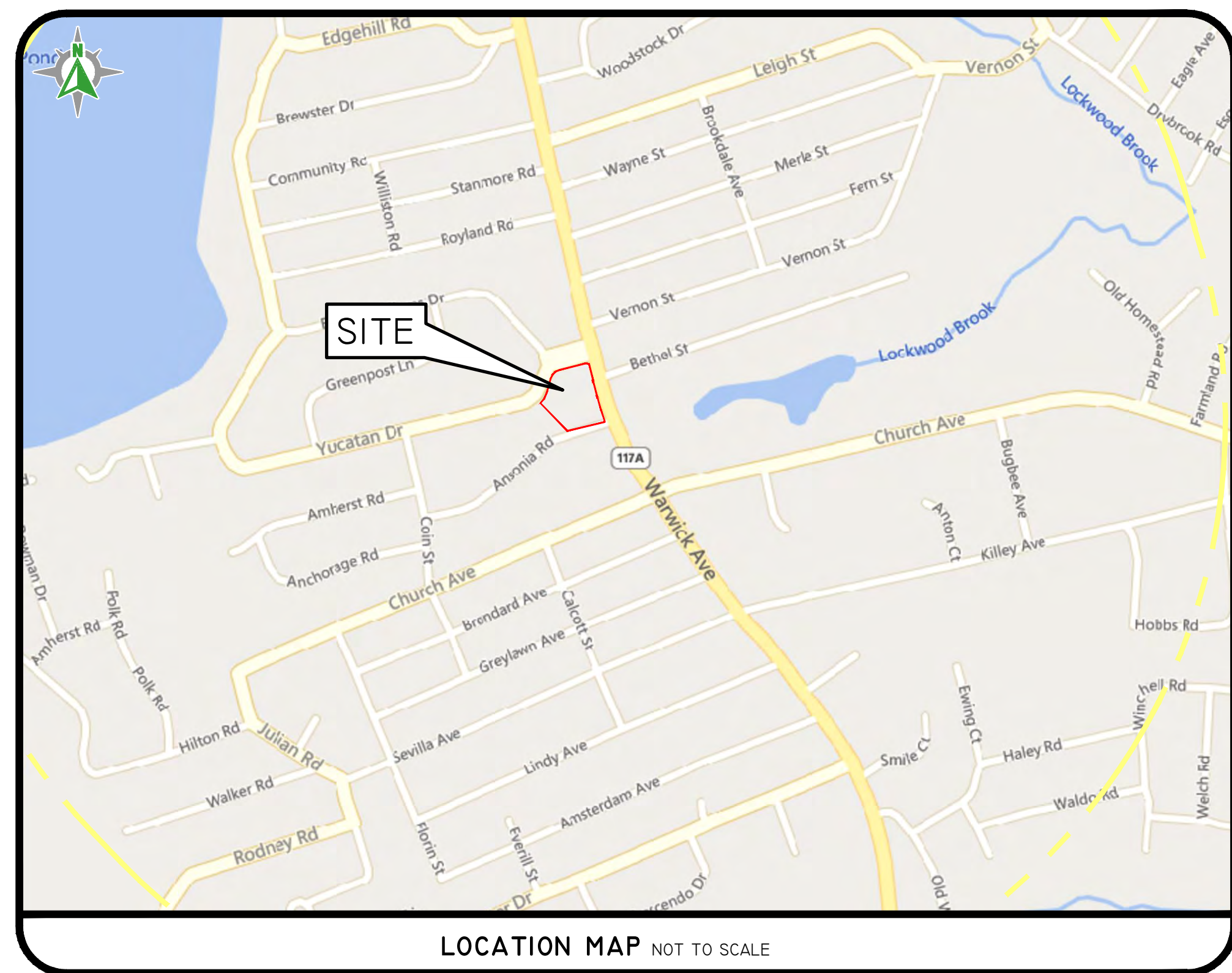


# PRELIMINARY PLAN SUBMISSION

# SEASONS CORNER MARKET

2055 WARWICK AVENUE  
WARWICK, RHODE ISLAND

ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412



LOCATION MAP NOT TO SCALE

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- 9 STORMCRETE DETAILS
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- (1 OF 1) DRIVE-THRU STACKING EXHIBIT
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- (2 OF 4) TRUCK TURN PLAN - 2
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- (2 OF 4) FRONT AND RIGHT SIDE ELEVATION
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- (2 OF 2) LANDSCAPE PLAN - 2 (BY JON CARTER)
- (1 OF 1) PHOTOMETRIC PLAN (BY LSI)
- (1 OF 1) ALTA/LAND TITLE SURVEY (BY E. GREENWICH SURVEYORS, LLC)

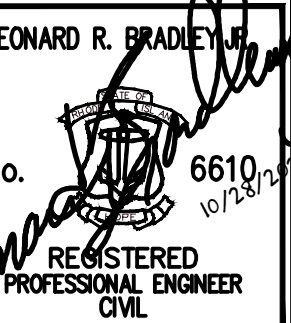
SESC / O&M  
THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

RIDOT  
THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE RI STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.

**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
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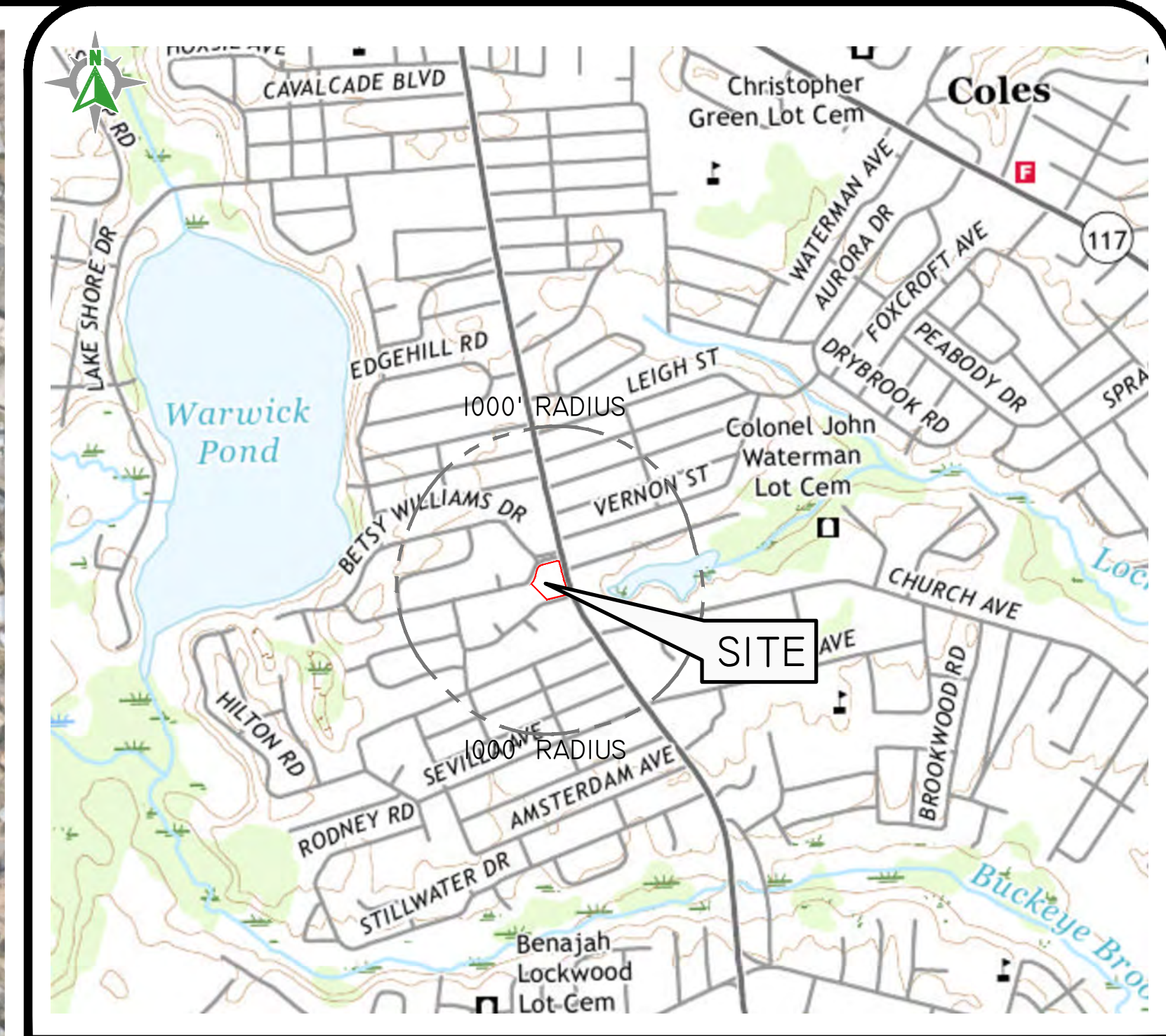


THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ONLY. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO COLLISIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY
1	02/28/2021	PRELIMINARY PLAN SUBMISSION	MAH

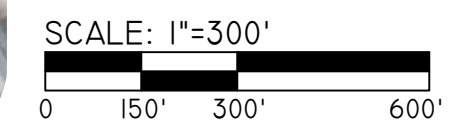
**COVER SHEET**  
**SEASONS CORNER MARKET**  
ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
WARWICK, RHODE ISLAND  
PREPARED FOR:  
**COLBEA ENTERPRISES**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL 401-943-0068

Z:\BENJAMIN\PROJECTS\1565-008 WARWICK AVE 2050 PLAINFIELD DRAWINGS\2506-008-CVAR-DWG.PLOT001B 10/26/2021



USGS MAP SCALE: 1"=1000'

PHOTO OBTAINED FROM NEARMAP.  
DATE OF PHOTOGRAPHY 03/19/2021.



**DiPrete Engineering**  
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 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**

LEONARD R. BRADLEY  
 No. 6610  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.

THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO CLONING OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY:
1	02/28/2021	PRELIMINARY PLAN SUBMISSION	MAH
2	03/19/2021	FINAL SUBMISSION	MAH

**AERIAL & USGS MAP**

**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
**COLBEA ENTERPRISES**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-0068

DE JOB NO: 2506-008 COPYRIGHT 2021 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **2** OF 11

**GENERAL NOTES:**

- THE SITE IS LOCATED ON THE CITY OF WARWICK, RHODE ISLAND ASSESSOR'S PLAT 328 LOTS 408, 409, 410, 411 & 412.
- THE SITE IS APPROXIMATELY 1.18 ACRES AND IS ZONED GB (GENERAL BUSINESS).
- THE OWNER OF THE SITE IS:  
ILLIANO EUGENIA L. TRUSTEE  
ILLIANO EUGENIA L. REVOCABLE TRUST  
1 MEADOWBROOK ROAD  
NORTH PROVIDENCE, RHODE ISLAND, 02911
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 440303032N, MAP REVISED SEPTEMBER 18, 2015.
  - ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. ZONE X ARE AREAS WHERE THERE IS MINIMAL FLOODING.
- THE BOUNDARY LINE AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS 1 BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY EAST GREENWICH SURVEYORS, LLC. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS 1 BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS 1 STANDARD SURVEY PLAN.
- CONTOUR DATA SHOWN ON THIS PLAN CONFORMS TO A T-1 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS BY DIPRETE ENGINEERING.
- ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF WARWICK STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDING PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE DESIGN ENGINEER WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
- THE SITE IS WITHIN A:  
TYPE GB GROUNDWATER (TOWN)  
THE SITE IS NOT WITHIN A:  
GROUNDWATER PROTECTION AREA (RIDEM)  
NATURAL HERITAGE AREAS (RIDEM)  
NARROW RIVER SPECIAL AREA MANAGEMENT PLAN (CRMC)  
SALT PONDS SPECIAL AREA MANAGEMENT PLAN (CRMC)  
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
- THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/ OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
  - SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
    - EROSION CONTROL MEASURES
    - SHORT TERM MAINTENANCE
    - ESTABLISHMENT OF VEGETATIVE COVER
    - CONSTRUCTION POLLUTION PREVENTION
  - SEQUENCE OF CONSTRUCTION
  - STORMWATER OPERATION AND MAINTENANCE PLAN (OSM). THE OSM CONTAINS:
    - LONG TERM MAINTENANCE
    - LONG TERM POLLUTION PREVENTION
- THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.). RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: [HTTP://WWW.DOT.RH.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP](http://www.dot.rh.gov/business/contractorsandconsultants.htm).
- THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
- THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE CITY OF WARWICK'S SPECIFICATIONS AND THE RHODE ISLAND STORMWATER DESIGN AND INSTALLATION STANDARDS MANUAL, WITH ALL REVISIONS.
- THIS SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
- TEST HOLES WERE COMPLETED BY DIPRETE ENGINEERING ON APRIL 26, 2021.
- ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE IT PROPOSES TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE ENGINEER OF RECORD FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/ DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
- THIS PLAN SET MAY REFERENCE AND/ OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/ OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON DIPRETE PLANS IS STRICTLY FOR INFORMATION/ SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, DETAILS BY OTHERS OR THEIR RESPECTIVE DESIGNS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/ DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/ DETAIL BY OTHERS OR ITS DESIGN.

- AS-BUILT NOTES:**
- ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF FIELD LOCATION OF IMPROVEMENTS. SURVEYOR TO PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

**RIDOT NOTES:**

- ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
- CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE ROW PRIOR TO CONSTRUCTION. THE PAPA IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAPA DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
- LATEST TRAFFIC CONTROL MUST CONFORM TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION, INCLUDING ALL REVISIONS.
- NO LANE OR SHOULDER CLOSURES MUST BE PERFORMED WITHIN THE STATE'S RIGHT OF WAY DURING PEAK TRAFFIC HOURS.
- THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE DISCHARGE, AND STORMWATER RUNOFF VOLUME TO THE STATE RIGHT OF WAY FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE WILL BE NO INCREASE IN RUNOFF TO THE STATE RIGHT OF WAY FROM THE PROPOSED DEVELOPMENT.
- WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROWAG. WORK ONSITE WILL CONFORM TO ADAAG UNLESS THE WORK IS IN STATE OWNED LAND.

**SOIL INFORMATION:**

(REFERENCE: SOIL MAPPING OBTAINED FROM RIGIS. SOIL GEOGRAPHIC DATA DEVELOPED BY THE RHODE ISLAND SOIL SURVEY PROGRAM IN PARTNERSHIP WITH THE NATIONAL COOPERATIVE SOIL SURVEY)

SOIL NAME DESCRIPTION  
MU MERRIMAC-URBAN LAND COMPLEX

**AMERICANS WITH DISABILITIES ACT NOTES:**

- ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)" BY THE DEPARTMENT OF JUSTICE (CURRENT EDITION).
- MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
- ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- A MINIMUM 5'x6' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/EGRESSSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). DIPRETE ENGINEERING GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
- FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
- NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
- NOTE THAT THE GRADING/ PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA CONTROLLING STANDARDS. IN THE EVENT OF ANY NON COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVISE IN FINDING A RESOLUTION.

**SOIL EROSION AND SEDIMENTATION CONTROL NOTES:**

- THE CONTRACTOR IS RESPONSIBLE FOR ALL SOIL EROSION AND SEDIMENT CONTROL ON SITE WHICH MUST BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE APPLICABLE REGULATIONS AND AUTHORITY HAVING JURISDICTION. THE CONTRACTOR IS TO NOTIFY THE DESIGN ENGINEER, THE DIRECTOR OF PUBLIC WORKS, THE CITY ENGINEERING PROGRAM MANAGER, AND RHODE ISLAND DEPARTMENT OF ENVIRONMENTAL MANAGEMENT AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL EROSION CONTROL TO BE INSTALLED PER THE LATEST EDITION OF THE RHODE ISLAND SOIL EROSION AND SEDIMENTATION CONTROL (RISESC) HANDBOOK AND THE SOIL EROSION & SEDIMENTATION CONTROL PLANS. NOTE: SOIL EROSION AND SEDIMENT CONTROL SHOWN ON THESE PLANS ARE THE MINIMUM QUANTITY/ TYPE OF EROSION CONTROL DEVICES AND MATERIALS DEEMED REQUIRED BY DIPRETE ENGINEERING TO MEET THE OBJECTIVES OF THE RISESC HANDBOOK, BUT IS CONSIDERED A GUIDE ONLY. ADDITIONAL MEASURES/ ALTERNATE CONFIGURATIONS MAY BE REQUIRED IN ORDER TO MEET THE RISESC PLAN BASED ON FACTORS INCLUDING (BUT NOT LIMITED TO) SITE PARAMETERS, WEATHER, INSPECTIONS AND UNIQUE FEATURES. THE SESC WILL CONTINUE TO EVOLVE THROUGHOUT CONSTRUCTION/PHASES. PURSUANT TO NOTE I ABOVE, SESC REMAINS THE RESPONSIBILITY OF THE CONTRACTOR UNTIL THE SITE IS FULLY STABILIZED AND/ OR SESC RESPONSIBILITIES ARE ASSUMED BY THE OWNER IN WRITING.
- INLET PROTECTION IS TO BE INSTALLED ON ALL CATCH BASINS ONCE CONSTRUCTED.
- IF CONCRETE TRUCKS ARE WASHED OUT ON SITE, ALL WASHOUT MUST BE COMPLETED IN THE DESIGNATED CONCRETE WASHOUT AREA.

**DEMOLITION NOTES:**

- CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTOR TO PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCE DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
- ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN WHICH ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (RSD) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HERE IN. RSD MATERIALS MUST INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, GRAVEL, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
- IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
- CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
- ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
- CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
- INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

**TRAFFIC NOTES:**

- ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
- DURING CONSTRUCTION, TRAFFIC CONES ARE TO BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
- DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
- ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC (MUTCD) LATEST EDITION AND SUBSEQUENT ADDENDA.
- TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

**SAFETY NOTES:**

- ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF FIELD LOCATION OF IMPROVEMENTS. SURVEYOR TO PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

**WATER SERVICE NOTES:**

- ALL SANITARY SEWER PIPING TO BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST COMPLY WITH THE WARWICK SEWER AUTHORITY RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.

**WATER TREATMENT NOTES:**

- CONTRACTOR MUST COMPLY WITH THE WARWICK WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ABSULT PER WARWICK WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY WARWICK WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER TO ENSURE INSPECTOR IS ON SITE.

**WATER DISTRIBUTION NOTES:**

- PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASUREMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

**WATER METERING NOTES:**

- CONTRACTOR MUST COMPLY WITH THE WARWICK WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ABSULT PER WARWICK WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY WARWICK WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER TO ENSURE INSPECTOR IS ON SITE.

**GRADING AND UTILITY NOTES:**

- CONSTRUCTION TO COMMENCE FALL 2021 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
- THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
- THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER ARE DIRECTED AWAY FROM THE STRUCTURE.
- PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AND FINISH GRADING WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS TO BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
- ALL CUT AND FILL AREAS ARE TO BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER WITH TESTING AND CERTIFICATION TO BE PROVIDED TO THE APPLICANT AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
- NO STOCKPILING OF MATERIAL TO BE LOCATED IN THE RIGHT OF WAY AND NO OPEN TRENCHES ARE TO BE LEFT OVERNIGHT.
- ALL LOAM IN DISTURBED AREAS TO BE STOCKPILED FOR FUTURE USE. ALL STOCKPILED LOAM MUST BE REUSED ONSITE.
- ALL EXCESS SOIL, TREES, ROCKS, Boulders, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN AN ACCEPTABLE MANNER AT AN APPROVED LOCATION.
- THE SITE WILL HAVE 3' BITUMINOUS BERM AND/OR 6' CONCRETE CURBING. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE APPROPRIATE GRADING/ REVEAL. CONTRACTOR TO INSTALL CURBING WITH APPROPRIATE REVEAL UNLESS OTHERWISE NOTED.
- NO STUMP DUMPS ARE PROPOSED ON SITE.
- ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST NOTIFY THE DIPRETE ENGINEERING OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION IMMEDIATELY. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND DIPRETE ENGINEERING, IS DONE AT THE CONTRACTOR'S RISK.
- CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
- IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS ARE TO BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.

**DRAINAGE NOTES:**

- ALL DRAINAGE PIPING TO BE HIGH-DENSITY POLYETHYLENE (HDPE) WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL STORMWATER PIPE WITHIN THE STATE'S RIGHT OF WAY TO BE REINFORCED CONCRETE PIPE (RCP) PIPE.
- DRAINAGE STRUCTURES TO BE AS FOLLOWS UNLESS OTHERWISE NOTED ON PLANS:
  - CATCH BASINS ALONG CURBING TO BE RIDOT STD. 4.4.0, TYPE F FRAME, 4' DIAMETER WITH APRON STONE.
  - CATCH BASINS NOT ALONG CURBING TO BE RIDOT STD 4.4.0, 4' DIAMETER
  - CATCH BASINS TO HAVE 3' SUMPS WITHOUT WEAPHOLES.
  - SINGLE FRAME CATCHBASIN GRATES TO BE RIDOT STD. 6.3.2
  - MANHOLES TO BE RIDOT STD. 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED
  - DRAINAGE MANHOLE COVERS TO BE RIDOT STD 6.2.1
  - DROP INLETS TO BE RIDOT STD. 4.5.0, 4.5.1 OR 4.5.2.
  - APRON STONE, WHERE REQUIRED, TO BE RIDOT STD 7.1.7 OR 7.1.8.

**ALL DRAINAGE STRUCTURES MUST BE WATERTIGHT.**

DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR CONSTRUCTION. ALL FITTINGS & PIPE SLOPES TO TIE INTO MAIN TRUNK LINE TO BE FIELD FIT BY CONTRACTOR.

**WATER TREATMENT NOTES:**

- CONTRACTOR MUST COMPLY WITH THE WARWICK WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ABSULT PER WARWICK WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY WARWICK WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER TO ENSURE INSPECTOR IS ON SITE.

**WATER DISTRIBUTION NOTES:**

- PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY. OWNER & CONTRACTOR TO COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK TO BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO, POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASUREMENTS AND CONDUITS. CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE, ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND WILL BE COORDINATED WITH NATIONAL GRID PRIOR TO CONSTRUCTION.

**WATER METERING NOTES:**

- CONTRACTOR MUST COMPLY WITH THE WARWICK WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ABSULT PER WARWICK WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY WARWICK WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER TO ENSURE INSPECTOR IS ON SITE.

**WATER TREATMENT NOTES:**

- CONTRACTOR MUST COMPLY WITH THE WARWICK WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ABSULT PER WARWICK WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY WARWICK WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER TO ENSURE INSPECTOR IS ON SITE.

**WATER TREATMENT NOTES:**

- CONTRACTOR MUST COMPLY WITH THE WARWICK WATER REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOWS. ALL COMPONENTS OF THE WATER SYSTEM TO BE ABSULT PER WARWICK WATER REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM TO BE INSPECTED BY WARWICK WATER. CONTRACTOR TO COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER TO ENSURE INSPECTOR IS ON SITE.

