUUM SPACES and 6 STANDARD SPACES





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1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

DRAWING TITLE:

GRADING and DRAINAGE PLAN

DATE: MARCH 2023 SCALE: 1"=20'

DWG. NAME: 2668-C06-GRADE-R1.dwg

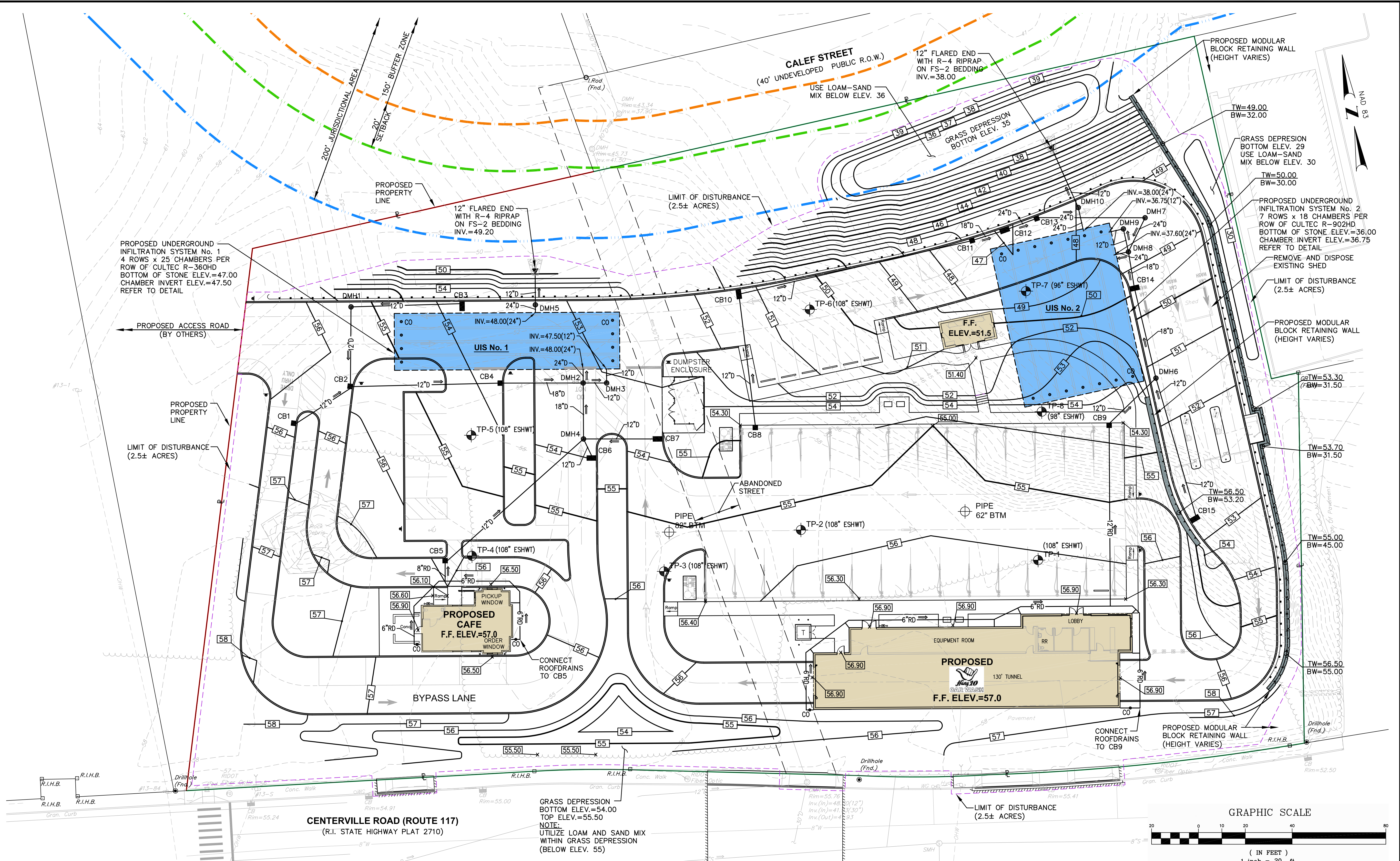
REVISIONS

NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER

C6

SHEET: 8 OF 18



DRAINAGE STRUCTURE TABLE

NUMBER	STRUCTURE	FRAME AND GRATE/COVER	RIM	INVERT (IN)	INVERT (OUT)
CB 1	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0	55.90	--	51.90(12")
CB 2	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0	55.60	51.60(12")	49.50(12")
CB 3	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	53.80	--	50.50(12")
CB 4	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0	53.80	48.90(12")	48.80(18")
CB 5	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0	55.80	52.30(8")	51.80(12")
CB 6	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	54.00	--	50.00(12")
CB 7	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	53.70	--	50.20(12")
CB 8	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	54.20	--	50.20(12")

NUMBER	STRUCTURE	FRAME AND GRATE/COVER	RIM	INVERT (IN)	INVERT (OUT)
CB 9	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	54.20	50.20(12")	48.60(12")
CB 10	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	51.30	47.30(12")	47.20(12")
CB 11	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0	47.40	43.50(12")	43.00(18")
CB 12	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	46.80	42.80(18")	42.30(24")
CB 13	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.3.0	47.40	42.10(24")	42.00(24")
CB 14	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	49.40	44.90(18")	44.60(18")
CB 15	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.3.0 (DOUBLE)	52.80	--	48.80(12")

NUMBER	STRUCTURE	FRAME AND GRATE/COVER	RIM	INVERT (IN)	INVERT (OUT)
DMH 1	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.2.1	55.40	50.00(12")	50.00(12")
DMH 2	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.2.1	53.20	48.40(18")	48.20(24")
DMH 3	STORMCEPTOR	CONTECH FRAME AND COVER	53.10	47.68(12")	47.60(12")
DMH 4	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.2.1	53.80	48.80(12")	49.30(18")
DMH 5	PRECAST CONCRETE (6' DIA.)	R.I. STD. 6.2.1	53.30	48.00(24")	49.60(12")
DMH 6	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.2.1	51.20	47.20(12")	46.70(18")
DMH 7	PRECAST CONCRETE (5' DIA.)	R.I. STD. 6.2.1	48.60	41.50(24")	40.00(24")

NUMBER	STRUCTURE	FRAME AND GRATE/COVER	RIM	INVERT (IN)	INVERT (OUT)
DMH 8	PRECAST CONCRETE (6' DIA.)	R.I. STD. 6.2.1	48.80	39.80(24")	37.70(24")
DMH 9	STORMCEPTOR	CONTECH FRAME AND COVER	48.50	36.93(12")	36.85(12")
DMH 10	PRECAST CONCRETE (4' DIA.)	R.I. STD. 6.2.1	48.00	38.00(24")	39.00(12")

DRAINAGE STRUCTURE NOTES

- DMH 5 AND DMH 10 ARE OUTLET CONTROL STRUCTURES WITH WEIR WALLS. REFER TO SHEET C11 FOR DETAILS.
- REFER TO SHEET C11 FOR UNDERGROUND INFILTRATION SYSTEM DETAILS AND CROSS-SECTIONS.

UTILITY NOTES

1. CONTRACTOR SHALL COORDINATE NEW ELECTRIC AND COMMUNICATION SERVICE WITH UTILITY COMPANIES. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION OF NEW CONDUITS, WIRES AND TRANSFORMERS AS REQUIRED TO SERVICE THIS SITE.
2. CONTRACTOR IS REQUIRED TO DIG TEST PITS AT ALL PROPOSED-EXISTING UTILITY TIE-IN AREAS. THIS WORK SHALL BE CONDUCTED PRIOR TO INSTALLATION. COORDINATION WITH OWNER AND ENGINEER IS REQUIRED.
3. ALL UTILITIES PENETRATING THE FOUNDATION WALL SHALL BE SLEEVED WITH WATER TIGHT FITTINGS.
4. ALL UTILITIES PENETRATING THE FOUNDATION WALL SHALL BE SLEEVED WITH WATER TIGHT FITTINGS.
5. THE CONTRACTOR IS REQUIRED TO COORDINATE WITH THE ARCHITECT AND PLUMBING ENGINEER TO CONFIRM THE WATER SERVICE SIZE AND SERVICE PRESSURES. THE CONTRACTOR SHALL COORDINATE WITH THE PLUMBING ENGINEER TO CONDUCT A FIRE FLOW TEST PRIOR TO CONSTRUCTION.
6. GAS LINE SIZE SHALL BE VERIFIED BY THE ARCHITECT PRIOR TO CONSTRUCTION.
7. UTILITY SERVICE LOCATIONS AT THE BUILDING AS SHOWN ON THIS PLAN MAY VARY DEPENDING ON FINAL ARCHITECTURAL DESIGN.
8. PROPOSED SEWER LINE SHALL BE 6" SDR 35 OR APPROVED EQUAL.



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 LOTS 247, 250, 251 and 257
 ZONING DISTRICT:GB
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 WARWICK, RHODE ISLAND

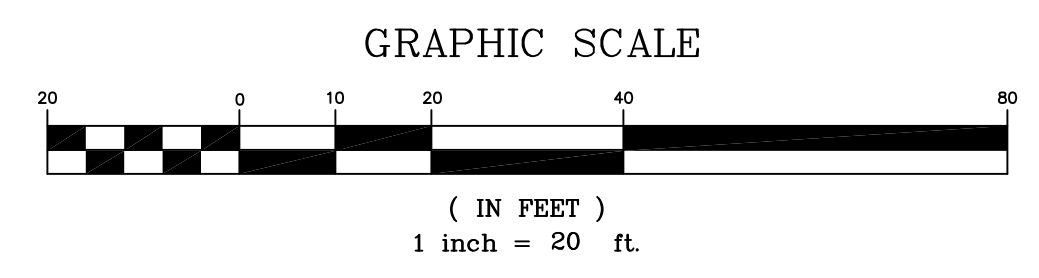
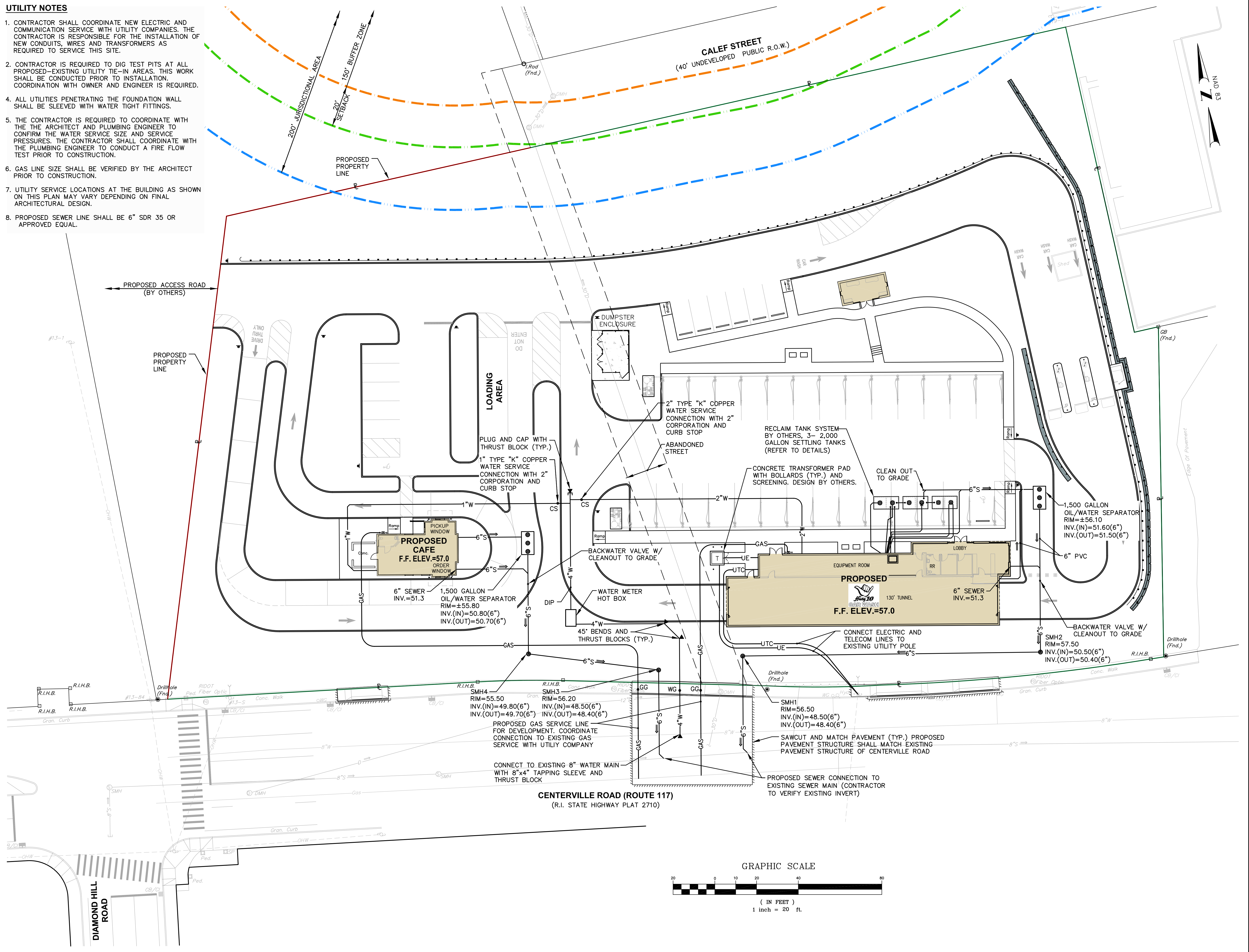
PREPARED FOR:
203 CENTERVILLE ROAD LLC
 C/O BASS, DOHERTY and FINKS, PC
 1380 SOLDIERS FIELD ROAD
 SUITE 2100
 BOSTON, MA 02135-1023

DRAWING TITLE:
UTILITY PLAN

DATE: MARCH 2023 SCALE: 1"=20'
 DWG. NAME: 2668-C07-UTILITY-R1.dwg

NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER
C7
 SHEET: 9 OF 18



EROSION CONTROL AND SOIL STABILIZATION PROGRAM

- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM, ADJACENT PROPERTY, AND ROADWAYS.
- TEMPORARY TREATMENTS SHALL CONSIST OF A HAY, STRAW, OR FIBER MULCH PROTECTIVE COVERS, SUCH AS A MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, EXCELSIOR BLANKETS). THEY SHALL BE INCORPORATED INTO THE WORK AS WARRANTED OR AS ORDERED BY THE OWNER.
- HAY OR STRAW APPLICATIONS SHALL BE IN THE AMOUNT OF 3,000-4,000 LBS/ACRE.
- STOCKPILES SHALL HAVE NO SLOPE STEEPER THAN 2:1 AND SHALL BE SURROUNDED BY FILTER SOXX, STAKED HAY BALES OR SILT FENCING.
- STOCKPILES EXPOSED FOR EXCESSIVE PERIODS SHALL RECEIVE TEMPORARY TREATMENT CONSISTING OF HAY, STRAW OR FIBER MATTING.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT/REPLACE AS NEEDED.
- ADDITIONAL HAY BALES OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER, OWNER, MUNICIPAL REPRESENTATIVES OR LOCAL D.O.T.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING DUST CONTROL AT NO ADDITIONAL COST TO THE OWNER.
- ALL CATCH BASINS ADJACENT TO THE CONSTRUCTION AREA SHALL BE PROTECTED BY SILT SACKS.
- ALL PROPOSED CATCH BASINS SHALL BE PROTECTED BY STAKED HAY BALES, SILT FENCING OR SILT SACKS.
- THE FILTREXX FILTER SOXX MAY BE INSTALLED ON THE EXISTING PAVEMENT /IMPERVIOUS AREAS WITH OUT STAKES. CONTRACTOR SHALL INSPECT DAILY, IF SOIL EROSION OR SEDIMENT IS OBSERVED IN THESE AREAS, THE CONTRACTOR SHALL RELOCATE OR INSTALL ADDITIONAL FILTREXX FILTER SOXX IN LOCATIONS THAT CAN BE STAKED. THIS WORK IS INCLUDED IN THE PROJECT SCOPE.
- SILT FENCE OR STAKED HAYBALES MAY BE USED IN LIEU OF FILTREXX FILTER SOXX.
- AN ALTERNATE COMPOST SOCK OR STRAW WATTLE PRODUCT MAY BE USED IN LIEU OF FILTREXX FILTER SOCK UPON APPROVAL OF THE ENGINEER.

INSPECTION/MAINTENANCE NOTES

- PRIOR TO COMMENCING GRUBBING OPERATIONS AND EARTHWORK, FILTERSOXX SHALL BE PLACED INSIDE SAWCUT EDGE AND ALONG THE DOWNGRADE LIMIT OF DISTURBANCE TO PREVENT SEDIMENT FROM ENTERING EXISTING ROADWAY DRAINAGE SYSTEM, AND ADJUTING PROPERTIES AND THE CONTRACTOR SHALL INSTALL DRIPLINE TREE PROTECTION DEVICES ALONG THE PROPOSED TREELINE/EXISTING TREES TO REMAIN.
- EXTREME CARE SHALL BE EXERCISED SO AS TO PREVENT ANY UNSUITABLE MATERIAL FROM ENTERING THE DRAINAGE SYSTEM.
- ALL DISTURBED AREAS WHICH BECOME SUBJECT TO EROSION TENDENCIES WHETHER THEY BE NEWLY FILLED OR EXCAVATED SHALL RECEIVE SLOPE PROTECTION - SUCH AS RIP-RAP.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING DRAINAGE AND RUNOFF FLOW DURING PERIODS OF RAINFALL.
- DURING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EROSION CONTROL MAINTENANCE AND SHALL INSPECT / REPLACE DAILY DURING CONSTRUCTION, FOLLOWING RAINFALL AND WEEKLY DURING NON CONSTRUCTION PERIODS.
- ADDITIONAL FILTERSOXX OR SANDBAGS SHALL BE LOCATED AS CONDITIONS WARRANT OR AS DIRECTED BY THE ENGINEER.
- THE LATEST VERSION OF THE "RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK" PREPARED BY THE R.I. STATE CONSERVATION COMMITTEE, MUST BE UTILIZED BY THE CONTRACTOR AS A GUIDE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DUST CONTROL AND FOR THE ENTIRE PROJECT DURATION, INCLUDING TEMPORARY SHUT-DOWN PERIODS, MUST MONITOR AND REPAIR, AS NEEDED, ALL SLOPES TO ENSURE A STABLE PRODUCT.

DUST CONTROL NOTES

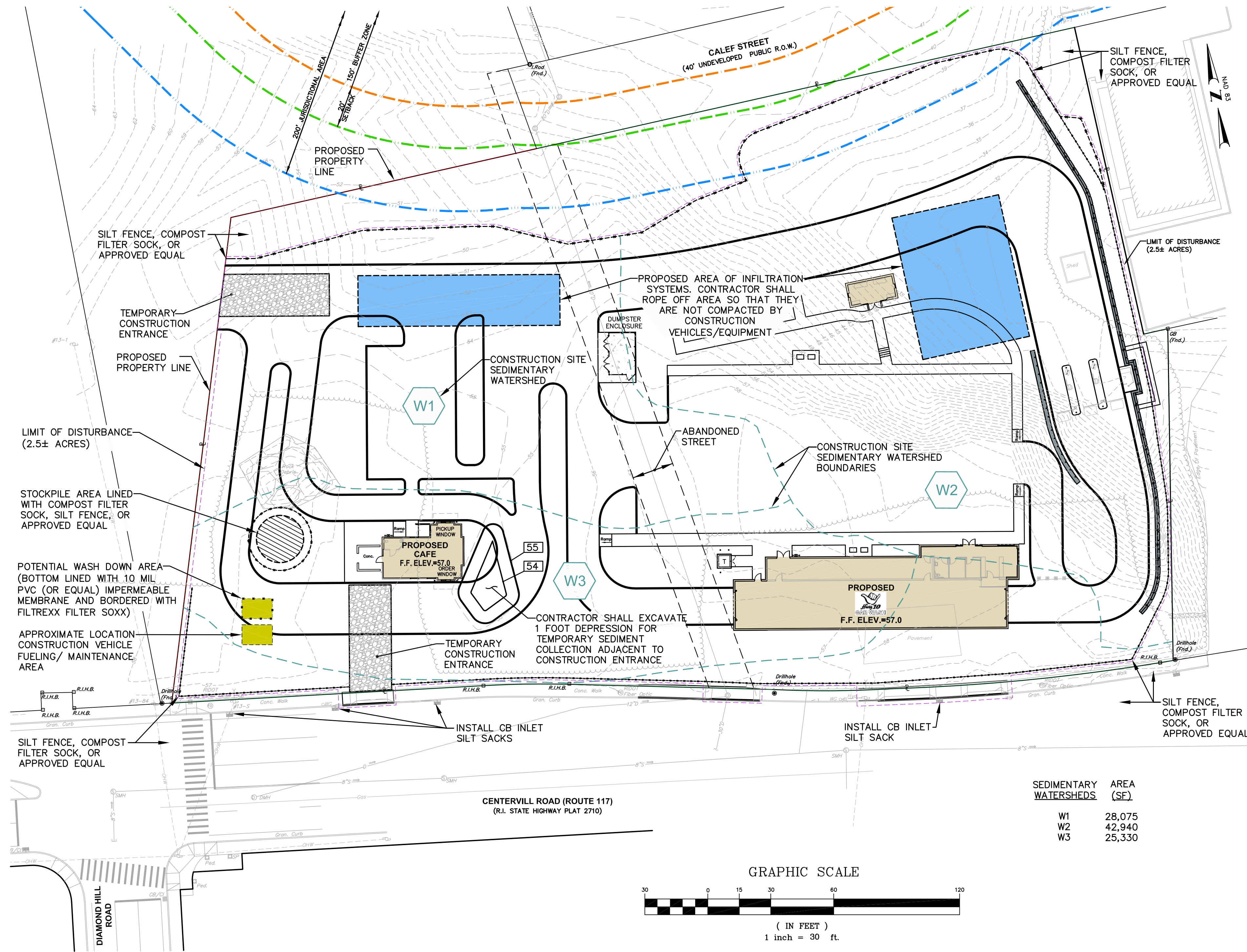
- ON AN AS-NEEDED BASIS OR AS DIRECTED BY THE TOWN, RIDEM OR OWNER, THE CONTRACTOR SHALL UTILIZE ONE OF THE FOLLOWING METHODS TO CONTROL DUST:
- THE EXPOSED SOIL SURFACE SHOULD BE MOISTENED PERIODICALLY WITH ADEQUATE WATER TO CONTROL DUST.
 - CALCIUM CHLORIDE SHOULD BE EITHER LOOSE DRY GRANULES OR FLAKE FINE ENOUGH TO FEED THROUGH A SPREADER AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLANT DAMAGE.
- THE METHODS SHOULD BE REPEATED AS NEEDED, AND SPECIAL ATTENTION MUST BE GIVEN TO THE ACCESS DRIVES.