**ABBREVIATIONS LEGEND**

ADA	AMERICANS WITH DISABILITY ACT	N/F	NOW OR FORMERLY
AHJ	AUTHORITY HAVING JURISDICTION	OHW	OVERHEAD WIRE
AP	ASSESSOR'S PLAT	PE	POLYETHYLENE
ARCH	ARCHITECT	P	PROPERTY LINE
BC	BOTTOM OF CURB	PR	PROPOSED
BT	BOT OF TRESTLE	PVC	POLYVINYL CHLORIDE
BIT	BITUMINOUS (BERM)	R	RADIUS
BIO	BIORETENTION	RBD	REMOVE AND DISPOSE
BS	BASEMENT SLAB ELEVATION	RCP	REINFORCED CONCRETE PIPE
BW	FINISHED GRADE AT BOTTOM OF WALL	RHB	RHODE ISLAND
CB	CATCH BASIN	RL	HIGHWAY BOUND
(C)	CALCULATED	RL	RIGHT LEADER
CL	CENTERLINE	ROW	RIGHT-OF-WAY
(CA)	CHORD ANGLE	S	SLOPE
CLDIP	CONCRETE LINED DUCTILE IRON PIPE	SD	SUBDRAIN
CO	CLEAN OUT	SED	SEDIMENT FOREBAY
CONC	CONCRETE	SF	SQUARE FOOT
(D)	DEED	SFL	STATE FREEWAY LINE
DCB	DOUBLE CATCH BASIN	SFM	SEWER FORCE MAIN
DI	DROP INLET	SG	SLAB ON GRADE ELEVATION
DMH	DRAINAGE MANHOLE	SHL	STATE HIGHWAY LINE
DP	DETENTION POND	SMH	SEWER MANHOLE
ELEV	ELEVATION	SNDF	SAND FILTER
EOP	EDGE OF PAVEMENT	SS	SIDE SLOPE
ESC	EROSION AND SEDIMENT CONTROL	STA	STATION
EX	EXISTING	TC	TOP OF CURB
FES	FLARED END SECTION	TD	TRENCH DRAIN
FFE	FINISH FLOOR ELEVATION	TF	TOP OF FOUNDATION
GS	GARAGE SLAB ELEVATION	TRANS	TRANSITION
GW	GROUND WATER TABLE	TW	TOP OF WALL (FINISHED)
HW	HEADWALL		GRADE AT TOP OF WALL)
HC	HIGH CAPACITY CATCH BASIN GRATE	Typ	TYPICAL
HOPE	HIGH DENSITY POLYETHYLENE	UDS	UNDERGROUND
ID	INLINE DRAIN	UIS	DETENTION SYSTEM
INV	INVERT	UIS	UNDERGROUND
IP	INFILTRATION POND		INFILTRATION SYSTEM
LARCH	LANDSCAPE ARCHITECT	UP	UTILITY POLE
LF	LINEAR FEET	WQ	WALKOUT ELEVATION
LOD	LIMIT OF DISTURBANCE	WQ	WATER QUALITY
LP	LIGHT POLE		
(M)	MEASURED		
MEP	MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER		

**SITE CALLOUTS LEGEND**

(7.1.0)	RIDOT STD PRECAST CONCRETE CURB
(7.1.1)	RIDOT STD 3'-0" PRECAST CONCRETE TRANSITION CURB
(7.5.1)	RIDOT STD BITUMINOUS ASPHALT BERM
(7.6.0)	RIDOT STD CURB SETTING DETAIL
(E0.1.0)	PAVEMENT MARKINGS ARROWS AND ONLY
(4D.V)	4" EPOXY RESIN PAVEMENT MARKINGS- DOUBLE YELLOW
(4W)	4" PAINTED WHITE MARKINGS
(4W.45)	4" WHITE STRIPING 2' ON CENTER AT 45°
(6W)	6" WHITE EPOXY RESIN PAVEMENT MARKINGS
(2W)	STOP LINE (REFERENCE MUTCD SECTION 3B.16)
ADAS	ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS.
ADAR	ADA CURB RAMP MUST COMPLY WITH ALL ADA REGULATIONS AND REQUIREMENTS.
ADV	ADA ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS.
(4S.1.0)	RIDOT STD CEMENT CONCRETE SIDEWALK
(4S.4.0)	RIDOT STD DRIVEWAY DEVELOPMENT FOR 3'-0" TRANSITION CURB
(4S.5.0)	RIDOT STD CEMENT CONCRETE DRIVEWAYS

**EXISTING LEGEND**  
(AS SHOWN ON PROPOSED PLANS)  
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	NAIL FOUND/SET
	DRILL HOLE FOUND/SET
	PROPERTY LINE
	ASSESSORS LINE
	BUILDING
	BRUSHLINE
	TREELINE
	GUARDRAIL
	FENCE
	RETAINING WALL
	STONE WALL
	MINOR CONTOUR LINE
	MAJOR CONTOUR LINE
	WATER LINE
	SEWER LINE
	SEWER FORCE MAIN
	GAS LINE
	ELECTRIC LINE
	OVERHEAD WIRES
	DRAINAGE LINE
	SOILS LINES
	50' PERIMETER WETLAND
	100' RIVERBANK WETLAND
	200' RIVERBANK WETLAND
	FEMA BOUNDARY
	WETLAND LINE & FLAG
	STATE HIGHWAY LINE
	STATE FREEWAY LINE
	GROUNDWATER OVERLAY
	GROUNDWATER RECHARGE AREA
	GROUNDWATER RESERVOIR
	NATURAL HERITAGE
	COMMUNITY WELLHEAD PROTECTION
	NON-COMMUNITY WELLHEAD PROTECTION

**PROPOSED LEGEND**  
NOT ALL ITEMS SHOWN WILL APPEAR ON PLANS

	PROPERTY LINE



**LEGEND**

- W WATER LINE
- S SEWER LINE
- SFM SEWER FORCE MAIN
- G GAS LINE
- E ELECTRIC LINE
- OHW OVERHEAD WIRES
- D DRAINAGE LINE
- MCL MINOR CONTOUR LINE
- MCL MAJOR CONTOUR LINE
- PL PROPERTY LINE
- AL ASSESSORS LINE
- TL TREETLINE
- GR GUARDRAIL
- F FENCE
- RW RETAINING WALL
- SW STONE WALL
- 123/234 DEED BOOK/PAGE
- AP ASSESSOR'S PLAT
- HC HANDICAPPED
- N/F NOW OR FORMERLY
- LC LANDSCAPING
- (R) RECORD
- (CA) CHORD ANGLE
- △ NAIL/SPIKE
- DRILL HOLE
- BOUND
- SIGN POST
- SEWER MANHOLE
- HYDRANT
- IRRIGATION VALVE
- UNKNOWN MANHOLE
- BOLLARD
- SOIL EVALUATION
- CATCH BASIN
- DOUBLE CATCH BASIN
- WATER VALVE
- GAS VALVE
- △ WETLAND FLAG
- DRAINAGE MANHOLE
- FLARED END SECTION
- GUY POLE
- ELECTRIC MANHOLE
- UTILITY/POWER POLE
- LIGHTPOST
- WELL
- MONITORING WELL
- BENCH MARK
- TREE



LOCUS MAP Not To Scale

**GENERAL NOTES**

1. THE PARCEL IS FOUND ON ASSESSOR'S PLAT 328, LOTS 408, 409, 410, 411, & 412 IN THE CITY OF WARWICK, KENT COUNTY, RHODE ISLAND.
2. THE OWNER PER DEED BOOK 6068, PAGE 267 IS EUGENIA L. ILLIANO.
3. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 440030132H, MAP REVISED SEPTEMBER 18, 2013. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
4. THE PARCEL IS ZONED GB BASED ON THE CITY OF WARWICK ONLINE GIS. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
5. THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
6. FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON JUNE 15, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
7. ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.
8. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. DIPRETE ENGINEERING IS NOT RESPONSIBLE FOR ANY UNKNOWN OR UNRECORDED EASEMENTS, DEEDS OR CLAIMS THAT A TITLE REPORT WOULD DISCLOSE.
9. NOT A BOUNDARY SURVEY.

**PLAN REFERENCES**

1. BETSEY-WILLIAMS-PLAT, WARWICK, RHODE ISLAND BELONGING TO ATLANTIC REALTY CO. INC., SCALE 1"=60', DATED JANUARY, 1948, PLAN BY PETER V. CIPOLLA, ENGR., RECORDED ON PLAT CARD 427.
2. RANCH ACRES, WARWICK, R.I. BELONGING TO PILGRIM LAND DEVELOPERS, INC. SCALE 1"=80', DATED JANUARY, 1956, PLAN BY WATERMAN ENGINEERING CO., RECORDED ON PLAT CARD 511.
3. ALTA/NPS LAND TITLE SURVEY PREPARED FOR ADLER POLLOCK & SHEEHAN P.C., LOCATION 2055 WARWICK AVENUE, WARWICK, RHODE ISLAND, SCALE 1"=20', DATED APRIL 12, 2021, PLAN BY E. GREENWICH SURVEYORS, LLC.

**UTILITY NOTES**

1. ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL C, AS DEFINED IN CLASSIC STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
2. ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
3. PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
4. DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.
5. UTILITY PLAN REFERENCES
  - 5.1. WATER INFORMATION OBTAINED FROM PAINT LINES LOCATED BY DIPRETE ENGINEERING (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY). RESEARCH NOT RECEIVED AT THE TIME OF THE SURVEY.
  - 5.2. SEWER INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY) AND FROM THE CITY OF WARWICK.
  - 5.3. GAS INFORMATION OBTAINED FROM FROM PAINT LINES LOCATED BY DIPRETE ENGINEERING (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY). RESEARCH NOT RECEIVED AT THE TIME OF THE SURVEY.
  - 5.4. ELECTRIC INFORMATION OBTAINED FROM FROM PAINT LINES LOCATED BY DIPRETE ENGINEERING (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY).
  - 5.5. DRAINAGE INFORMATION OBTAINED ON THE GROUND BY DIPRETE ENGINEERING. (SEE GENERAL NOTES FOR DATE OF FIELD SURVEY)

**LIST OF POSSIBLE ENCROACHMENTS:**

- △ CHAIN LINK FENCE OVER PROPERTY LINE

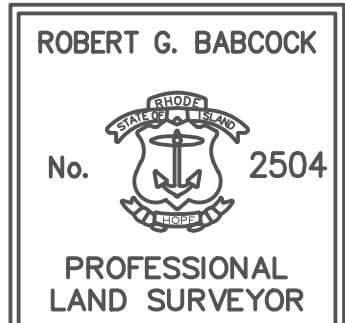
**SURVEYOR'S CERTIFICATE**

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

• COMPILATION PLAN (NOT A BOUNDARY SURVEY) CLASS IV  
 • TOPOGRAPHIC SURVEY CLASS T-2

THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITY FIELD SURVEY MAY DISCLOSE.

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: COMPILATION PLAN WITH TOPOGRAPHY.



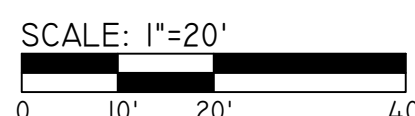
ROBERT G. BABCOCK  
 6/25/21

**THIS PLAN SHOULD BE INDEXED BY THE FOLLOWING STREETS:**

- WARWICK AVENUE (ROUTE 117)
- BETSEY WILLIAMS DRIVE
- YUCATAN DRIVE
- ANSONIA ROAD

**LINE TABLE**

LINE	BEARING	LENGTH
L1	S59°04'33"W	2.09'
L2	S14°13'29"E	5.00'
L3	N59°04'33"E	2.09'
L4	S75°46'31"W	2.00'
L5	S14°13'29"E	5.00'
L6	N75°46'31"E	2.00'
L7	S14°13'29"E	3.63'



**Diprete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

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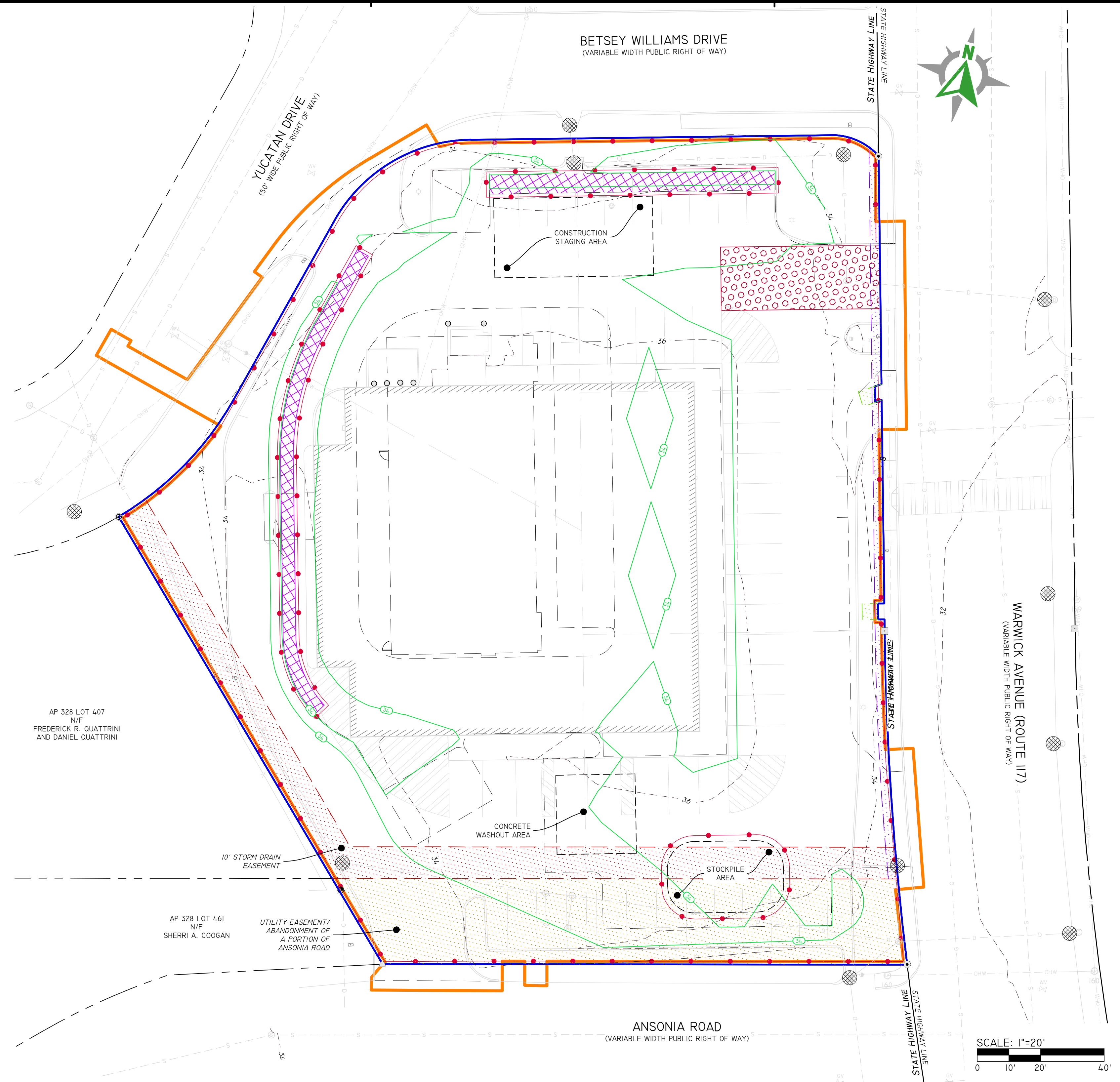
**EXISTING CONDITIONS SURVEY**

**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 328 LOTS 408, 409, 410, 411 & 412  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
**COLBEA ENTERPRISES**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL: (401) 943-5005

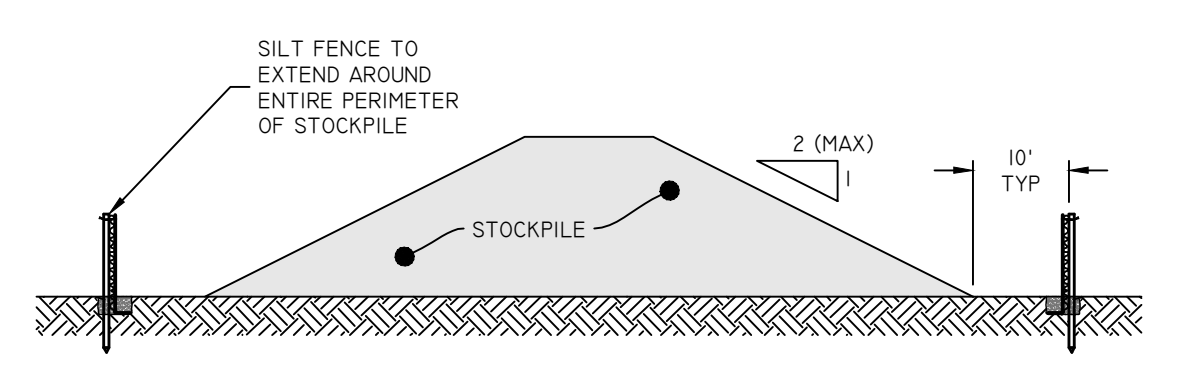
DE JOB NO.: ERS-008-COMPR-2021 BY DIPRETE ENGINEERING ASSOCIATES, INC.

Z:\DEPARTMENT\PROJECTS\2562-008 WARWICK AVE 2050\AUTOCAD DRAWINGS\2562-008-PLAN.DWG PLOTTED: 10/26/2021

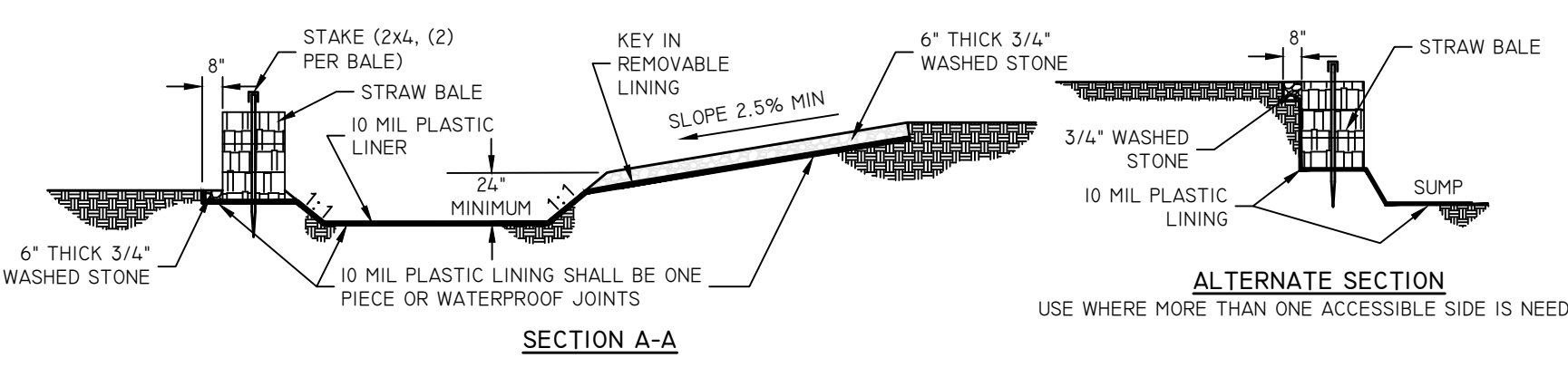
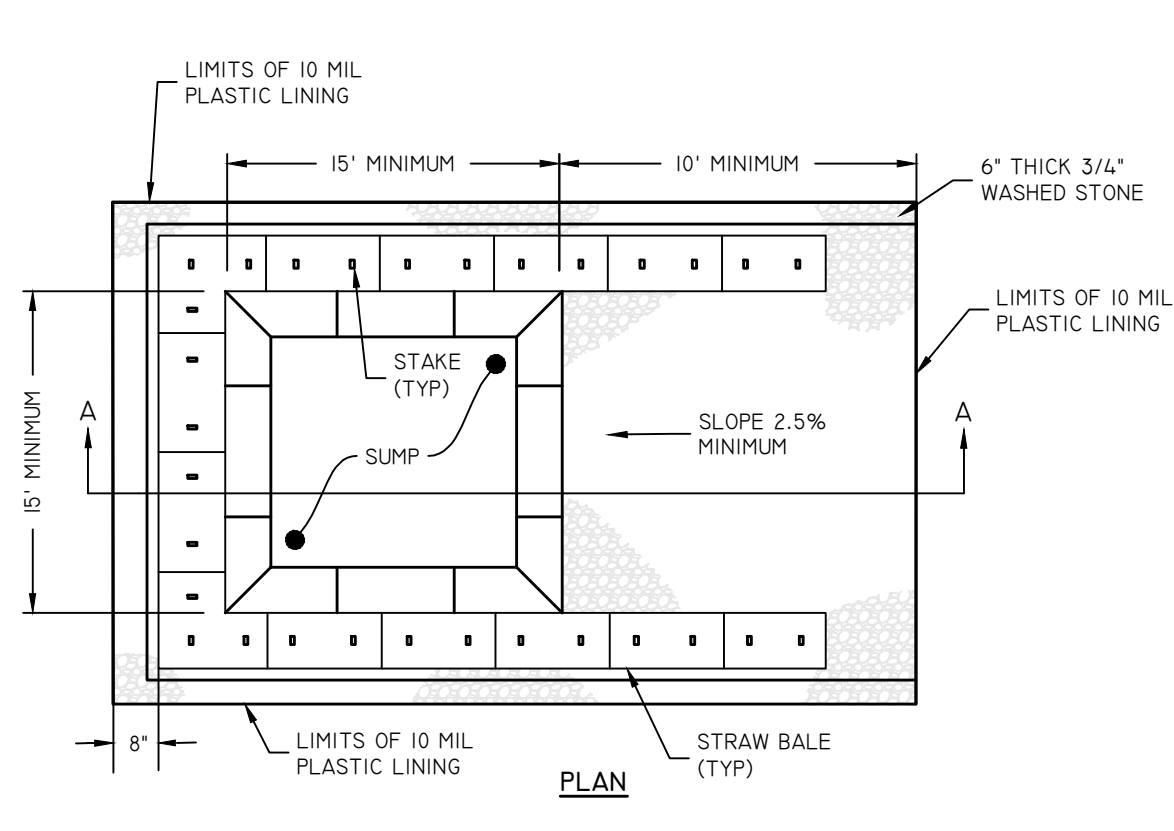


**SOIL EROSION CONTROL LEGEND**

- EROSION CONTROL (COMPOST SOCK, SILT FENCE (RI STD 9.2.0, OR APPROVED EQUAL))
- LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
- LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
- CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
- INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
- FINAL CONTOUR GRADE
- INLET SEDIMENT CONTROL



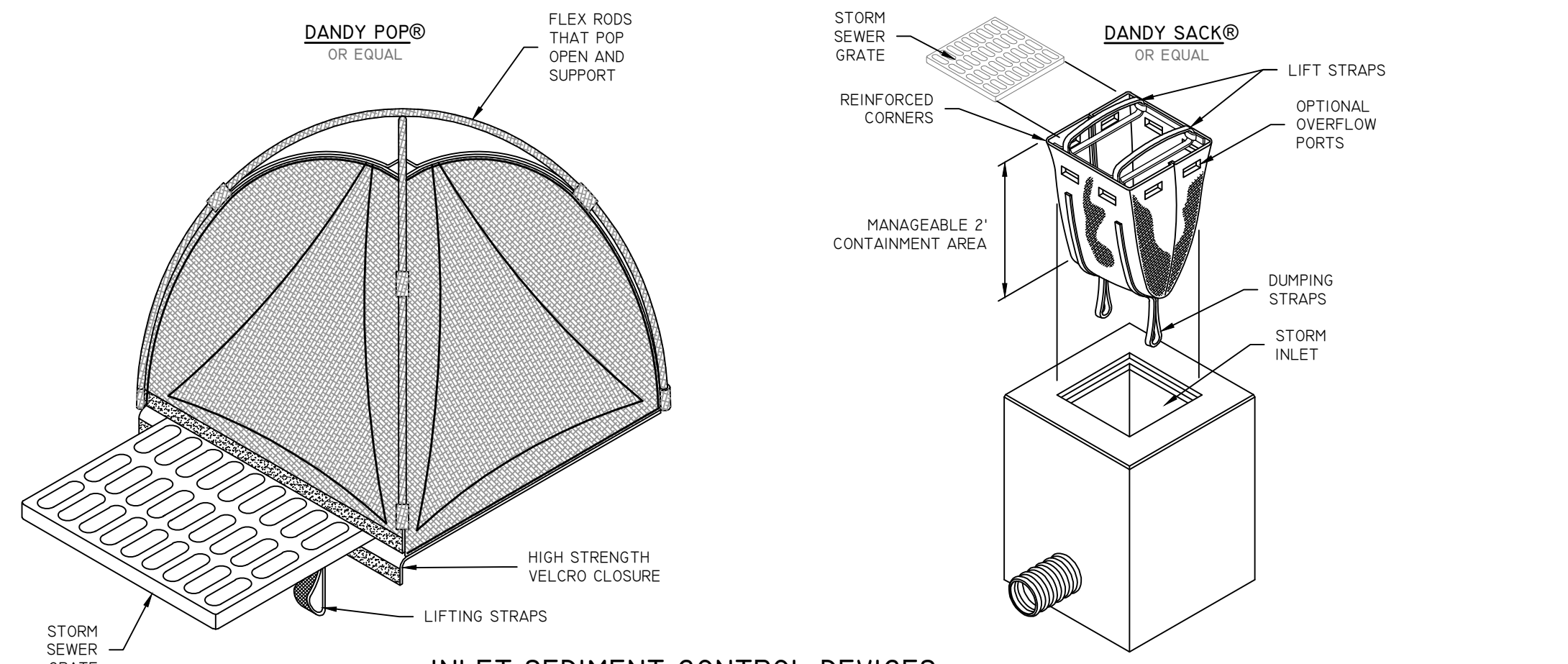
- NOTES:**
- ALL STOCKPILES MUST BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH SECTION 3 'STOCKPILE AND STAGING AREA MANAGEMENT' OF THE RHODE ISLAND SOIL EROSION AND SEDIMENT CONTROL HANDBOOK (CURRENT EDITION).
  - DIVERT ALL STORMWATER AWAY FROM STOCKPILES.
  - SOIL STOCKPILES THAT ARE NOT TO BE USED WITHIN 30 DAYS MUST BE SEEDED AND MULCHED IMMEDIATELY AFTER FORMATION OF THE STOCKPILE WITH SEED MIX COMPATIBLE WITH THE SOIL TYPE.
  - STOCKPILE AND SILT FENCE MUST BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER RAIN EVENTS IN EXCESS OF 1/2" OF RAINFALL. REPAIR/REPLACE SILT FENCE (AND STOCKPILE COVERS WHERE APPLICABLE) AS NEEDED TO KEEP THEM FUNCTIONING ADEQUATELY.
  - SEDIMENT TRAPPED BY SILT FENCES MUST BE REMOVED AND PROPERLY DISPOSED OF WHENEVER SIGNIFICANT ACCUMULATION OCCURS.



- NOTES:**
- PIT IS SPECIFICALLY DESIGNATED, DIKED AND IMPERVIOUS CONTAINMENT TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
  - WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
  - FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12."
  - FACILITY SHALL NOT BE FILLED BEYOND 95% CAPACITY UNLESS A NEW FACILITY IS CONSTRUCTED.
  - SAWCUT PORTLAND CEMENT CONCRETE, RESIDUE FROM SAWCUT AND GRINDING TO BE DISPOSED OF IN THE PIT.
  - CONCRETE WASHOUTS SHALL BE LOCATED A MINIMUM OF 100' FROM DRAINAGE WAYS, INLETS, AND SURFACE WATERS.
  - MANUFACTURED CONCRETE WASHOUT DEVICES MAY BE USED IF REMOVED FROM THE SITE WHEN 95% FULL CAPACITY.

WASHOUT SIGN

**CONCRETE WASHOUT AREA**  
NOT TO SCALE



**INLET SEDIMENT CONTROL DEVICES**  
NOT TO SCALE

**DiPrete Engineering**  
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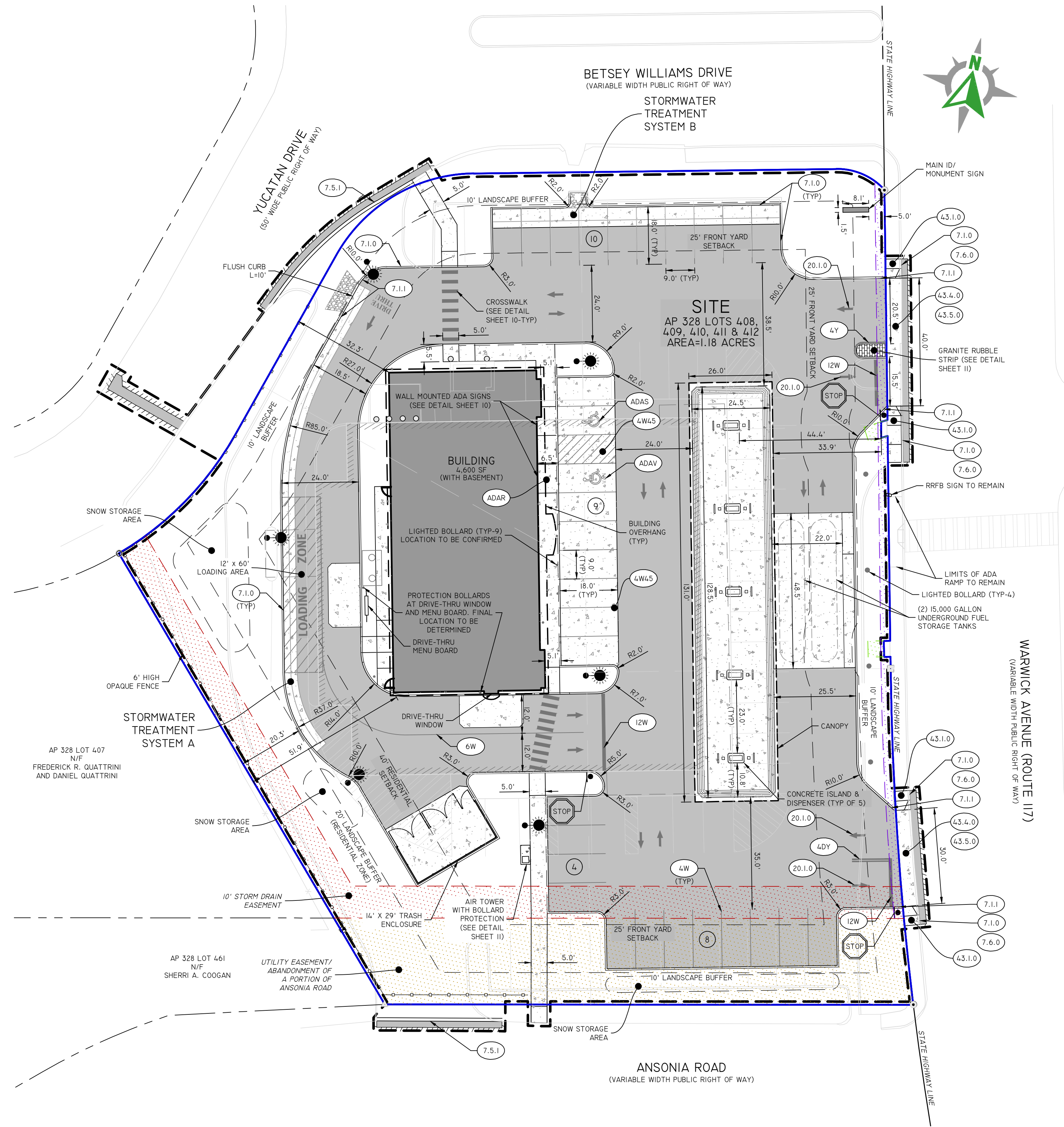
**LEONARD R. BRADLEY, P.E.**  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES INFORMATION FROM THE TOWN OF WARWICK AND FOR OBTAINING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO CLONING OF EXISTING UTILITIES.

DATE	DESCRIPTION	DESIGN BY: MAH
10/26/2021	DATE SUBMITTED FOR PERMITS	DRAWN BY: MAH
NO.	DESCRIPTION	BY:

**SOIL EROSION & SEDIMENT CONTROL PLAN**  
**SEASONS CORNER MARKET**  
ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
WARWICK, RHODE ISLAND  
PREPARED FOR:  
**COLBEA ENTERPRISES**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL 401-943-0065

Z:\BENTON\PROJECTS\1562-008 WARWICK AVE 2055\AUTOCAD DRAWINGS\2502-008-PLAN.DWG PLOTTED: 10/26/2021



**DIMENSIONAL REGULATIONS:**

CURRENT ZONING:	GB	GAS
REQUIRED	6,000 SF	10,000 SF
MINIMUM LOT AREA:	60'	100'
MINIMUM FRONTAGE AND LOT WIDTH:	25'	-
MINIMUM FRONT AND CORNER SIDE YARD:	-	15'
MINIMUM SETBACK FOR GAS PUMPS:	15'	-
MINIMUM SIDE YARD:	20'	-
MINIMUM REAR YARD:	40'	-
MINIMUM SETBACK TO RESIDENTIAL:	-	-
BUILDING PAVEMENT:	-	-
MAXIMUM STRUCTURE HEIGHT:	40'	-
MINIMUM LANDSCAPE OPEN SPACE:	10%	-
MAXIMUM SIGN HEIGHT:	15'	-
MINIMUM SIGN SETBACK:	10'	-
PROVIDED	51,215 SF	263'
	32.3'	44.4'
	51.9'	N/A
	51.9'	51.9'
	20.3'	55'-3" TO C/POLA
	10%	3%
	7.4'	5'

\*VARIANCE GRANTED SEPTEMBER 7, 2021

**ZONING ORDINANCE REFERENCES:**

ON CORNER LOTS, THE REQUIRED FRONTAGE AND WIDTH SHALL BE NECESSARY ONLY ON ONE STREET PROVIDED THAT THE SECOND STREET FRONTAGE MAINTAINS THE MINIMUM OF 80 PERCENT OF THE FRONTAGE REQUIREMENT.

ON CORNER LOTS, THE REAR SETBACK SHALL CONFORM TO THE SIDE SETBACK REQUIREMENTS.

A 20-FOOT WIDE LANDSCAPED BORDER SHALL BE PROVIDED ALONG ANY PROPERTY LINE THAT ABUTS A RESIDENCE DISTRICT, PDR OVERLAY DISTRICT, RESIDENTIAL PUD OVERLAY DISTRICT, OR AN OPEN SPACE DISTRICT.

A COMMERCIAL BUILDING OR USE INCLUDING AN ACCESSORY BUILDING OR USE SHALL BE SET BACK A MINIMUM OF 40 FEET FROM AN ABUTTING RESIDENCE DISTRICT, PDR OVERLAY DISTRICT, RESIDENTIAL PUD OVERLAY DISTRICT, AND OPEN SPACE DISTRICT.

BUILDING PROJECTIONS, PROJECTIONS OF WINDOW SILLS, BELT COURSES, EAVES, CORNICES AND OTHER ORNAMENTAL FEATURES MAY EXTEND UP TO TWO FEET INTO ANY REQUIRED YARD.

**PARKING REGULATIONS:**

PARKING USE:	RETAIL (OTHER)
PARKING REQUIREMENT:	1 SPACES PER 200 SF (GFA)
BUILDING SQUARE FOOTAGE (GFA):	4,600 SF
PARKING CALCULATIONS:	4,600/200 = 23 SPACES
ADA PARKING REQUIREMENT:	2 SPACES
REQUIRED	PROVIDED
PARKING SPACES:	23
ADA PARKING SPACES (26-50):	2
PARKING SPACE SIZE:	9' X 18'
PARKING AISLE WIDTH:	24' (30' MAX)
MINIMUM DRIVE-THRU WIDTH:	10'
LANDSCAPE BUFFERS AT FRONTAGE:	10'
LANDSCAPE BUFFER AT FRONT/SIDE YARD:	10'
LANDSCAPE BUFFERS AT RESIDENTIAL USE:	20'
BUFFER AROUND BUILDING:	5'
DRIVEWAY SEPARATION:	20'
INTERIOR LANDSCAPING:	5%
MINIMUM LOADING AREA DIMENSION:	60' X 14'
	31
	2
	9' X 18'
	24' - 38.5'
	10'
	10'
	20.3'
	0' - 10'
	> 20'
	5.8%
	60' X 12'

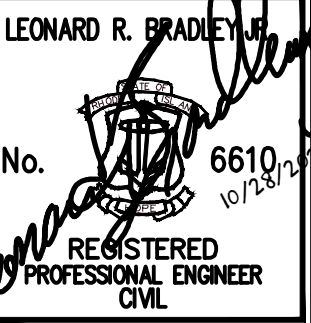
\*VARIANCE GRANTED ON SEPTEMBER 7, 2021

**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com



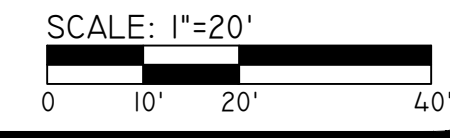
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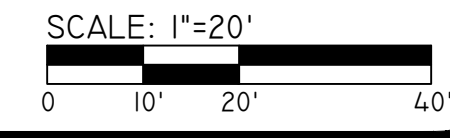
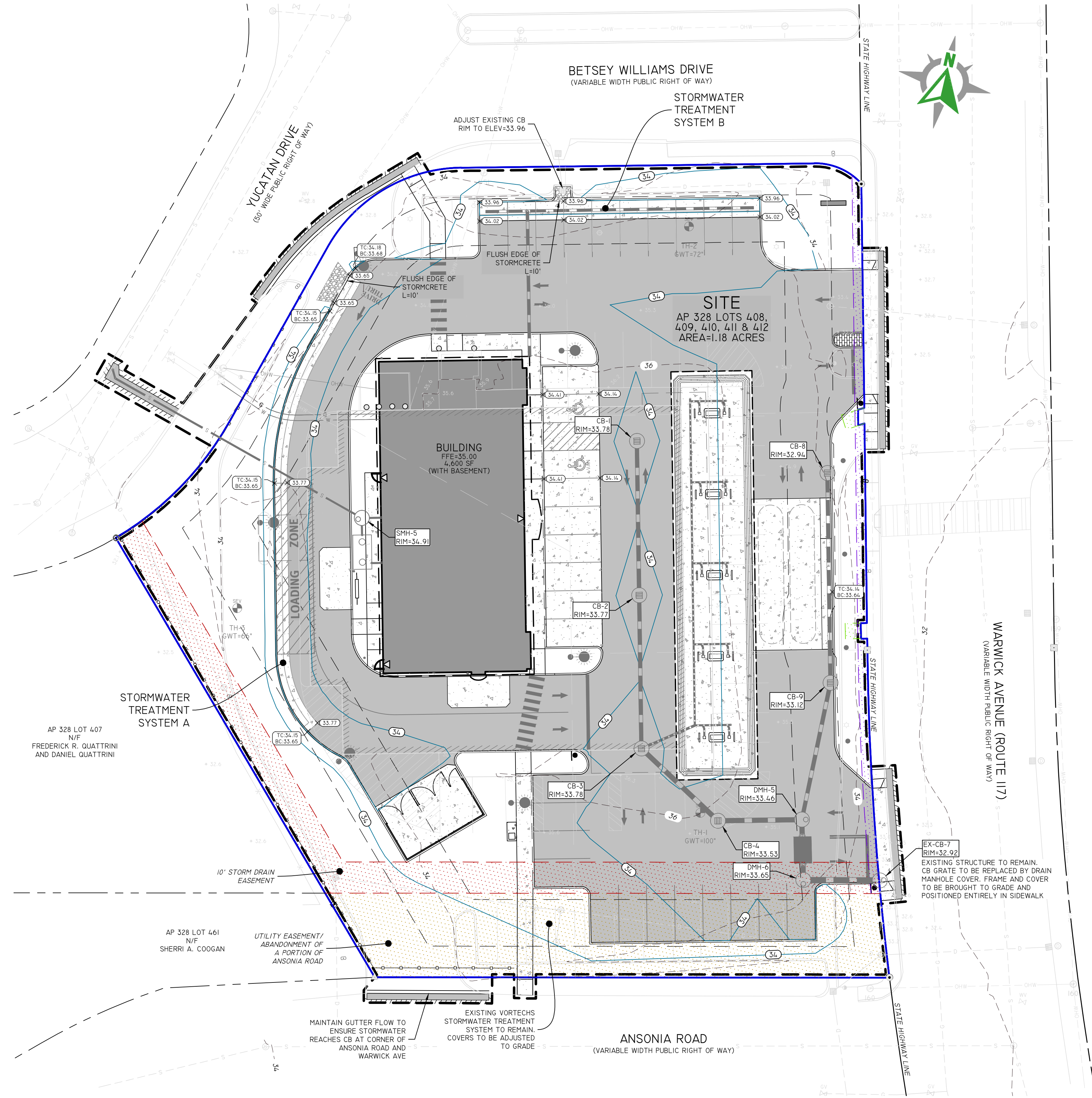
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NO.	DATE	DESCRIPTION	DESIGN BY:
1	07/26/2021	PRELIMINARY PLAN SUBMISSION	MAH
2			MAH

**SITE LAYOUT PLAN**  
**SEASONS CORNER MARKET**  
ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
WARWICK, RHODE ISLAND  
PREPARED FOR:  
**COLBEA ENTERPRISES**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL 401-943-0065  
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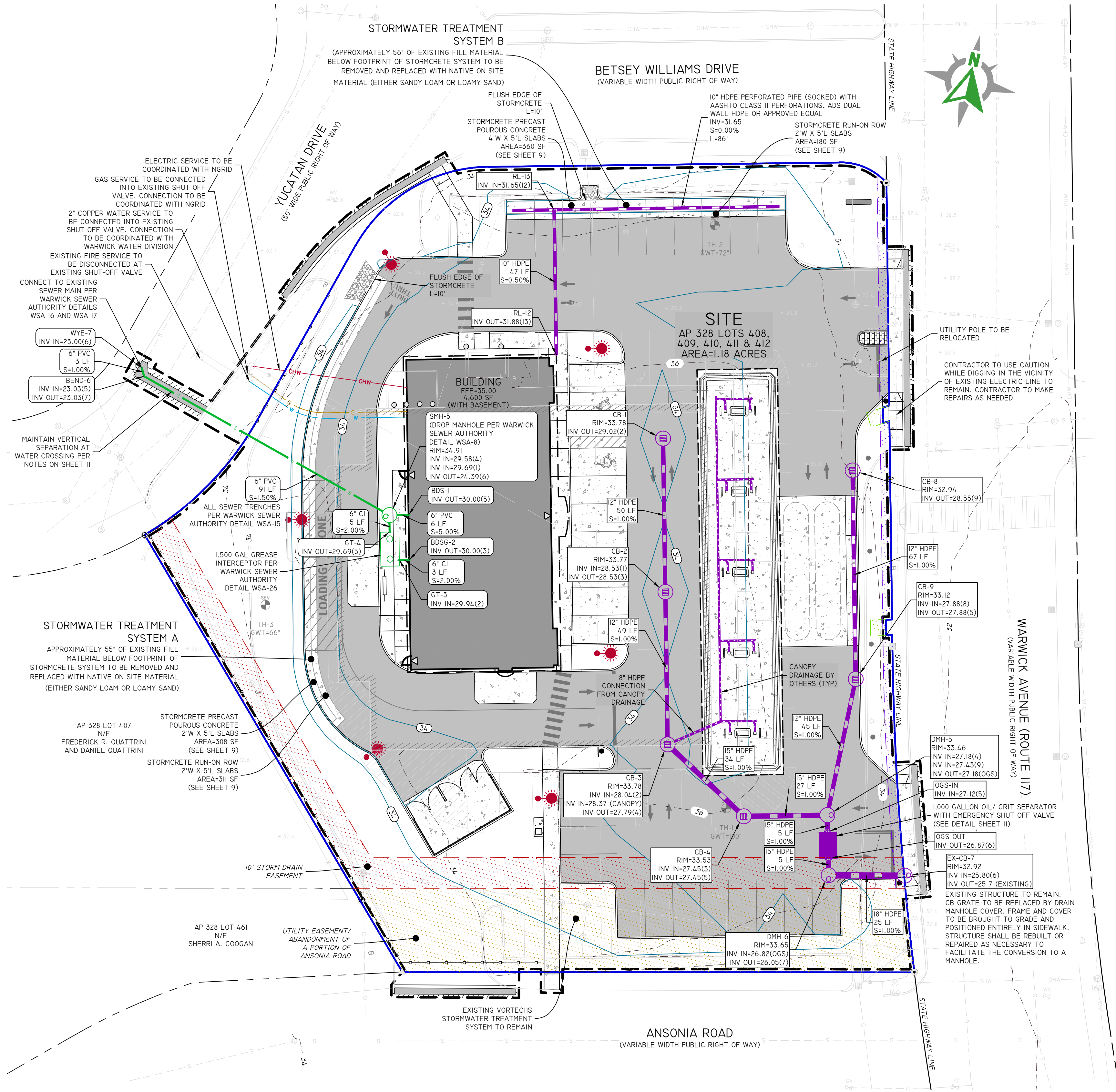


**GRADING & SURFACE DRAINAGE PLAN**  
**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
 WARWICK, RHODE ISLAND  
 PREPARED FOR:  
**COLBEA ENTERPRISES**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-0065

NO. 6610  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 LEONARD R. BRADLEY, P.E.  
 10/26/2021  
 DATE: 10/26/2021  
 DESCRIPTION: PRELIMINARY PLAN SUBMISSION  
 DESIGN BY: MAH  
 DRAWN BY: MAH

**DiPrete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com  
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SCALE: 1"=20'

0 10' 20' 40'

**UTILITIES & DRAINAGE**  
**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
**COLBEA ENTERPRISES**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-0066

NO. 1 DATE DESCRIPTION  
 10/26/2021 PREPARED FOR SUBMISSION  
 DESIGN BY: MAH  
 DRAWN BY: MAH

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 THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL UTILITIES INFORMATION FROM THE LOCAL UTILITY COMPANIES.  
 EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

CONTRACTOR TO USE CAUTION WHILE DIGGING IN THE VICINITY OF EXISTING ELECTRIC LINE TO REMAIN. CONTRACTOR TO MAKE REPAIRS AS NEEDED.

UTILITY POLE TO BE RELOCATED

**LEONARD R. BRADLEY**  
 No. 6610  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

**DiPrete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 Tel 401-943-1000 Fax 401-464-6006 www.diprete-eng.com

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# Stormcrete® Modular Precast Porous Concrete Stormwater System

## Handling and Installation Manual



### 1. Recommended Equipment

- In addition to the typical earthmoving, materials handling and grading equipment, the following hand tools should also be available –
  - 2 or 4-way chains, cables or straps rated to lift the slabs – refer to Table 2 for the number of lifting points and the slab weights
  - Cordless impact wrench or ratchet wrench with 3/4" socket for installing and removing lifting swivel bolts
  - Lifting swivels supplied by manufacturer
  - Rakes and shovels for leveling screed stone
  - 1.25" minimum diameter screed rails
  - 2"x4" or other material to use as a screed
  - Plastic plugs and slab spacers supplied by manufacturer.
  - Backpack blower to keep slabs clean during and after installation.
  - Diamond Bladed Masonry Cutoff Saw (6" cutting depth min. – typically requires a minimum 16" diameter blade – check saw specifications).

### 2. Offloading and Storage

- Prior to offloading a delivery truck the slabs on the truck shall be carefully inspected for any damage. Any observed damage shall be immediately reported to the delivery driver and the quantity and type of damage shall be noted on the delivery ticket.
- Offloading should be performed by a trained and experienced equipment operator. Due to the unique structural properties of porous concrete, extra care should be taken when handling the slabs.
- A forklift or similar equipment should be used when offloading Stormcrete® slabs. It is recommended that the equipment be fitted with forks. Chains, cables or slings should never be wrapped around slabs for offloading or installation.
- Slabs should be offloaded evenly from both sides of the truck to ensure that the trailer does not become unstable.
- Slabs delivered on pallets should be offloaded as shipped. Slabs delivered on damage mats are picked from the highest level of damage. Never pick up slabs with more than one layer of damage. (Please see Table 1 for Stormcrete® slab sizes, shipping configurations and corresponding weights).

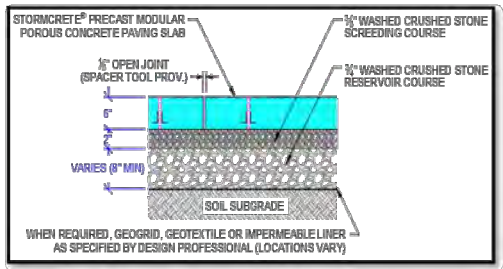
Slab Size	Number of slabs per pallet/shipment	Number of slabs per stack	Approx. Slab Weight (lbs.)	Approx. Lift Weight (lbs.)
5' x 4' x 6"	9	9	209	369
5' x 2' x 6"	4	4	645	369
4' x 2.5' x 6"	6	6	645	369

Table 1

- Stored slabs must be placed on a level or nearly level stable surface. In dusty environments slabs should be covered to prevent dust and debris from settling on slab surfaces.

### 3. Sub-Base Preparation

- Reservoir Layer Placement:  
*Reservoir layer shall not be placed and/or compact in rain or snow, or on saturated or frozen subgrade.*  
In all cases reservoir stone shall be placed and compacted against rigid lateral boundaries, i.e. in situ, undisturbed native soils, fill materials compacted to 98% Standard Proctor density or concrete curb and headers. Compaction of reservoir stone against any flexible boundaries shall not be permitted.