GENERAL PROJECT WIDE NOTES

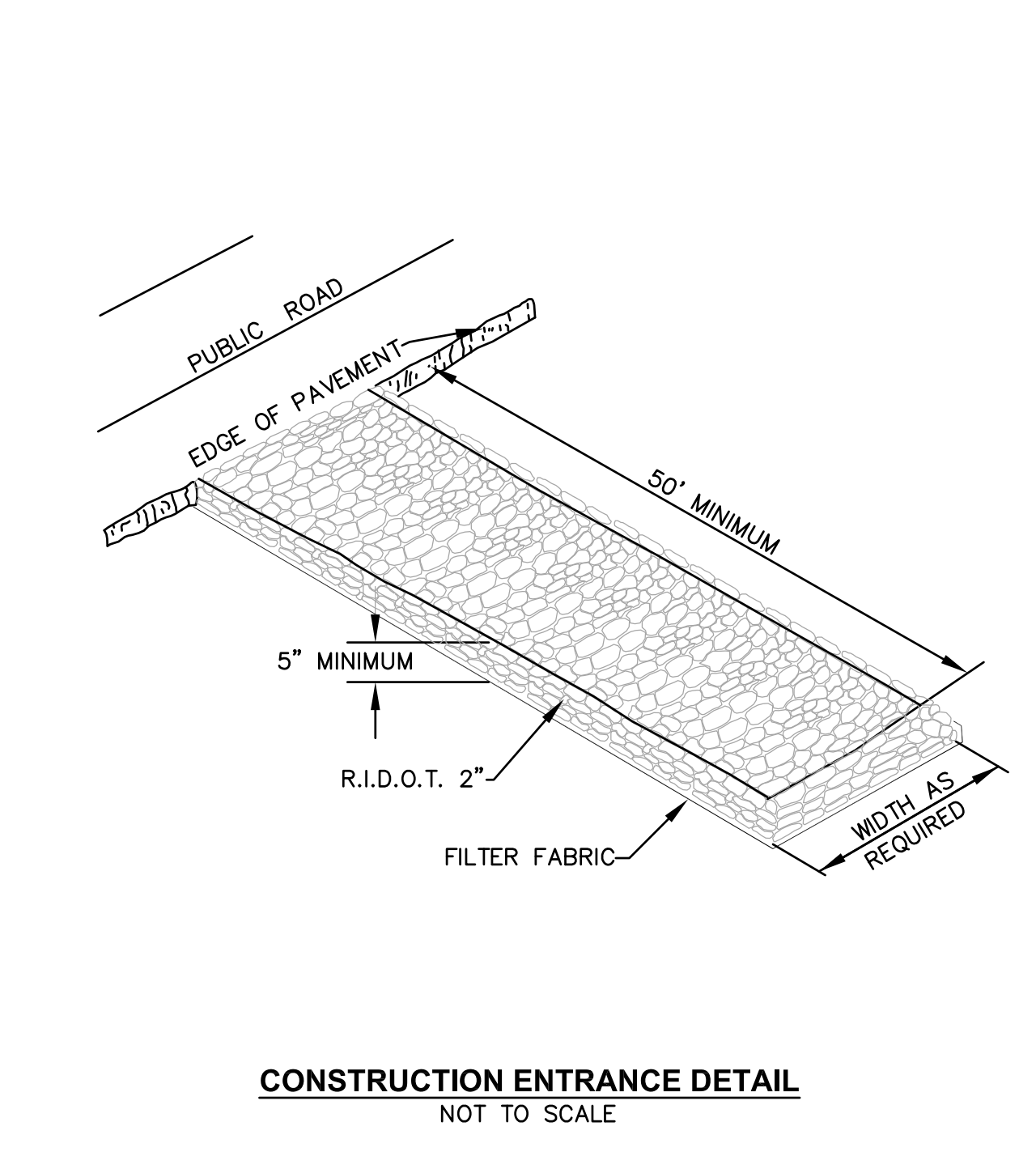
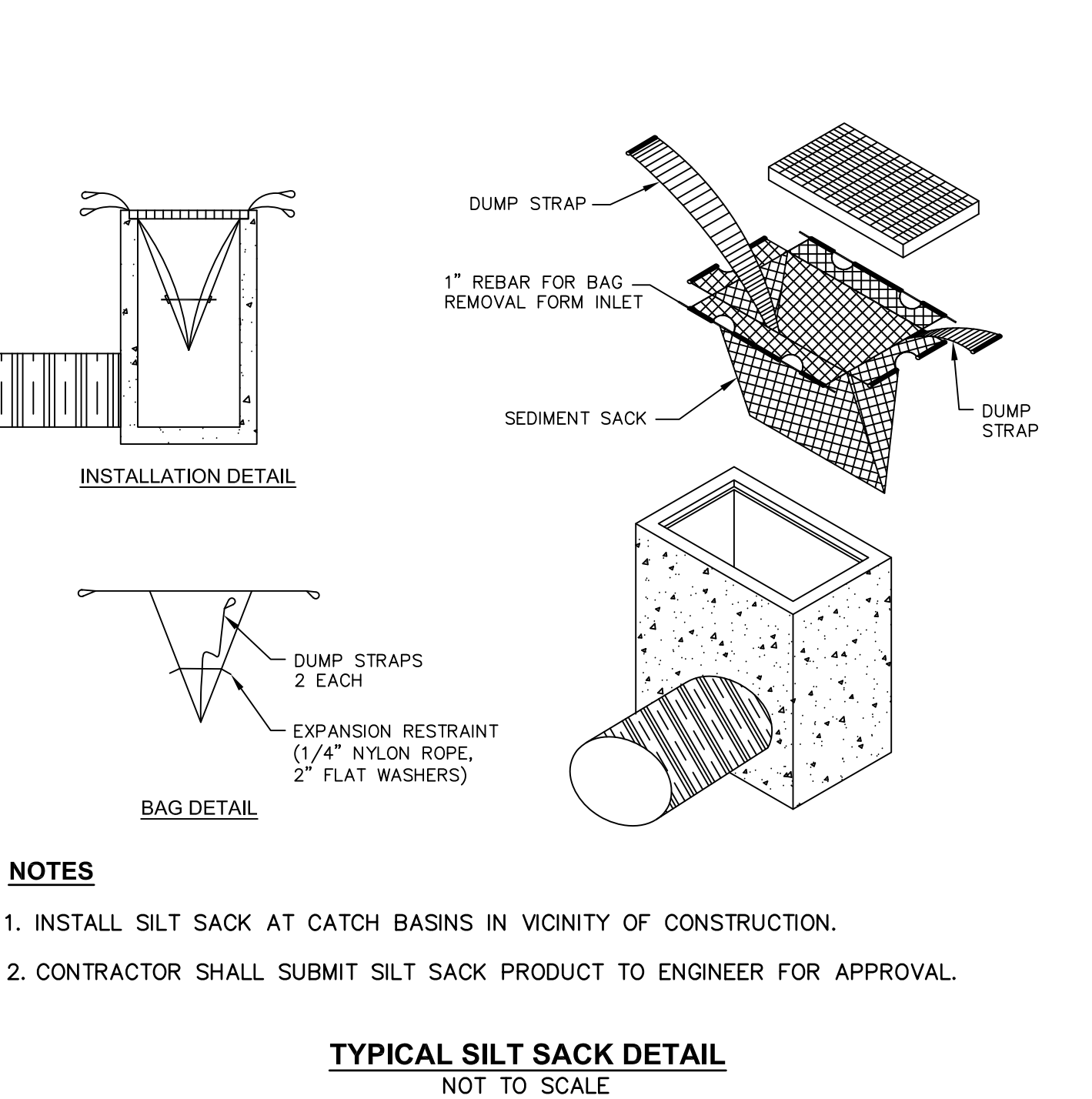
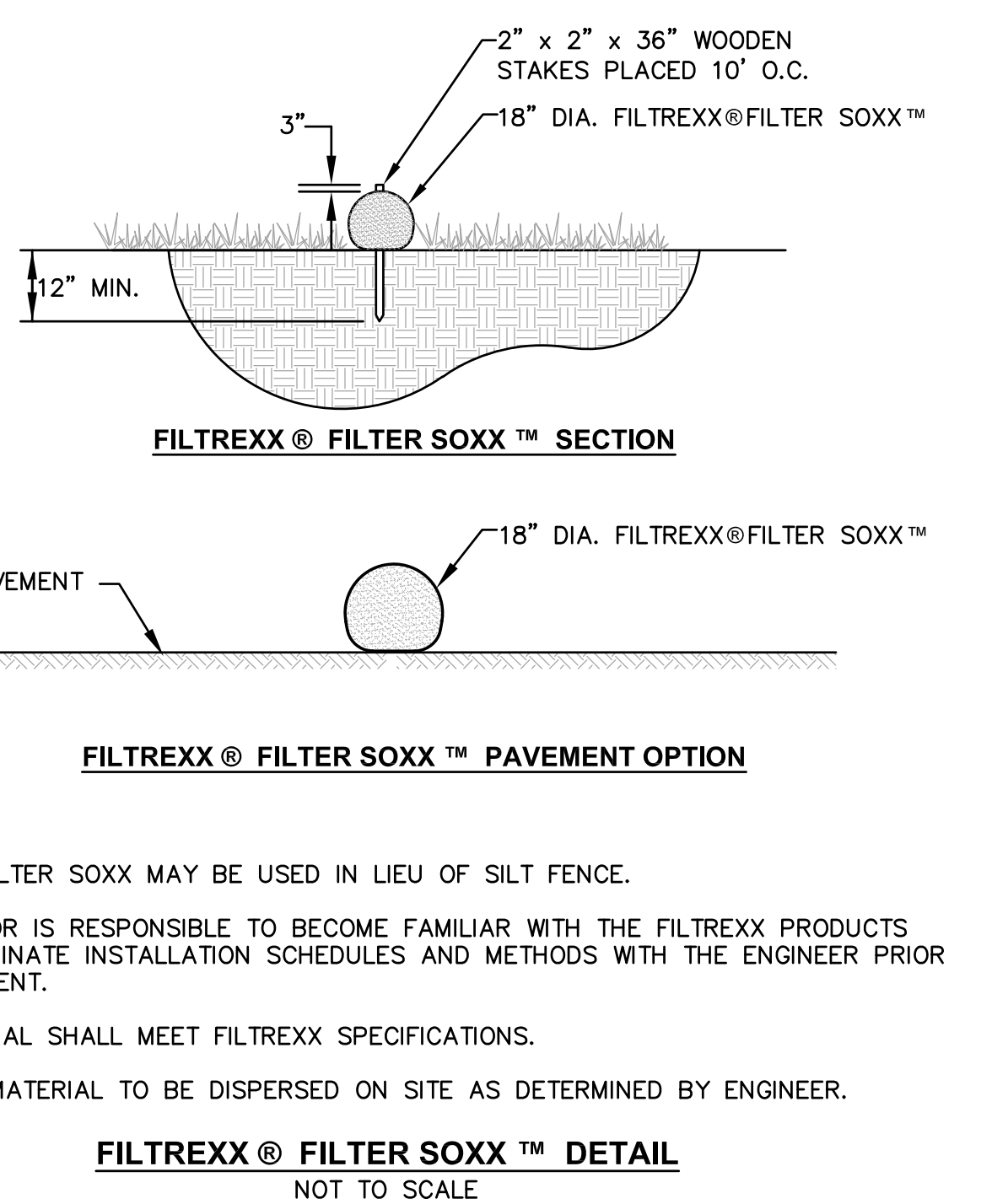
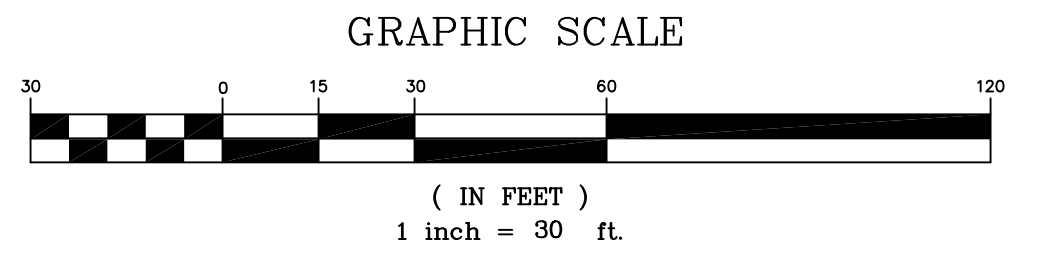
- CONTRACTOR SHALL OBTAIN A SOIL EROSION AND SEDIMENT CONTROL PERMIT FROM THE DEPARTMENT OF PUBLIC WORKS PRIOR TO THE COMMENCEMENT OF ANY WORK ON SITE; SOIL EROSION AND SEDIMENT CONTROL MEASURES MUST BE PROPERLY MAINTAINED THROUGHOUT CONSTRUCTION.
- CONTRACTOR SHALL INSTALL TEMPORARY MEASURES SUCH AS: FIBER MATTING, CRUSHED STONE, HAY OR STRAW IN AREAS WHERE SLOPES OR STABILIZATION HAS FAILED.
- IF SEDIMENT IS TRACKED OR ERODED INTO THE ROADWAY, THE CONTRACTOR WILL BE REQUIRED TO SWEEP DAILY AND TO INSTALL SILT SACK OR APPROVED EQUAL UNDER ADJACENT EXISTING CATCH BASIN GRATES. REMOVE AFTER CONSTRUCTION.
- FILTER SOXX (OR SILT FENCE OR STAKED HAYBALES) SHALL BE INSTALLED AROUND THE PERIMETER OF THE AREA TO BE DISTURBED BY CONSTRUCTION. ADDITIONAL APPLICATIONS OF THESE CONTROLS MEASURES MAY BE REQUIRED DURING THE CONSTRUCTION PROCESS. THE CONTRACTOR SHALL INSPECT THE SITE AT A MINIMUM OF ONCE PER WEEK OR WITHIN 24 HOURS AFTER A STORM EVENT.
- IF EROSION OR EROSION TENDENCIES ARE APPARENT ON THE SITE, THE CONTRACTOR IS RESPONSIBLE TO INSTALL ADDITIONAL CONSTRUCTION BMP'S SUCH AS SAND BAGS AS DIRECTED BY THE TOWN OR ENGINEER DURING CONSTRUCTION.
- IF SEDIMENT OR DEBRIS IS TRACKED ONTO EXISTING PAVED AREAS ADJACENT TO THE CONSTRUCTION AREA, THE CONTRACTOR IS REQUIRED TO SWEEP THE PAVEMENT ON A DAILY BASIS. THE AREA SHALL BE INSPECTED DAILY.
- THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN OF TRASH. RECOMMENDED DAILY PATROL OF THE CONSTRUCTION SHOULD BE CONDUCTED TO PICK-UP TRASH. THE OPERATOR SHALL REQUIRE THE CONTRACTOR TO HAVE PORTABLE SANITARY FACILITIES ON SITE. ROUTINE CLEANING AND WASTE DISPOSAL OF THESE PORTABLE SANITARY FACILITIES IS REQUIRED.

FILTREXX SOXX NOTE

CONTRACTOR IS RESPONSIBLE TO BECOME FAMILIAR WITH THE FILTREXX PRODUCTS AND COORDINATE INSTALLATION SCHEDULES AND METHODS WITH THE ENGINEER PRIOR TO PLACEMENT.



SEDIMENTARY WATERSHEDS	AREA (SF)
W1	28,075
W2	42,940
W3	25,330



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LOTS 247, 250, 251 and 257
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WARWICK, RHODE ISLAND

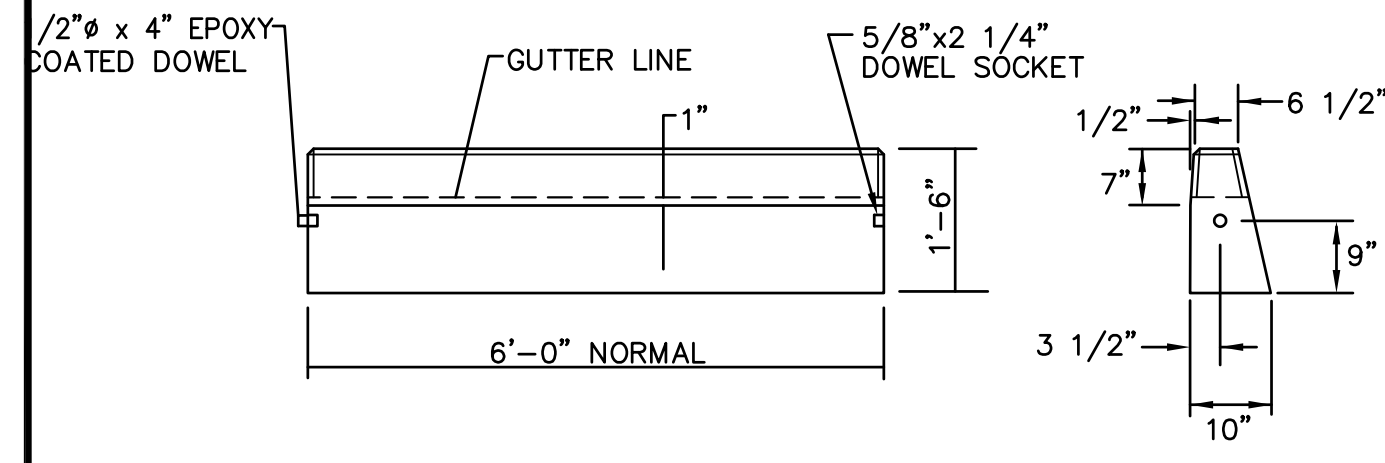
PREPARED FOR:
203 CENTERVILLE ROAD LLC
C/O BASS, DOHERTY and FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

DRAWING TITLE:
SOIL EROSION CONTROL PLAN

DATE: MARCH 2023 SCALE: 1"=30'
DWG. NAME: 2668-C08-SOIL-R1.dwg

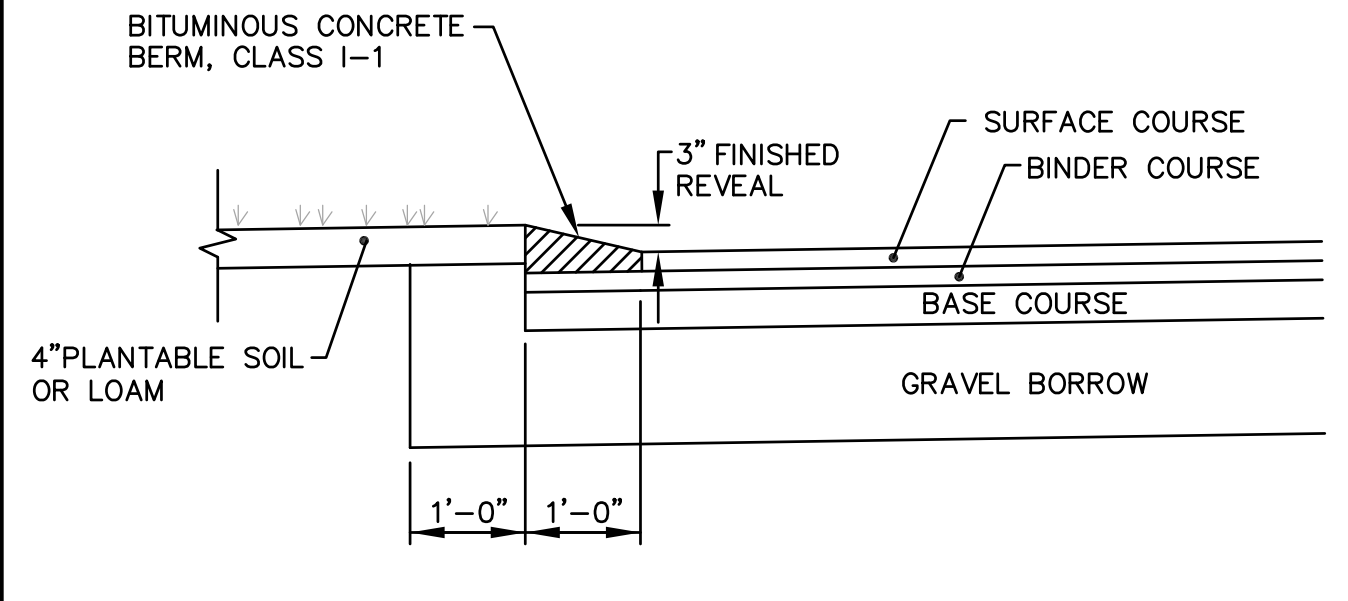
REVISIONS	NUMBER	REMARKS	DATE
△	1	UTILITIES	7/19/23

DRAWING NUMBER
C8
SHEET: 10 OF 18



CIRCULAR CURB

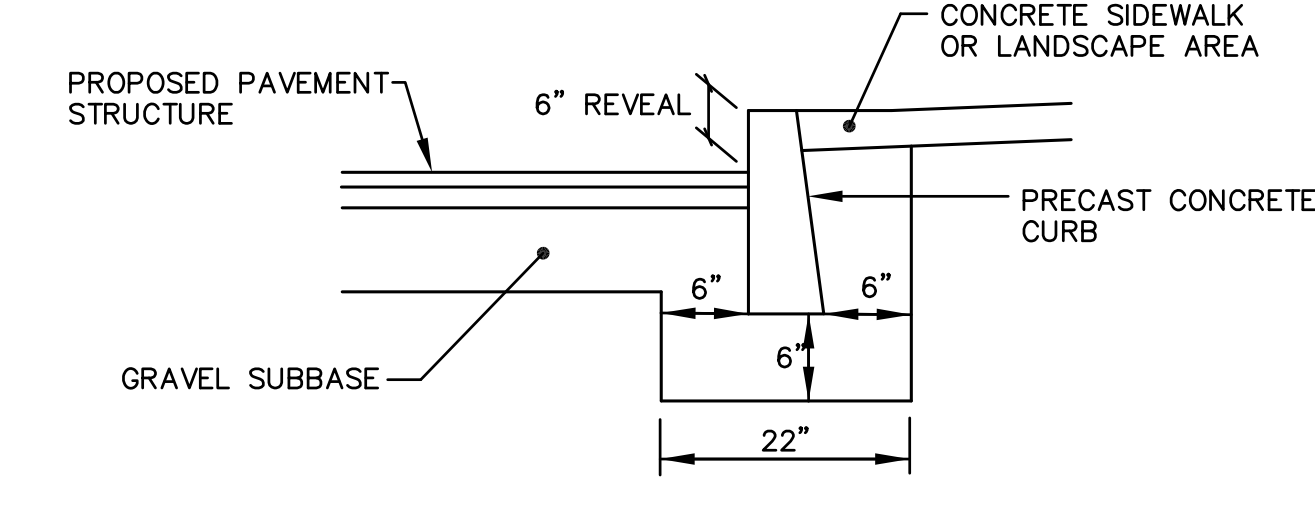
PRECAST CONCRETE CURB
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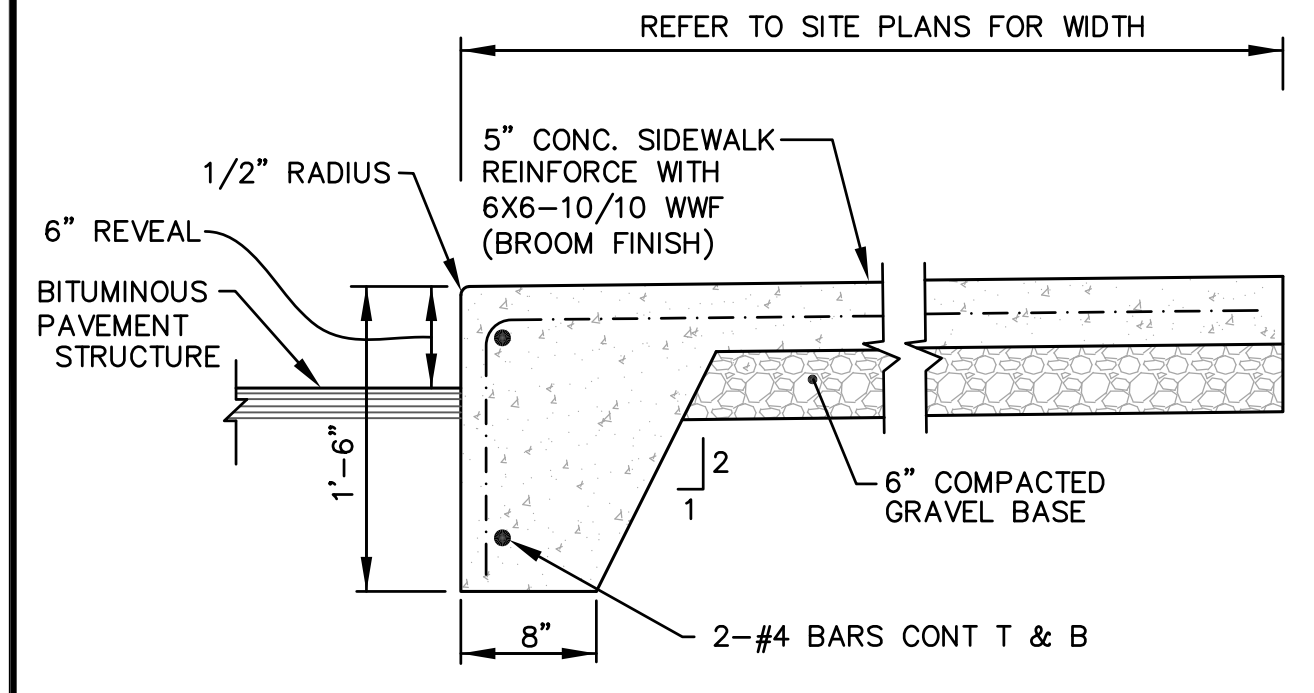
CONSTRUCTION METHOD TYPE "A"

NOTE:
BERM SHALL BE MONOLITHIC PLACED WITH TOP COURSE OF BITUMINOUS PAVEMENT.

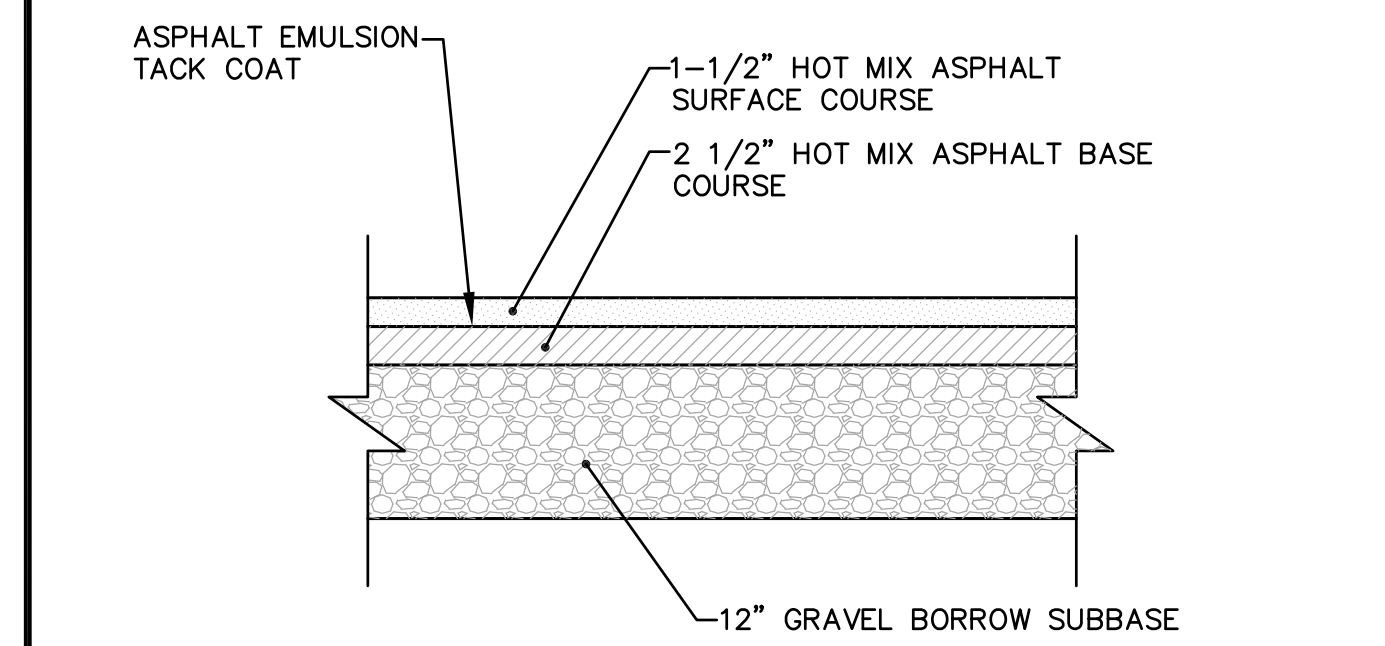
BITUMINOUS CONCRETE BERM
NOT TO SCALE



CONCRETE CURB INSTALLATION WITHIN PARKING AREA
NOT TO SCALE

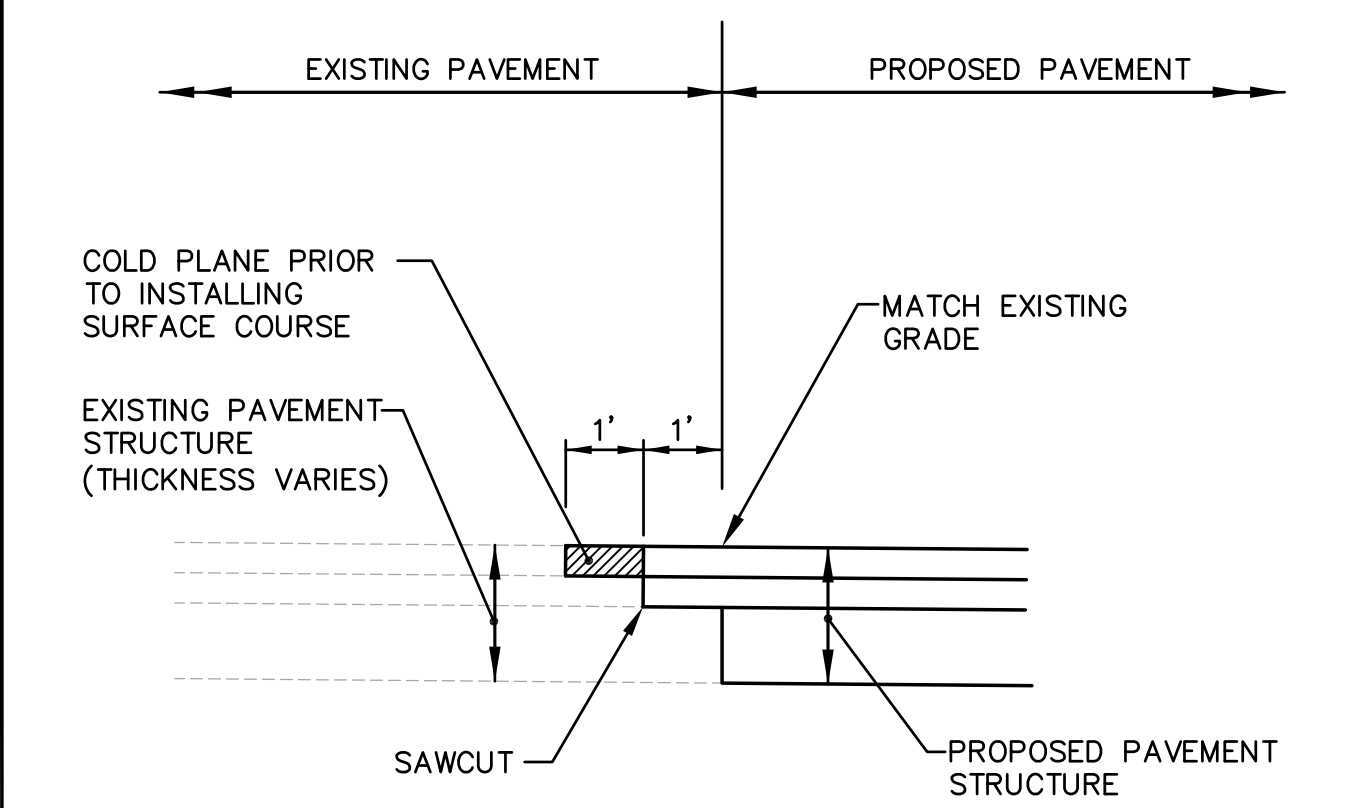


TYPICAL CONCRETE SIDEWALK WITH CAST-IN-PLACE CURB
NOT TO SCALE

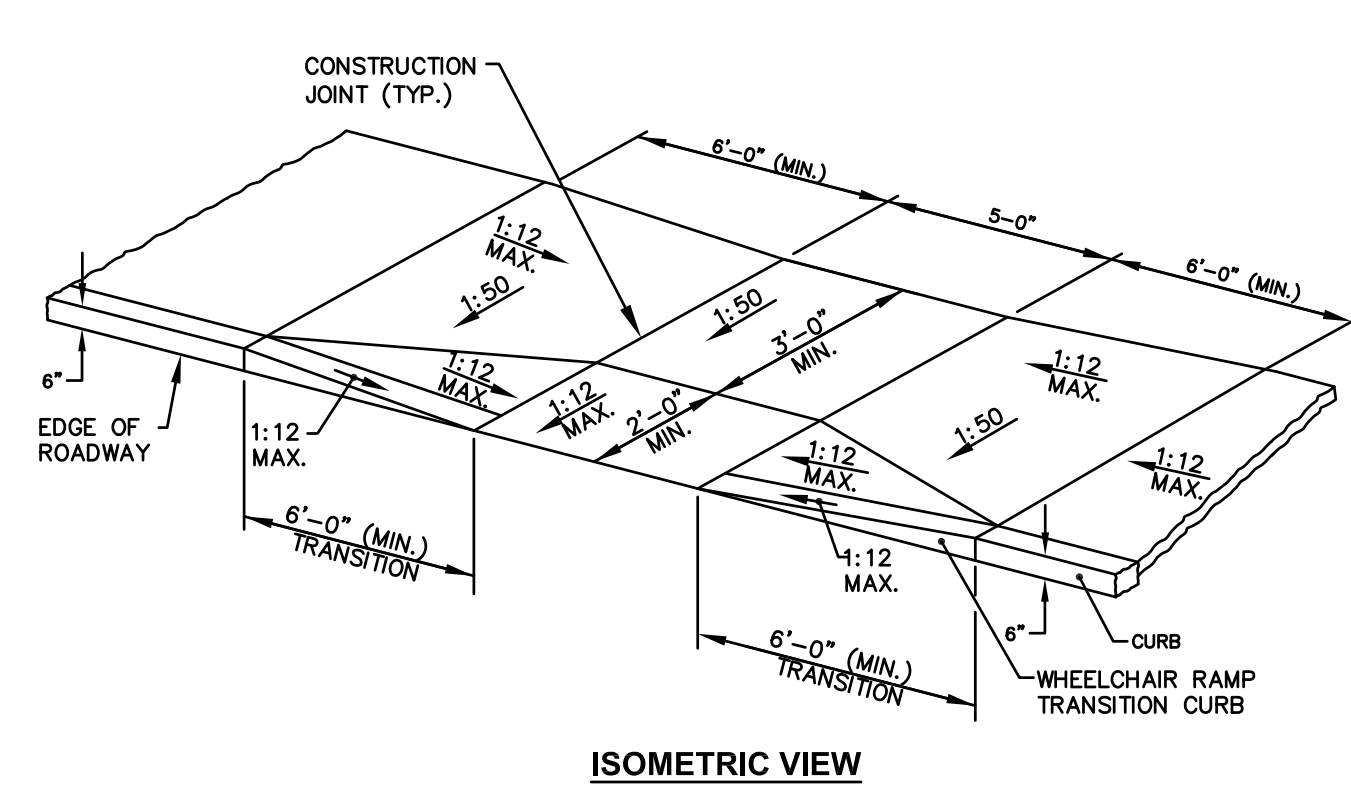


NOTE
THE ABOVE PAVEMENT THICKNESS REPRESENTS THE MINIMUM IN PLACE THICKNESS. STANDARD TOLERANCES DO NOT APPLY TO THESE VALUES. ANY PAVEMENT INSTALLED WHICH IS LESS THAN THE THICKNESS NOTED WILL NOT BE ACCEPTED.

TYPICAL PAVEMENT STRUCTURE DETAIL
NOT TO SCALE

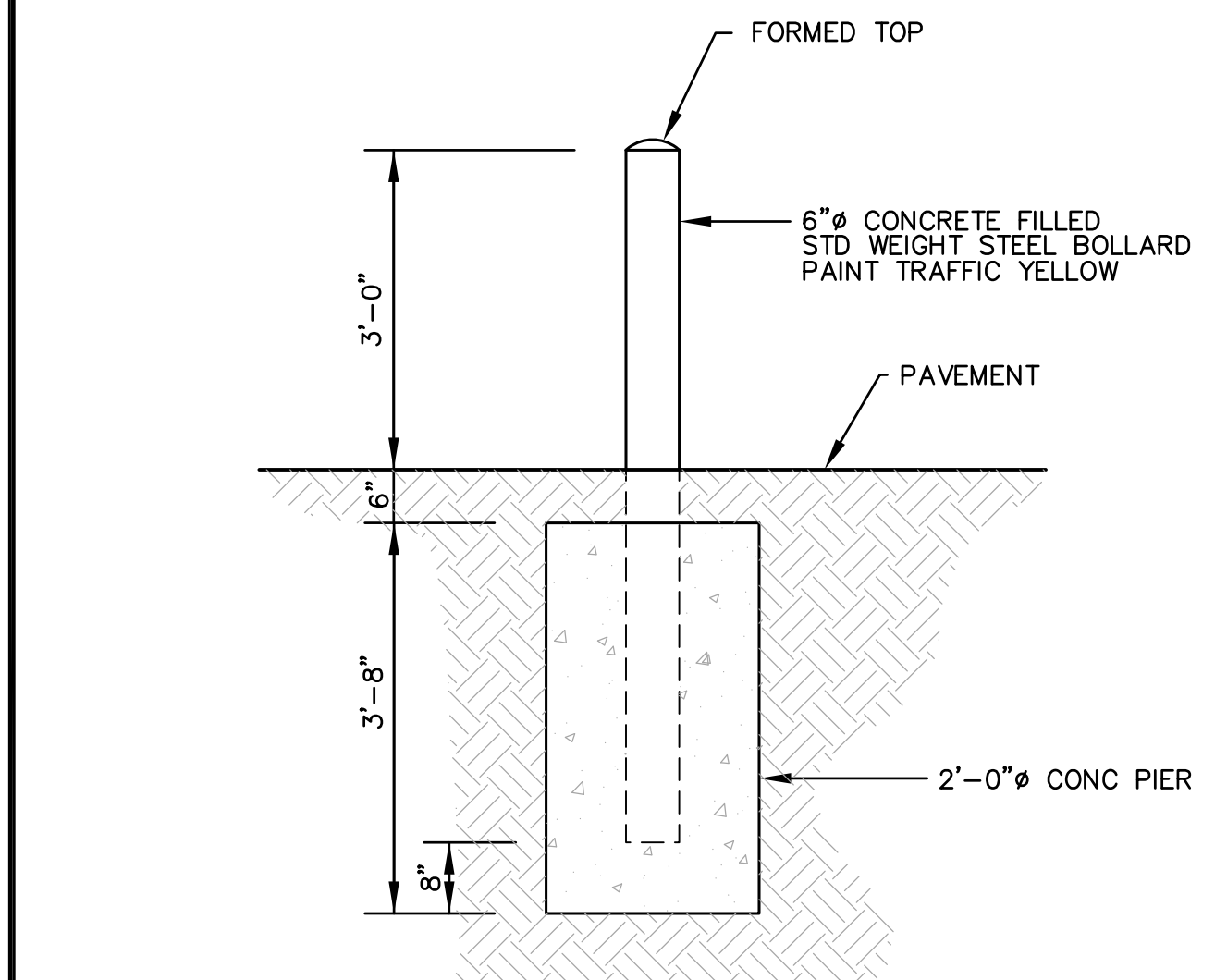


PROPOSED PAVEMENT MATCH AT EXISTING PAVEMENT
NOT TO SCALE

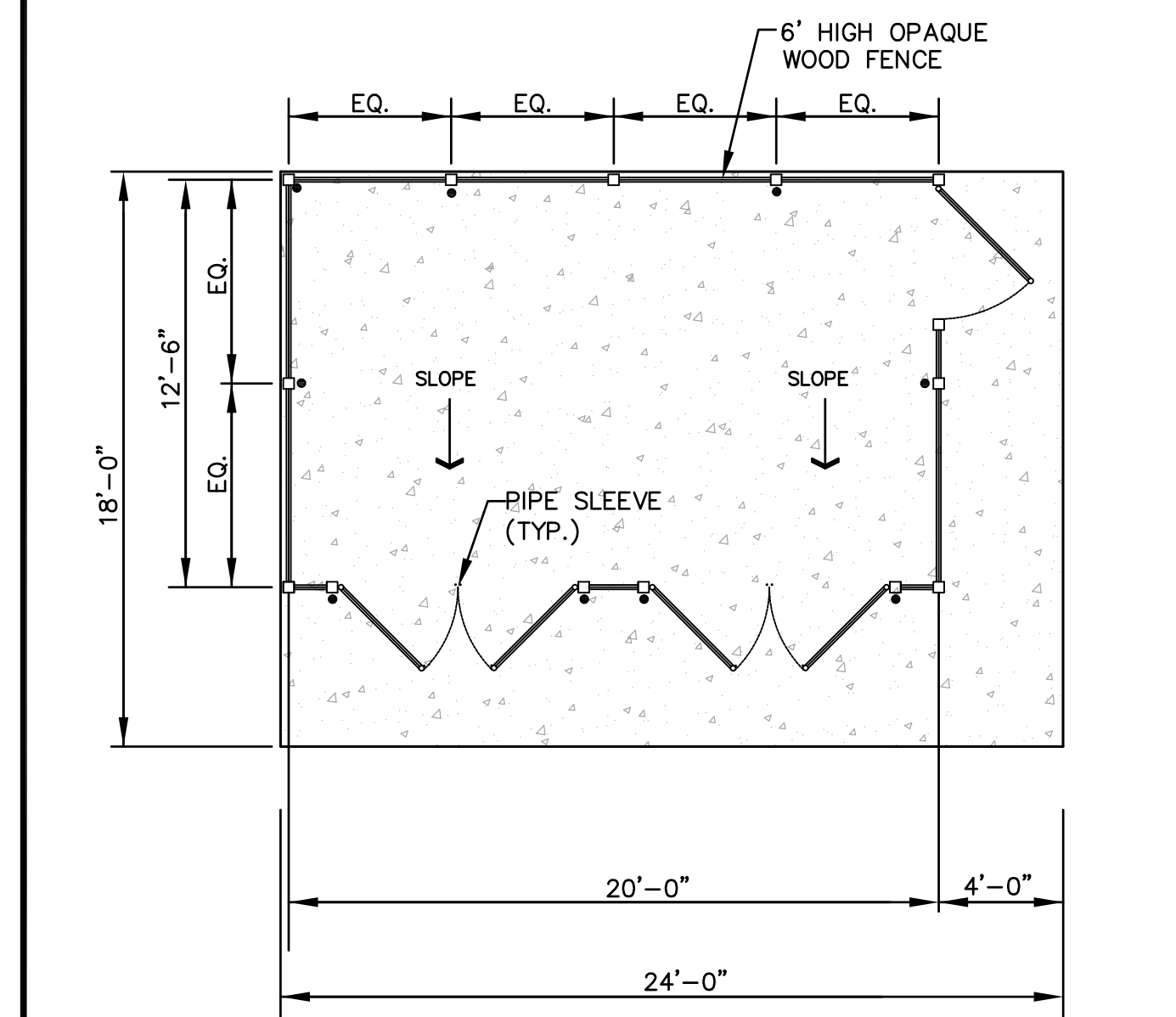


NOTE:
ALL WHEEL CHAIR RAMPS SHALL BE IN ACCORDANCE WITH THE LOCAL AND STATE BUILDING CODE AND ADA REQUIREMENTS.

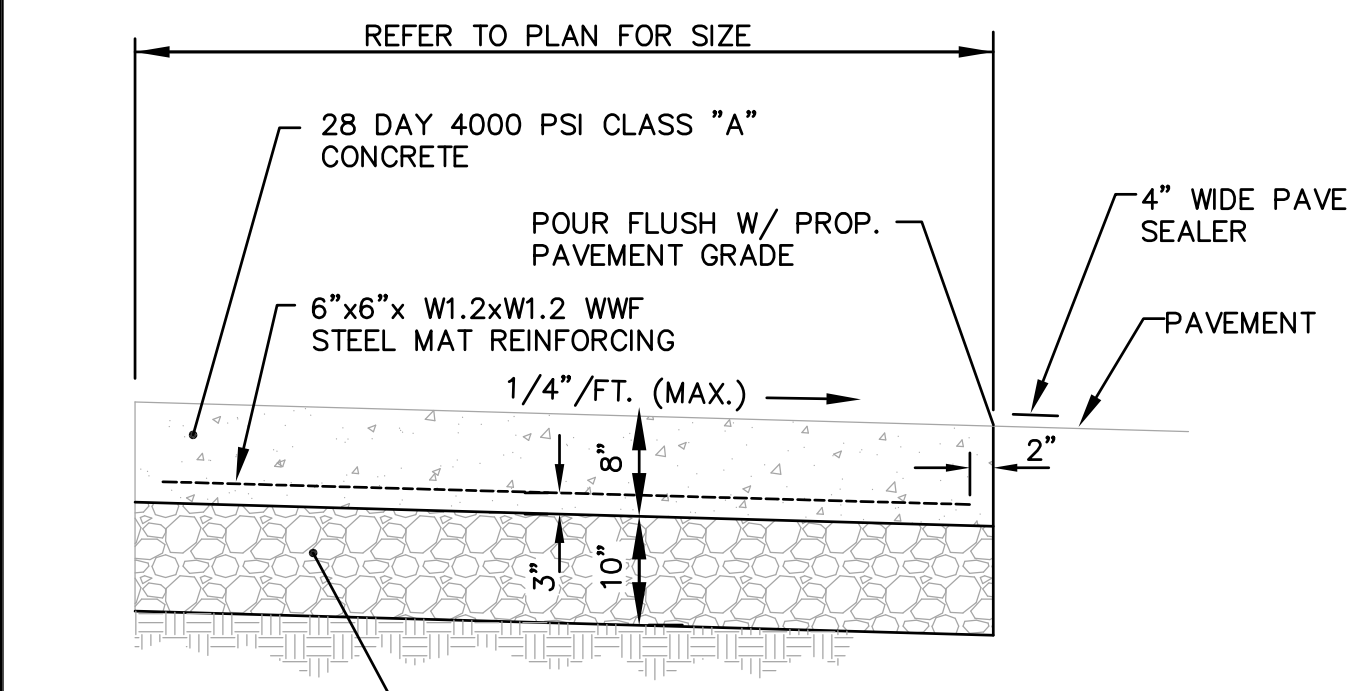
WHEELCHAIR RAMP DETAIL
NOT TO SCALE



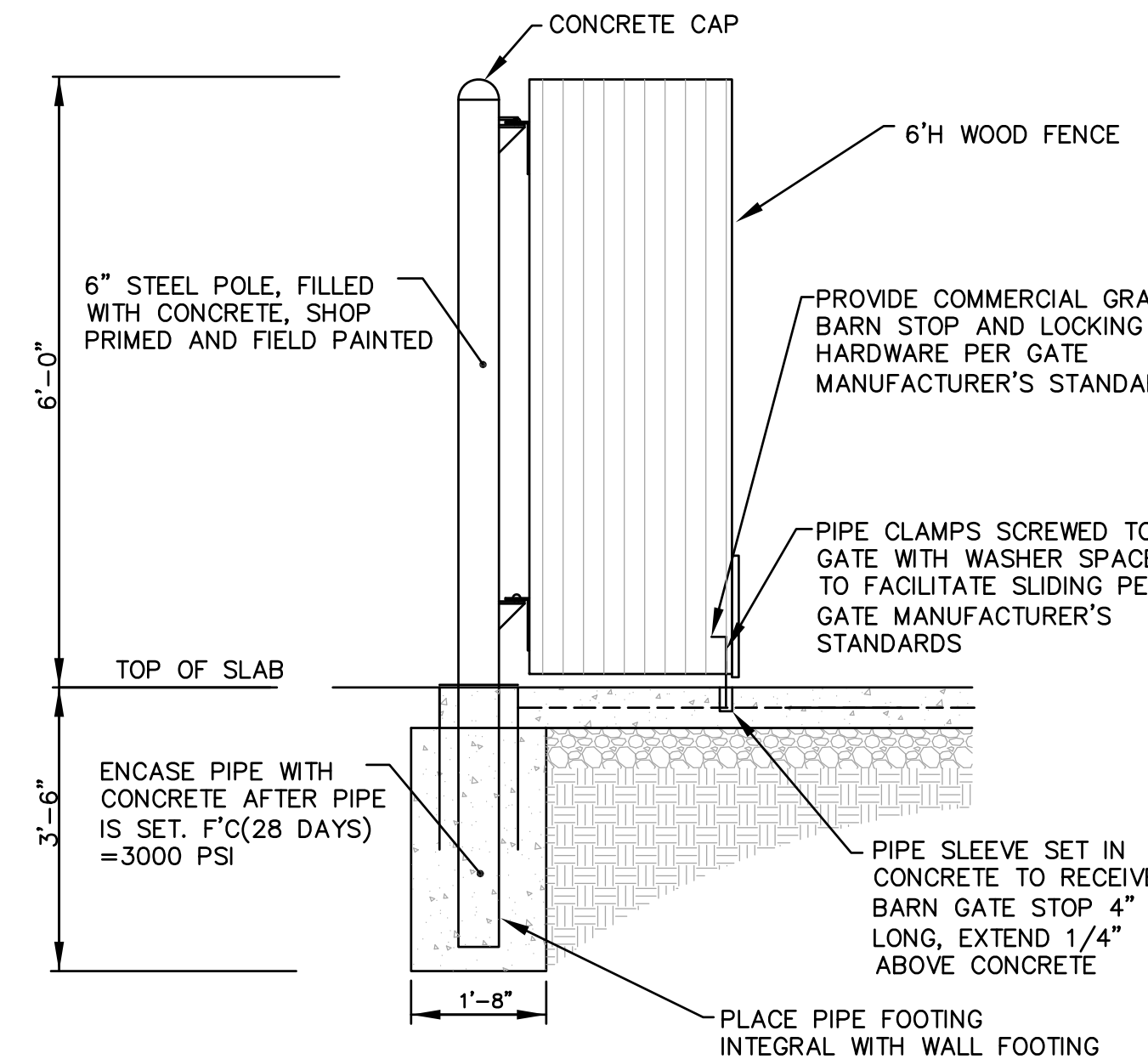
TYPICAL BOLLARD DETAIL
NOT TO SCALE



DUMPSTER ENCLOSURE PLAN
NOT TO SCALE



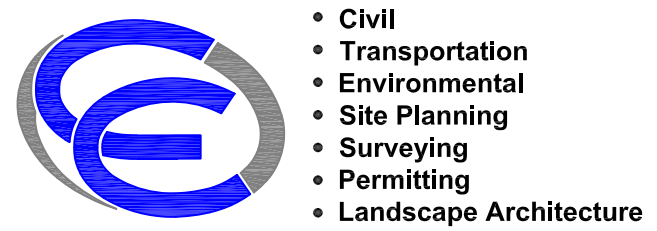
SECTION VIEW
DUMPSTER ENCLOSURE PAD DETAIL
NOT TO SCALE



DUMPSTER ENCLOSURE GATE-PARTIAL SECTION
NOT TO SCALE



DUMPSTER ENCLOSURE TYPICAL DETAIL
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KEY PLAN

PROJECT TITLE:
PROPOSED CAR WASH AND CAFE
PLAT MAP 246
LOTS 247, 250, 251 and 257
ZONING DISTRICT:GB
GENERAL BUSINESS DISTRICT
181 CENTERVILLE ROAD
WARWICK, RHODE ISLAND

PREPARED FOR:
203 CENTERVILLE ROAD LLC
C/O BASS, DOHERTY and FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

DRAWING TITLE:
MISCELLANEOUS DETAIL
PLAN No. 1

DATE: MARCH 2023
SCALE: AS SHOWN
DWG. NAME: 2668-C09-DETAIL1-R1.dwg

REVISIONS	NUMBER	REMARKS	DATE
△	1	UTILITIES	7/19/23

DRAWING NUMBER
C9
SHEET: 11 OF 18

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KEY PLAN

PROPOSED CAR WASH AND CAFE
 PLAT MAP 246
 LOTS 247, 250, 251 and 257
 ZONING DISTRICT: GB
 GENERAL BUSINESS DISTRICT
 181 CENTERVILLE ROAD
 WARWICK, RHODE ISLAND