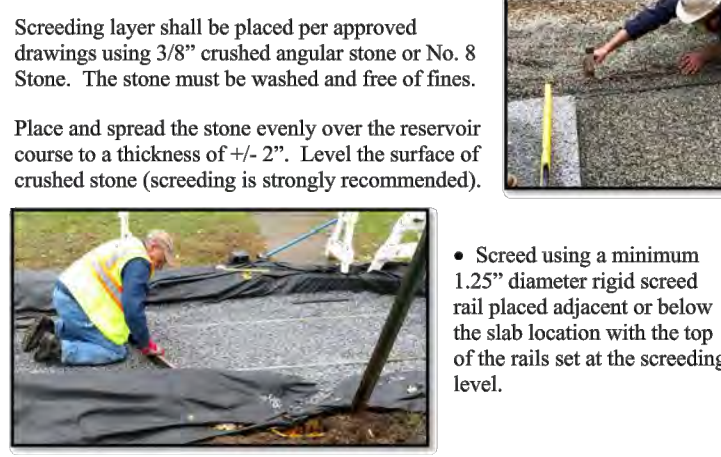


- Although the approved plans shall govern over installation details and specifications, the following instructions are provided by the manufacturer as minimum guidelines:
  - Reservoir stone layer shall be constructed per approved drawings using 3/4" or AASHTO No. 57 crushed angular stone. The stone must be washed and free of fines.
  - Compact reservoir storage layer in maximum 12" lifts, with a minimum of two complete coverages, one pass each in mutually perpendicular directions, with a 3 to 5 ton smooth, single or double drum roller operated in vibratory mode. Following vibratory compaction, repeat two complete coverage's, one pass each in mutually perpendicular directions, with the roller operated in static mode. Continue static rolling until there is no visible movement, weaving or deflection in the surface of the storage reservoir layer.
  - For small areas inaccessible by large rollers follow the above directions using a walk-behind plate compactor. Repeat two complete coverages in each direction.
  - The surface tolerance of the compacted storage reservoir layer shall be +/- 3/4 in. under a 10 ft. straightedge.
  - Where specified on the design plans, place geotextile on prepared subgrade side slopes and extend a maximum of 1 foot under the bottom of the storage reservoir. Do not place geotextile under other areas of infiltrating system unless specified on the approved plans. Secure in place to prevent disturbance from vehicles and/or worker foot traffic.



### Screeding Layer Placement

It is critical that the crushed stone leveling course surface be **SCREEDED flat** so that the slabs are fully supported with no bridging or warping beneath. Crushed stone base shall not be placed and/or screeded in rain or snow, or on saturated or frozen subbase.



- Screeding layer shall be placed per approved drawings using 3/8" crushed angular stone or No. 8 Stone. The stone must be washed and free of fines.
- Place and spread the stone evenly over the reservoir course to a thickness of +/- 2". Level the surface of crushed stone (screeding is strongly recommended).
  - Screed using a minimum 1.25" diameter rigid screed rail placed adjacent or below the slab location with the top of the rails set at the screeding level.
- Do not compact or disturb leveled screeding layer (if screed rails are placed in panel locations, carefully remove them to prevent disturbance to the leveling base layer).
- The uniformity of the leveling (base) layer determines the differential settlement between precast porous concrete paving slabs.
- The slab installation contractor should not correct deficiencies in the leveling layer by shimming with additional stone rather than the slabs should be lifted out and the entire area should be re-levelled.

### 4. Setting Stormcrete® Porous Concrete Slabs

- Recommended Lifting Hardware  
Slabs shall only be lifted and placed using supplied hoist ring swivels. 2 or 4-way chains, wire rope or nylon straps rated for the lift weight shall be used per the manufacturer's recommendations to lift slabs – do not exceed minimum recommended angle for lifting chains.

- Swivels shall be securely bolted snug to the slab. Check to ensure that the bolt extends the full depth of the lifting socket. To avoid damage to the surface do not over-tightened bolts. (An electric impact wrench with a 3/4" socket is the most efficient way to attach and remove the swivels).

Slab Dimension (ft)	Max Slab Weight (lbs.)	Lifting Points
5' x 4' x 6"	1290	4
5' x 2' x 6"	645	2
4' x 2.5' x 6"	645	2

Individual slabs should only be lifted by equipment that is rated for the slab weights shown in the adjacent table:

### Placing Slabs

- Precast porous concrete slabs shall not be placed in heavy rain or snow, or on saturated or frozen base.
- Because the units are precast in a controlled environment, they are delivered to the site pre-cured which allows them to be parked or driven on immediately after placement. They may also be placed year-round, in almost any type of weather or temperature conditions.
- WARNING – ENSURE THAT PLASTIC SPACERS THAT ARE USED TO SEPARATE SLABS IN A STACK ARE REMOVED FROM THE BOTTOM OF ALL SLABS BEFORE SLAB PLACEMENT.
- Whenever possible place slabs in a staggered pattern(s) as shown below or as depicted on approved drawings.
- On gutter applications a string line shall be used to ensure that the curbing is straight enough to allow for proper placement of the slabs. If the existing curbing does not follow a straight alignment then the slabs should follow the alignment of a string line placed mostly parallel to the curb and 1/2" away from the point that is furthest toward the roadway to allow for a minimum 1/2" joint.

### Grade Breaks

- Stormcrete® slabs shall be placed on a level sub-base. If grade breaks are present, ensure that they occur at an open joint.
- If a grade break does not occur at an open joint cut the slab to create an open joint at the break. If cutting is required refer to the cutting section above.

### Edge Restraints

- NEVER place fluid material (asphalt, concrete, soil, etc.) directly up against the Stormcrete® slabs. Fluid materials shall be separated from Stormcrete® slabs by the use of a 1/2" preformed expansion joint material conforming to ASTM D1751 Standard Specification for Preformed Expansion Joint Filler for Concrete Paving and Structural Construction.
- Install edge restraints per approved drawings and manufacturer's recommendations at the indicated locations and elevations.
- Anchor edge restraints directly to finished leveling layer in accordance with the manufacturer's requirements.
- The use of loose stone as a filler material adjacent to slabs should be avoided in favor of Stormcrete® expansion joint material joints may be filled with No. 8 clean washed gravel beneath closed cell foam backer rod and a maximum depth of 1/2" of elastomeric sealant such as rubber tracks.

	TREATMENT SYSTEM A	TREATMENT SYSTEM B
TOP OF STORMCRETE	33.65	33.96
TOP OF LEVELING COURSE	33.15	33.46
TOP OF STONE	32.98	33.29
BOTTOM OF STONE	32.20	31.40
WG STORM ELEVATION	33.58	32.94
SEASONAL HIGH GWT ELEVATION	29.20	28.40
SOIL EVALUATION	TH-3	TH-2

**TYPICAL STORMCRETE® SLAB LAYOUT**

NOTE: PANELS MAY BE CONFIGURED OR FIELD CUT AS SPECIFIC SITE CONDITIONS WARRANT

NOTES:

- PRECAST POROUS CONCRETE SHALL BE THE STORMCRETE® SYSTEM AS MANUFACTURED BY POROUS TECHNOLOGIES, LLC WWW.STORMCRETE.COM (888) 357-1161
- STORMCRETE® PRECAST POROUS CONCRETE SHALL HAVE A CONCRETE AVERAGE UNIT WEIGHT OF 124 LB/CF (11-11%) AND A VOID RATIO OF 15-20%, WHEN TESTED IN CONFORMANCE WITH ASTM D1751/774M-12 STANDARD TEST METHOD FOR DENSITY AND VOID CONTENT OF HARDENED PRECAST CONCRETE.
- WASHED CRUSHED STONE RESERVOIR AND SCREEDING COURSE GRAINATIONS AND THICKNESSES TO BE BASED ON SUBSURFACE CONDITIONS, DEPTH OF FREEZING, TRAFFIC LOADINGS, AND STORM WATER DETENTION/RETENTION REQUIREMENTS AS SPECIFIED BY DESIGN PROFESSIONAL.
- ADJACENT MATERIAL SHALL NOT BE ALLOWED TO COME INTO DIRECT CONTACT WITH SIDES OF SLAB. PLACE 1" MOISTURED BITUMINOUS EXPANSION JOINT MATERIAL IN CONFORMANCE WITH ASTM D751 STANDARD SPECIFICATION FOR PREFORMED EXPANSION JOINT FILLER FOR CONCRETE PAVING AND STRUCTURAL CONSTRUCTION (NON-DURET) AND RESILVUE BITUMINOUS TYPE/OL.
- PRECAST POROUS CONCRETE SLABS SHALL BE REINFORCED WITH #3 FIBER REINFORCED PLASTIC (FRP) REINFORCING BARS OR ULTRA-THIN MONO-FILAMENT HOMO-POLYMER POLYPROPYLENE FIBERS EQUIVALENT TO MASTERFIBER 100 MANUFACTURED BY BASF CORPORATION, OR APPROVED EQUAL.
- 1" GALV. COIL. THREAD LIFTING INSERT SHALL BE MANUFACTURED BY A.L.P. SUPPLY PART NUMBER C2512M08 OR EQUAL.
- SLABS SHALL BE CUT WITH A DIAMOND BLADE MASONRY SAW. CUT UNITS SHALL BE NO NARROWER THAN 1/4" AND CUTTING SHALL OCCUR SO THAT A MINIMUM OF 8" IS MAINTAINED BETWEEN LIFTERS EMBEDDED IN SLABS AND CUT EDGES.
- SLAB LAYOUTS SHALL BE PLANNED SO AS TO MINIMIZE OR ELIMINATE LOCATIONS WHERE UTILITY STRUCTURES INTERSECT WITH SLAB JOINTS. WHOLE AND HALF SLABS SHALL BE USED IN COMBINATION WITH CAST IN PLACE COLLARS TO SURROUND UTILITIES.
- STORMCRETE® PRECAST POROUS CONCRETE SLABS SHALL HAVE A MINIMUM INFILTRATION RATE OF 100 IN/HR. WHEN TESTED IN ACCORDANCE WITH ASTM D1751 - INFILTRATION RATE OF IN PLACE PREVIOUS CONCRETE.
- REFER TO MANUFACTURER'S HANDLING AND INSTALLATION INSTRUCTIONS FOR ADDITIONAL PRODUCT SPECIFIC INFORMATION.

**SECTION C-C**

**SLAB DIMENSIONS**

**GENERAL DETAIL**

DATE: 11/27/2018  
DRAWN BY: TJC  
CHECKED BY: KJM  
SCALE: NTS

**DETAILS AND NOTES**

DWG NO. **D1**

**STORMCRETE PRECAST POROUS CONCRETE SLABS**

NOT TO SCALE

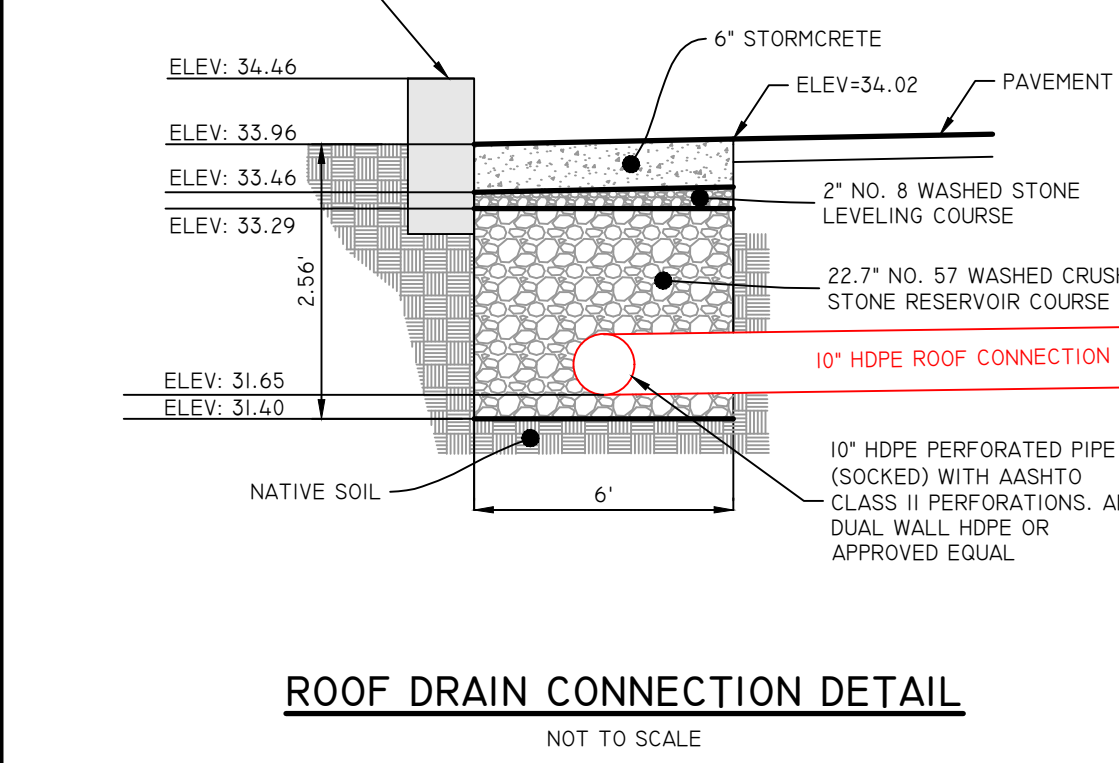
Sikasil 728 RCS Limestone joint filler or approved equal. In all cases the use of a preformed expansion joint material conforming to ASTM D1751 Standard Specification for Preformed Expansion Joint Filler for Concrete Paving and Structural Construction is preferred.

### 5. SLAB PROTECTION & FINAL INSPECTION

- After work in the section is complete, the contractor shall be responsible for protecting the precast porous paving slab system from damage and/or contamination from mud, dirt, grass cuttings and accumulation of foliage and debris through the duration of construction. This should include a regular vacuum sweeping schedule. It is important that you do not attempt to wash the construction area clean. This will result in loose debris draining into the slabs/slots.
- Any slabs cracked or damaged during installation shall be replaced with new ones at the installers cost.
- Reset slabs not in conformance with specified installation tolerances.
- Check for and remove any accumulation of sediment or debris observed. This can be done by manually sweeping, vacuum sweepers, and in some cases, back pack blowers.
- Check final surface elevations of set slabs for conformance to design drawings. Slab surfaces shall not deviate by more than 1/8" vertically from one to the next and adjacent surfaces.
- The surface elevation of set slabs shall be flush with manholes or the top of utility structures.

### 6. STORMCRETE® PRECAST POROUS CONCRETE INSTALLATION TRAINING PROGRAM

- Installation contractors are strongly encouraged to participate in the Stormcrete® Precast Porous Concrete Installation Training Program. This program ensures that installers are properly trained in the installation of Stormcrete® products. Installers successfully completing the Training Program shall receive a certificate valid for 2 years and shall be responsible for reviewing the Handling and Installation Manual and Training Program Test Questions (with correct answers) with Laborers under their employ.



**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
Tel: 401-943-1000 Fax: 401-464-6006 www.diprete-eng.com

Boston • Providence • Newport

LEONARD R. BRADLEY, III

No. 6610

REGISTERED PROFESSIONAL ENGINEER CIVIL

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DATE: 11/27/2018  
DESIGNER: TJC  
DATE: 11/27/2018  
BY: TJC  
DATE: 11/27/2018  
BY: TJC  
DATE: 11/27/2018  
BY: TJC

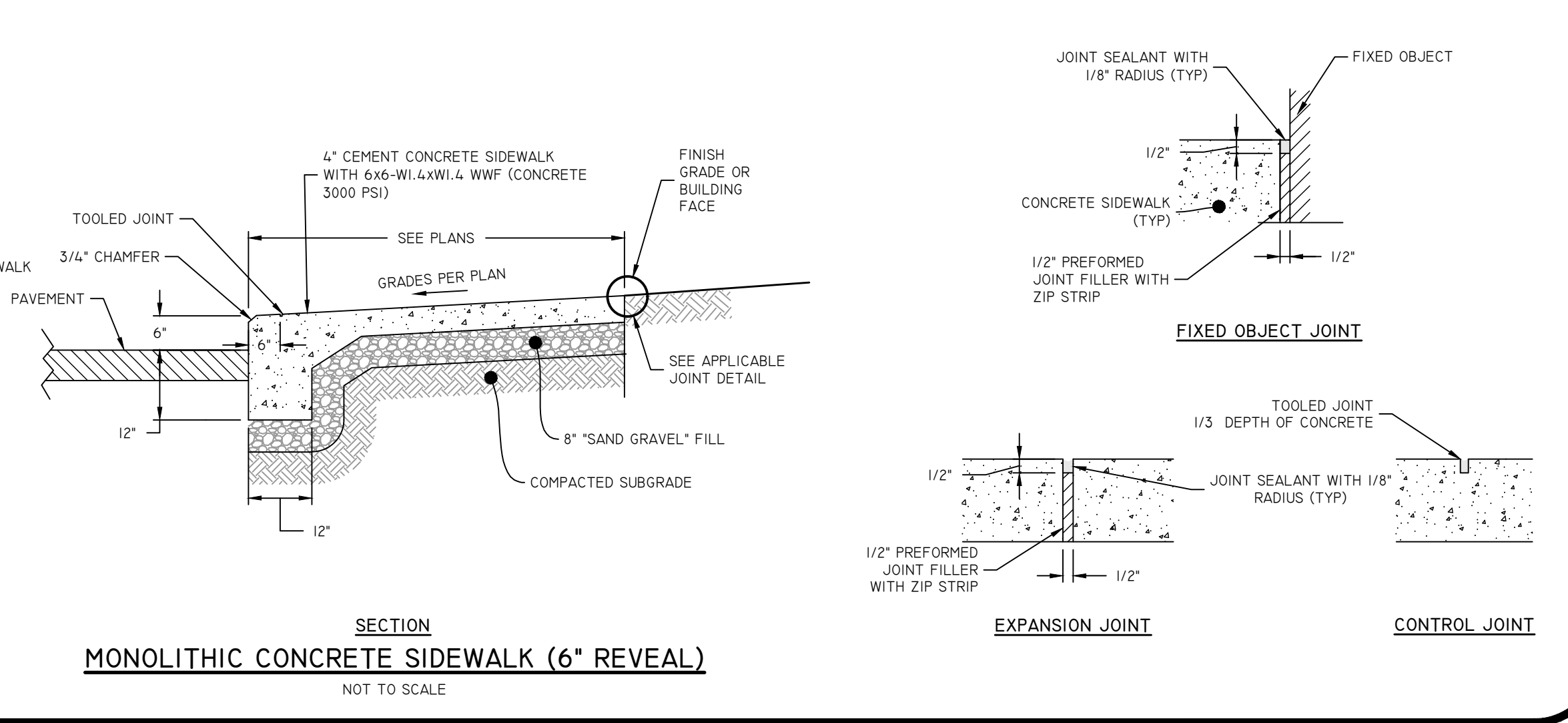
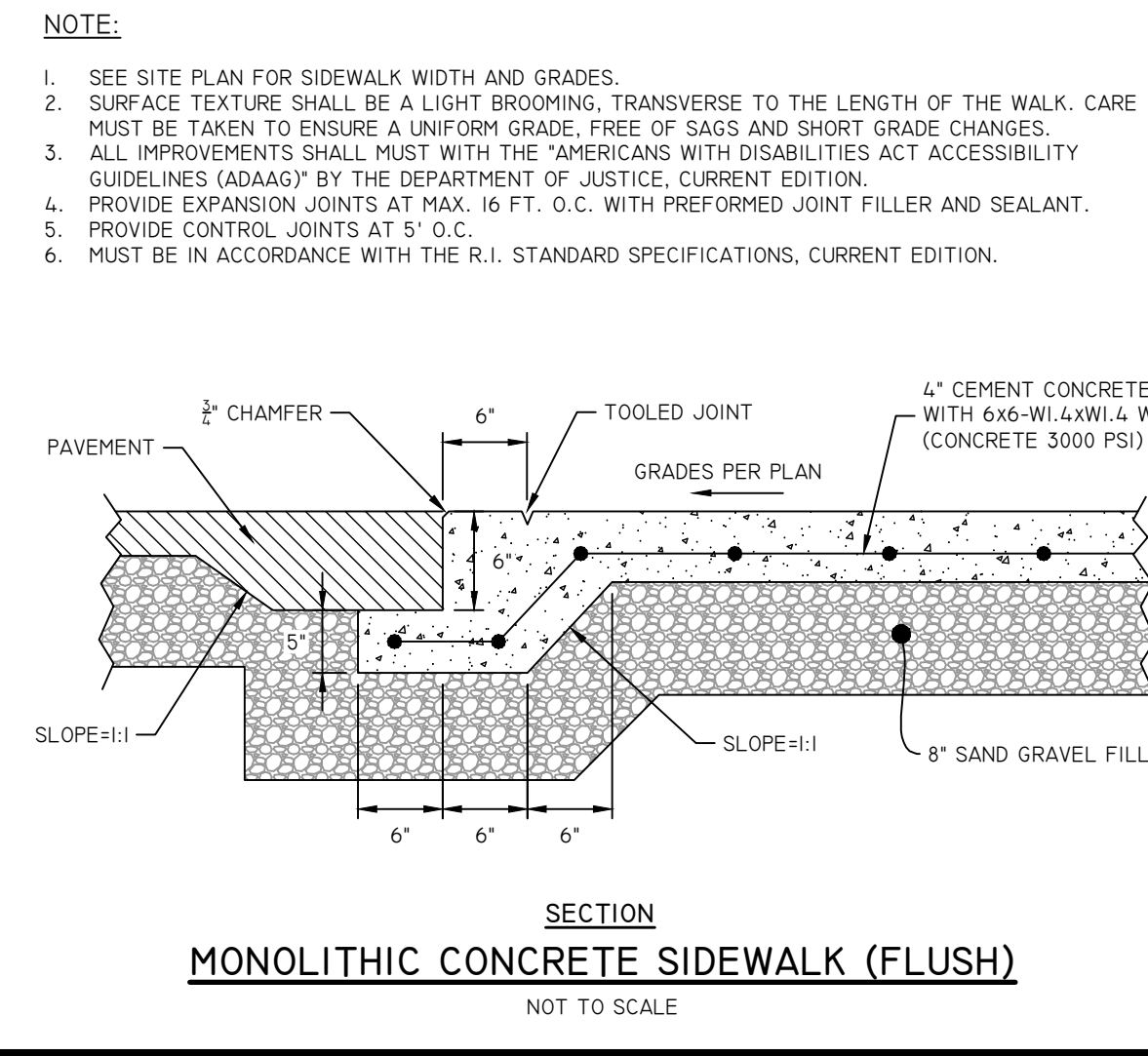
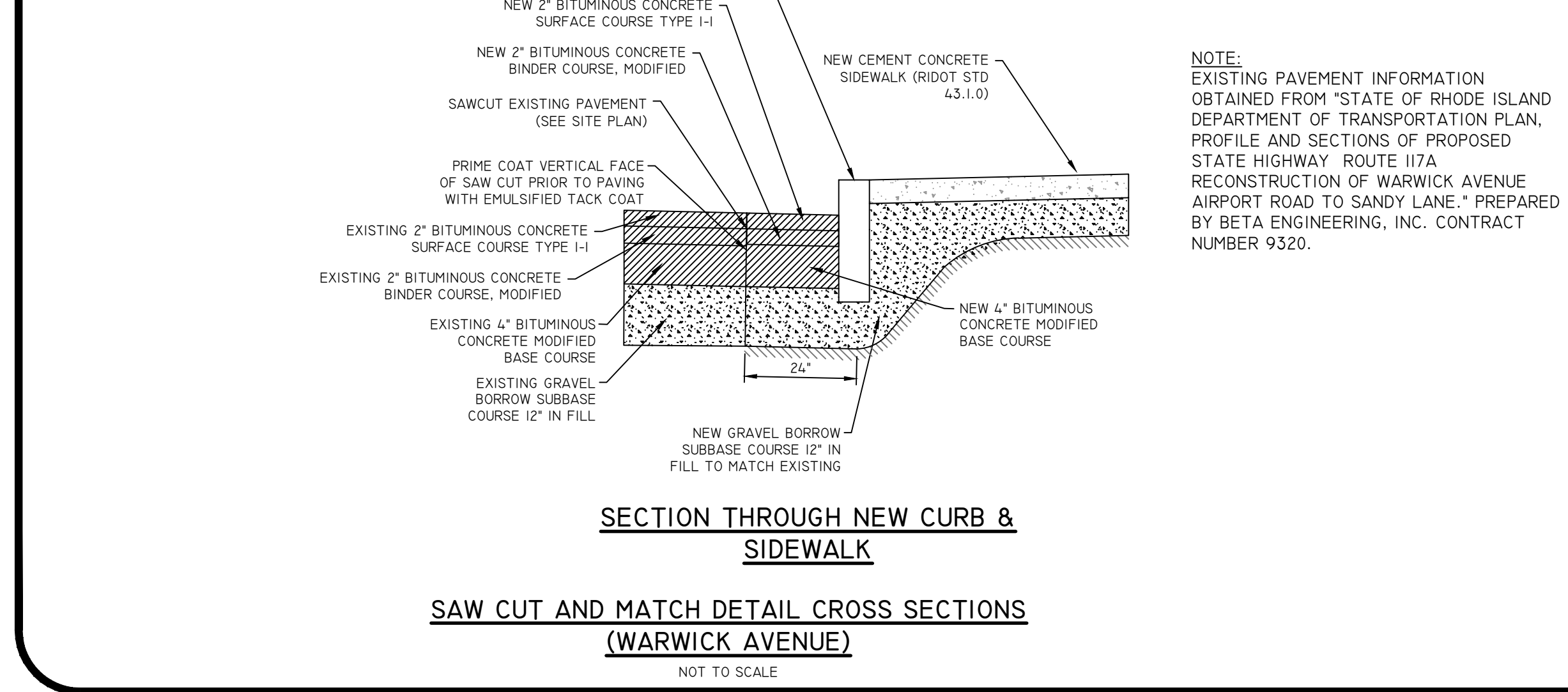
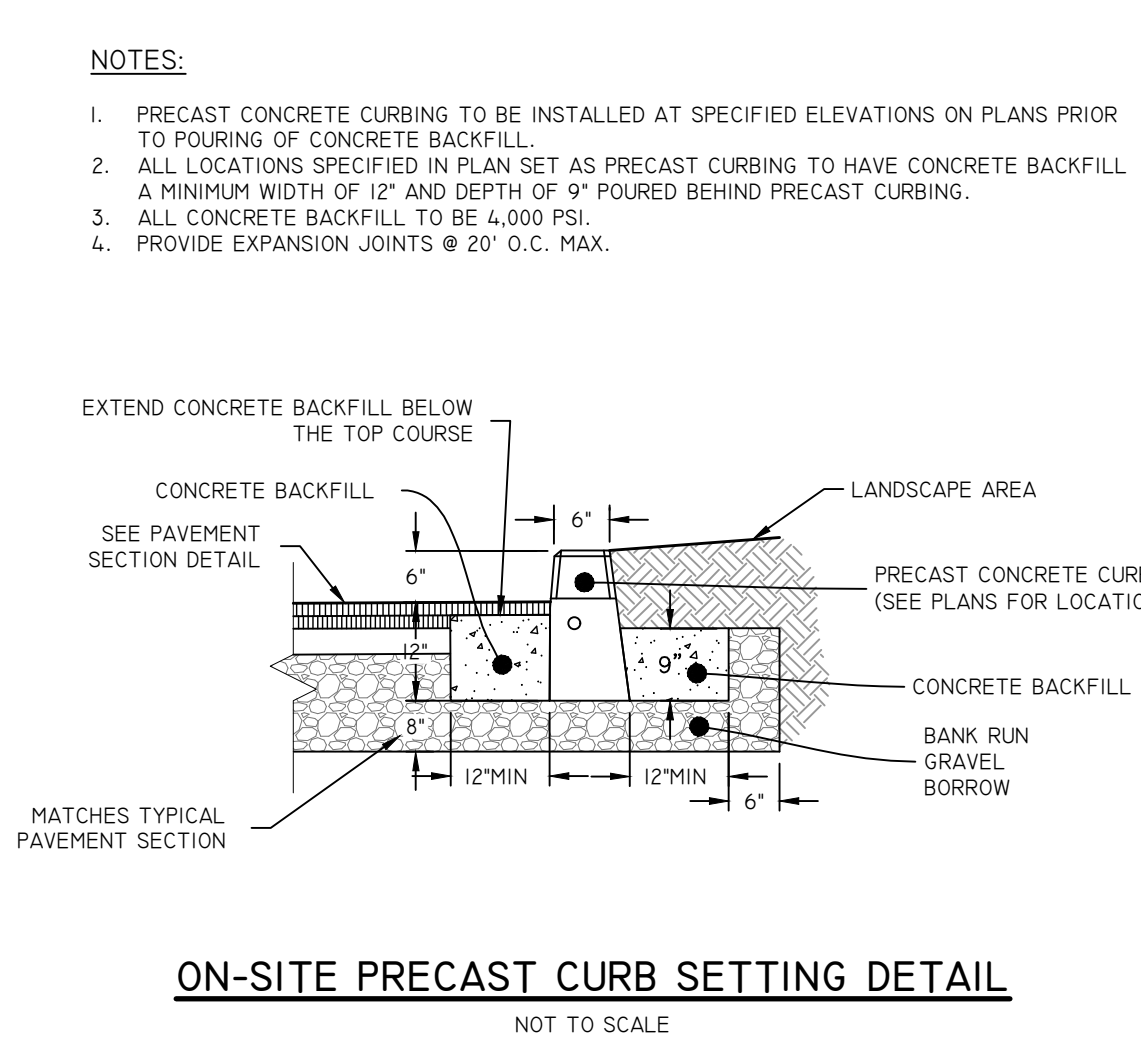
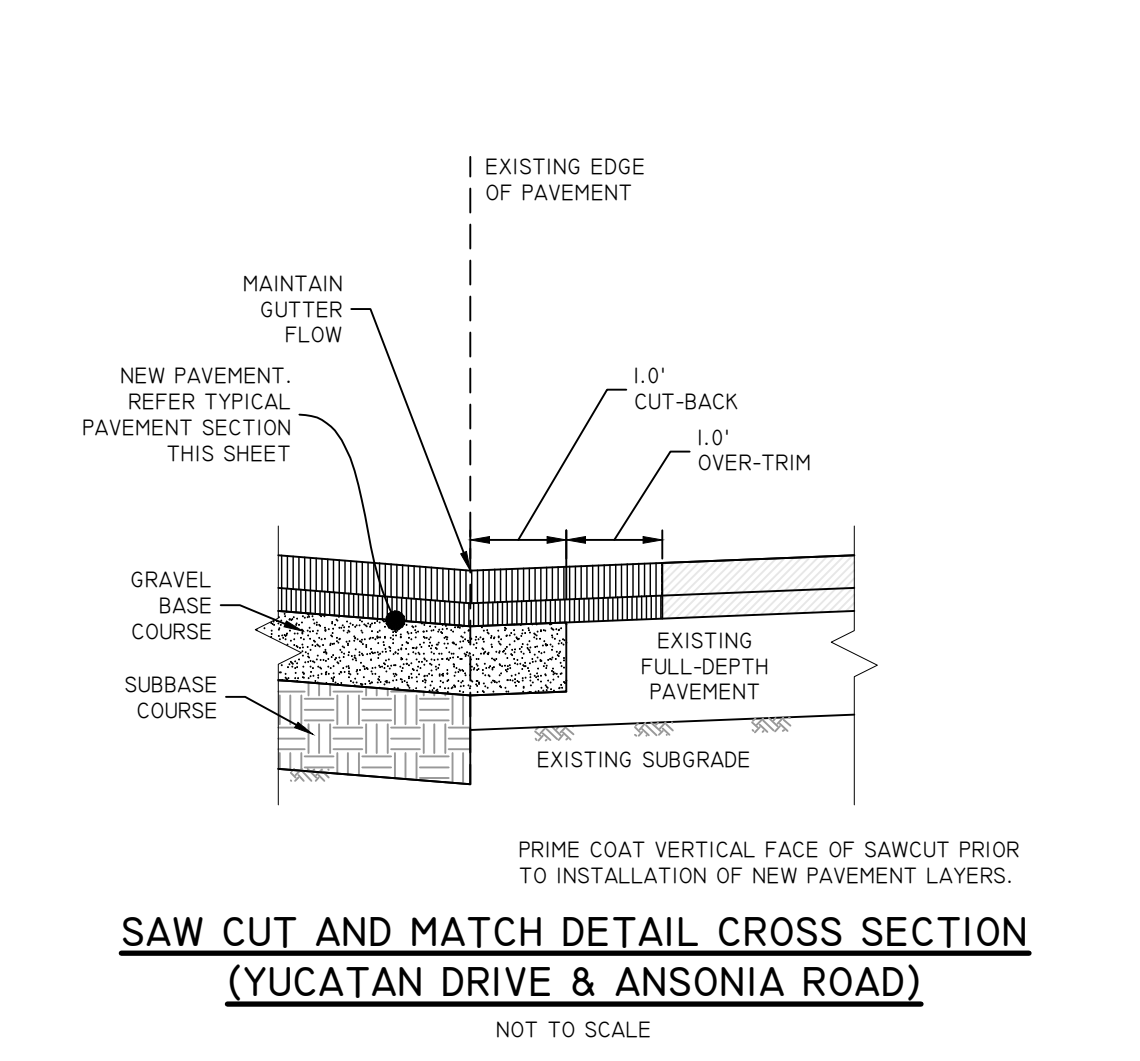
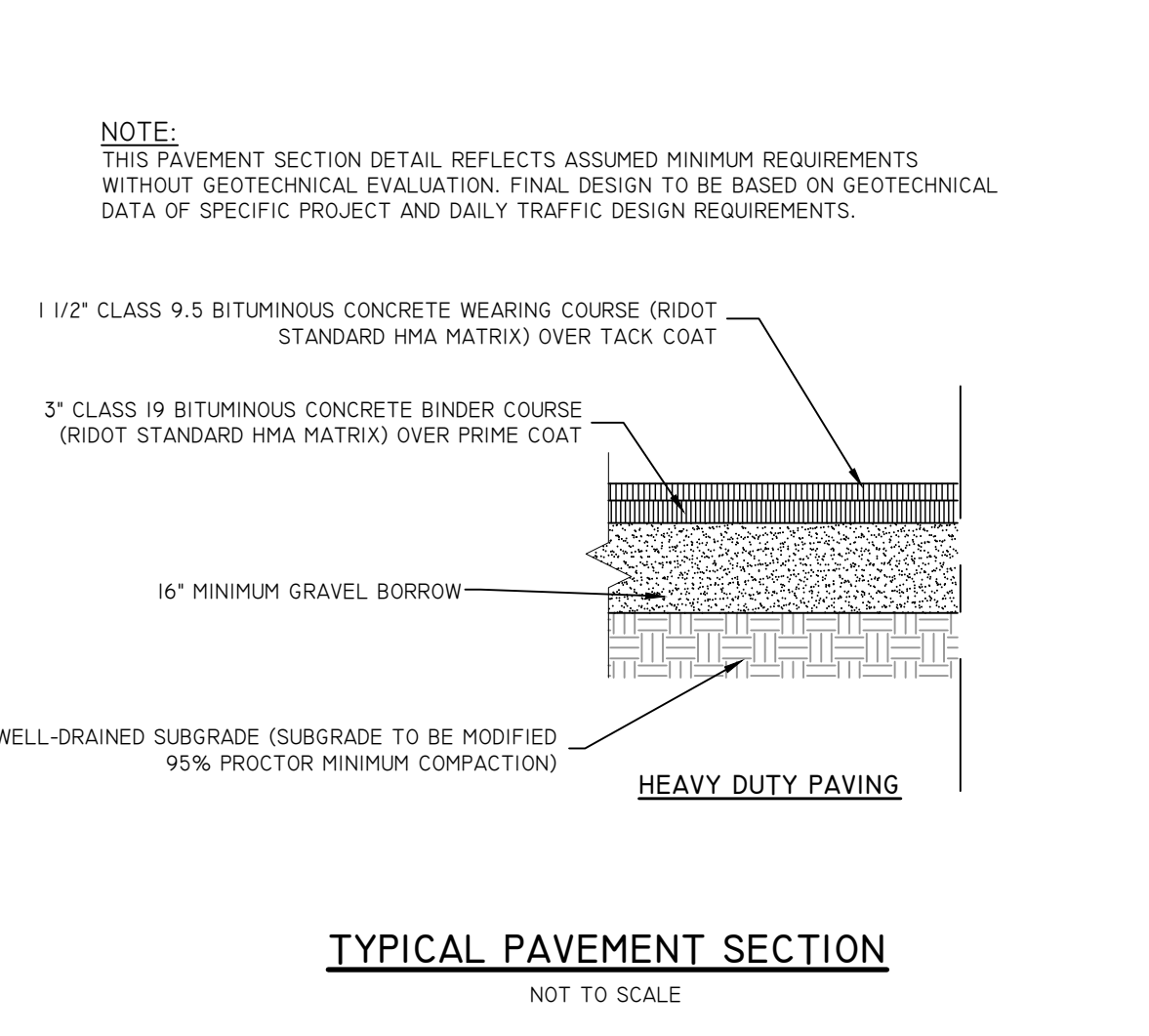
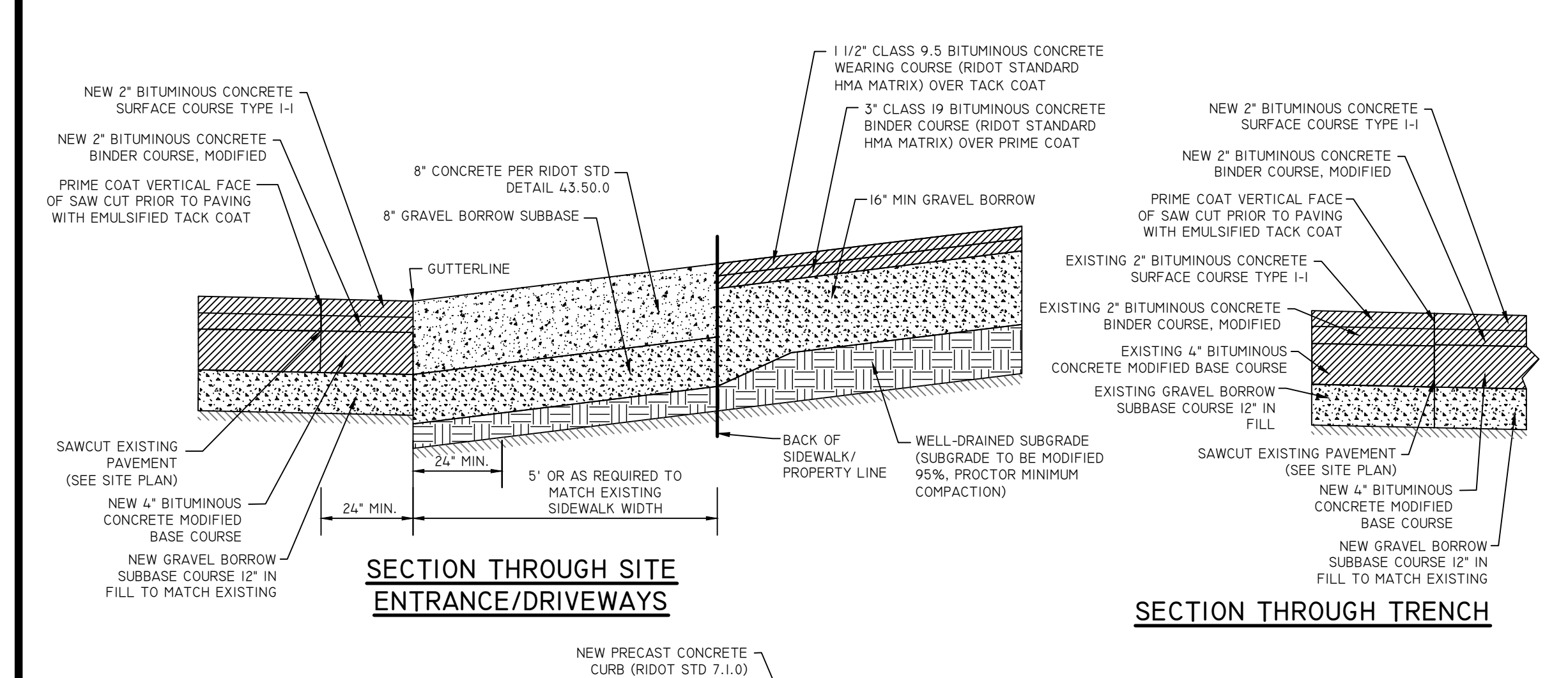