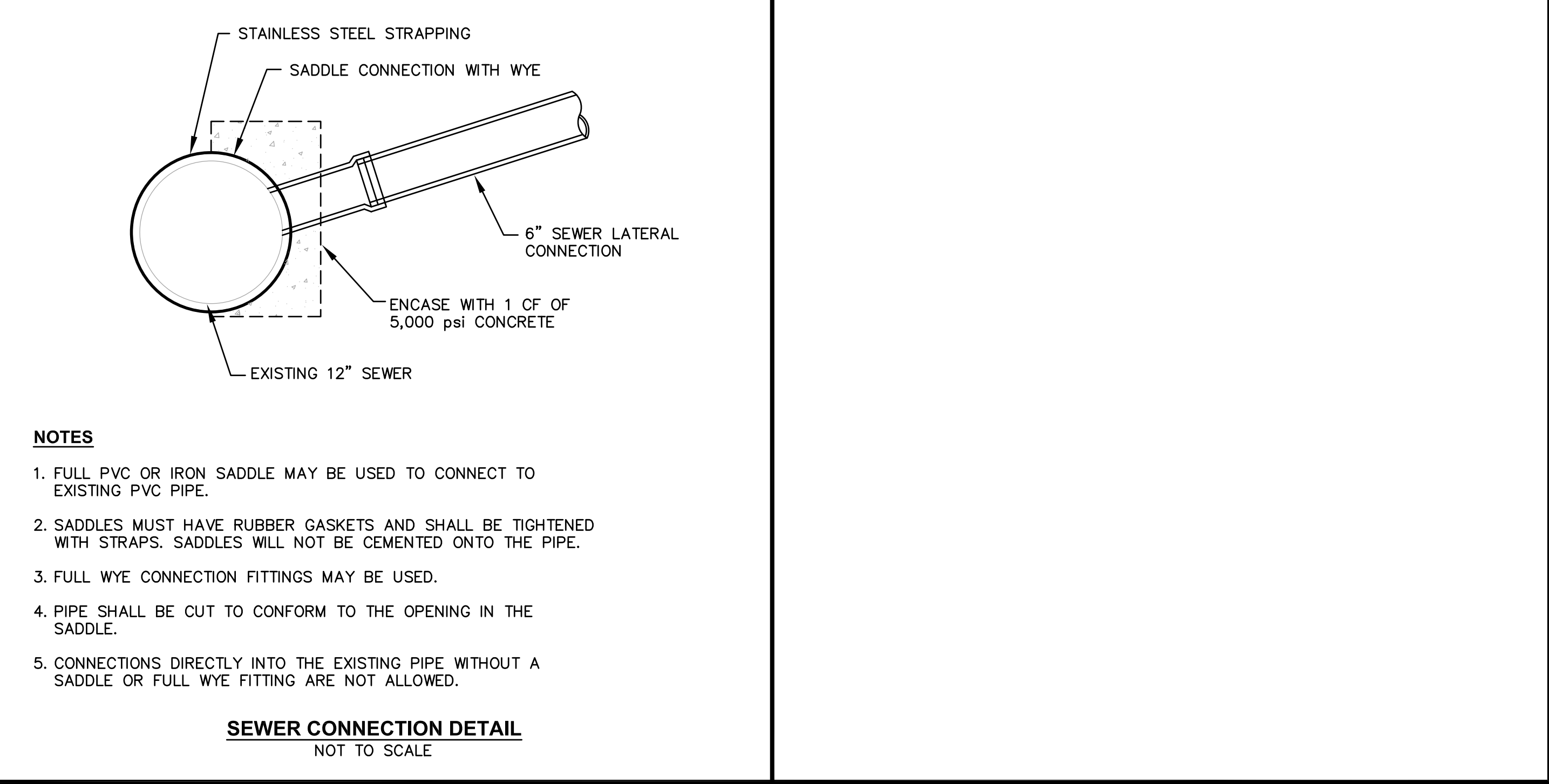
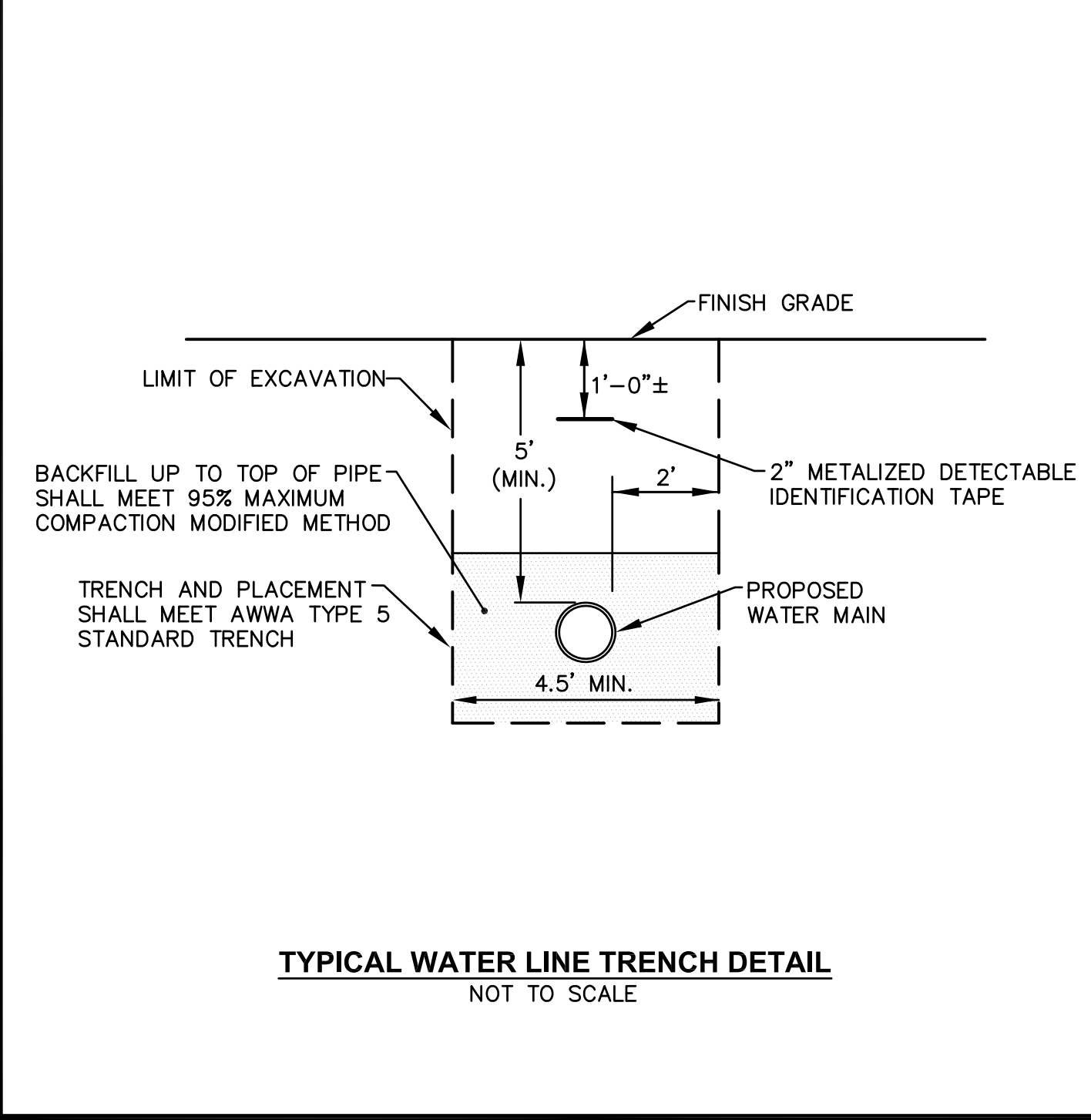
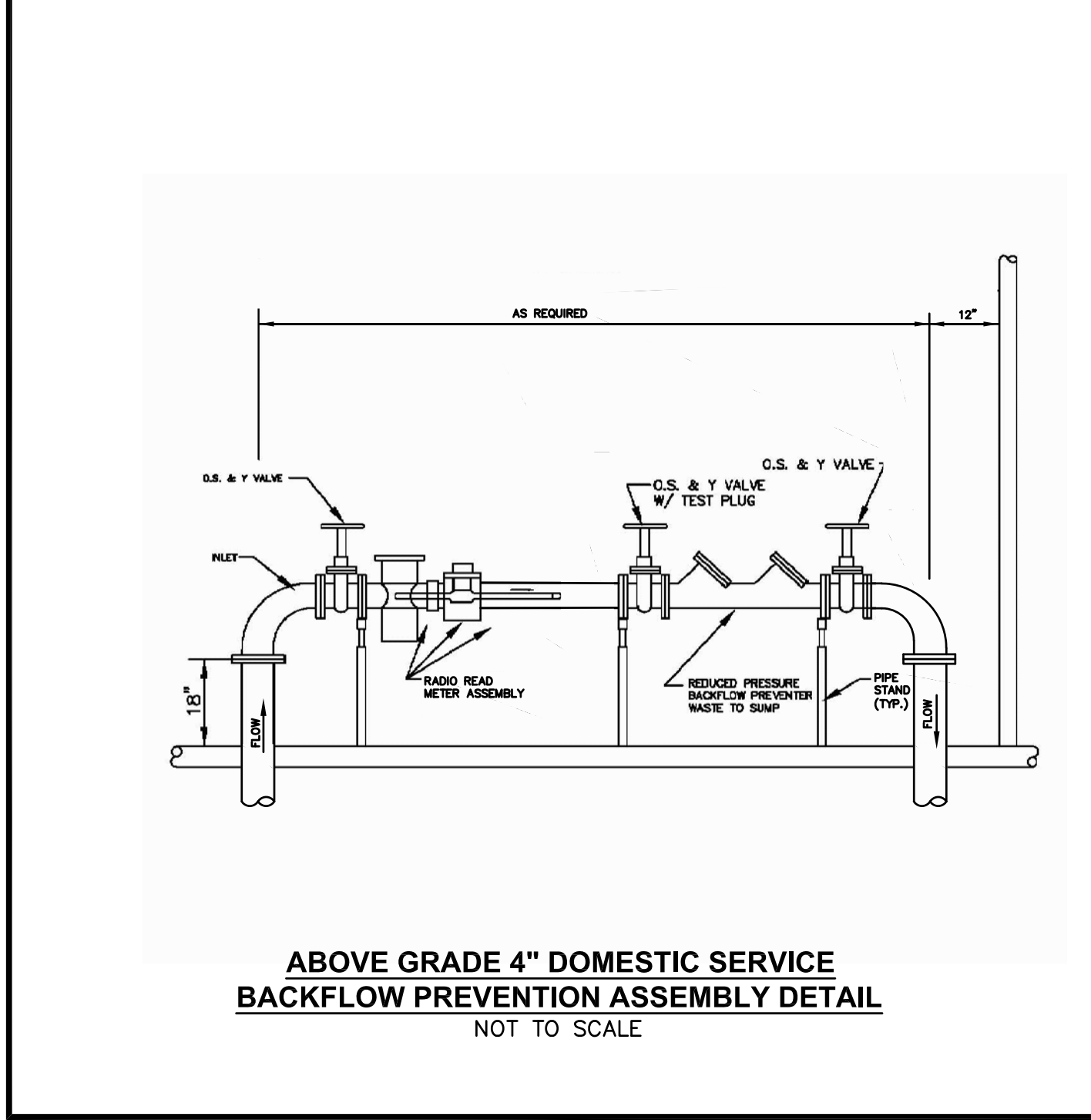
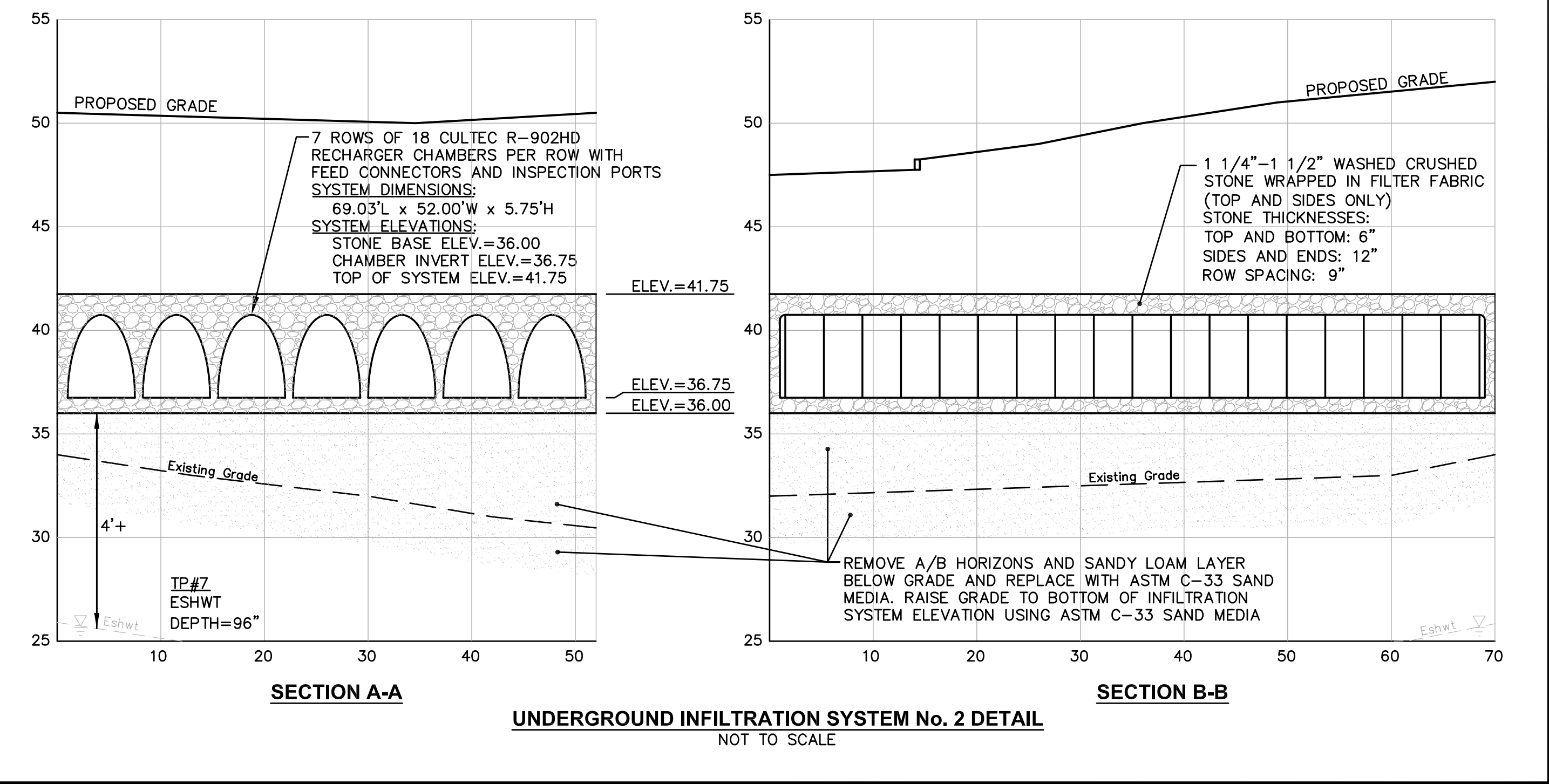
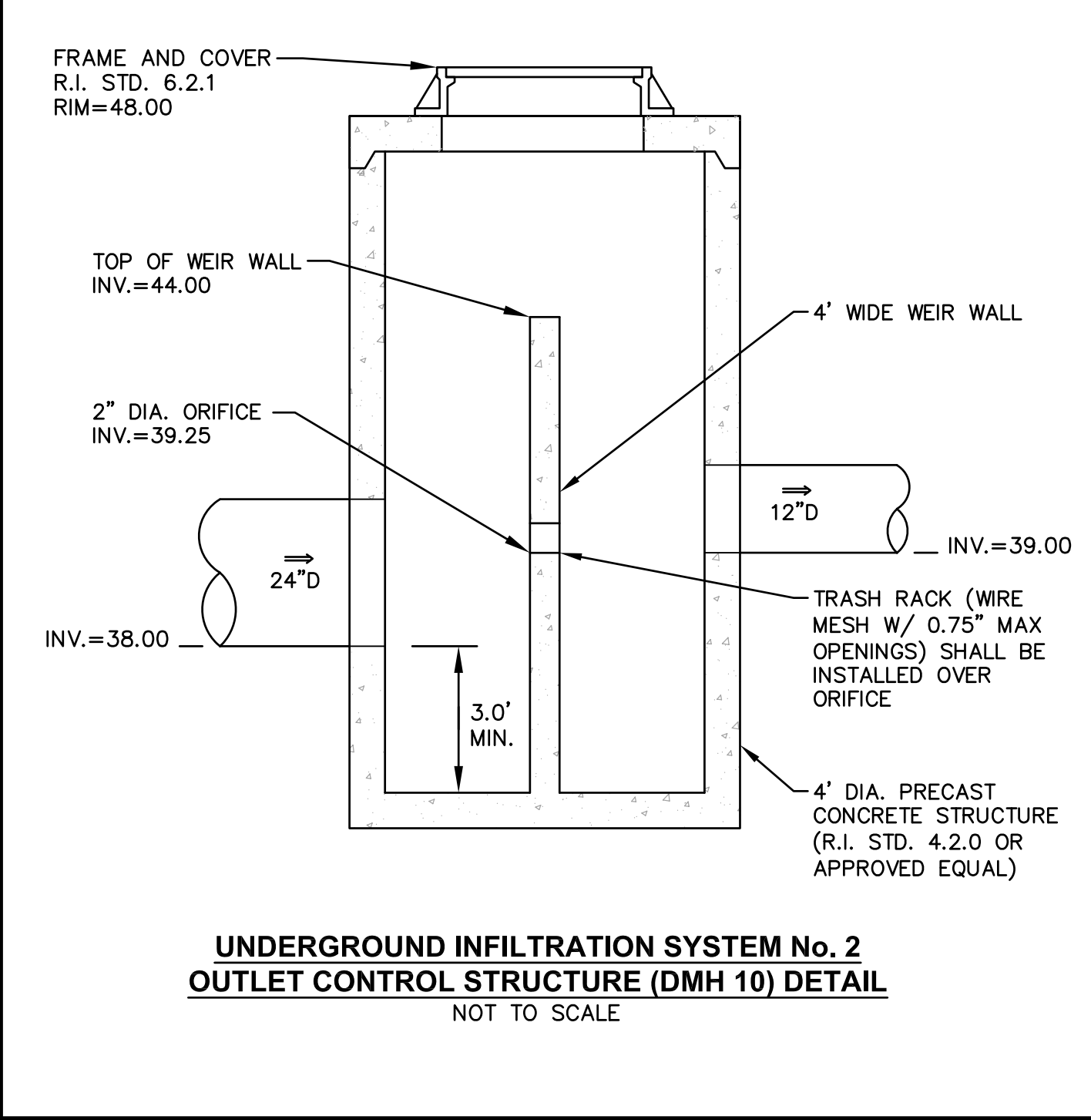
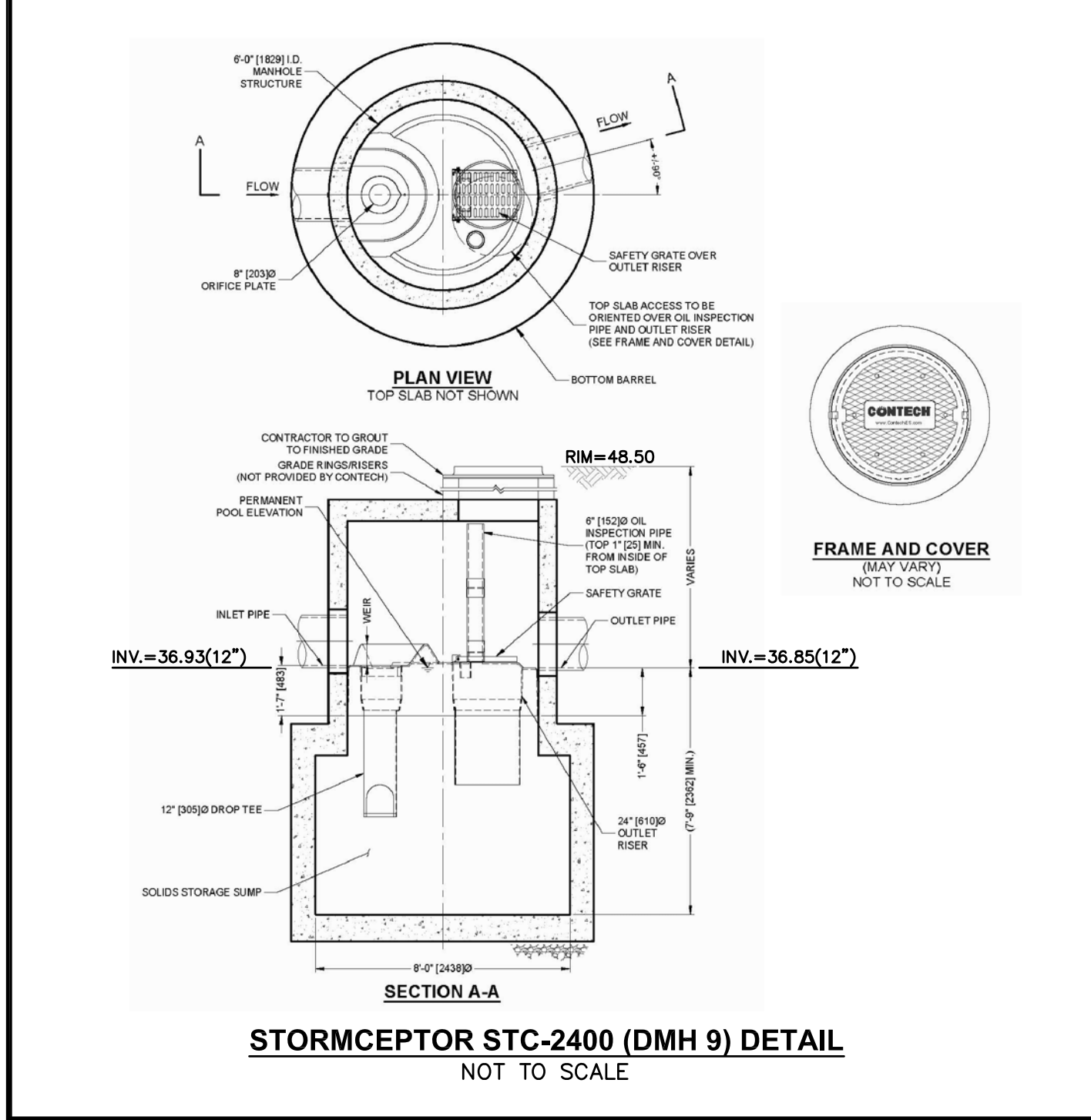
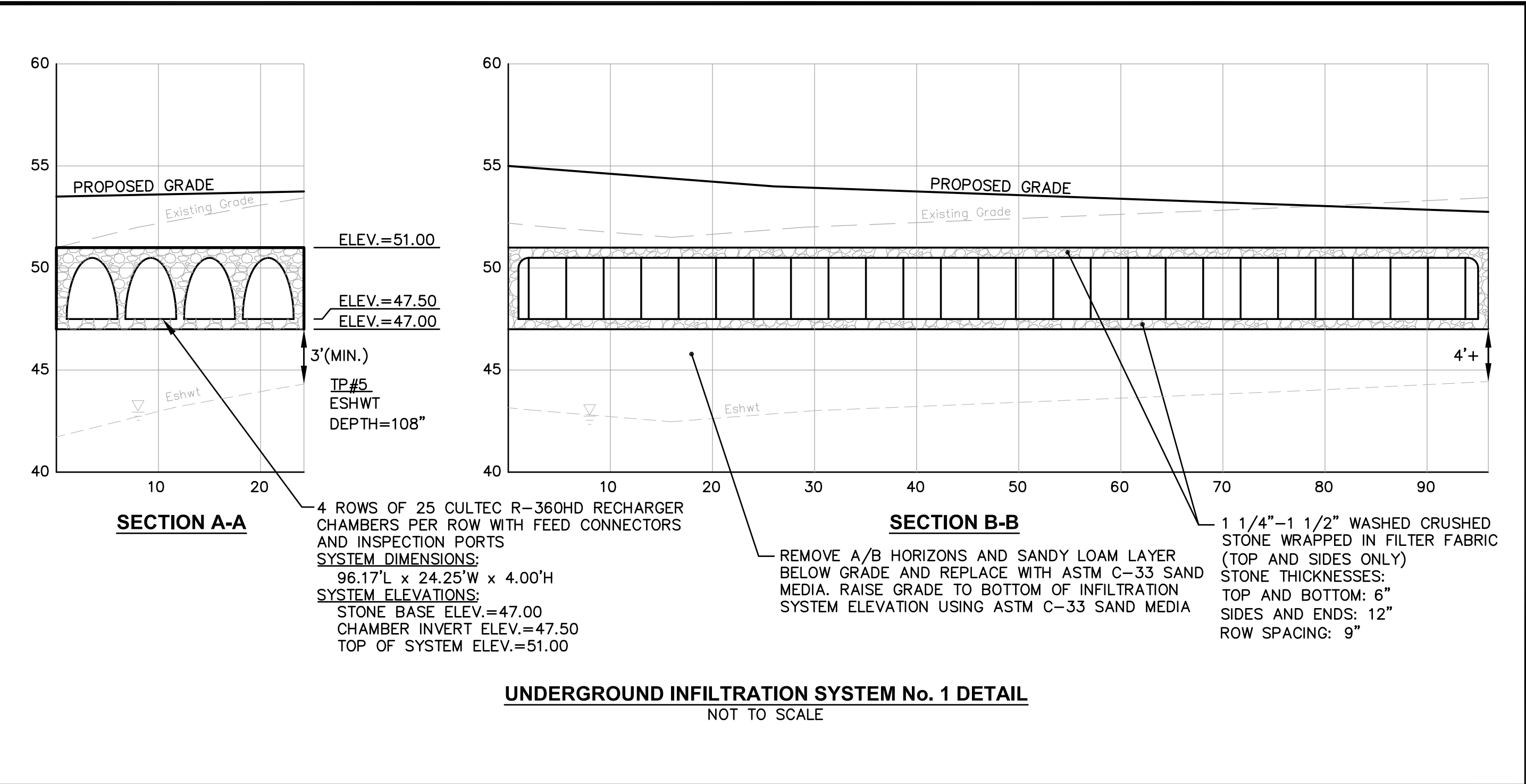
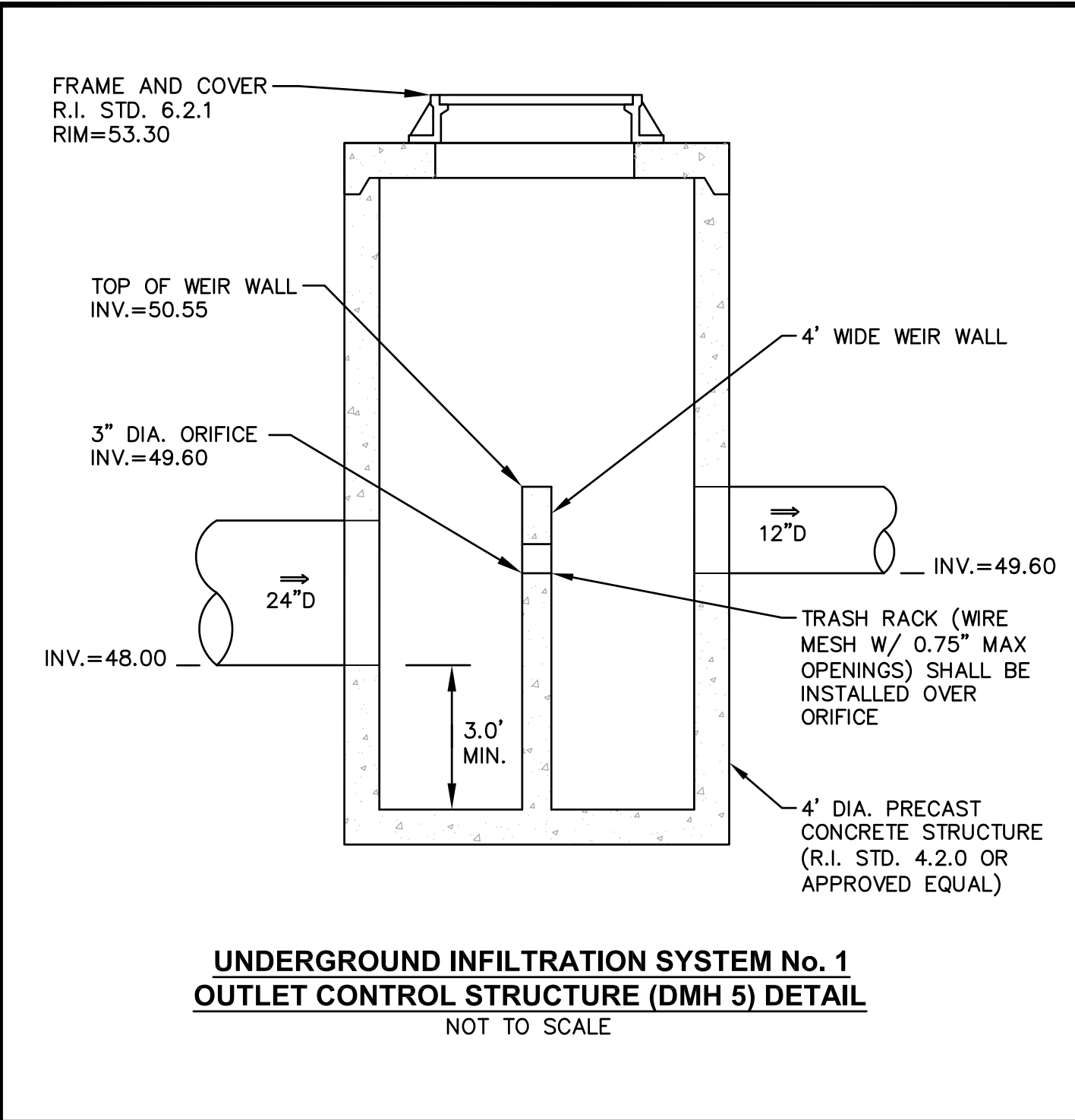
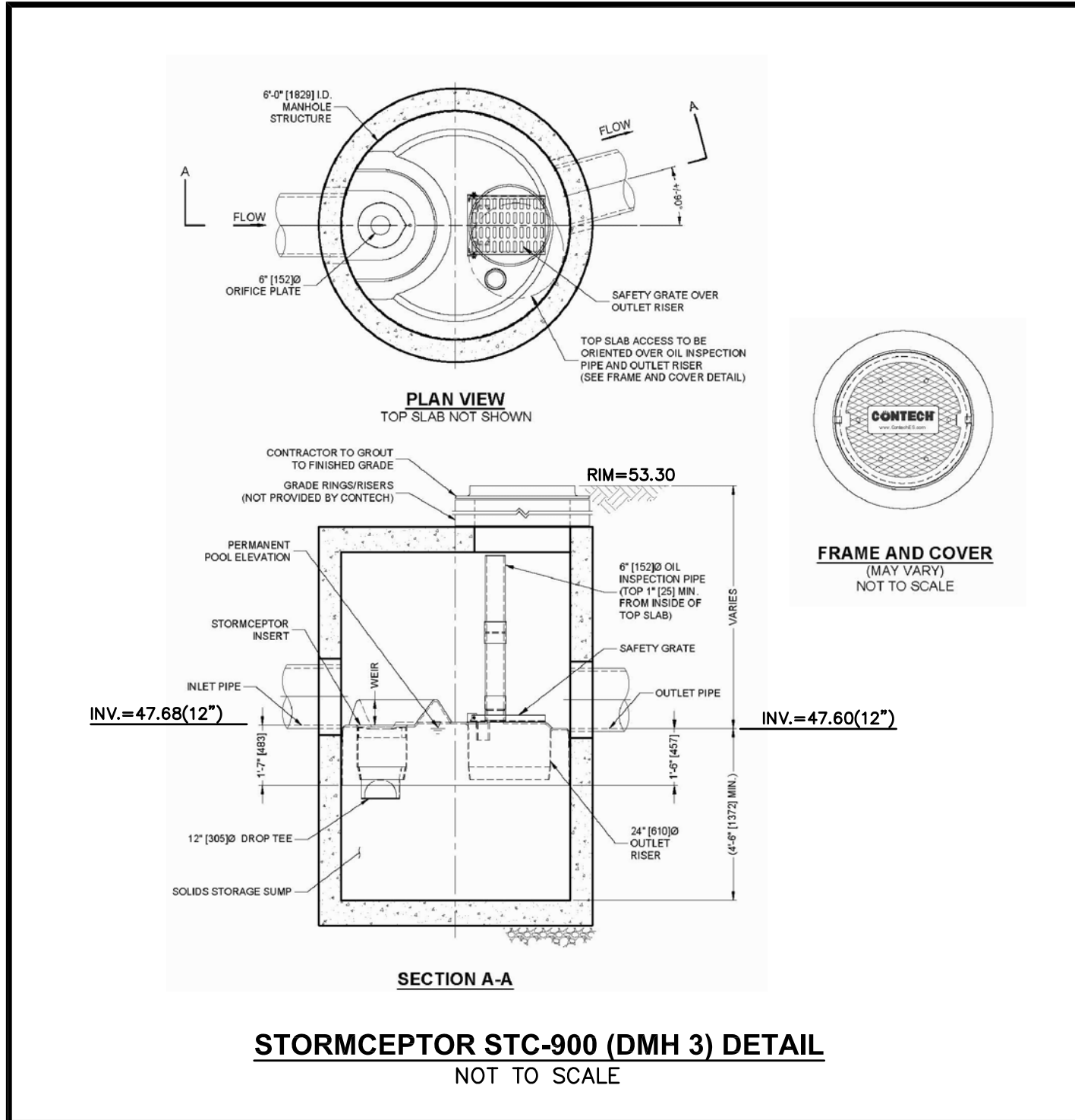
PREPARED FOR:
203 CENTERVILLE ROAD LLC
 C/O BASS, DOHERTY AND FINKS, PC
 1380 SOLDIERS FIELD ROAD
 SUITE 2100
 BOSTON, MA 02135-1023