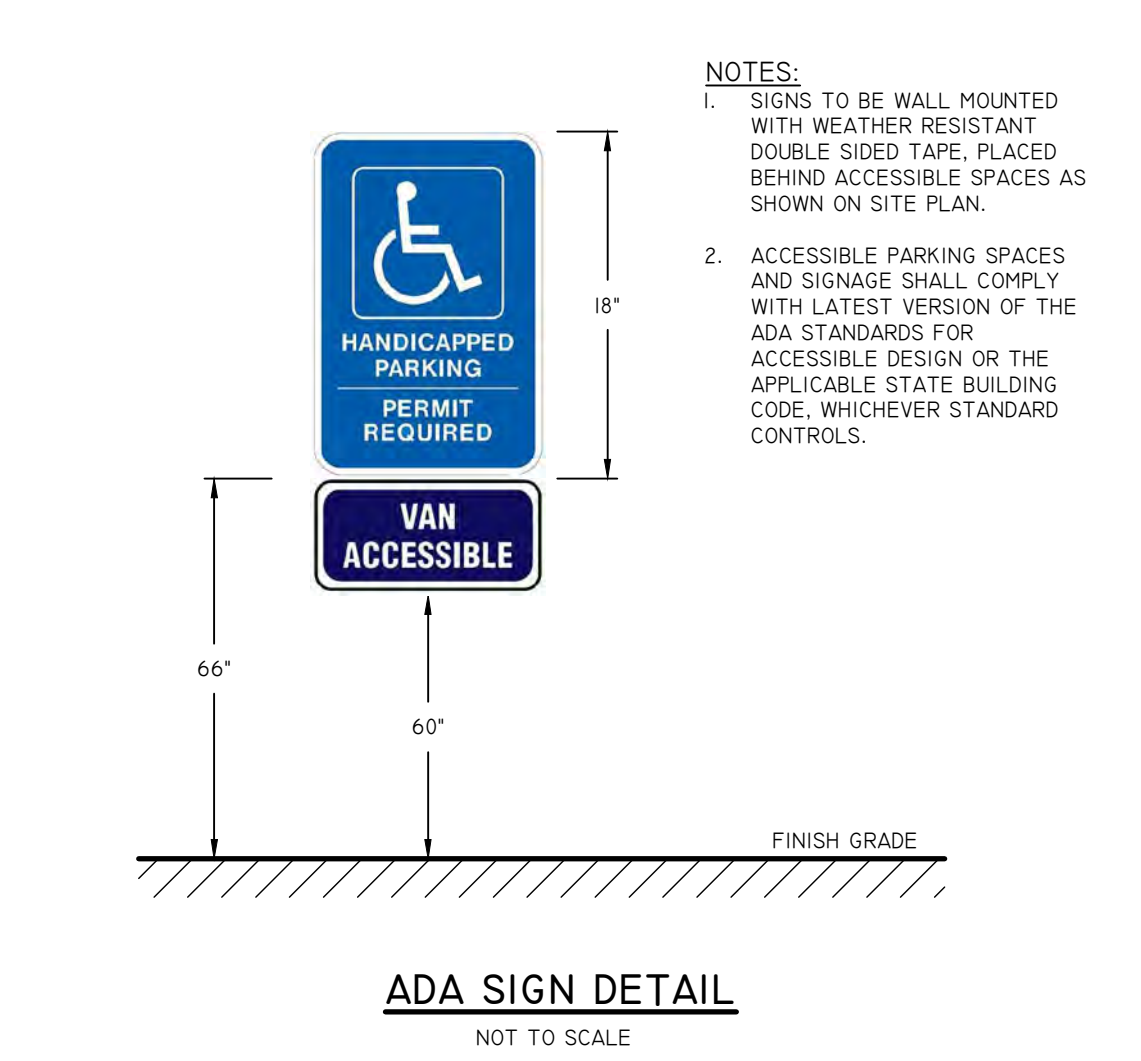
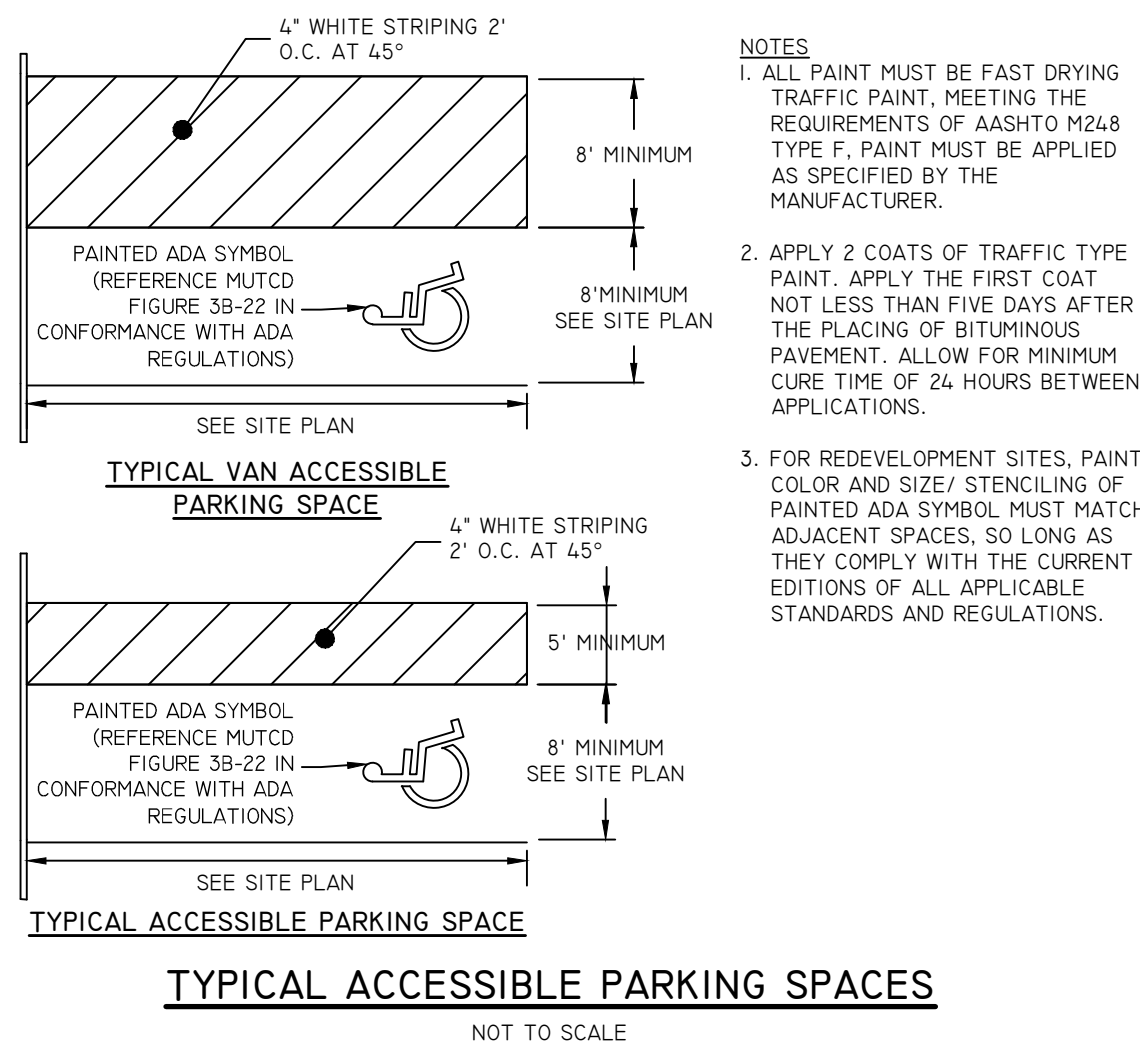
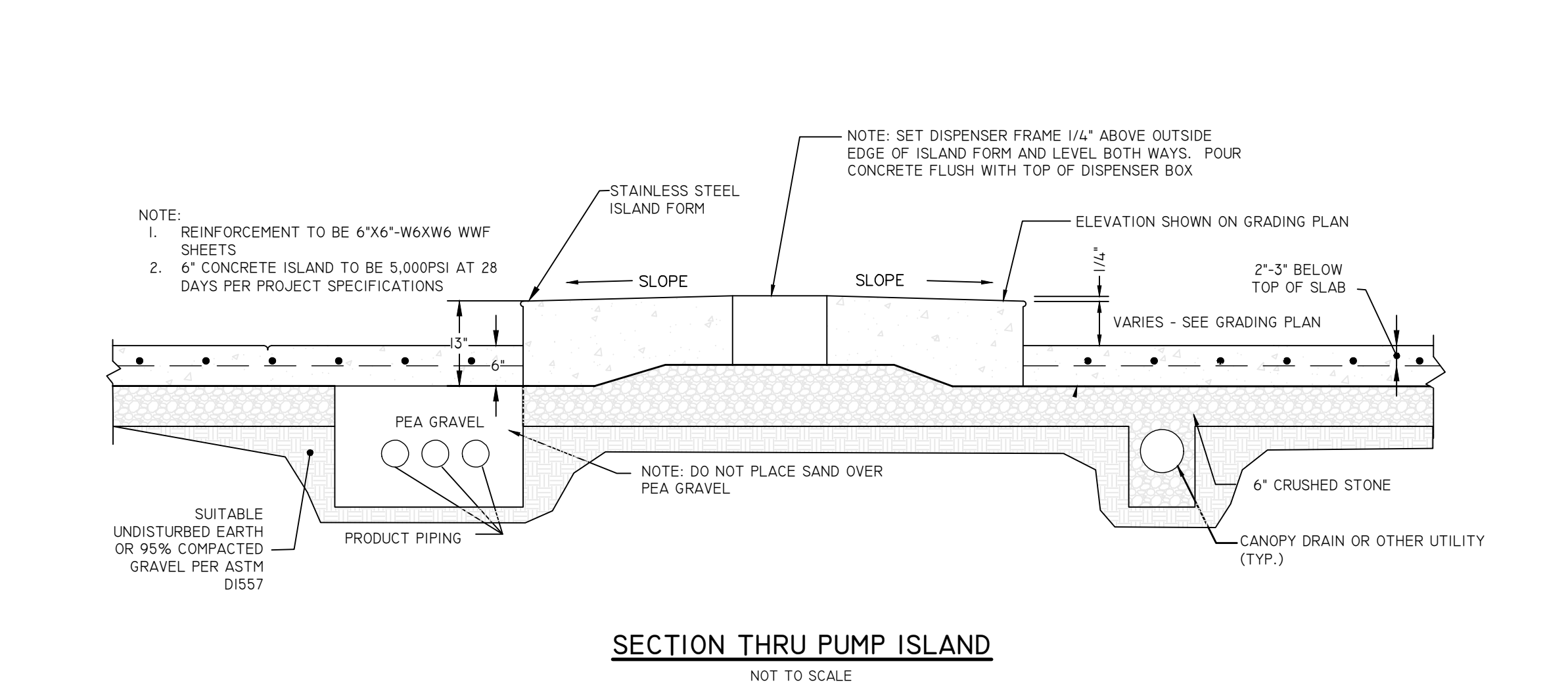
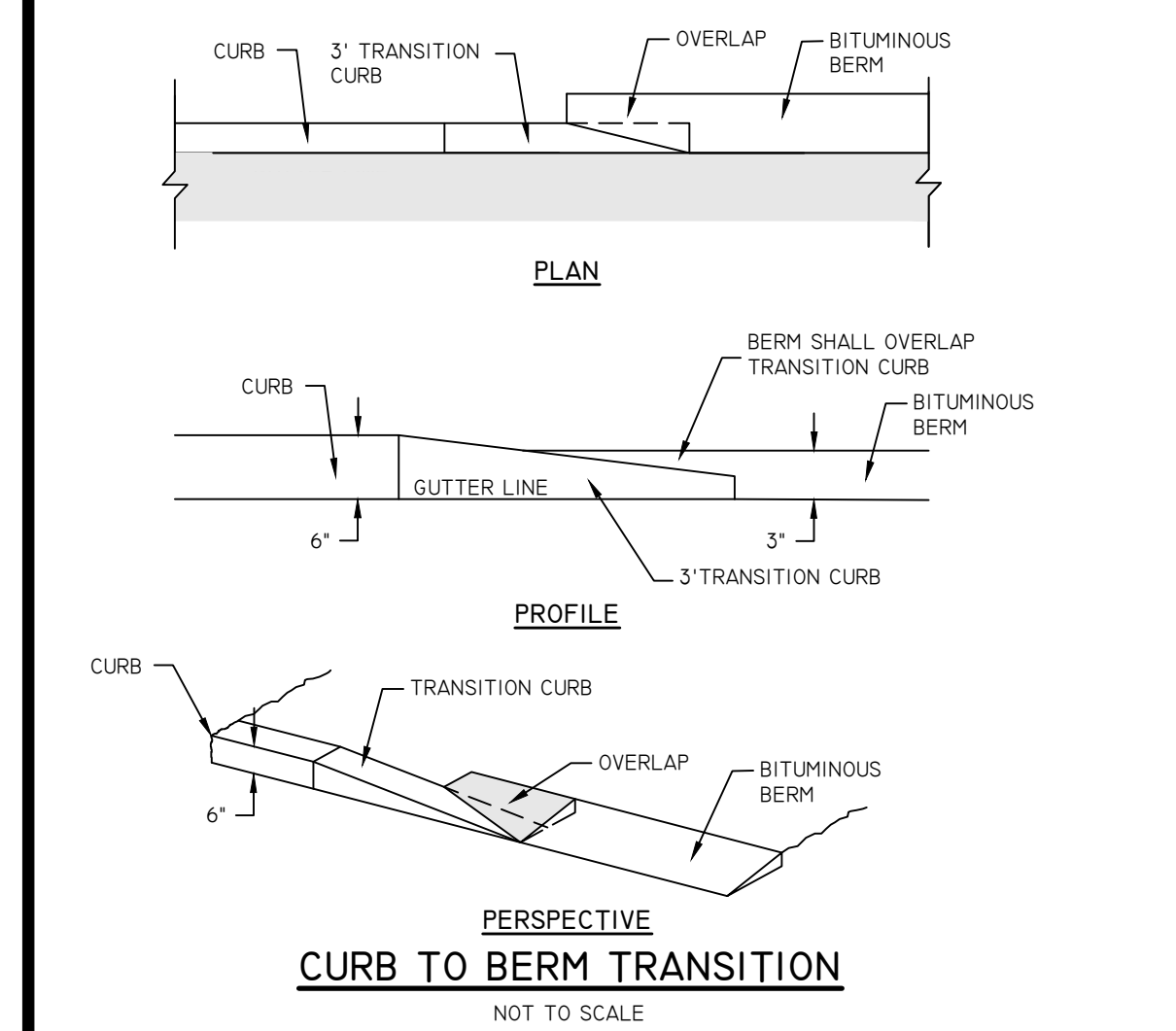
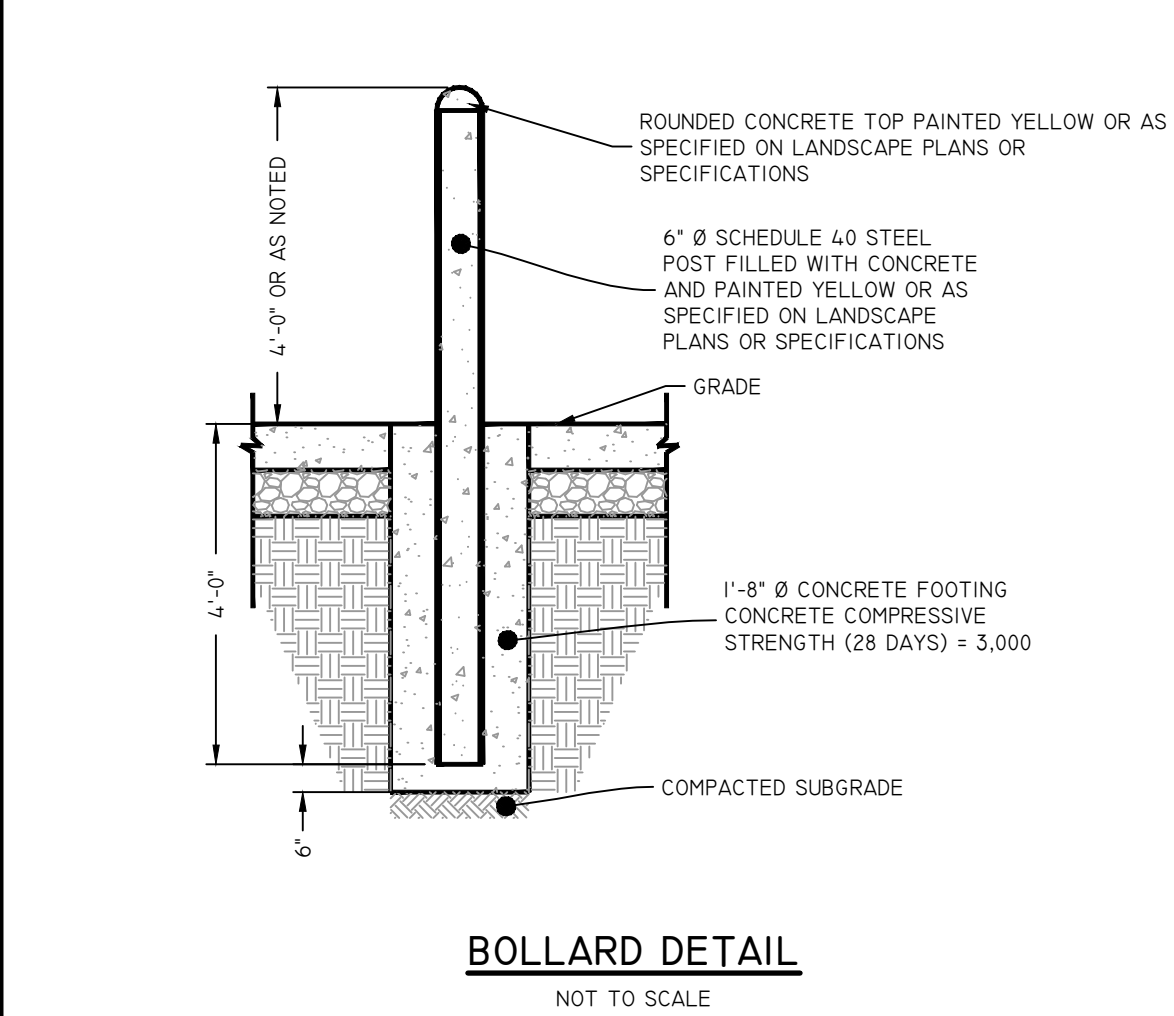
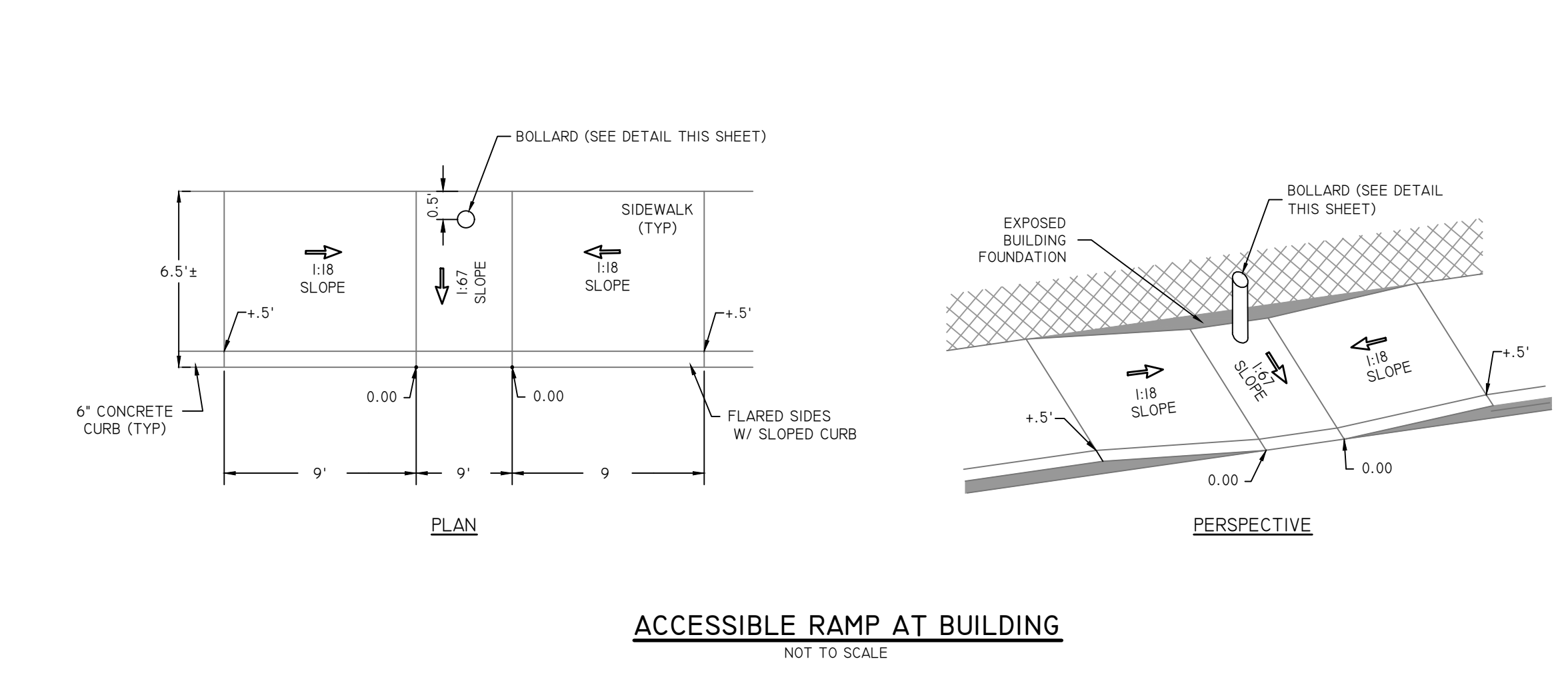
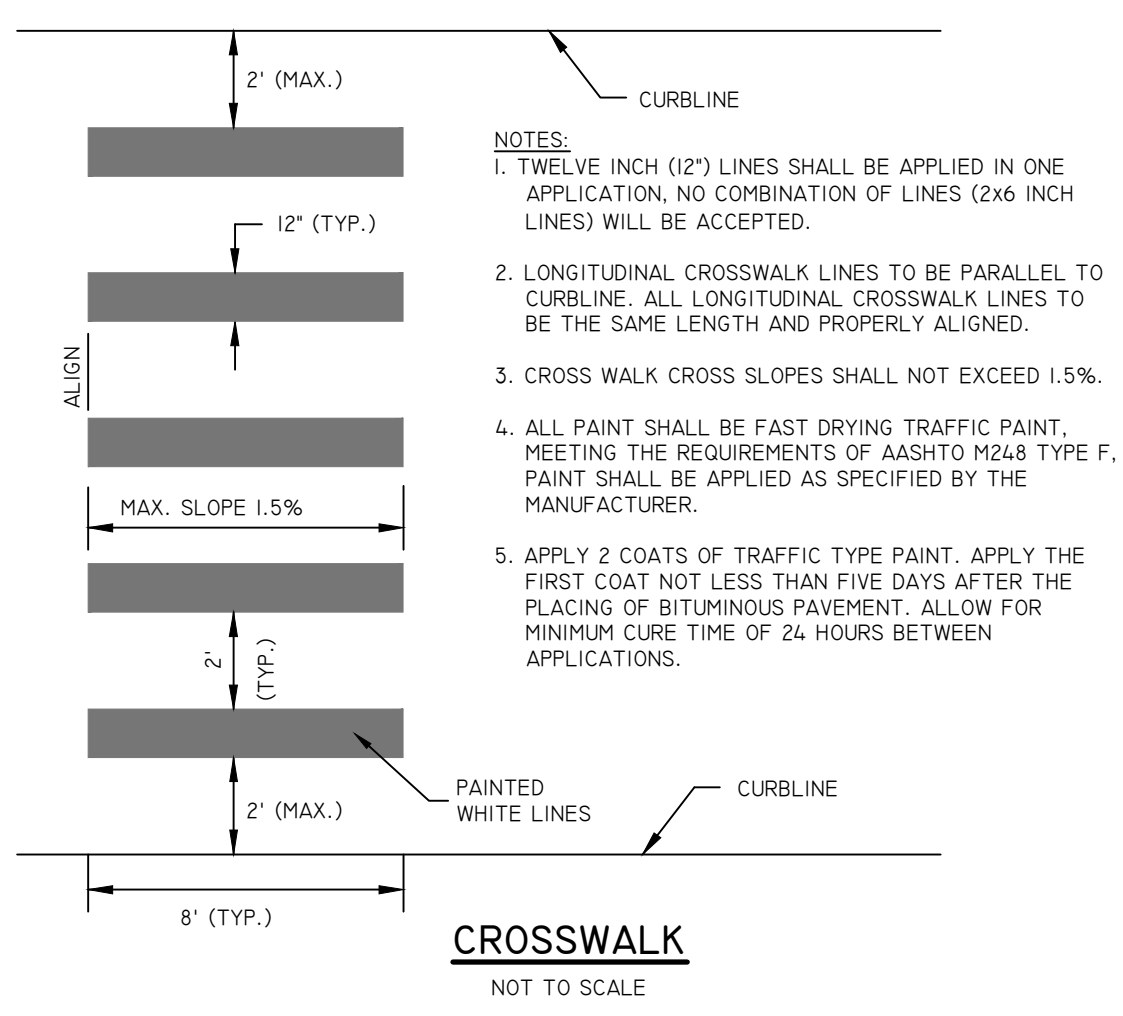
**STORMCRETE DETAILS**

**SEASONS CORNER MARKET**  
ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
WARWICK, RHODE ISLAND

PREPARED FOR:  
**COLBEA ENTERPRISES**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL: 401-943-5005

DESIGN BY: MAH  
DRAWN BY: MAH

SHEET **9** OF 11



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Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

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**LEONARD R. BRADLEY**  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER CIVIL

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DATE: 07/26/2021  
SUBMITTED FOR: SUBMISSION  
BY: MAH  
DESCRIPTION: DESIGN BY: MAH

**DETAIL SHEET - I**

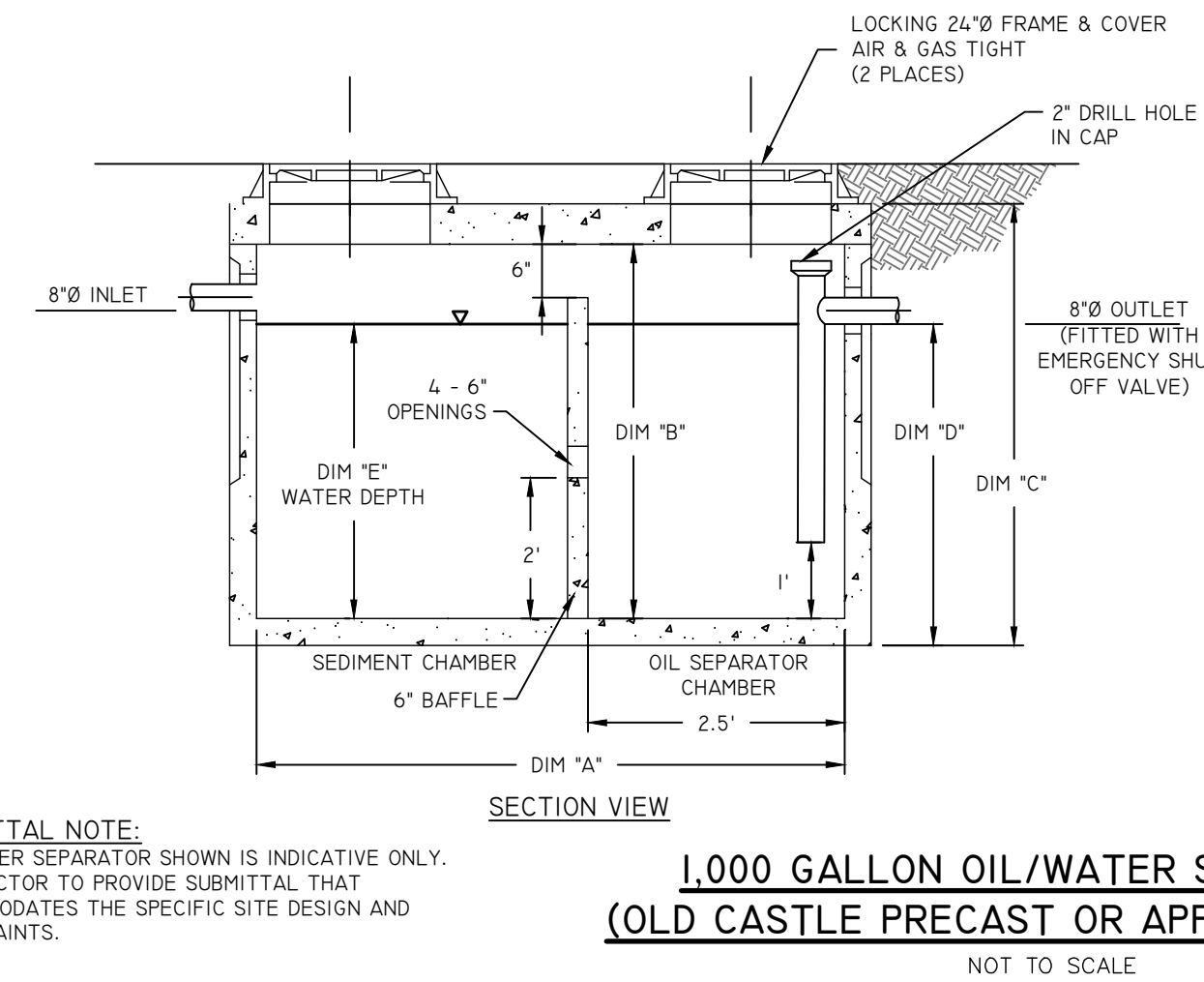
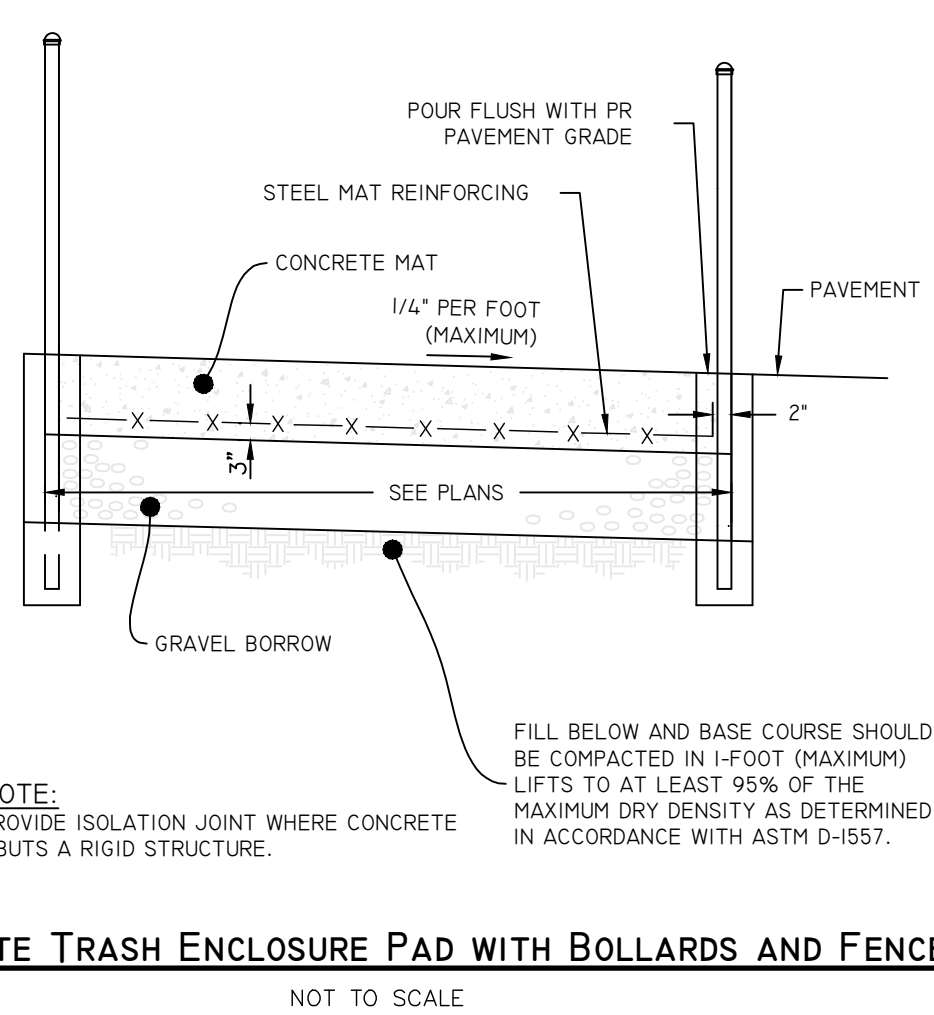
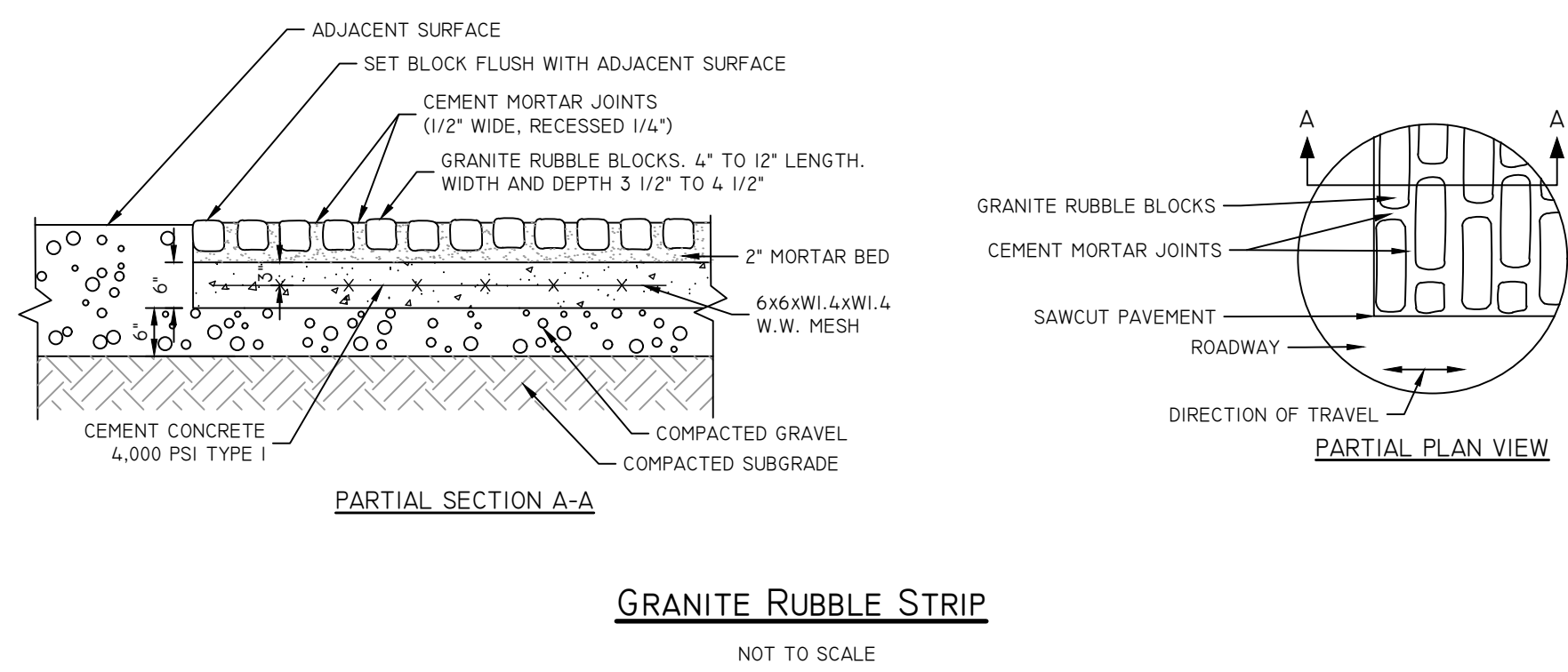
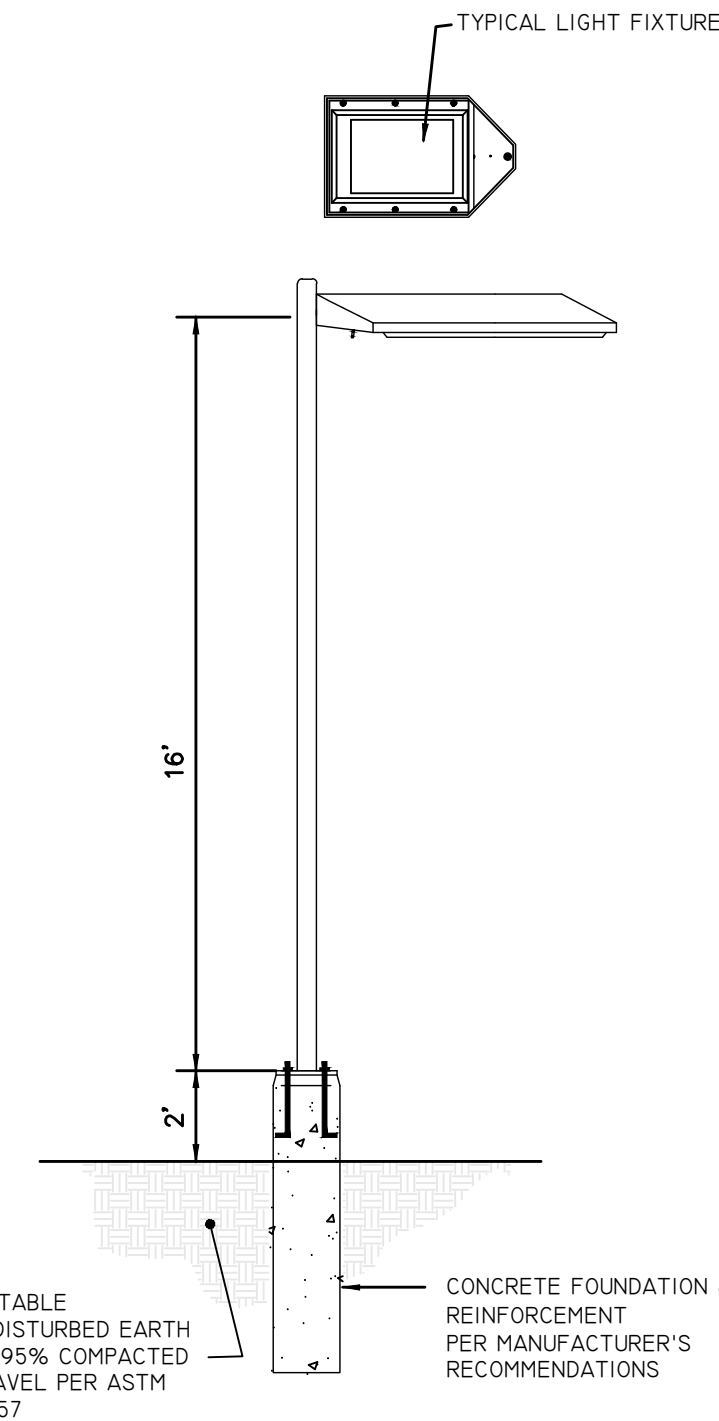
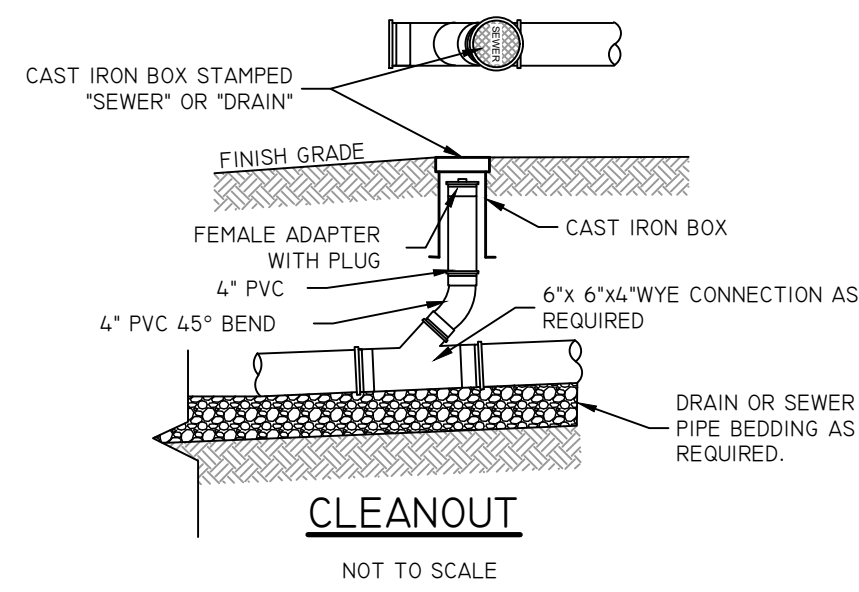
**SEASONS CORNER MARKET**  
ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
WARWICK, RHODE ISLAND

PREPARED FOR: COLBEA ENTERPRISES  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL 401-943-5005

DESIGN BY: MAH

SHEET 10 OF 11

- NOTES:**
- ALL PIPE AND FITTINGS SHALL BE SCH-35 PVC FOR SEWER, OR HDPE PIPE FOR DRAINAGE.
  - PIPE BEDDING AND BACKFILL FOR CLEANOUTS SHALL MEET APPLICABLE DRAINAGE AND SEWER SPECIFICATIONS UNLESS OTHERWISE NOTED BY ENGINEER.
  - FOR SEWER CLEANOUTS, A MINIMUM OF ONE CLEANOUT SHALL BE PLACED ON EACH LATERAL, 5' FROM THE STRUCTURE. FOR LONGER RUNS, CLEANOUTS SHALL BE LOCATED EVERY 100'. FOR DRAIN CLEANOUTS SEE PLANS FOR LOCATION AS REQUIRED.
  - ALL CLEANOUTS SHALL BE SLEEVED WITH A CAST-IRON BOX SET FLUSH WITH THE FINAL GRADE OF GRASS, HARDSCAPE, ROADWAYS OR CONCRETE AREAS. CAST IRON BOX NOT REQUIRED FOR STORMWATER BMP AREAS. COVERS SHALL BE INSCRIBED WITH THE WORD "SEWER" OR "DRAIN" ACCORDINGLY. FOR ROADWAY APPLICATIONS, THE CAST-IRON BOX MUST MEET H-20 LOADING.



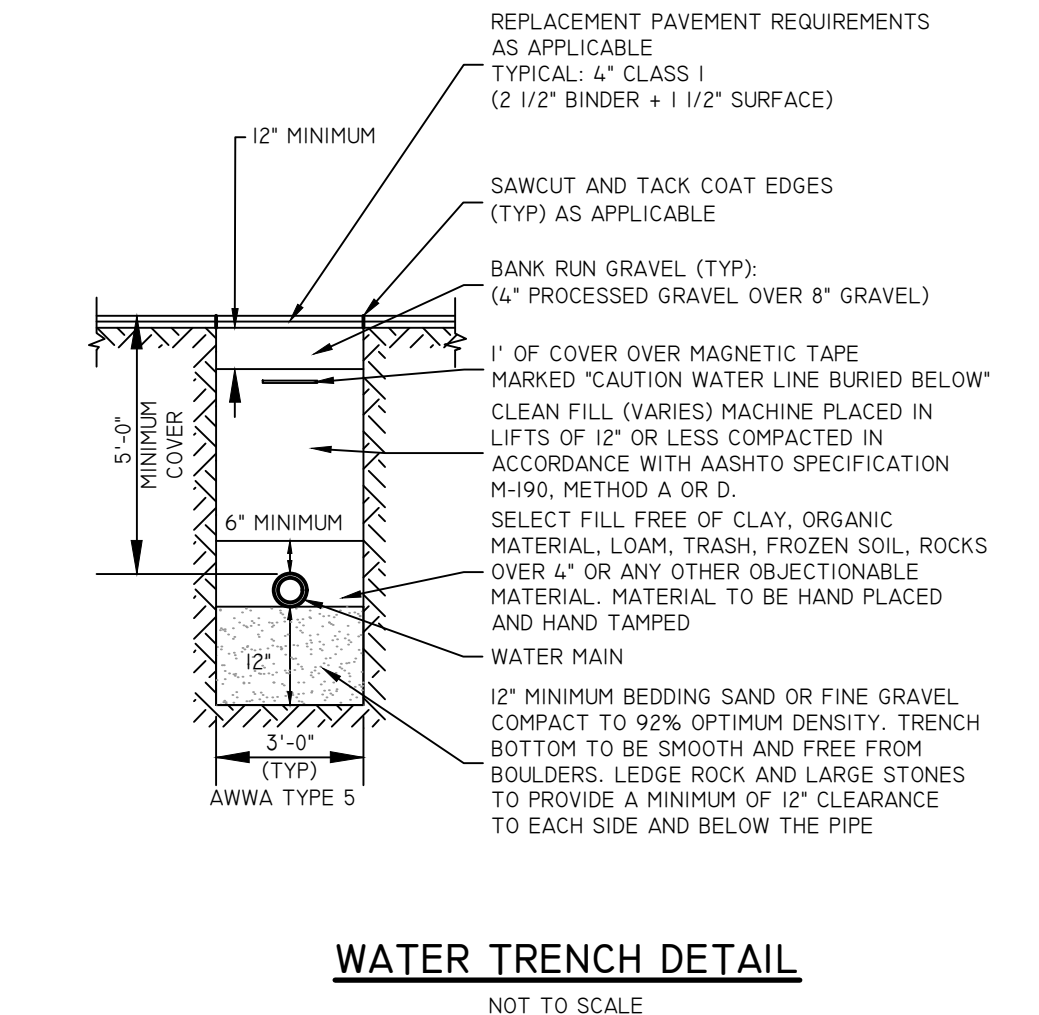
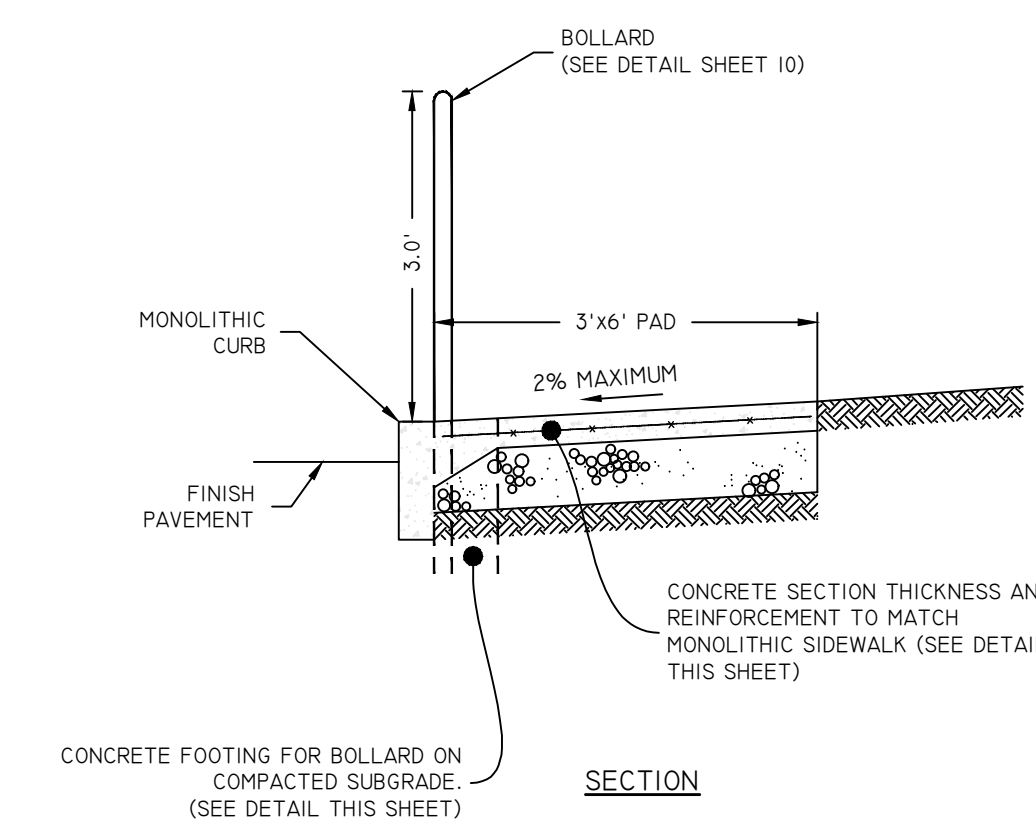
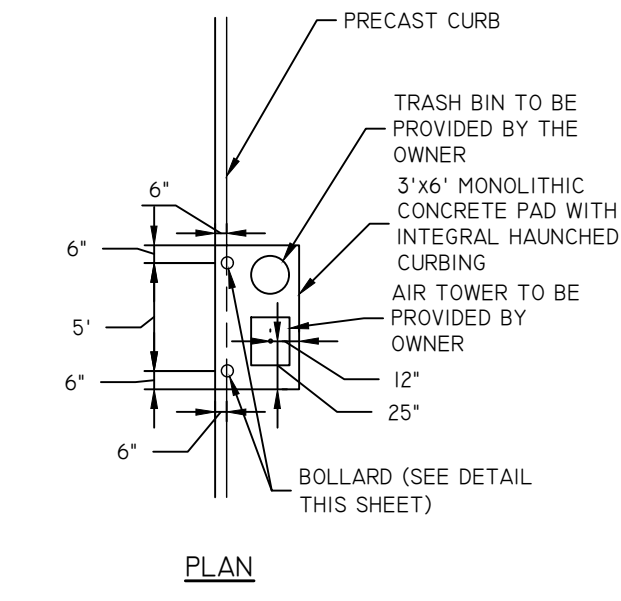
**WARWICK SEWER AUTHORITY DETAILS**

ALL SEWER WORKS ARE TO BE INSTALLED IN ACCORDANCE WITH WARWICK SEWER AUTHORITY (WSA) STANDARD DETAILS (CURRENT EDITION), INCLUDING, BUT NOT LIMITED TO, DROP MANHOLE DETAIL (WSA-6), SEWER TRENCHES (WSA-13), GREASE INTERCEPTOR (WSA-26), TYPICAL SERVICE CONNECTION PLAN AND PROFILE (WSA-16 AND WSA-17), AND SERVICE CLEANOUT (WSA-21).

AVAILABLE ONLINE AT  
[HTTP://WWW.WARWICKSEWERAUTHORITY.COM/PDFs/WSA%20STANDARD%20DETAILS%20COMBINED.PDF](http://www.warwicksewerauthority.com/PDFs/WSA%20STANDARD%20DETAILS%20COMBINED.PDF)

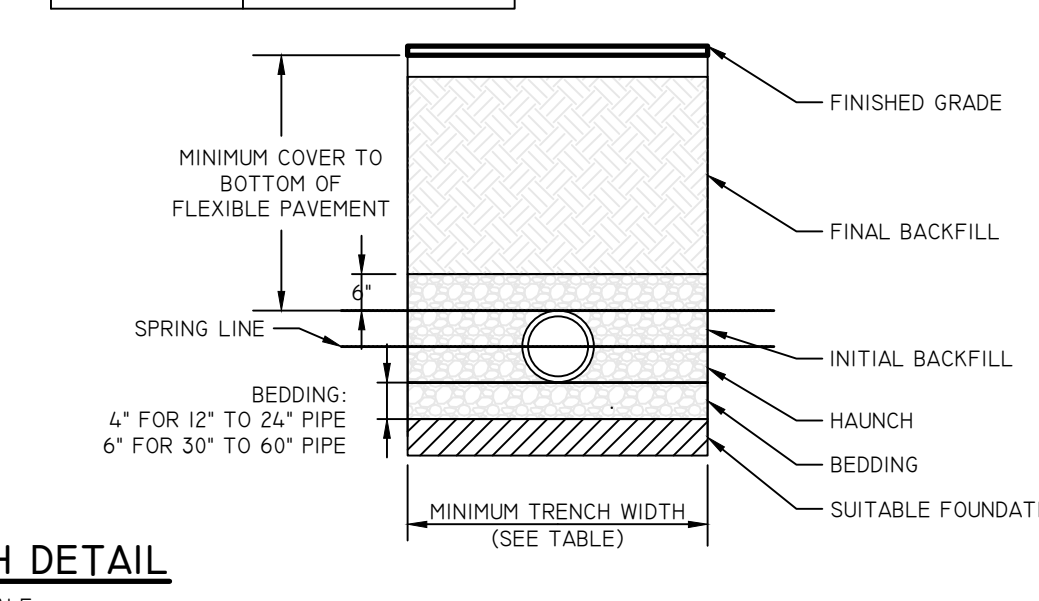
**SEWER LINE/WATER MAIN SEPARATION POLICY FOR DESIGN OF SANITARY SEWERS**

- A. LATERAL PLACEMENT OF SEWERS AND WATER MAINS**
- SEWERS SHALL BE LAID AT LEAST 10' HORIZONTALLY FROM ANY EXISTING OR PROPOSED WATER MAIN. THE DISTANCE SHALL BE MEASURED OUTSIDE EDGE-TO-OUTSIDE EDGE. THERE IS NO MINIMUM VERTICAL SEPARATION REQUIRED PROVIDED THE 10' HORIZONTAL SEPARATION IS MAINTAINED.
- IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10' HORIZONTAL SEPARATION, THE DIVISION MAY ALLOW DEVIATION ON A CASE BY CASE BASIS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER. SUCH DEVIATION MAY ALLOW INSTALLATION OF THE SEWER CLOSER TO A WATER MAIN, PROVIDED THAT:
- THE SEWER AND WATER MAIN ARE LAID IN SEPARATE TRENCHES, OR
  - THE SEWER AND WATER MAIN MAY BE INSTALLED IN THE SAME TRENCH WITH THE WATER MAIN PLACED ON A BENCH OF UNDISTURBED EARTH, AND
  - IN EITHER CASE, THE CROWN OF THE SEWER SHALL BE AT LEAST 18" BELOW THE INVERT OF THE WATER MAIN.
- IN SITUATIONS WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER HORIZONTAL AND VERTICAL SEPARATION AS STIPULATED ABOVE, THE FOLLOWING PROTECTION SHALL BE PROVIDED:
- ENCASUREMENT OF THE SEWER PIPE IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR AT LEAST 10' EITHER SIDE OF THE AREA NOT COMPLYING WITH THE MINIMUM HORIZONTAL AND VERTICAL SEPARATION, OR
  - DESIGN AND CONSTRUCTION OF THE SEWER EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON OR OTHER AWWA-APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE), AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS.
- B. SEWERS CROSSING WATER MAINS**
- SEWERS CROSSING OVER WATER MAINS SHOULD BE AVOIDED, BUT IF CONDITIONS WARRANT THIS SITUATION, THEN ADEQUATE STRUCTURAL SUPPORT SHALL BE PROVIDED FOR THE SEWER TO MAINTAIN LINE AND GRADE. SEWERS CROSSING UNDER WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE INVERT OF THE WATER MAIN AND THE CROWN OF THE SEWER. THE CROSSING SHALL BE ARRANGED SO THAT SEWER JOINTS WILL BE EQUIDISTANT AND AS FAR AS POSSIBLE FROM THE WATER MAIN JOINTS.
- WHERE CONDITIONS PREVENT AN 18" VERTICAL SEPARATION FROM BEING MAINTAINED, THE FOLLOWING METHODS SHALL BE SPECIFIED:
- THE SEWER SHALL BE DESIGNED AND CONSTRUCTED EQUAL TO WATER MAIN PIPE (CEMENT-LINED DUCTILE IRON PIPE, PVC OR OTHER AWWA APPROVED MATERIAL FOR POTABLE WATER CONVEYANCE) FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN AND PRESSURE TESTED IN ACCORDANCE WITH AWWA SPECIFICATIONS, OR
  - EITHER THE WATER MAIN OR THE SEWER MAY BE ENCASED IN CONCRETE (MINIMUM 6" THICKNESS) OR A CARRIER PIPE FOR A DISTANCE OF 12' ON EACH SIDE OF THE CROSSING, MEASURED PERPENDICULAR TO THE WATER MAIN. THE CARRIER PIPE SHALL BE DESIGNED AND CONSTRUCTED OF MATERIALS WHICH ARE SATISFACTORY TO THE DIVISION, OR
  - ANY OTHER METHODS, IF SUPPORTED BY DATA FROM THE DESIGN ENGINEER, WHICH ENSURE ADEQUATE WATER TIGHTNESS AND ARE SATISFACTORY TO THE DIVISION.