DRAWING TITLE:
MISCELLANEOUS DETAIL
PLAN No. 3

DATE: MARCH 2023 SCALE: AS SHOWN
 DWG. NAME: 2668-C11-DETAIL3-R1.dwg

NUMBER	REVISIONS	REMARKS	DATE
1	△	UTILITIES	7/19/23

DRAWING NUMBER
C11
 SHEET: 13 OF 18

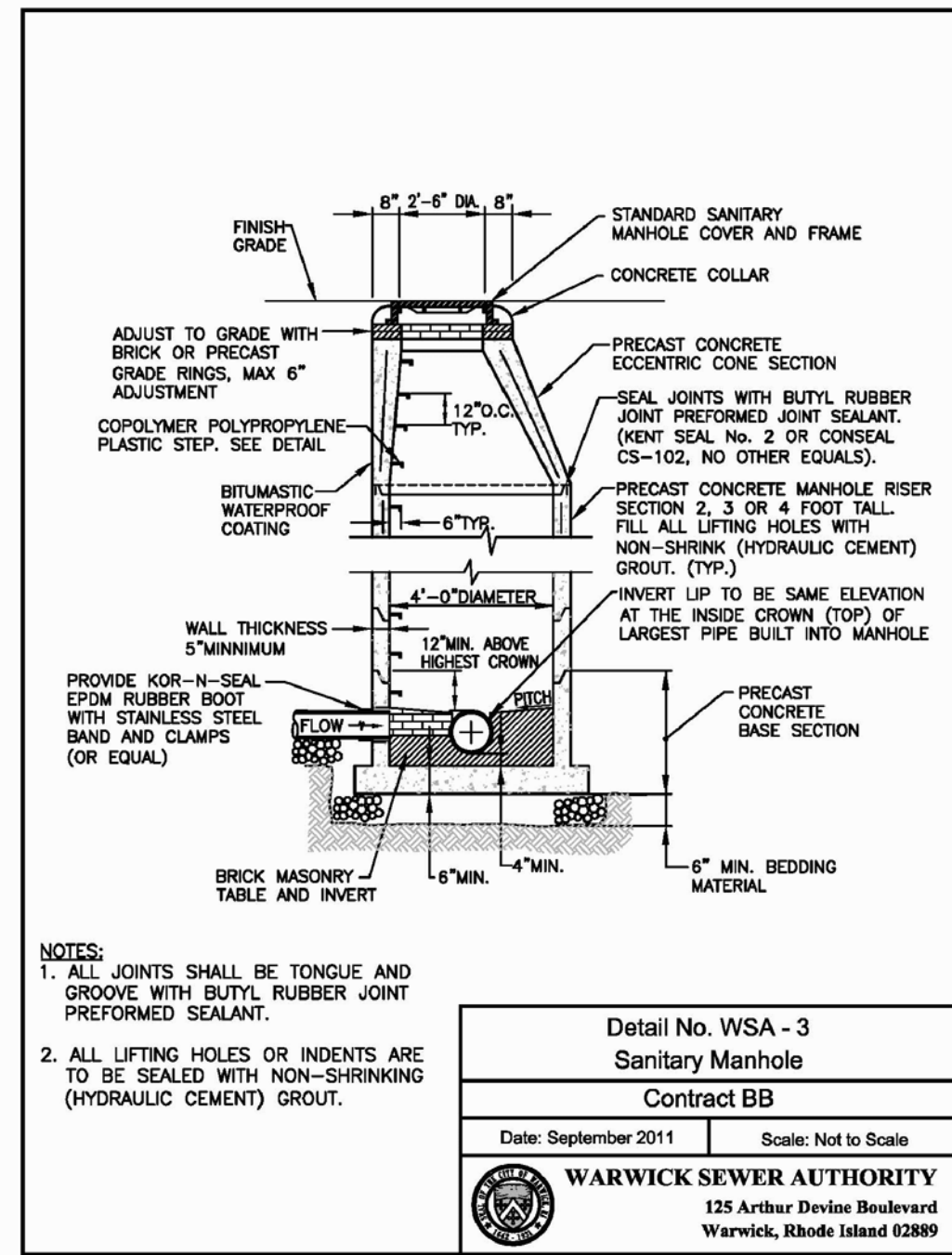


GENERAL SEWER NOTES

- INSTALLATION OF THE SEWERAGE FACILITIES SHALL BE IN ACCORDANCE WITH THE WARWICK SEWER AUTHORITY SPECIFICATIONS AND REQUIREMENTS.
- PRIOR TO RECEIVING AUTHORIZATION TO CONSTRUCT, ALL MATERIALS SHALL MEET THE STANDARDS AND RECEIVE THE WRITTEN APPROVAL, BASED ON MANUFACTURER'S DRAWINGS AND OTHER DATA, FROM THE WARWICK SEWER AUTHORITY.
- ALL SEWERAGE FACILITIES SHALL MEET TESTING AND CLEANING REQUIREMENTS PRIOR TO ACCEPTANCE.
- THE CONTRACTOR IS RESPONSIBLE TO COORDINATE AS-BUILT LOCATIONS PRIOR TO PIPE BACKFILL. AS-BUILT DRAWINGS SHALL BE FURNISHED AS A CONDITION FOR ACCEPTANCE OF THE NEW SEWERAGE FACILITIES. PLANS SHALL INCLUDE LOCATION OF WYES.
- NO FLOW WILL BE ACCEPTED UNTIL ALL ABOVE STEPS ARE COMPLETED AND COMPLETION CERTIFICATE IS ISSUED.
- AFTER THE CONTRACTOR HAS "STAKED OUT" THE FACILITIES TO BE CONSTRUCTED AND HAS THE APPROVED MATERIALS ON THE JOB, THE WARWICK SEWER AUTHORITY SHALL BE NOTIFIED IN ADVANCE OF CONSTRUCTION IN ORDER FOR THEM TO ARRANGE FOR THEIR INSPECTOR. THE NOTIFICATION MUST MEET WARWICK SEWER AUTHORITY REQUIREMENTS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE APPROVED PLANS AND MATERIALS, STANDARDS AND SPECIAL DETAILS, AND STANDARD SPECIFICATIONS. ANY WORK NOT MEETING THE APPROVED STANDARDS SHALL BE IMMEDIATELY REMOVED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL CONFINE HIS OPERATIONS AND ACTIVITIES FOR CONSTRUCTION WITHIN THE LIMITS OF WORK AS SHOWN ON THE DRAWINGS.
- ALL AREAS DISTURBED BY THE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION AT NO EXTRA COST TO THE OWNER. ALL GRASSED AREAS DISTURBED BY THE CONTRACTOR'S OPERATIONS SHALL BE LOAMED AND SEEDDED.
- LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE BEST AVAILABLE INFORMATION. THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL EXISTING UTILITIES AND NOTIFY THE APPROPRIATE UTILITY AUTHORITIES INCLUDING "DIG-SAFES" PRIOR TO STARTING WORK. ANY DAMAGE TO UTILITIES CAUSED BY THE CONTRACTOR'S OPERATIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND THE COST OF REPAIRS SHALL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- RELATION TO WATER LINES:
 - HORIZONTAL SEPARATION: WHENEVER POSSIBLE, SEWERS SHOULD BE LAID AT A MINIMUM OF 10 FEET (3.0 m), HORIZONTALLY, FROM ANY EXISTING OR PROPOSED WATER LINE. SHOULD LOCAL CONDITIONS PREVENT A LATERAL SEPARATION OF 10 FEET, A SEWER MAY BE LAID CLOSER THAN 10 FEET TO A WATER LINE IF:
 - IT IS LAID IN A SEPARATE TRENCH, OR IF
 - IT IS LAID IN THE SAME TRENCH WITH THE WATER LINE LOCATED AT ONE SIDE ON A BENCH OF UNDISTURBED EARTH, AND IF
 - IN EITHER CASE THE ELEVATION OF THE TOP (CROWN) OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM (INVERT) OF THE WATER LINE.
 - VERTICAL SEPARATION: WHENEVER A SEWER MUST CROSS UNDER WATER LINES, THE SEWER SHALL BE LAID AT SUCH AN ELEVATION THAT THE TOP OF THE SEWER IS AT LEAST 18 INCHES (46 cm) BELOW THE BOTTOM OF THE WATER LINE. WHEN THE ELEVATION OF THE SEWER CANNOT BE VARIED TO MEET THE ABOVE REQUIREMENTS, THE WATER LINE SHALL BE RELOCATED TO PROVIDE THIS SEPARATION OR RECONSTRUCTED WITH MECHANICAL-JOINT PIPE FOR A DISTANCE OF 10 FEET (3.0 m) ON EACH SIDE OF THE SEWER. ONE FULL LENGTH OF WATER LINE SHOULD BE CENTERED OVER THE SEWER SO THAT BOTH JOINTS WILL BE AS FAR FROM THE SEWER AS POSSIBLE.
 - WHEN IT IS IMPOSSIBLE TO OBTAIN HORIZONTAL AND/OR VERTICAL SEPARATION AS STIPULATED ABOVE, BOTH THE WATER LINE AND SEWER SHALL BE CONSTRUCTED OF MECHANICAL-JOINT CEMENT LINED DUCTILE IRON PIPE OR OTHER EQUIVALENT BASED ON WATER TIGHTNESS AND STRUCTURAL SOUNDNESS. BOTH PIPES SHALL BE PRESSURE TESTED BY AN APPROVED METHOD TO ASSURE WATER TIGHTNESS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DEWATERING REQUIRED IN THE SEWER INSTALLATION.
- THE PROPOSED GRAVITY SANITARY SEWER PIPE SHALL BE PVC ASTM 3034 SDR 35, UNLESS OTHERWISE SHOWN ON PLANS. PIPE SIZE TO MATCH UTILITY PLAN.
- THE CONTRACTOR IS RESPONSIBLE TO VERIFY THE ELEVATION OF EXISTING SEWER LINE PRIOR TO INSTALLATION.

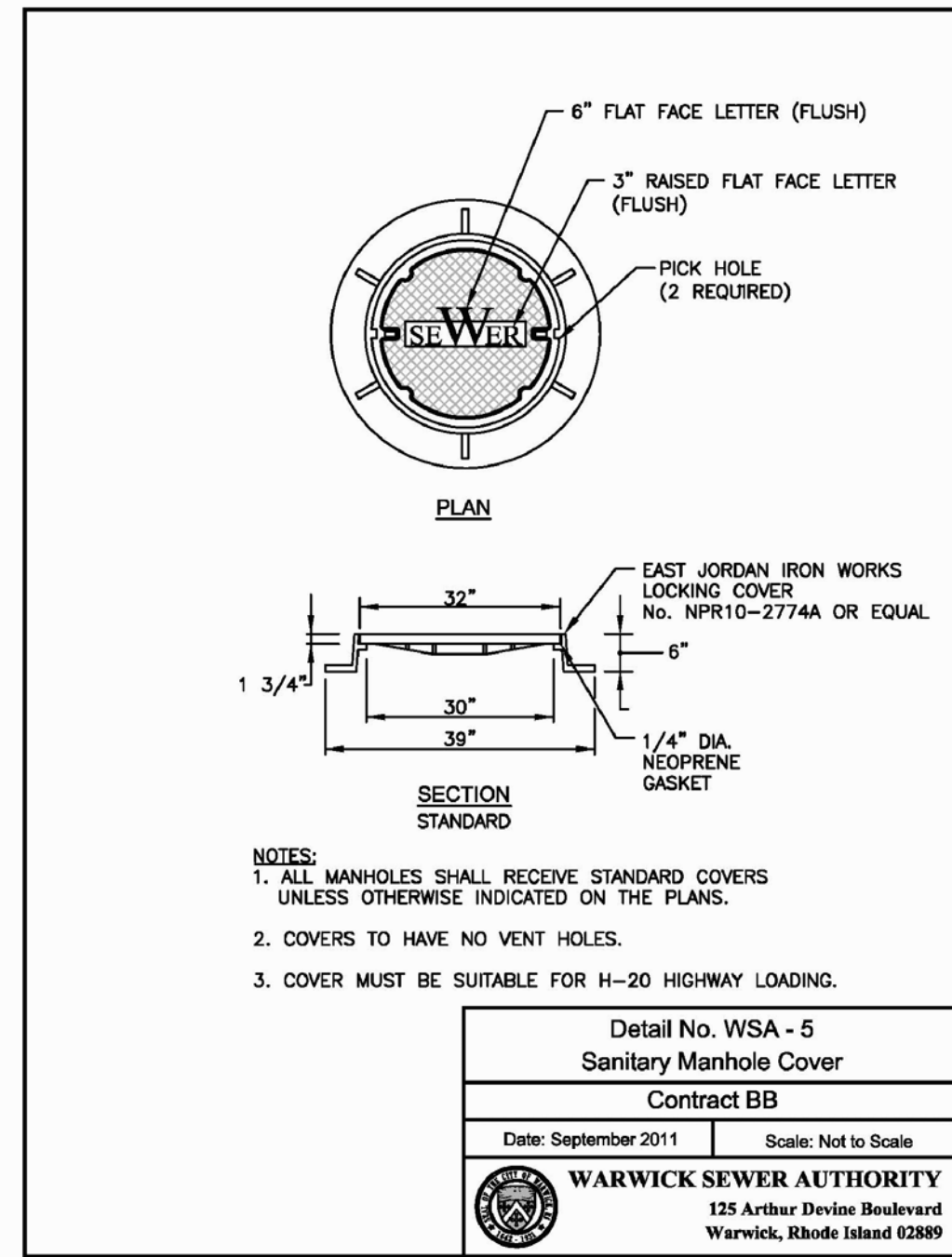
SEWER TRENCH NOTES

- MINIMUM WIDTH (W) OF TRENCH IS EQUAL TO THE INSIDE DIAMETER OF THE PIPE PLUS 12" EACH SIDE.
- SOIL UNDER CRUSHED STONE FOUNDATION SHALL BE UNDISTURBED AND COMPACTED MATERIAL WITH SEVERAL PASSES OF A VIBRATORY PLATE COMPACTOR TO ATTAIN 95% MAX. DENSITY (MOD. METHOD).
- CRUSHED STONE FOUNDATION 3/4" MAXIMUM SIZE, SHALL BE PLACED 6" UNDER THE PIPE AND UP TO THE PIPE LAID THEREON, CRUSHED STONE PULLED AGAINST THE PIPE SIDES TO FIRMLY HOLD THE PIPE IN PLACE.
- CRUSHED STONE HAUNCHING 3/4" MAXIMUM SIZE SHALL BE BROUGHT LEVEL TO THE TOP OF THE PIPE AND OUT TO THE TRENCH WALL AT THIS ELEVATION FOR ALL PIPE.



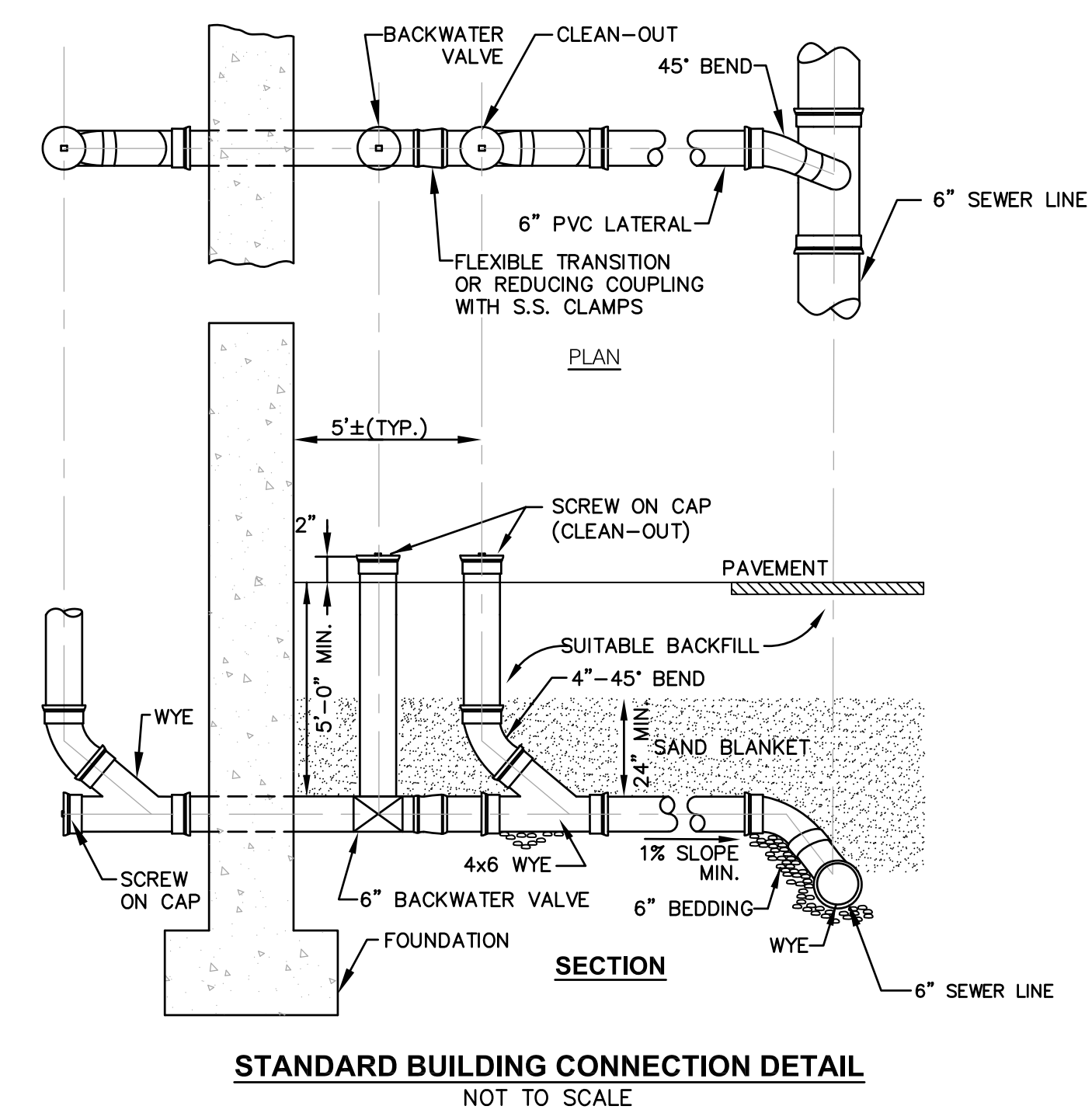
NOTES:
1. ALL JOINTS SHALL BE TONGUE AND GROOVE WITH BUTYL RUBBER JOINT PREFORMED SEALANT.
2. ALL LIFTING HOLES OR INDENTS ARE TO BE SEALED WITH NON-SHRINKING (HYDRAULIC CEMENT) GROUT.

Detail No. WSA-3
Sanitary Manhole
Contract BB
Date: September 2011 Scale: Not to Scale
WARWICK SEWER AUTHORITY
125 Arthur Devine Boulevard
Warwick, Rhode Island 02889

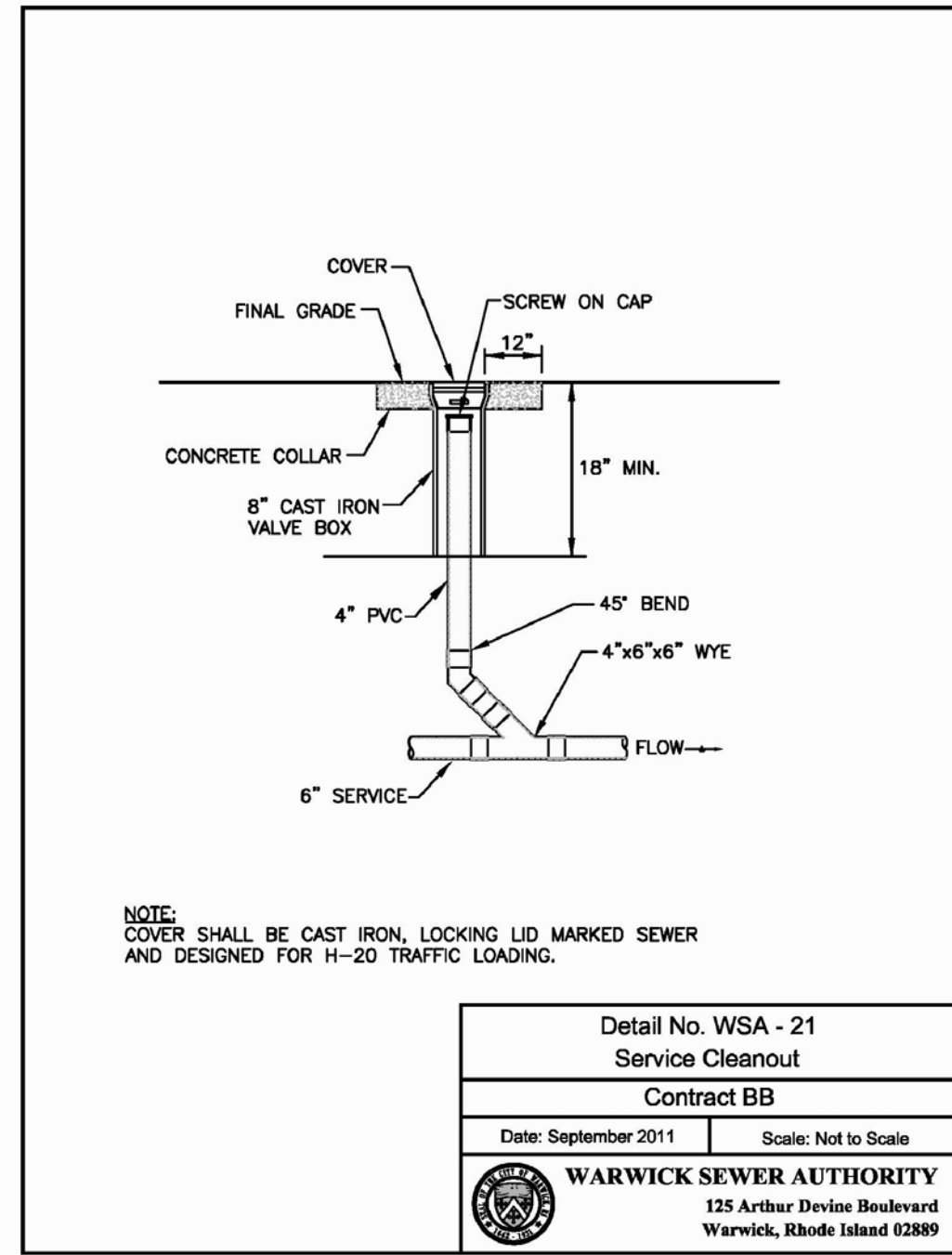


NOTES:
1. ALL MANHOLES SHALL RECEIVE STANDARD COVERS UNLESS OTHERWISE INDICATED ON THE PLANS.
2. COVERS TO HAVE NO VENT HOLES.
3. COVER MUST BE SUITABLE FOR H-20 HIGHWAY LOADING.

Detail No. WSA-5
Sanitary Manhole Cover
Contract BB
Date: September 2011 Scale: Not to Scale
WARWICK SEWER AUTHORITY
125 Arthur Devine Boulevard
Warwick, Rhode Island 02889

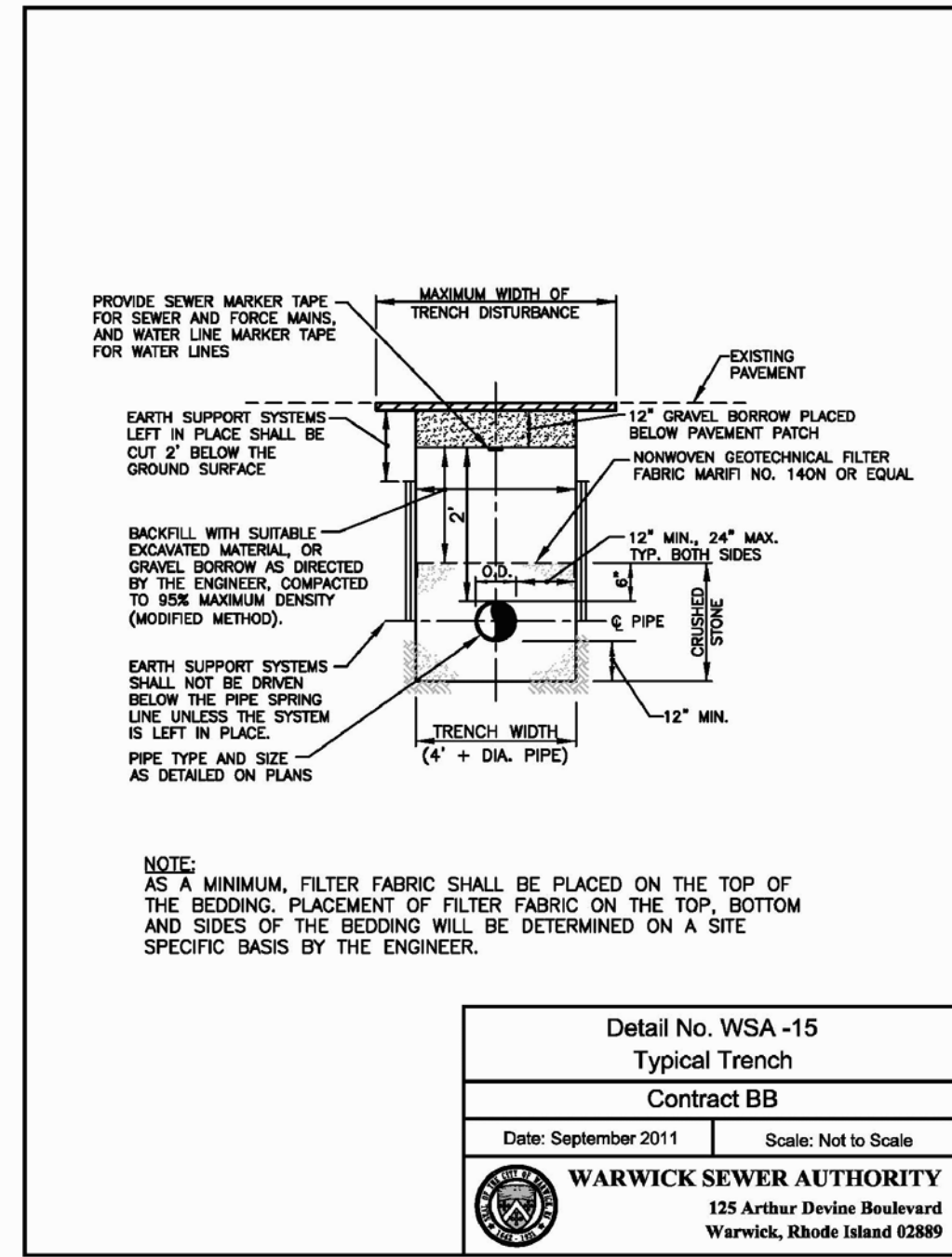


STANDARD BUILDING CONNECTION DETAIL
NOT TO SCALE



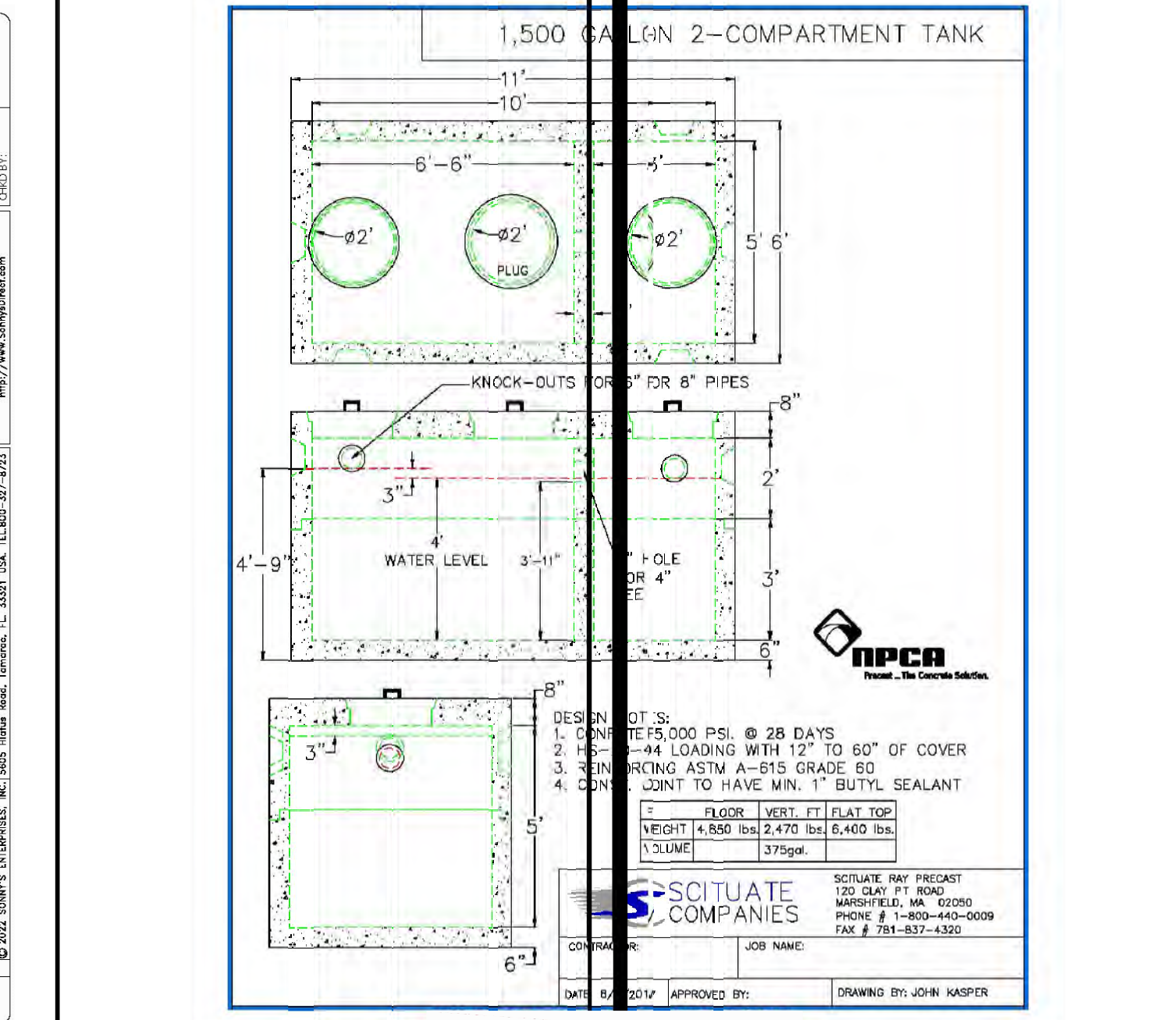
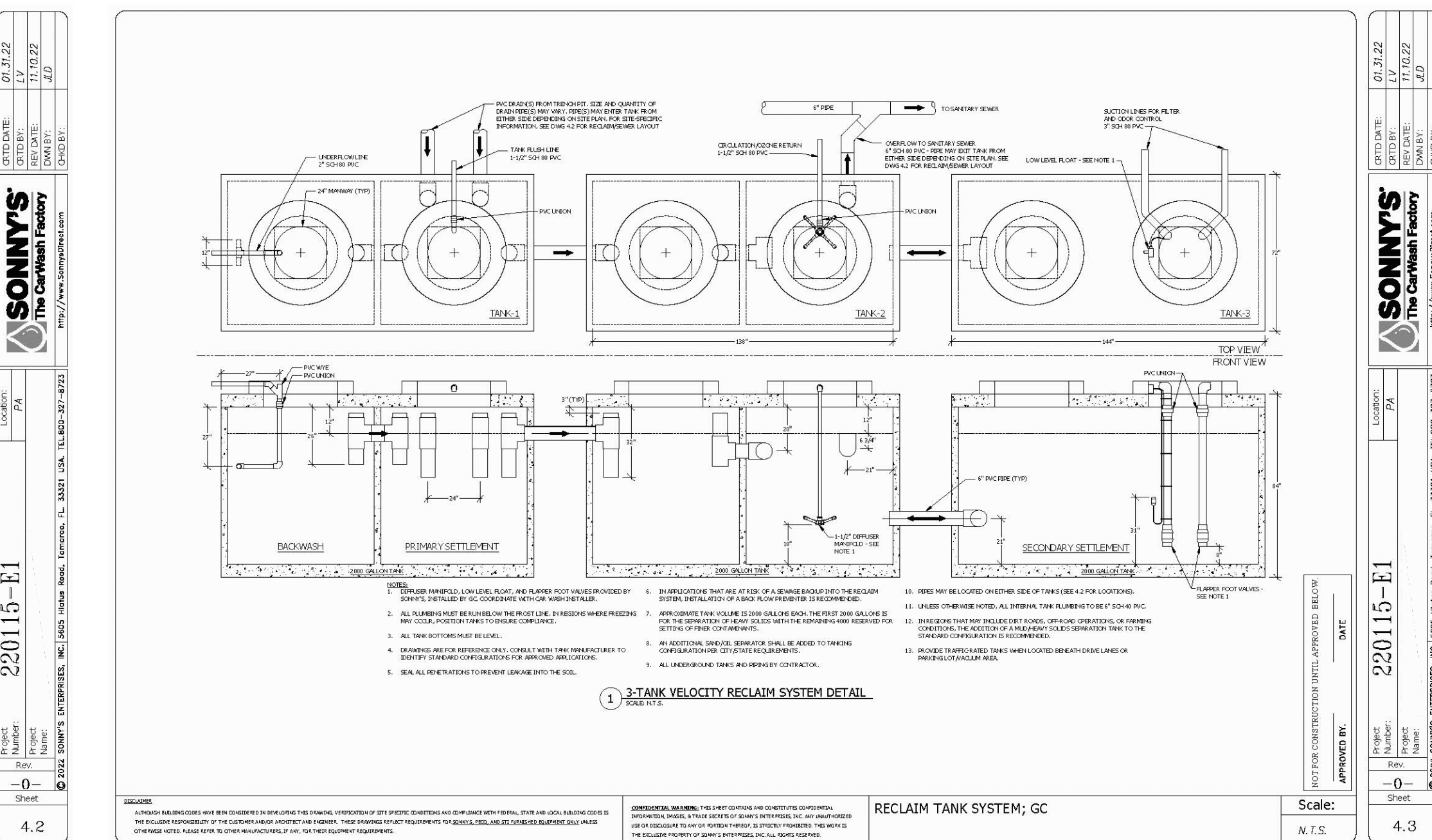
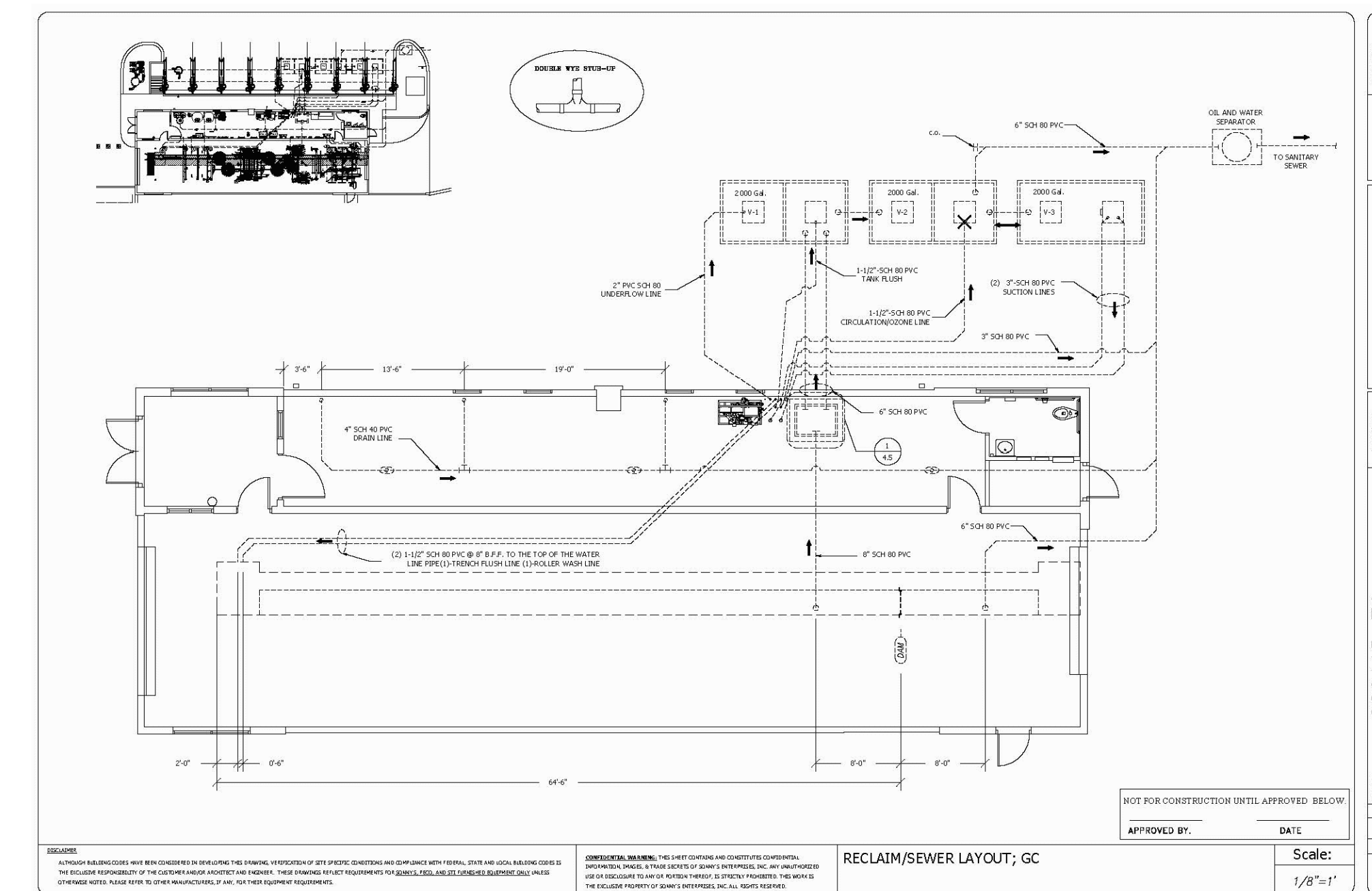
NOTE:
COVER SHALL BE CAST IRON, LOADING LID MARKED SEWER AND DESIGNED FOR H-20 TRAFFIC LOADING.

Detail No. WSA-21
Service Cleanout
Contract BB
Date: September 2011 Scale: Not to Scale
WARWICK SEWER AUTHORITY
125 Arthur Devine Boulevard
Warwick, Rhode Island 02889



NOTE:
AS A MINIMUM, FILTER FABRIC SHALL BE PLACED ON THE TOP OF THE BEDDING. PLACEMENT OF FILTER FABRIC ON THE TOP, BOTTOM AND SIDES OF THE BEDDING WILL BE DETERMINED ON A SITE SPECIFIC BASIS BY THE ENGINEER.

Detail No. WSA-15
Typical Trench
Contract BB
Date: September 2011 Scale: Not to Scale
WARWICK SEWER AUTHORITY
125 Arthur Devine Boulevard
Warwick, Rhode Island 02889



RECLAIM TANK SYSTEM DETAIL
NOT TO SCALE

1,500 GALLON OIL WATER SEPARATOR DETAIL
NOT TO SCALE



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KEY PLAN

PROJECT TITLE:

**PROPOSED
CAR WASH AND CAFE**
PLAT MAP 246
LOTS 247, 250, 251 and 257
ZONING DISTRICT:GB
GENERAL BUSINESS DISTRICT
181 CENTERVILLE ROAD
WARWICK, RHODE ISLAND

PREPARED FOR:

**203 CENTERVILLE ROAD LLC
C/O BASS, DOHERTY AND FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023**

DRAWING TITLE:

**MISCELLANEOUS DETAIL
PLAN No. 4**

DATE: MARCH 2023 SCALE: AS SHOWN

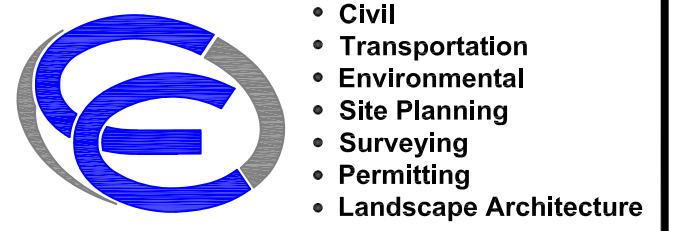
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REVISIONS		
NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER

C12

SHEET 14 OF 18



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KEY PLAN

PROJECT TITLE:

**PROPOSED
CAR WASH AND CAFE**
PLAT MAP 246
LOTS 247, 250, 251 and 257
ZONING DISTRICT:GB
GENERAL BUSINESS DISTRICT
181 CENTERVILLE ROAD
WARWICK, RHODE ISLAND

PREPARED FOR:

203 CENTERVILLE ROAD LLC
C/O BASS, DOHERTY and FINKS, PC
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SUITE 2100
BOSTON, MA 02135-1023

DRAWING TITLE:

**MISCELLANEOUS DETAIL
PLAN No. 5**

DATE: MARCH 2023 SCALE: 1"=20'

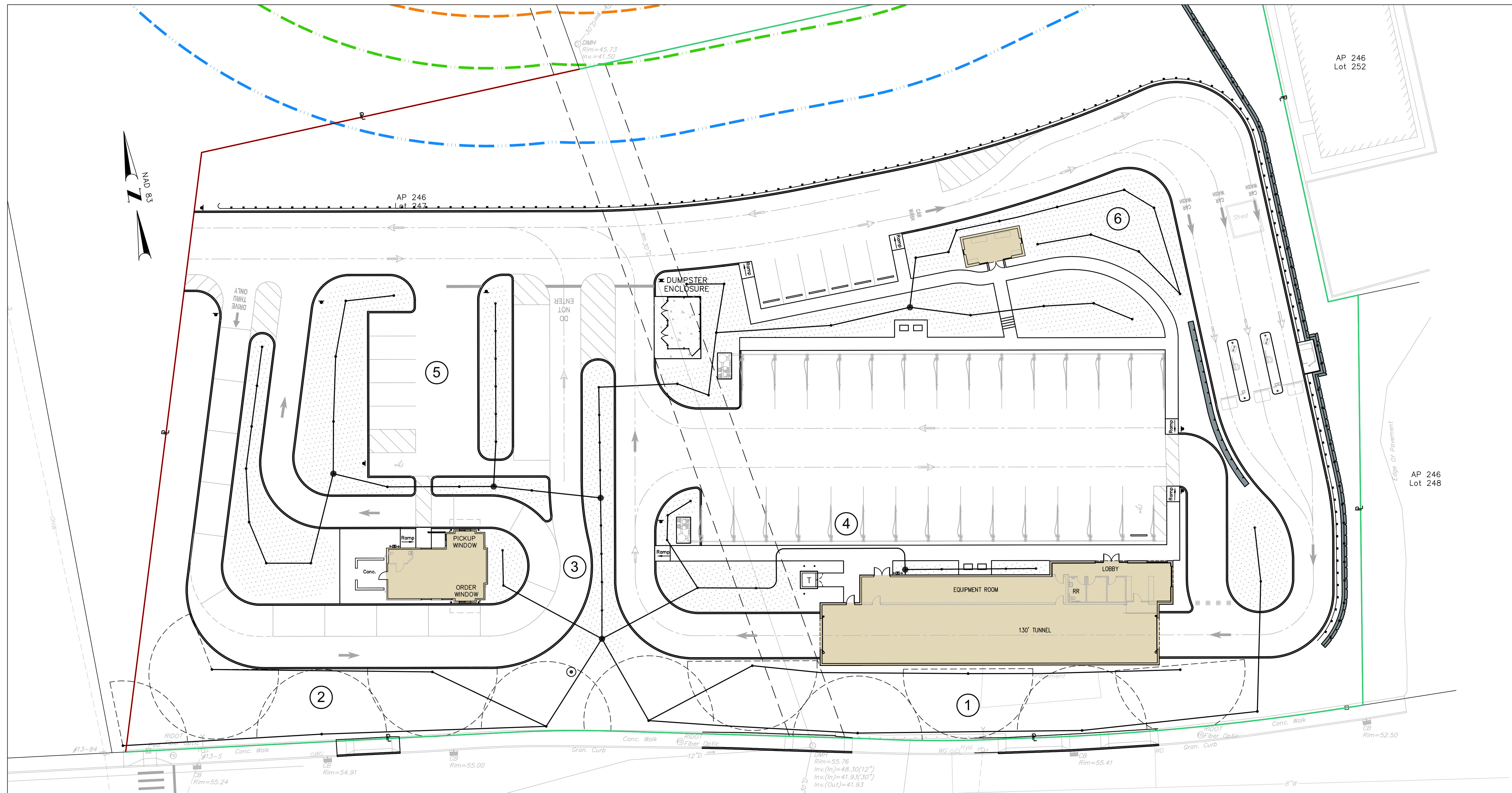
DWG. NAME: 2668-C13-DETAIL5-R1.dwg

REVISIONS		
NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER

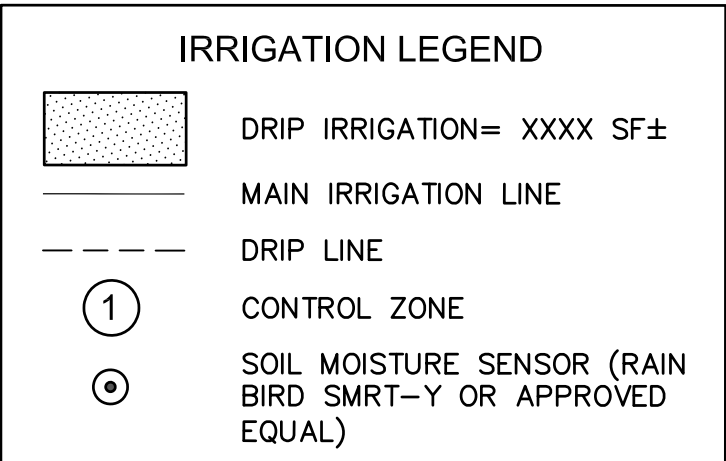
C13

SHEET: 15 OF 18



- IRRIGATION NOTES**
1. DRIP IRRIGATION SHALL BE UTILIZED TO IRRIGATE ALL PLANTING BEDS AND SHRUBBERY.
 2. TIMERS SHALL BE EMPLOYED AND MAINTAINED TO BE IN COMPLIANCE WITH SECTION 1.7.3 OF THE KENT COUNTY WATER AUTHORITY RULES AND REGULATIONS. TIMERS SHALL BE SET TO ASSURE OVER WATERING DOES NOT OCCUR.
 3. ALL SYSTEMS SHALL BE FITTED WITH SOIL MOISTURE SENSORS AND RAIN SENSORS THAT PROHIBIT OPERATION OF THE SYSTEM WHEN SOIL MOISTURE CONTENT DOES NOT REQUIRE IT.
 4. PROPERTY OWNERS SHALL CONDUCT ANNUAL MAINTENANCE THAT ASSURES PROPER ADJUSTMENT AND OPERATION OF THE SYSTEM.
 5. IRRIGATION SYSTEMS SHALL ONLY BE OPERATED IN ACCORDANCE WITH THE KENT COUNTY WATER AUTHORITY ODD/EVEN OUTDOOR WATER USE POLICY.
 6. IRRIGATION SYSTEMS SHALL BE SHUT OFF DURING WATER SUPPLY EMERGENCIES AND MORATORIUMS IMPOSED IN CONJUNCTION WITH THE KENT COUNTY WATER AUTHORITY DROUGHT POLICY.
 7. INSTALL ATMOSPHERIC VACUUM BREAKER (AVB) ON IRRIGATION BRANCH AFTER EACH CONTROL VALVE.

SITE PLAN SCHEMATIC IRRIGATION DETAIL
SCALE: 1"=20'



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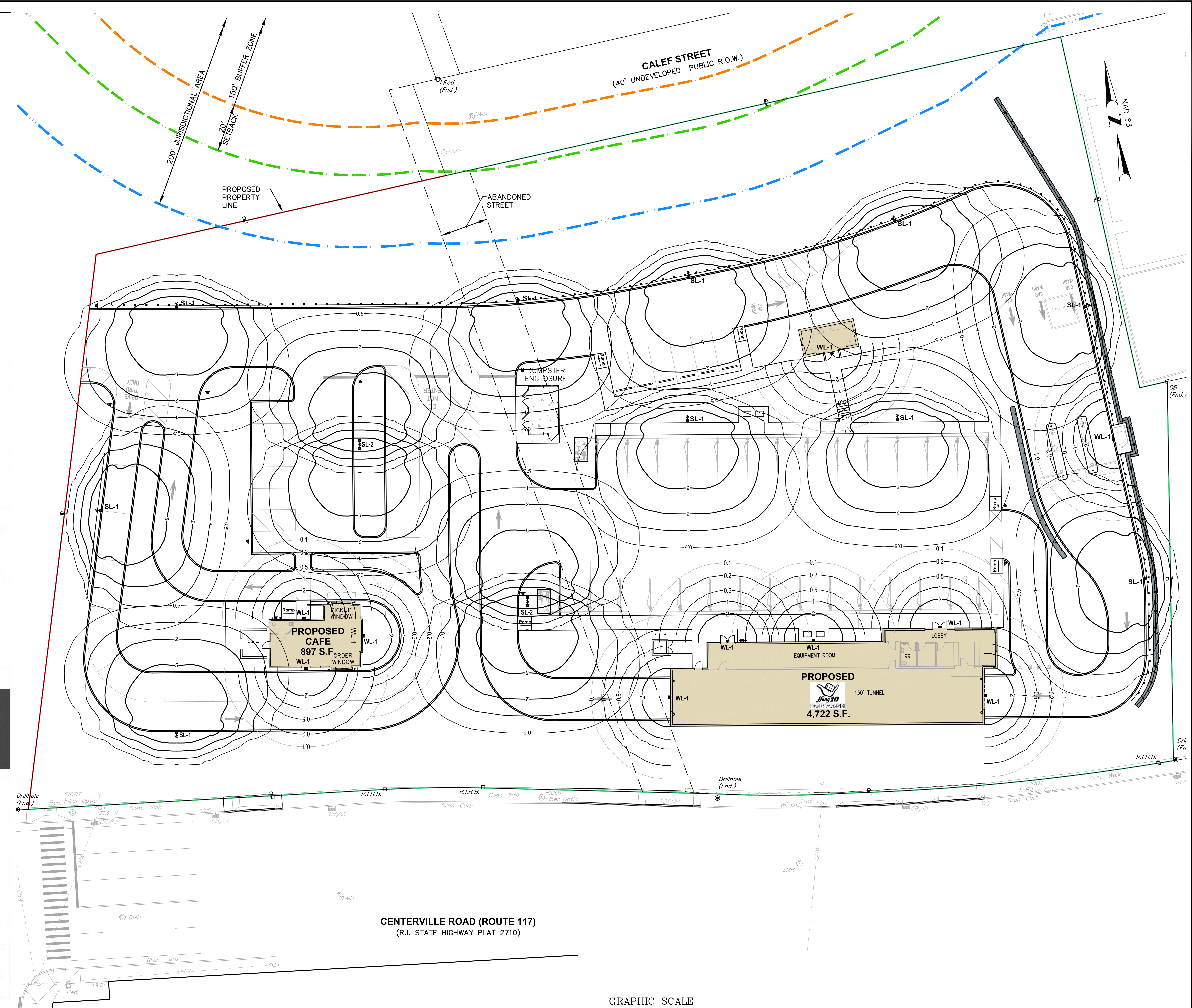
PREPARED FOR:
 203 CENTERVILLE ROAD LLC
 C/O BASS, DOHERTY and FINKS, PC
 1380 SOLDIERS FIELD ROAD
 SUITE 2100
 BOSTON, MA 02135-1023

DRAWING TITLE:
LIGHTING PLAN

DATE: MARCH 2023 **SCALE:** 1"=20'
DWG. NAME: 2668-E01-LIGHT-R1.dwg

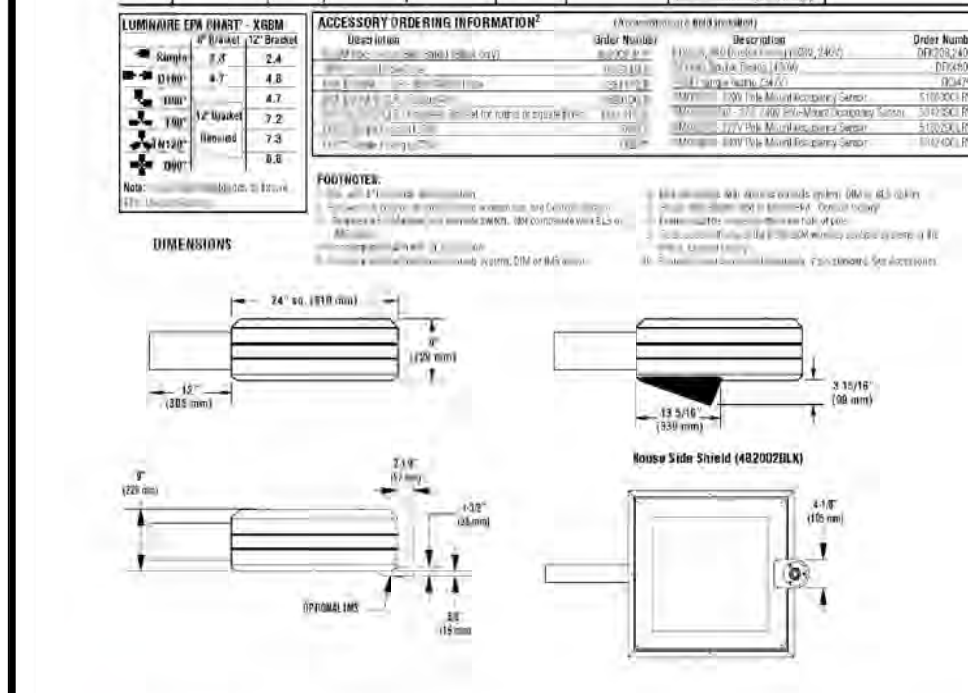
REVISIONS		
NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER
E1
 SHEET: 16 OF 18



LED AREA LIGHTS - (XGBM)

Part	Quantity	Label	Manufacturer	Notes
XGBM-FT-LED-LW-CW-UE-BLK	10	SL-1	LSI Lighting	14 FT MTG - SINGLE
XGBM-FT-LED-LW-CW-UE-BLK	2	SL-2	LSI Lighting	14 FT MTG - D180°
MCOWP-43K-BZ-PC120	10	WL-1	LSI Lighting	15 FT MTG

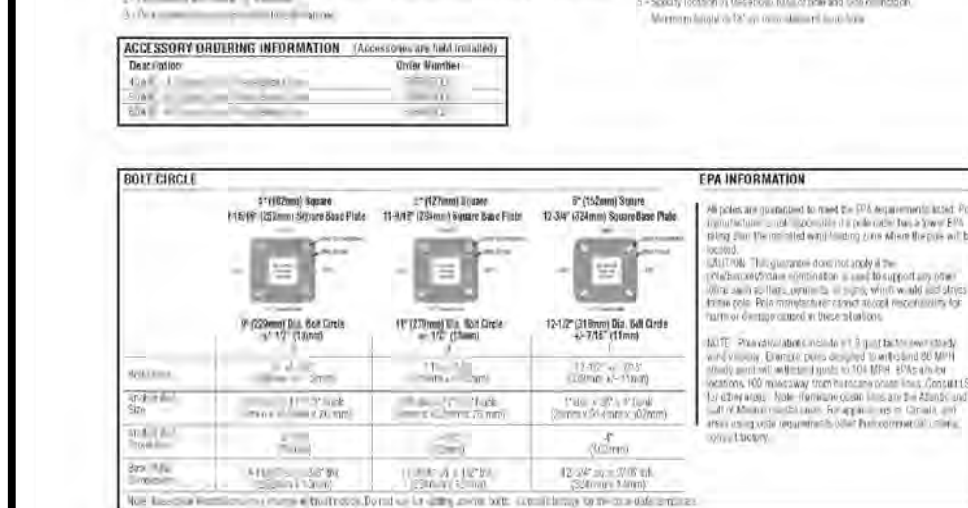


ALUMINUM SQUARE POLES (SOFT CORNER)

Part	Quantity	Label	Manufacturer	Notes
45Q83	14	S	BLK	14 FT MTG - SINGLE

LED AREA LIGHTS - (MCOWP43W)

Part	Quantity	Label	Manufacturer	Notes
MCOWP43W	43	BZ	PC120	15 FT MTG



Features & Specifications

Performance	Dimensions
4500K 5000 Lumens 120W 120V	15 FT MTG 15 FT MTG 15 FT MTG

Optical System:

- 160° beam angle
- 160° beam angle
- 160° beam angle

Electrical:

- 120V AC
- 120V AC
- 120V AC

Construction:

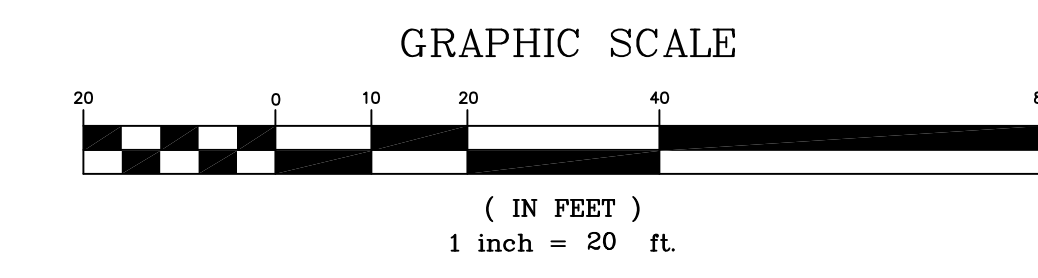
- 15 FT MTG
- 15 FT MTG
- 15 FT MTG

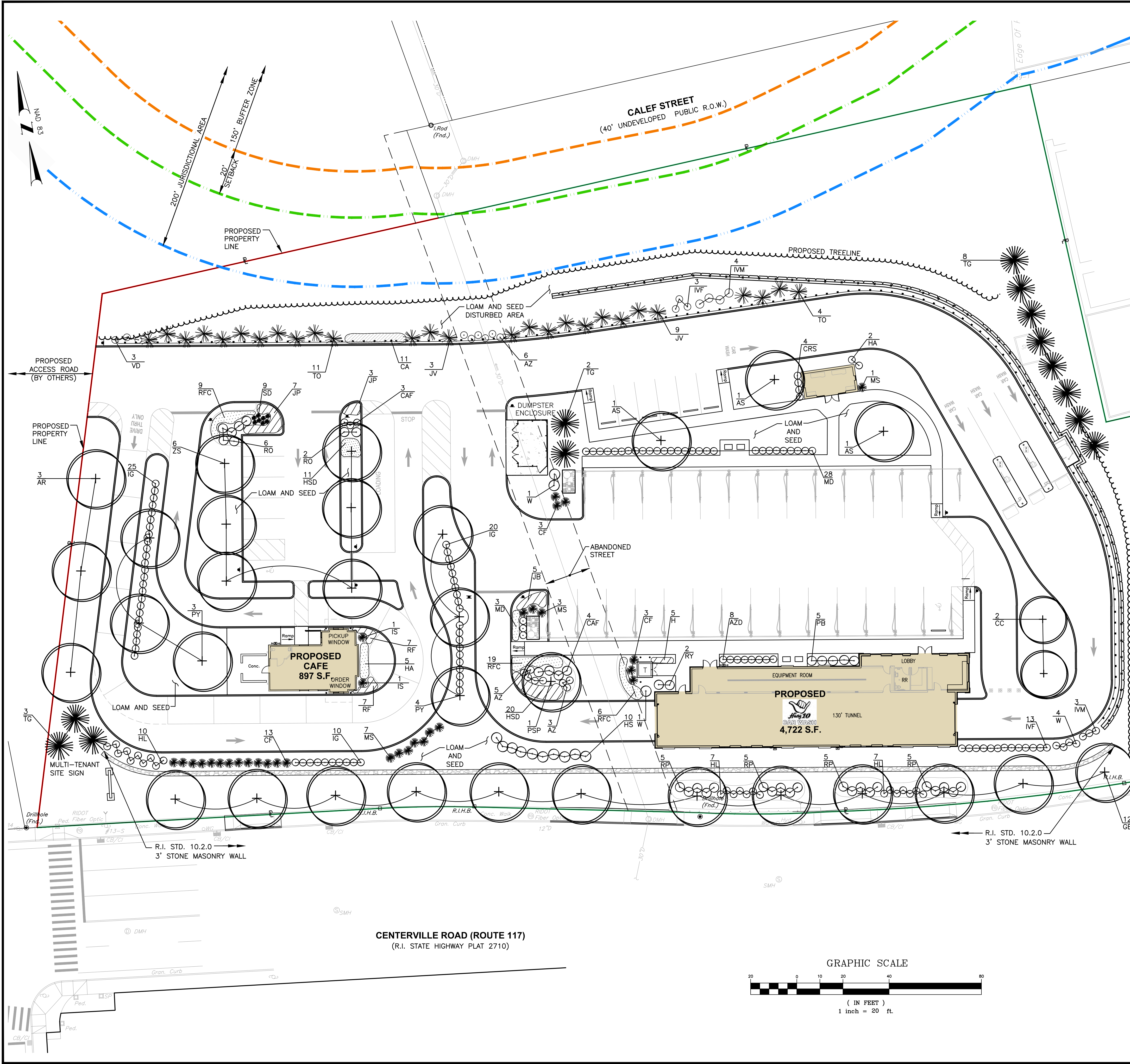
Luminaire Ordering Guide

Part	Quantity	Label	Manufacturer	Notes
MCOWP-43K-BZ-PC120	43	BZ	PC120	15 FT MTG

SITE LIGHTING

Symbol	Qty	Label	Manufacture	Description
○	10	SL-1	LSI Lighting	XGBM-HSS-FT-LED-LW-CW-UE-BLK / 14 FT MTG - SINGLE
○	2	SL-2	LSI Lighting	XGBM-HSS-FT-LED-LW-CW-UE-BLK / 14 FT MTG - D180°
■	10	WL-1	LSI Lighting	MCOWP-43K-BZ-PC120 / 15 FT MTG





PLANTING SCHEDULE			
TREES			
Key	Botanical Name <i>Common Name</i>	Size	Remarks
AS	<i>Acer rubrum</i> 'October Glory' Red Maple	2-2 1/2" cal.	B & B
AS	<i>Acer saccharum</i> 'Green Mountain' Sugar Maple	2-2 1/2" cal.	B & B
CC	<i>Cercis canadensis</i> Eastern Redbud	2-2 1/2" cal.	B & B
GB	<i>Ginkgo biloba</i> Ginkgo	2-2 1/2" cal.	B & B
JV	<i>Juniperus virginiana</i> Eastern Red Cedar	2-2 1/2" cal.	B & B
PSP	<i>Prunus subhirtella</i> 'Pendula' Weeping Higgans Cherry	2-2 1/2" cal.	B & B
PY	<i>Prunus x yeodensis</i> Yoshino Cherry	2-2 1/2" cal.	B & B
TO	<i>Thuja occidentalis</i> Evergreen Eastern Arborvitae	6'-7'	B & B
TG	<i>Thuja plicata</i> 'Green Giant' Green Giant Western Arborvitae	6'-8'	B & B
ZS	<i>Zelkova serrulata</i> 'Green Vase' Japanese Zelkova	2-2 1/2" cal.	B & B
SHRUBS			
AZD	<i>Acer palmatum</i> 'Dissectum' Threadleaf Japanese Maple	#5	Cont.
AZ	<i>Azalea</i> 'Mother's Day' Dark Pink Azalea	#5	Cont.
CA	<i>Clethra alnifolia</i> Compact Pee Gee Hydrangea	#5	Cont.
CF	<i>Chamaecyparis pisifera</i> 'Filifera Aurea' Gold Threadleaf Falsecypress	#5	Cont.
CRS	<i>Clethra alnifolia</i> 'Ruby Spice' Pink Summersweet Clethra	#3	Cont.
CAF	<i>Cornus sericea</i> 'Arctic Fire' Arctic Fire Redtwig Dogwood	#5	Cont.
HS	<i>Hybiscus syriacus</i> 'Magenta Chiffon' Magenta Chiffon Rose of Sharon	3-4'	Cont.
HA	<i>Hydrangea arborescens</i> 'Annabelle' Annabelle Mophead Hydrangea	#5	Cont.
HP	<i>Hydrangea paniculata</i> 'Fire Light' Pink Panicle Hydrangea	3-4'	B & B
IS	<i>Ilex crenata</i> 'Steeds' Upright Japanese Holly	4-5'	Cont.
IG	<i>Ilex glabra</i> 'Shamrock' Dwarf Inkberry	#5	Cont.
IVF	<i>Ilex verticillata</i> 'Sparkleberry' Female Sparkleberry Winterberry	#5	Cont.
IVM	<i>Ilex verticillata</i> 'Sparkleberry' Male Male Winterberry	#2	Cont.
PB	<i>Pieris 'Brouwer's Beauty'</i> Brouwer's Beauty Pieris	#5	Cont.
RP	Rhododendron 'PJM Olga Mezitt' Pink Rhododendron	#5	Cont.
RP	Rhododendron 'PJM Compacta' Compact Lavender Rhododendron	#5	Cont.
RY	Rhododendron 'Yaku Princess' Dwarf Rhododendron	#5	Cont.
VD	<i>Viburnum dentatum</i> Arrowwood Viburnum	#5	Cont.
W	<i>Weigela florida</i> 'Wine and Roses' Burgandy Weigela	#5	Cont.
GROUNDCOVER			
HSD	<i>Hemerocallis</i> 'Stella D'Oro' Dwarf Yellow Re-blooming Daylily	#1	Cont.
H	<i>Hosta</i> 'Drinking Gourd' Hosta	#2	Cont.
JB	<i>Juniperus horizontalis</i> 'Bar Harbor' Bar Harbor Juniper	#2	Cont.
JP	<i>Juniperus procumbens</i> Japanese Garden Juniper	#2	Cont.
MD	<i>Microbiota decussata</i> Siberian Cypress	#2	Cont.
MS	<i>Miscanthus</i> 'Yaku Jima' Dwarf Maidenhair Grass	#3	Cont.
RFC	<i>Rosa</i> 'Flower Carpet Pink Delight' Flower Carpet Pink Rose	#2	Cont.
RF	<i>Rudbeckia fulgida</i> 'Goldsturm' Goldsturm Black-Eyed Susan	#2	Cont.
SD	<i>Sedum spectabilis</i> 'Autum Joy' Autum Joy Sedum	#2	Cont.

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KEY PLAN

PROJECT TITLE:

PROPOSED CAR WASH AND CAFE
PLAT MAP 246
LOTS 247, 250, 251 and 257
ZONING DISTRICT:GB
GENERAL BUSINESS DISTRICT
181 CENTERVILLE ROAD
WARWICK, RHODE ISLAND

PREPARED FOR:

203 CENTERVILLE ROAD LLC
C/O BASS, DOHERTY and FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

DRAWING TITLE:

LANDSCAPE PLAN

DATE: MARCH 2023 SCALE: 1"=20'

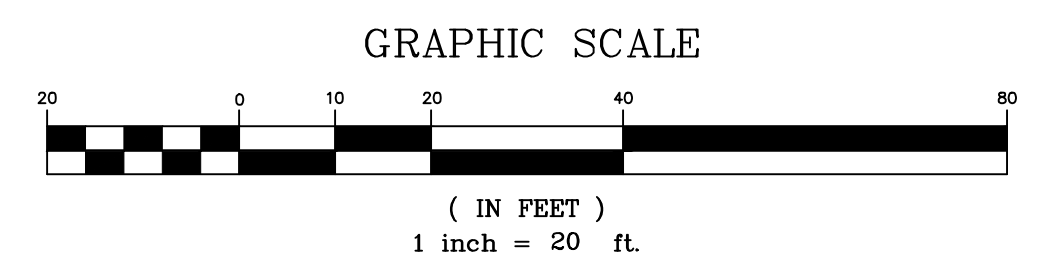
DWG. NAME: 2668-L01-LAND-R6.dwg

NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23
2	WATER DETAILS	7/24/23
3	RET WALL REDUCTION	8/21/23
4	KCWA COMMENTS	8/28/23
5	GRADING AND UTILITIES	9/08/23
6	STONE WALL	09/20/23

DRAWING NUMBER

L1

SHEET: 19 OF 20



CENTERVILLE ROAD (ROUTE 117)
(R.I. STATE HIGHWAY PLAT 2710)

R.I. STD. 10.2.0
3' STONE MASONRY WALL

R.I. STD. 10.2.0
3' STONE MASONRY WALL

SEEDING NOTES

1. LOAM SHALL BE SPREAD TO A MINIMUM DEPTH OF 6" OVER ALL AREAS DESIGNATED ON PLANS.
2. SHAPE AND SMOOTH THE SURFACE TO THE LINES AND GRADES AS SHOWN ON PLANS.
3. FERTILIZE WITH 10-10-10 OR EQUIVALENT ANALYSIS. AT LEAST 40% OF THE FERTILIZER NITROGEN SHALL BE IN A SLOW RELEASE FORM. INCORPORATE THE FERTILIZER INTO THE TOP 3 TO 4 INCHES OF THE PLANTING SOIL. APPLY AT THE RATE OF 8 POUNDS PER 1,000 SQUARE FEET AT SEEDING.
4. LIME: SPREAD EVENLY AND WORK INTO THE SOIL DURING PREPARATION OF SEED BED AT THE RATE OF ONE TON PER ACRE. INCORPORATE INTO THE SOIL BY DICING OR OTHER APPROVED METHOD. DISTRIBUTE LIME UNIFORMLY AND WORK INTO TOP 4 INCHES OF TOP SOIL (MINIMUM) AND UNIFORMLY BLEND BY DICING OR ROTOTILLING.
5. APPLICATION OF SEED:
 - A. RATE OF APPLICATION OF SEED SHALL BE 8 POUNDS PER 1,000 SQUARE FEET OR AS INDICATED ON PLANS.
 - B. SEEDING SHALL BE DONE IN ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS AND INSTRUCTIONS, AND ONLY DURING THE FOLLOWING DATES:
 SPRING SEEDING: MARCH 15 TO MAY 31
 FALL SEEDING: AUGUST 15 TO OCTOBER 15
 - C. THE CONTRACTOR SHALL KEEP ALL SEEDING AREAS WATERED AND IN GOOD CONDITION, RESEEDING IF AND WHEN NECESSARY FOR AN 8 WEEK PERIOD OR UNTIL A GOOD, HEALTHY, UNIFORM GROWTH IS ESTABLISHED OVER THE ENTIRE AREA. THE CONTRACTOR SHALL ALSO MAINTAIN THESE AREAS IN AN APPROVED CONDITION UNTIL PROVISIONAL ACCEPTANCE.
 - D. DURING THIS PERIOD, WATER TURF AS NECESSARY TO MAINTAIN AN ADEQUATE SUPPLY OF MOISTURE WITHIN THE ROOT ZONE. AN ADEQUATE SUPPLY OF MOISTURE IS EQUIVALENT OF ONE INCH OF ABSORBED WATER PER WEEK THAT IS DELIVERED AT WEEKLY INTERVALS IN THE FORM OF NATURAL RAIN OR IS AUGMENTED AS REQUIRED BY PERIODIC WATERING.
 - E. OVERSEED WHEN NECESSARY TO PROMOTE GRASS GROWTH.
 - F. REPLANT AREAS VOID OF TURF ONE SQUARE FOOT OR LARGER.
 - G. SEED:
 - a. SEED ALL AREAS DESIGNATED ON PLAN AS WELL AS ALL DISTURBED EXISTING AREAS WITH THE FOLLOWING SEED MIX:

SEED MIX No. 1

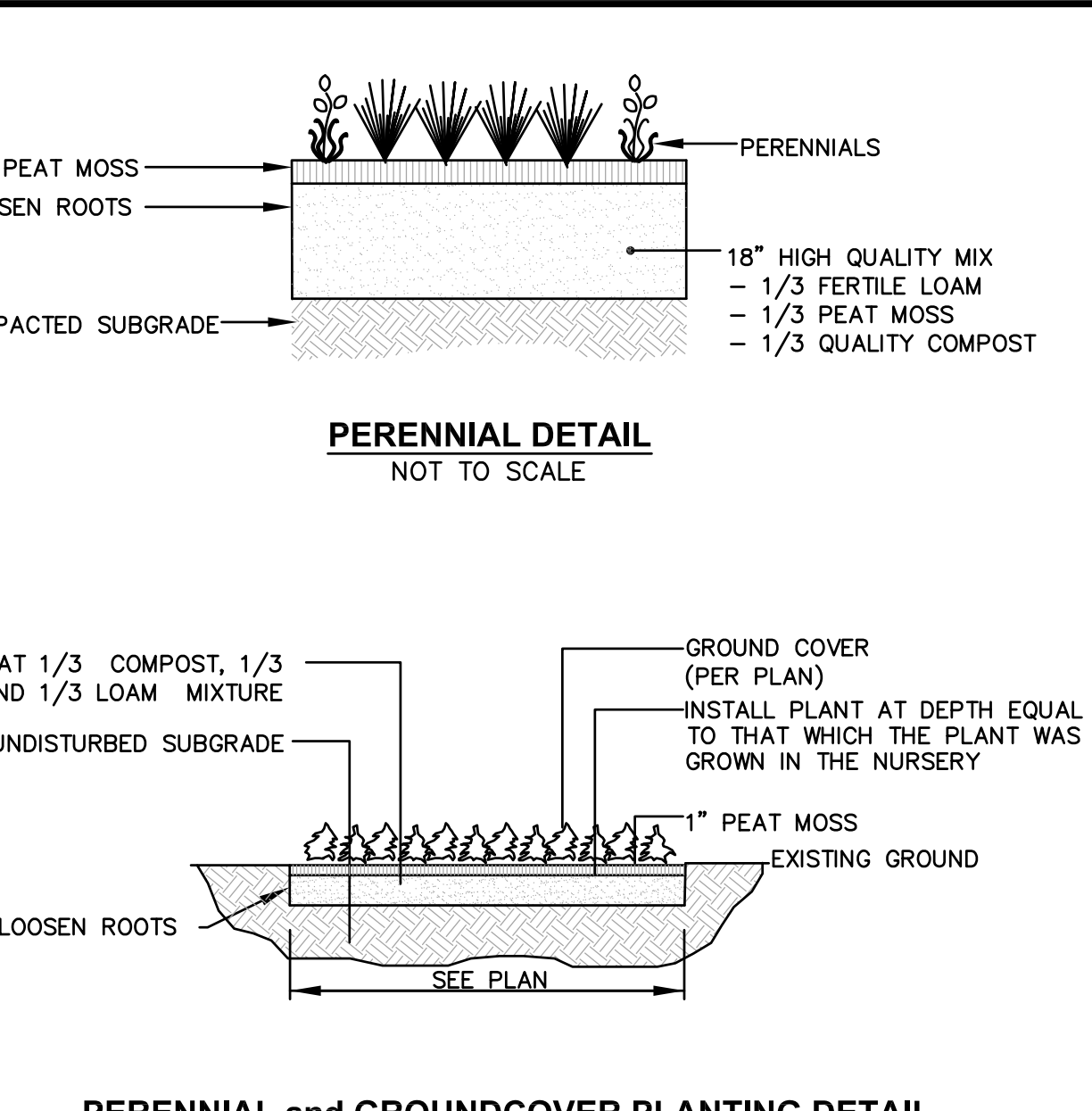
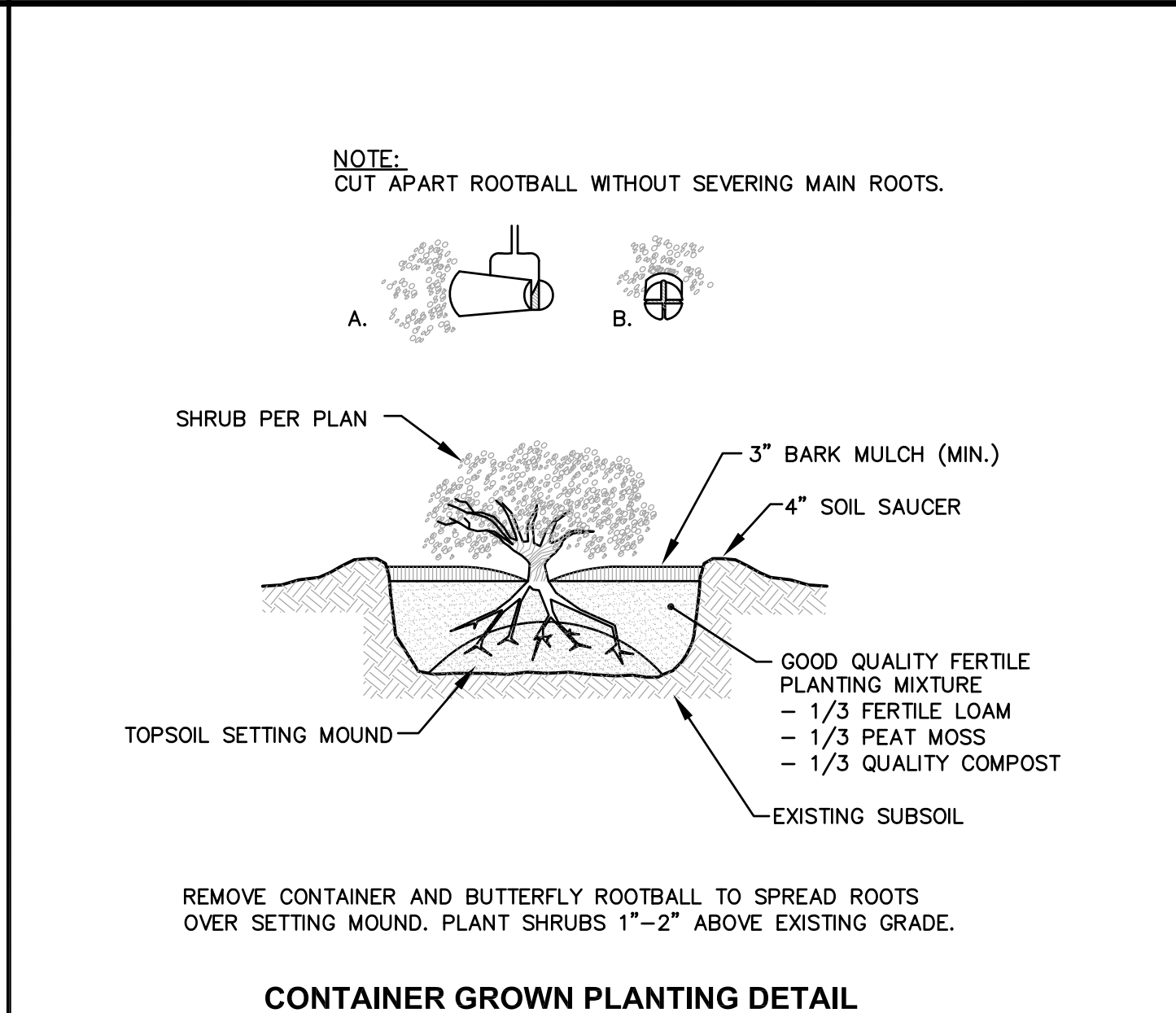
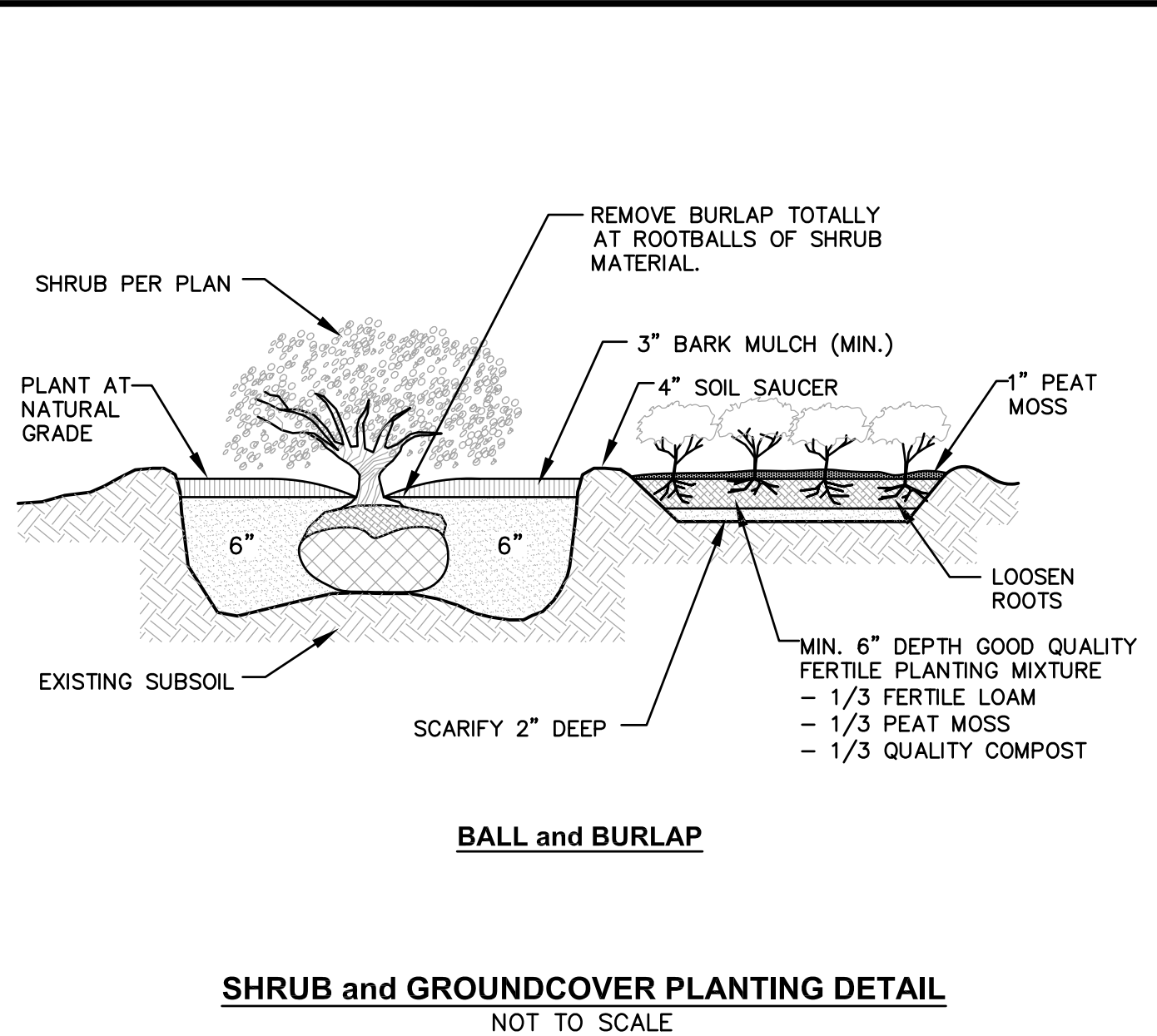
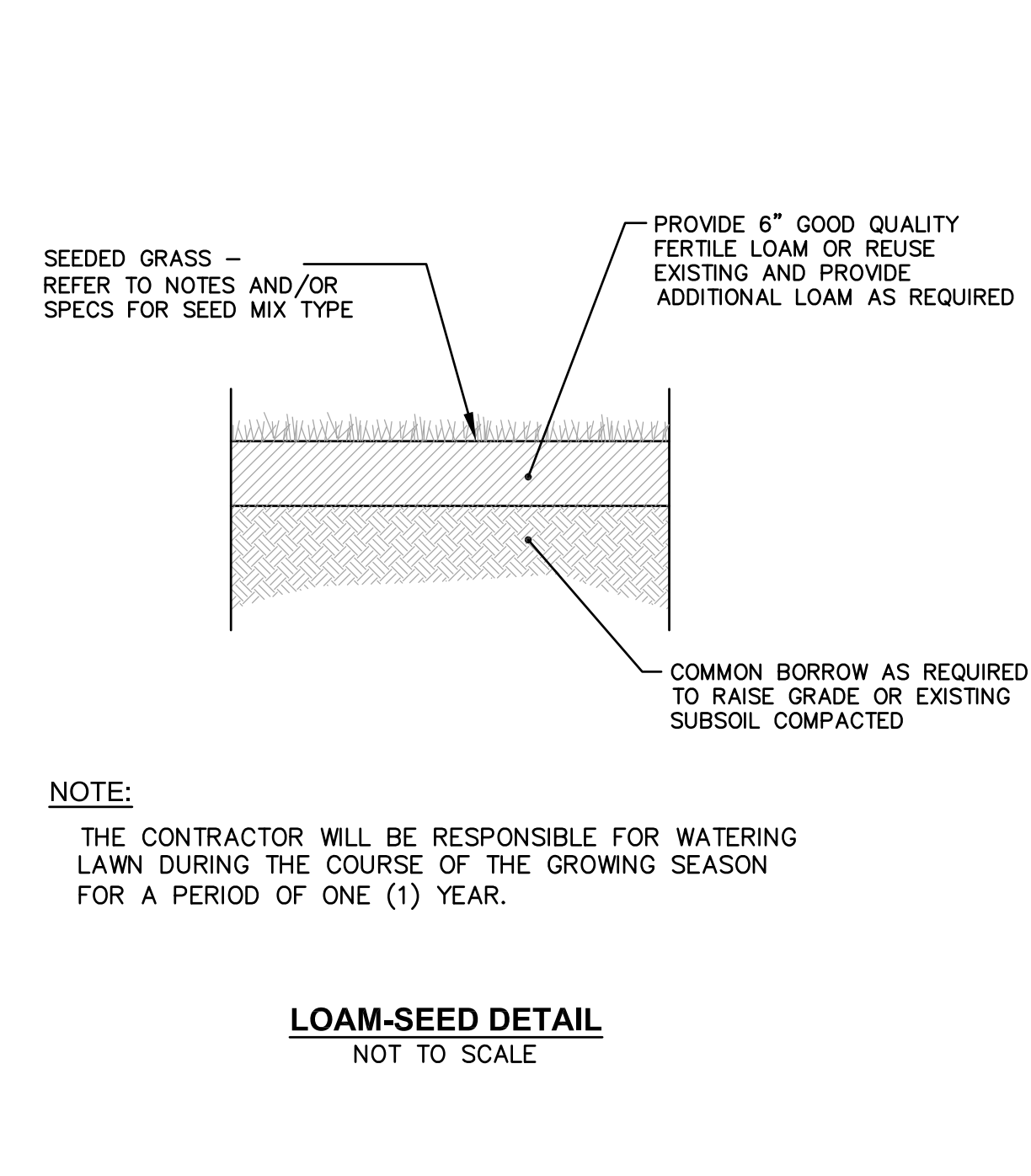
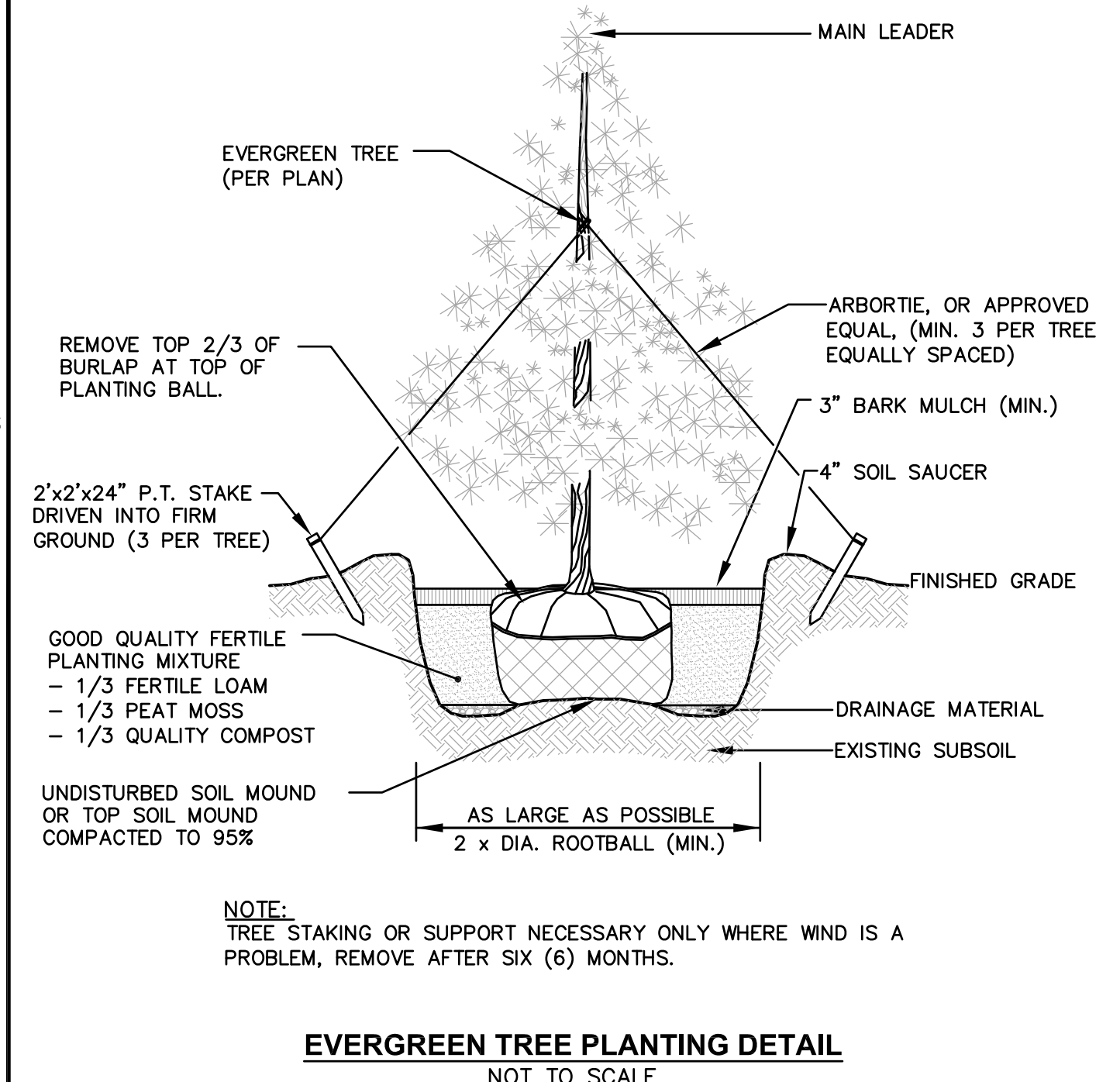
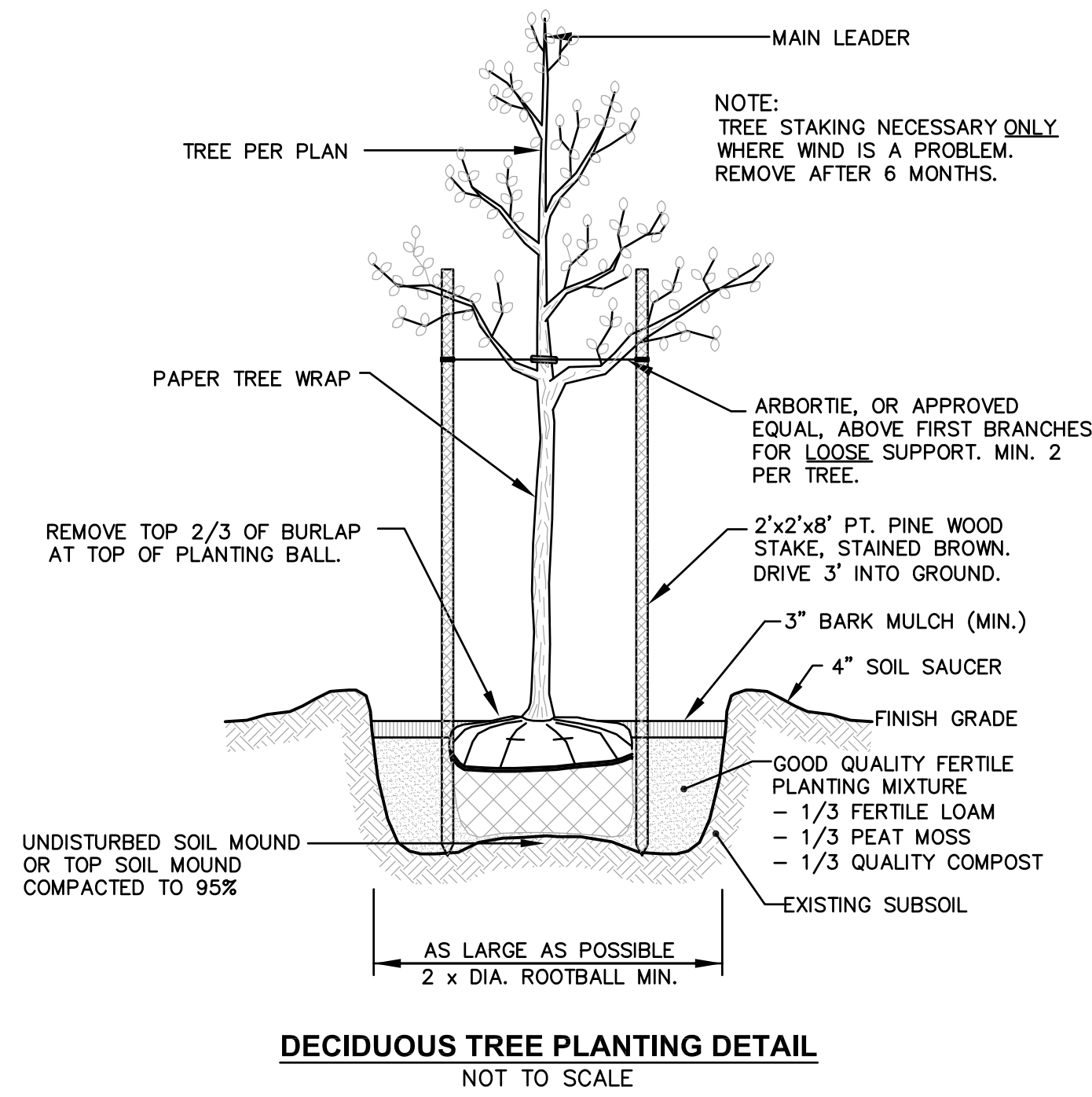
ENDOPHYTE ENHANCED MIX (MOWED AREAS)

TYPE	BY WEIGHT
IMPROVED PER. RYE	30%
TURF TYPE TALL FESCUE	30%
CHEWINGS FESCUE	30%
KY. BLUEGRASS 98/85	10%

APPLICATION RATE = 200 lbs. / ACRE

LANDSCAPE CONSTRUCTION NOTES

1. FURNISH AND INSTALL ALL PLANTS SHOWN ON THE DRAWINGS SPECIFIED HEREIN, AND IN THE QUANTITIES LISTED ON THE PLANT LIST. NO SUBSTITUTIONS WILL BE PERMITTED, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.
2. LOAM TO BE SCREENED, GOOD QUALITY, FERTILE, FREE OF WEEDS, STICKS, STONES OVER 3/4", AND ROOTS. SPREAD TO A MINIMUM OF 6" OVER ALL PLANTED AREAS.
3. BIO-RETENTION AREAS-PLANTING SOIL AND MULCH: LOAMY SAND TO A SANDY LOAM-80% SAND <20% SILT, <2% CLAY. WELL AGED GRADED COMPOST (25% OF SOIL MIX). WELL AGED, AERATED DARK BROWN HARD-WOOD MULCH (AGED 6 MONTHS).
4. NURSERY STOCK SHALL MEET THE STANDARDS OF THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION AS TO GRADING AND QUALITY.
5. ONLY NURSERY-GROWN PLANTS, GROWN IN ACCORDANCE WITH ACCEPTED HORTICULTURAL PRACTICES, AND GROWN UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT FOR AT LEAST TWO (2) YEARS, WILL BE ACCEPTED.
6. CALIPER MEASUREMENTS FOR ALL NEW PLANT STOCK SHALL BE TAKEN SIX (6) INCHES ABOVE GRADE FOR TREES UNDER FOUR (4) INCHES AND TWELVE (12) INCHES ABOVE GRADE FOR TREES OVER FOUR (4) INCHES.
7. ALL TREES SHALL BE A MINIMUM OF SEVEN (7) FEET ABOVE FINISHED GRADE WHEN TREES ARE LOCATED WITHIN VEHICULAR AND PEDESTRIAN TRAVEL WAYS.
8. SET PLANTS PLUMB AND AT A LEVEL THAT AFTER SETTLEMENT THEY BEAR THE SAME RELATION TO THE SURROUNDING GROUND AS THEY BORE TO THE GROUND FROM WHICH THEY WERE DUG. SETTLE BACKFILL MATERIAL FOR PLANTS, THOROUGHLY AND PROPERLY BY FIRING OR TAMPING. FORM SAUCERS, CAPABLE OF HOLDING WATER ABOUT INDIVIDUAL PLANTS, BY PLACING RIDGES OF PLANTING SOIL AROUND EACH.
9. STAKE ALL TREES OVER 5 FEET AS SHOWN ON PLANS. REMOVE STAKES AT THE END OF THE GUARANTEE PERIOD.
10. WATERING: WATER ALL PLANTS WITHIN 48 HOURS AFTER PLANTING. IF CONDITIONS WARRANT, AND AS MANY TIMES THEREAFTER TO SUSTAIN HEALTHY CONDITIONS UNTIL LANDSCAPE INSTALLATION IS COMPLETED. SATURATE THE SOIL AROUND EACH PLANT THOROUGHLY AT EACH WATERING.
11. PRUNING: PRUNE PLANTS, AS DIRECTED BY OWNER, AT THE PROJECT SITE BEFORE OR IMMEDIATELY AFTER PLANTING IN ACCORDANCE WITH THE BEST HORTICULTURAL PRACTICE. CUT BROKEN, DEAD OR INJURED BRANCHES IMMEDIATELY ABOVE THE STEM COLLAR ON THE TRUNK OR LIMB. PRUNE ALL BROKEN ROOTS ON THE PLANT SIDE OF THE BREAK. PAINT CUTS OVER 3/4" IN DIAMETER WITH TREE WOUND PAINT. PRUNING SHALL NOT DEFORM OR OTHERWISE DESTROY THE TYPICAL SHAPE OR SYMMETRY OF THE PLANT, AND SHALL NOT REDUCE THE HEIGHT BY MORE THAN ONE-THIRD. DO NOT CUT BACK THE LEADER OF THE PLANT UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
12. FERTILIZING: FERTILIZE SHRUB BEDS WITH 10-10-10 FERTILIZER BROADCAST PER MANUFACTURER'S RATE. APPLY THE FERTILIZER UNIFORMLY TO THE SURFACE BEDS AND WORK INTO THE UPPER TWO INCHES OF SOIL. FERTILIZE INDIVIDUAL TREES AS PER MANUFACTURER'S INSTRUCTIONS. APPLY A SECOND APPLICATION OF FERTILIZER TO ALL PLANT ITEMS AT THE SAME SPECIFIED RATES OVER THE MULCH AT THE END OF A SIX (6) WEEK PERIOD (WITH AVERAGE RAINFALL).
13. LIMING: ADD POWDERED LIME EVERY SIX MONTHS - OR SLOW RELEASE GRANULAR LIME-AS PER MANUFACTURER'S INSTRUCTION.
14. MULCHING: WITHIN A 72 HOUR PERIOD AFTER PLANTING, COVER ALL PLANTED AREAS WITH TREFLAN HERBICIDE OR EQUIVALENT GRANULAR PRE-EMERGENT HERBICIDE IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS COVER WITH 3" DEPTH OF NATURAL BROWN SHREDDED BARK MULCH. NO RED OR DYED MULCH IS TO BE USED. MULCH SHOULD BE PULLED ONE INCH AWAY FROM PLANT TRUNK OR STEM, AND NOT ALLOWED TO REST DIRECTLY AGAINST THE TRUNK OR STEM.
15. GUARANTEE: ALL PLANTS FURNISHED BY THE CONTRACTOR SHALL BE GUARANTEED FOR A PERIOD OF ONE (1) YEAR AFTER PRELIMINARY INSPECTION AND SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD. ALL DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED AT ONCE BY THE CONTRACTOR, AT NO ADDITIONAL COST TO THE OWNER.



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PLAT MAP 246
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PREPARED FOR:
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C/O BASS, DOHERTY and FINKS, PC
1380 SOLDIERS FIELD ROAD
SUITE 2100
BOSTON, MA 02135-1023

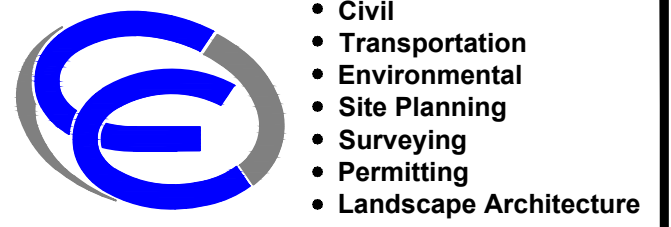
DRAWING TITLE:
LANDSCAPE DETAIL PLAN

DATE: MARCH 2023
SCALE: AS SHOWN
DWG. NAME: 2668-L02-LNDET-R1.dwg

REVISIONS

NUMBER	REMARKS	DATE
1	UTILITIES	7/19/23

DRAWING NUMBER
L2
SHEET: 18 OF 18



Crossman Engineering

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 1380 SOLDIERS FIELD ROAD
 SUITE 2100
 BOSTON, MA 02135-1023

DRAWING TITLE:

SNOW STOCKPILE EXHIBIT

DATE: SEPTEMBER 2023 SCALE: 1"=20'

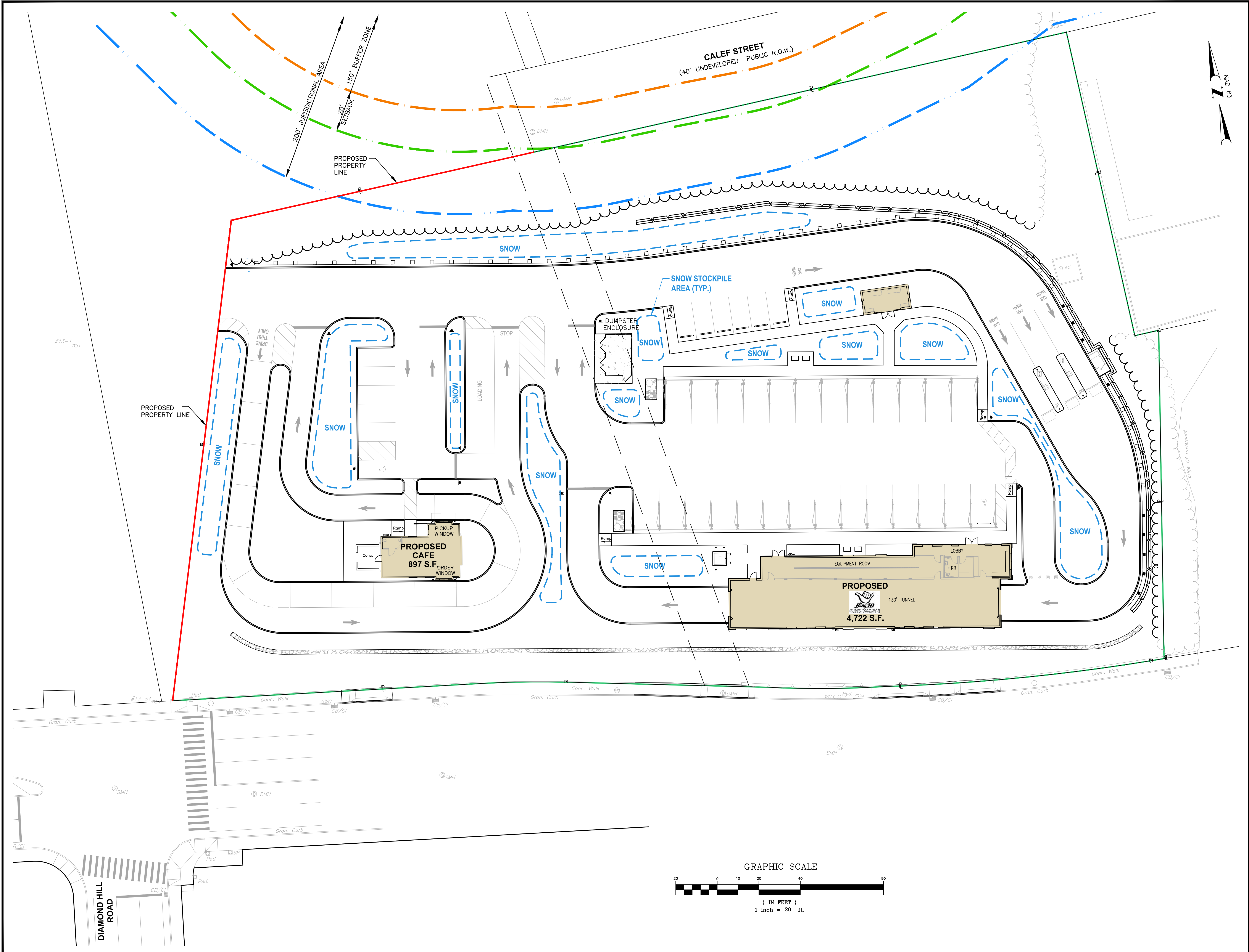
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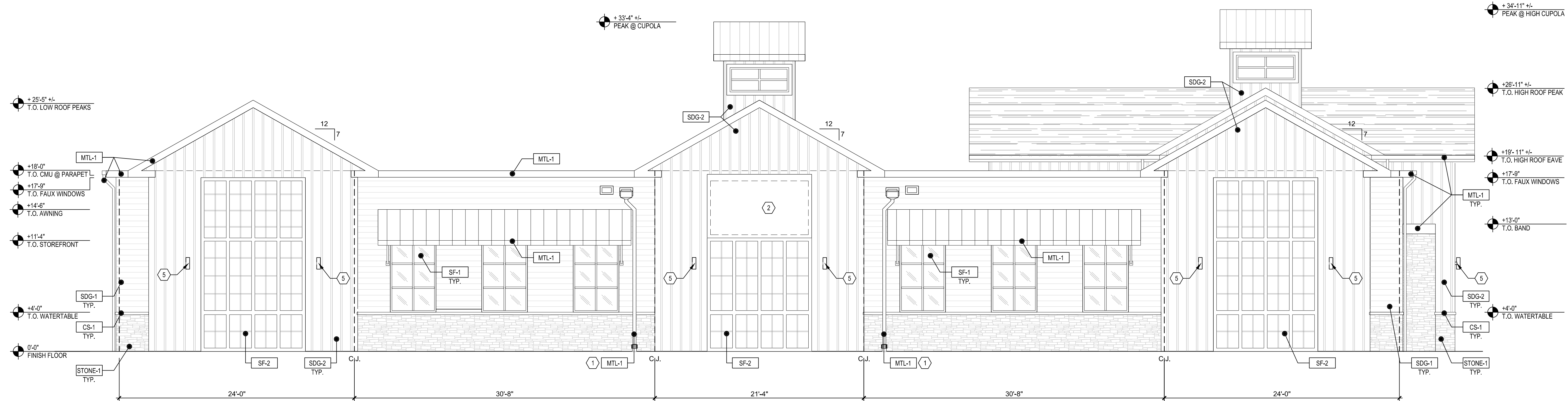
REVISIONS		
NUMBER	REMARKS	DATE

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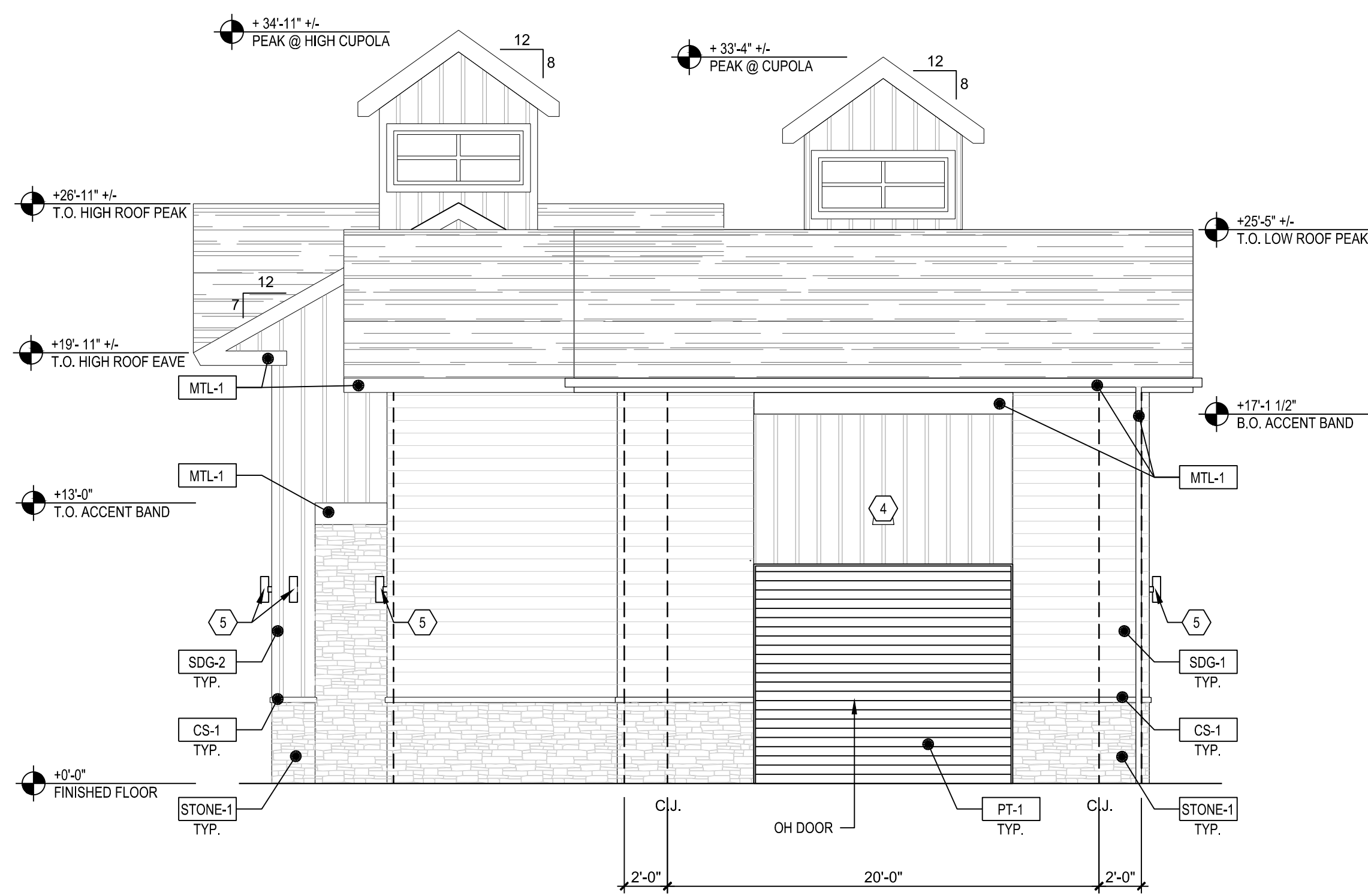
C1

SHEET: 1 OF 1





1 EXTERIOR ELEVATION
SCALE: 3/16"=1'-0"



2 EXTERIOR ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION SHEET NOTES:

- TYPICAL AT ALL SCUPPERS, OVERFLOWS, CONDUCTOR HEADS, AND DOWNSPOUTS
- SIGNAGE UNDER SEPARATE PERMIT. PROVIDE POWER. RE: ELECTRICAL
- ALIGN REVEAL WITH STOREFRONT FRAME / OVERHEAD DOOR OPENING
- EXTERIOR LIGHT FIXTURE (BLACK, TYP.) MOUNT AT 12'-0" AFF. RE: ELECTRICAL
- EXTERIOR LIGHT FIXTURE (BLACK, TYP.) MOUNT AT 8'-6" AFF. RE: ELECTRICAL
- PRE-MANUFACTURED CANOPY. MFR: MAPES OR EQUAL. GO TO PROVIDE SHOP DRAWINGS TO ARCHITECT FOR REVIEW. PROVIDE THREE SUPPORTS AS SHOWN.

EXTERIOR FINISH SCHEDULE

ID	FINISH NAME	MATERIAL APPLICATION	MANUF.
SF-1	STOREFRONT FRAMING	MATCH SW Black = SW6993	-
SF-2	FAUX STOREFRONT FRAMING	MATCH SW Black = SW6993	-
MTL-1	DOWNSPOUTS & COPING	MATCH SW Black = SW6993	-
PT-1	H.M. DOORS/FRAMES, OH DOORS/FRAMES, MISC. METALS	MATCH SW Black = SW6993	SHERWIN WILLIAMS
STONE-1	STONE WAINSCOT BASE & SILL	Black Runde Pro-fit Alpine	CULTURED STONE
CS-1	CAST STONE FOR WATER TABLE	Black Runde Pro-fit Alpine	CULTURED STONE
SDG-1	PLANK LAP SIDING	-	JAMES HARDIE
SDG-2	BOARD AND BATTEN SIDING	-	JAMES HARDIE

HANG 10

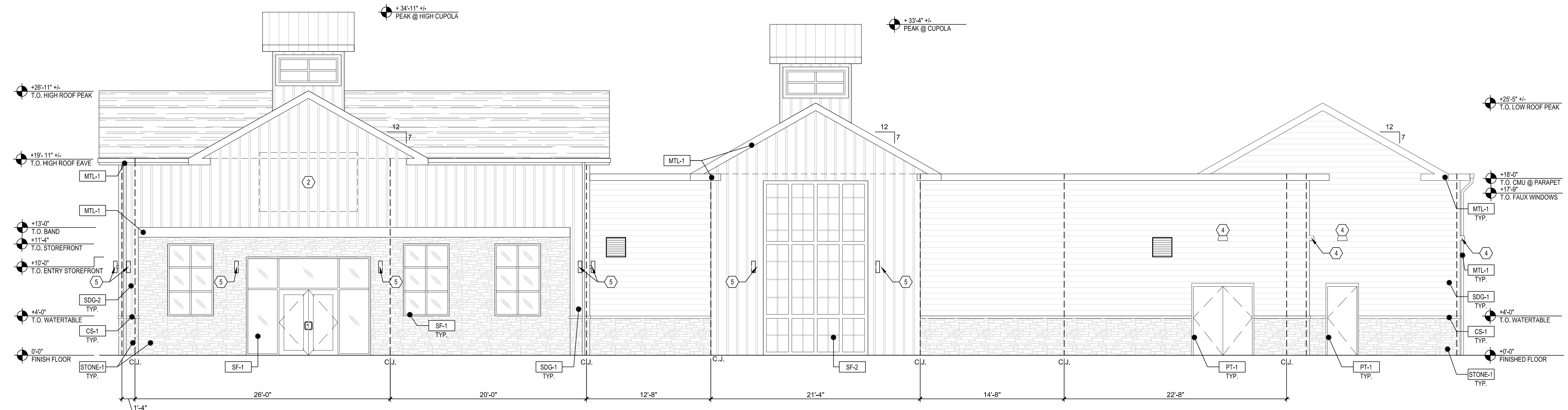
WARWICK, RI
203 CENTERVILLE ROAD WARWICK, RI 02886

Revisions / Submissions		
ID	Description	Date

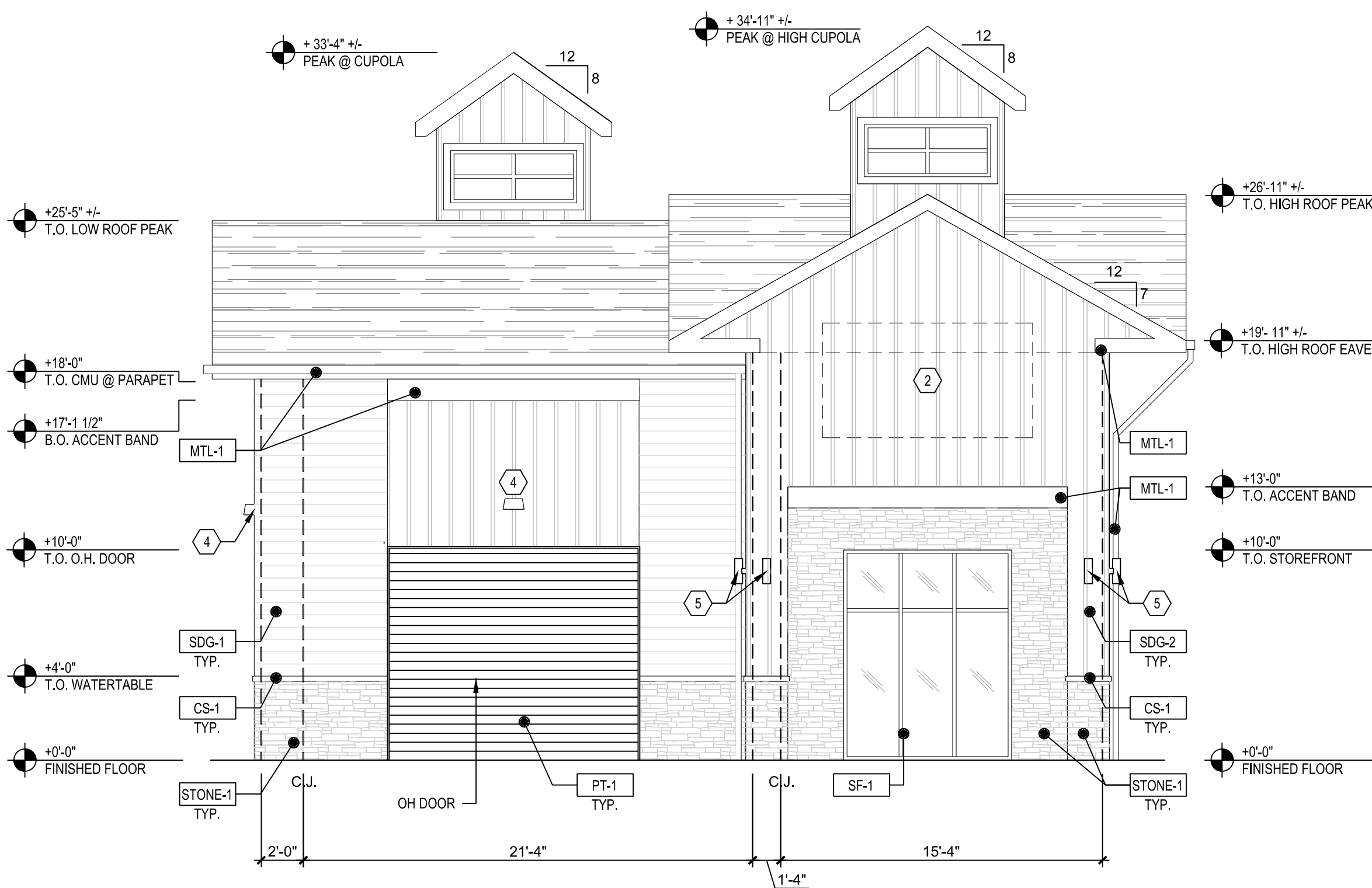
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Project Number: 761269-01
Scale: As Noted
Drawn By: CESO
Checked By: CESO
Date: 08/08/2023
Issue: XX-XX-XXXX

Drawing Title:
EXTERIOR ELEVATIONS

A-300



1 EXTERIOR ELEVATION
SCALE: 3/16"=1'-0"



2 EXTERIOR ELEVATION
SCALE: 3/16"=1'-0"

ELEVATION SHEET NOTES:

- TYPICAL AT ALL SCUPPERS, OVERFLOWS, CONDUCTOR HEADS, AND DOWNSPOUTS
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HANG 10

WARWICK, RI
203 CENTERVILLE ROAD WARWICK, RI 02886

Revisions / Submissions		
ID	Description	Date

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Project Number: 761269-01
Scale: As Noted
Drawn By: CESO
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Drawing Title:

EXTERIOR ELEVATIONS

A-301