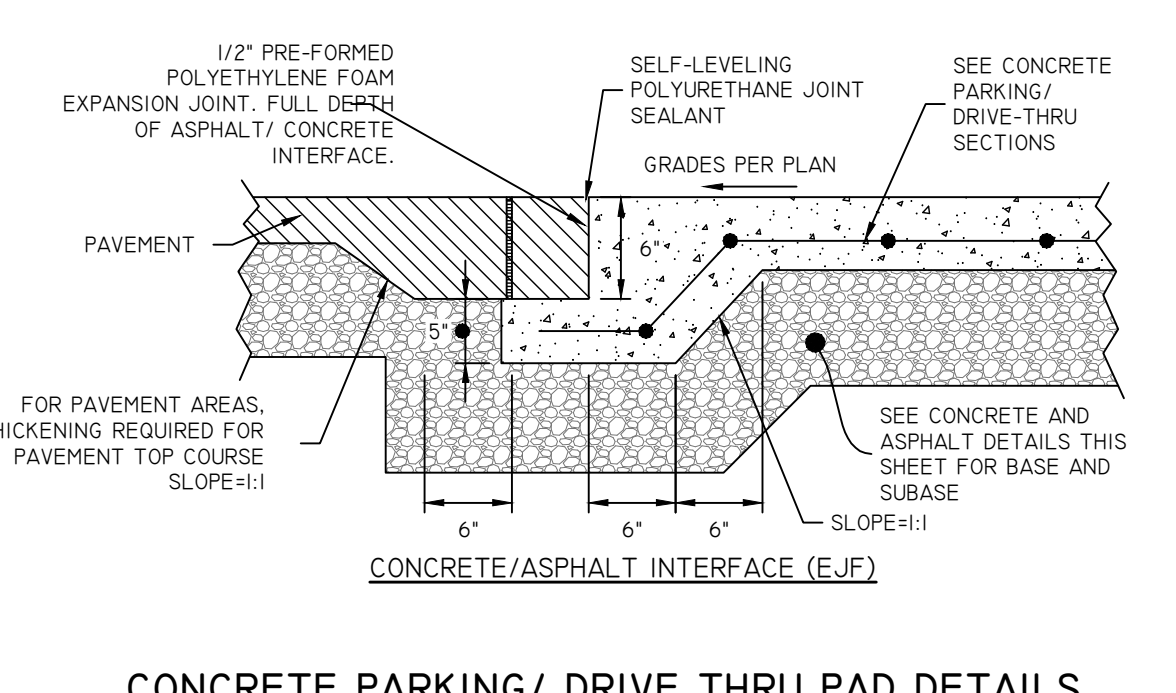
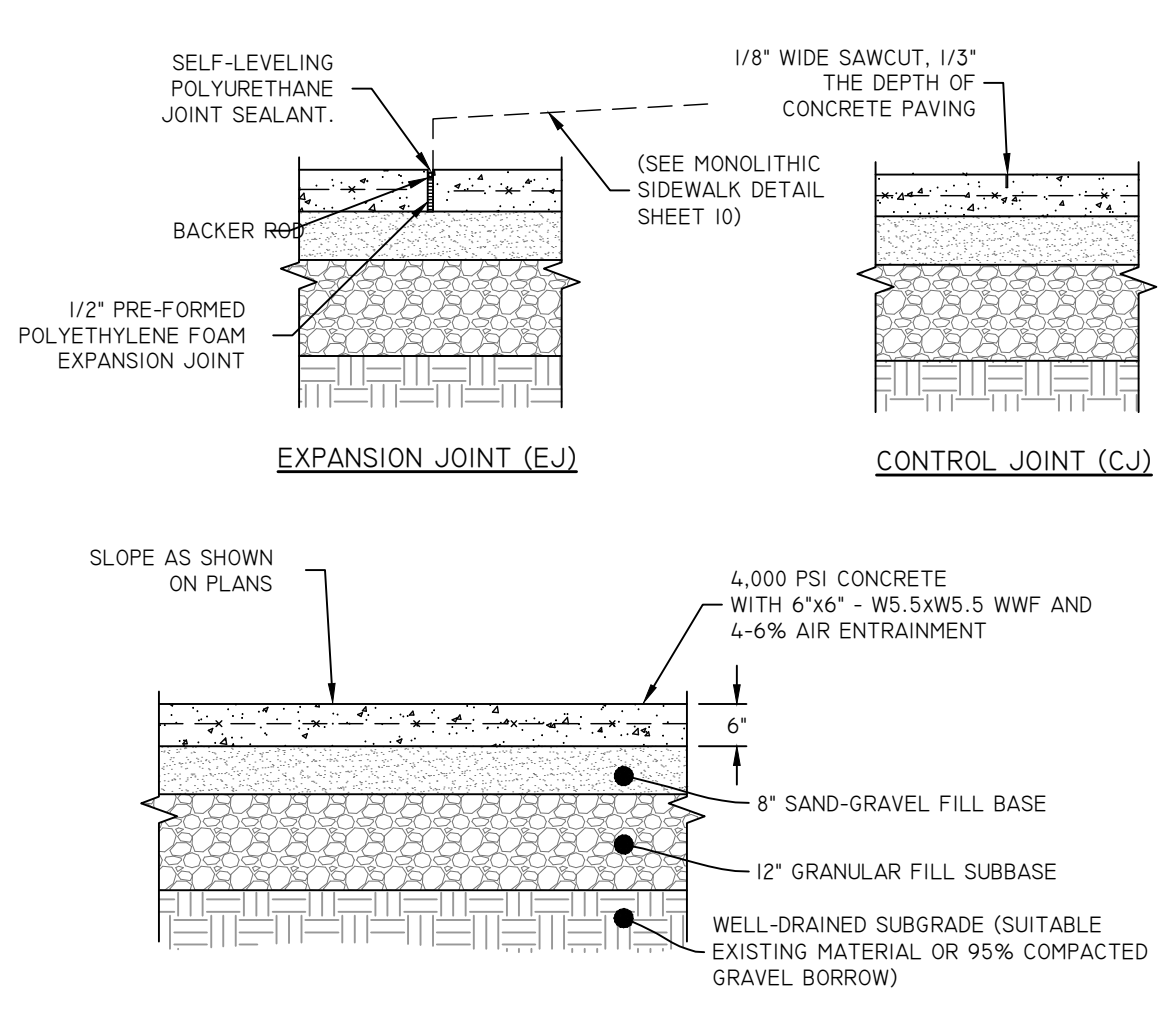


- NOTES:**
- AIR TOWER AND SIGN TO BE PROVIDED BY OWNER.
  - BOLLARD COVERING TO BE PROVIDED BY OWNER.
- INSTALLATION NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION."
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM), 6" (150MM) FOR 30"-60" (750MM-900MM).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.

PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		



- NOTES:**
- THIS PAVEMENT SECTION DETAIL REFLECTS ASSUMED MINIMUM REQUIREMENTS WITHOUT GEOTECHNICAL EVALUATION. FINAL DESIGN TO BE BASED ON GEOTECHNICAL DATA OF SPECIFIC PROJECT AND DAILY TRAFFIC DESIGN REQUIREMENTS.
  - SAWCUT CONTROL JOINTS TO BE MAX SPACING OF 15' O.C.
  - EXPANSION JOINTS TO BE MAX SPACING OF 80' O.C WITH A JOINT FILLER THICKNESS BASED ON THERMAL EXPANSION.
  - EXPANSION JOINTS TO BE INSTALLED FULL DEPTH OF PAVEMENT AND SEALED WITH AN AASHTO APPROVED ELASTOMERIC JOINT SEALER.
  - SLABS SEPARATED BY AN EXPANSION JOINT SHOULD BE TIED TOGETHER WITH DOWELS THAT ARE 2'-6" LONG AT A SPACING OF 18". DOWELS MUST BE SLEEVED ON ONE SIDE OF THE JOINT TO ALLOW FOR MOVEMENT WITHOUT CRACKING.
  - EXPANSION JOINTS TO BE INSTALLED AT INTERFACE WITH ALL WALLS, CURBS, COLUMNS, STEPS, CHANGES IN PAVEMENT AND BUILDINGS.
  - THOROUGHLY WASH AND CLEAN ALL SURFACES AND REMOVE ALL DEBRIS AFTER SAWCUTTING.
  - BACKER ROD SHALL BE A CLOSED CELL POLYURETHANE FOAM ROD WITH A DIAMETER 25% LARGER THAN THE WIDTH OF PREFORMED JOINT.
  - JOINT SEALANT COVER TO MATCH CONCRETE PAVEMENT/ FINISH.
  - ALL PAVEMENT LAYERS MUST COMPLY WITH TOWN & RIDOT SPECIFICATIONS.



**DiPrete Engineering**  
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**LEONARD R. BRADLEY, P.E.**  
 No. 6610  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

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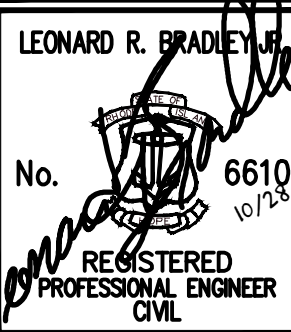
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DATE: 07/28/2021  
 DESCRIPTION: SEWER/WATER MAIN SEPARATION POLICY  
 DESIGN BY: MAH  
 DRAWN BY: MAH

**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
 WARWICK, RHODE ISLAND

**COLBIA ENTERPRISES**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-9005

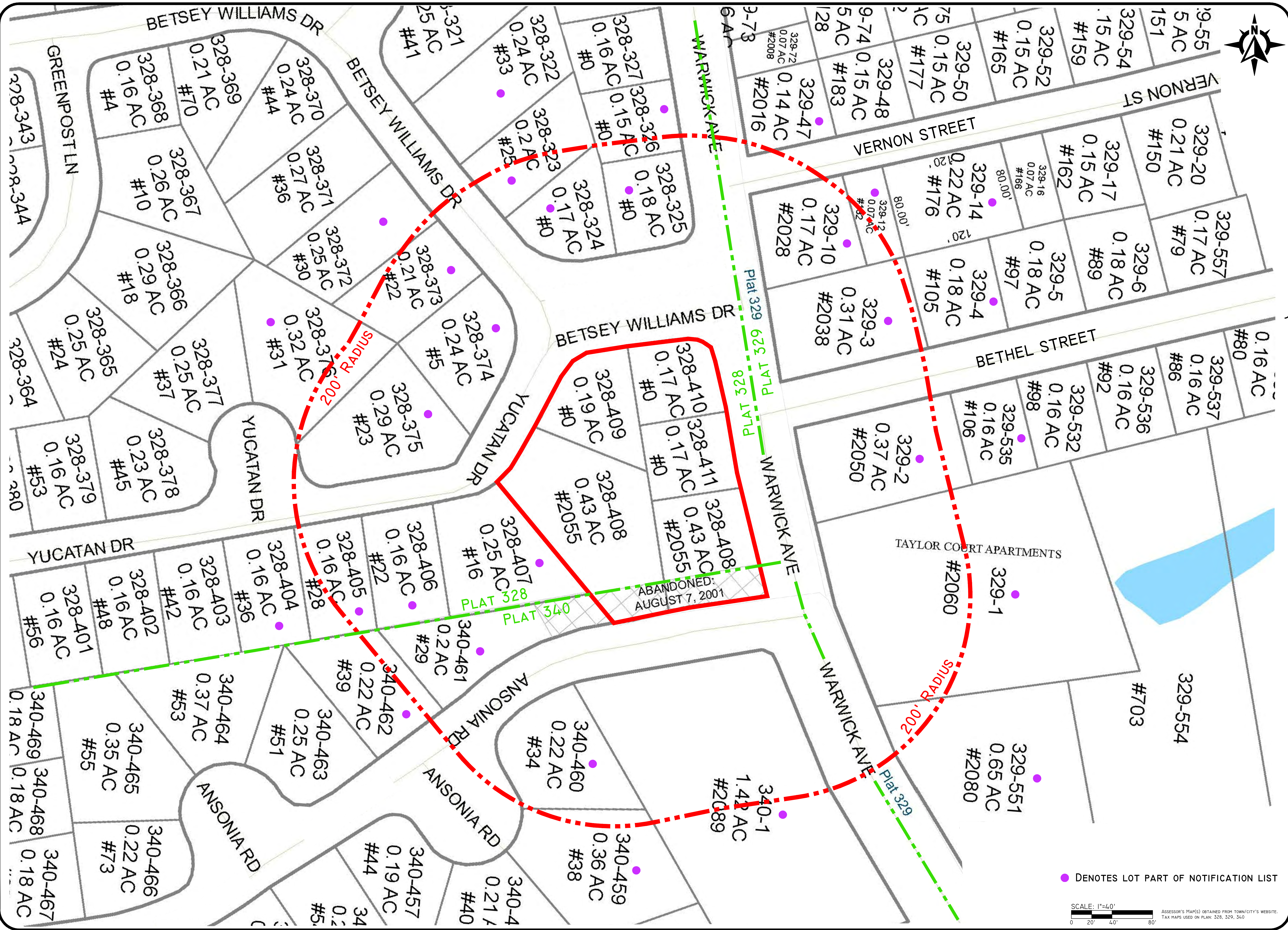
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 SHEET 11 OF 11



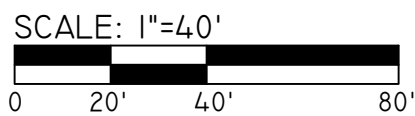
LEONARD R. BRADLEY  
No. 6610  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

DATE	DESCRIPTION	BY
10/26/2022	NOTIFICATION	HAH
10/26/2022	REVISION	HAH

1620 QUINCY ROAD, CRANSTON, RHODE ISLAND 02910  
 217 & 117 017 607 807 LOT 822 LT PL S, S055555  
 LEYLA WERNOC SNOSEAS  
 NATA SNIQV .002

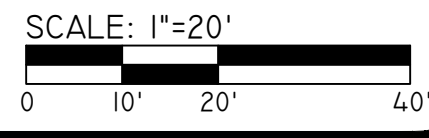
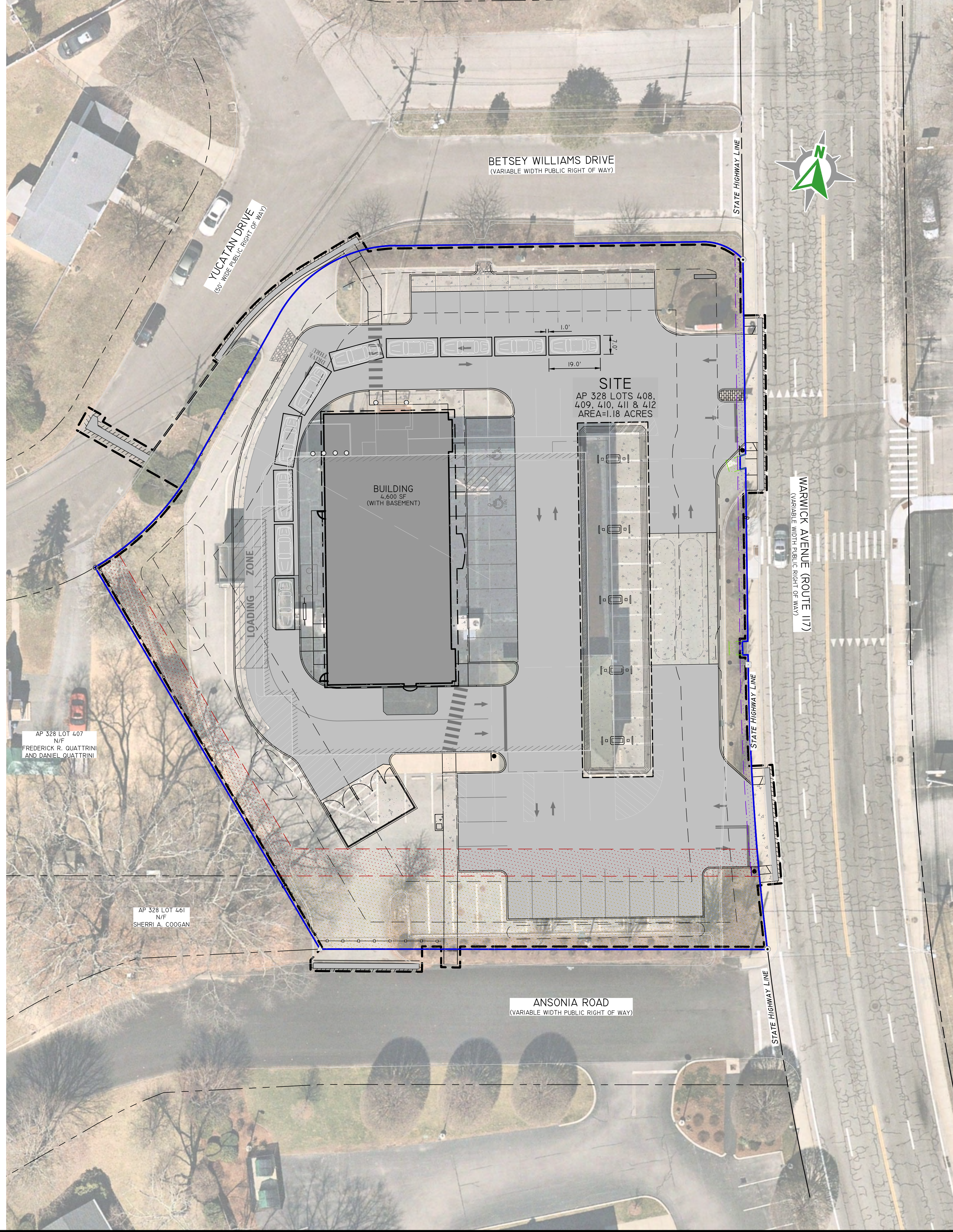


● DENOTES LOT PART OF NOTIFICATION LIST



ASSESSOR'S MAP(S) OBTAINED FROM TOWN/CITY'S WEBSITE.  
TAX MAPS USED ON PLAN: 328, 329, 340

2022/10/26 10:26:10 AM



**DRIVE-THRU STACKING EXHIBIT**

**SEASONS CORNER MARKET**  
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 PREPARED FOR:  
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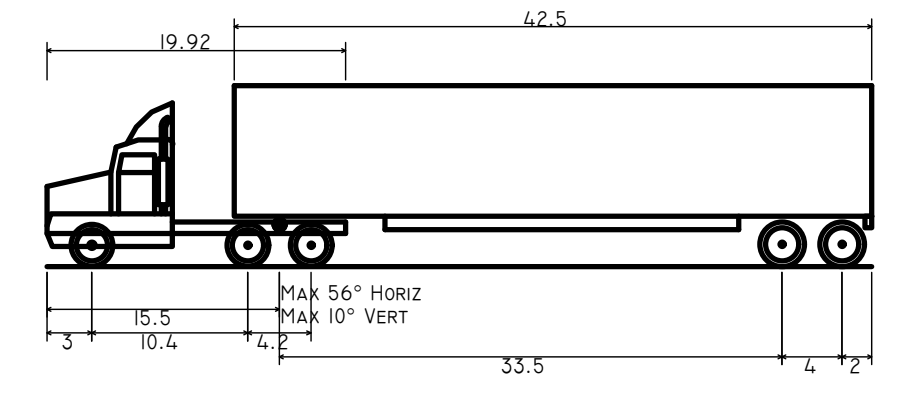
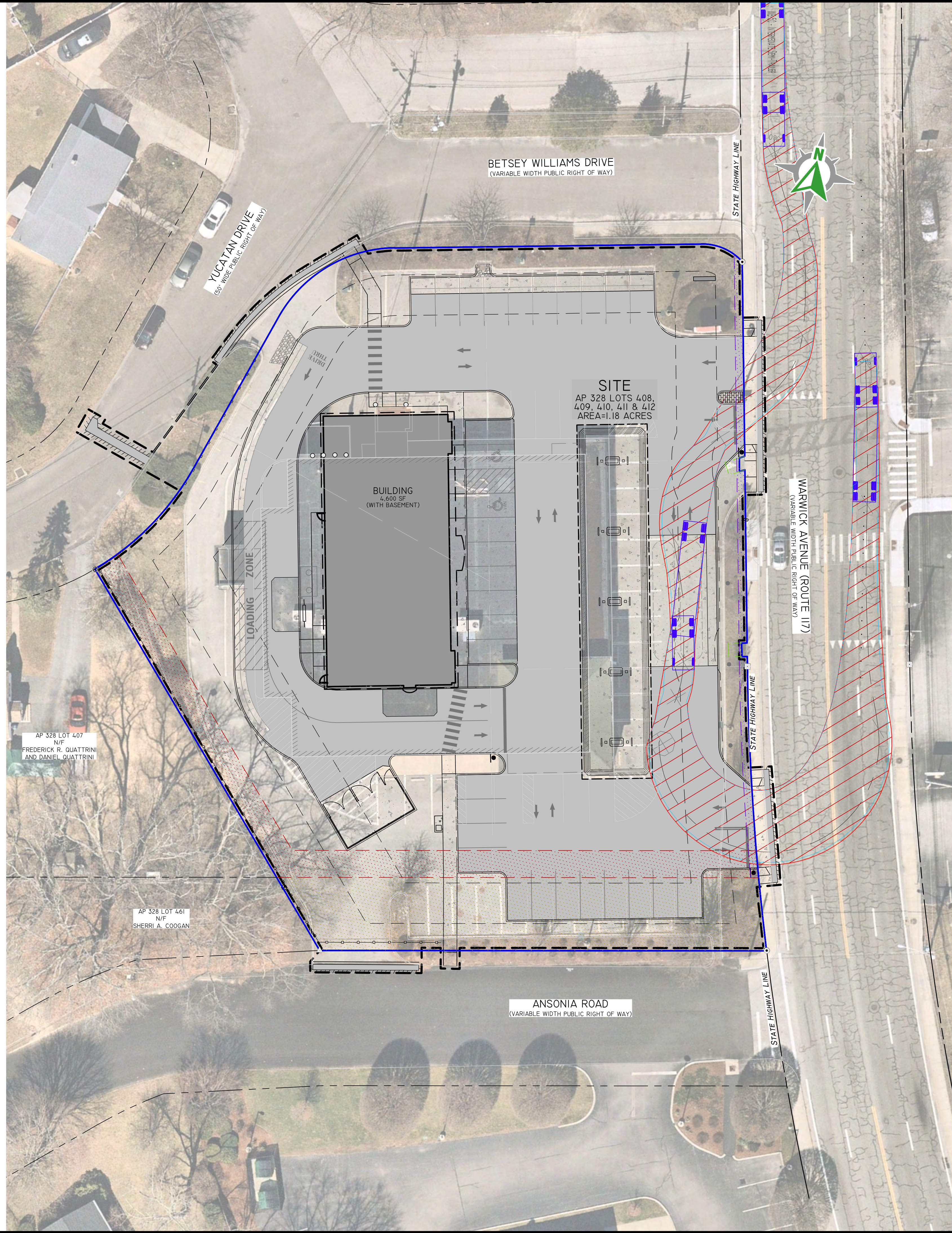
NO.	DATE	DESCRIPTION	DRAWN BY:	DESIGN BY:
1	02/28/2021	BASE LAYOUT PLAN SUBMISSION	MAH	MAH
2				

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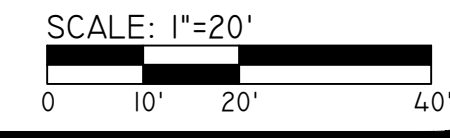
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Z:\BEPAN\PROJECTS\2562-008 WARWICK AVE 2562-AUTOCAD DRAWINGS\2562-008-EMT DWP PLOTTED: 10/12/2021



WB-50 - INTERMEDIATE SEMI-TRAILER  
 OVERALL LENGTH 62.5  
 OVERALL WIDTH 10.24  
 OVERALL BODY HEIGHT 12.052  
 MIN BODY GROUND CLEARANCE 1.334  
 MAX TRACK WIDTH 8.5  
 LOCK-TO-LOCK TIME 6.00S  
 MAX STEERING ANGLE (VIRTUAL) 17.90°



**TRUCK TURN PLAN - 1**

**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
 WARWICK, RHODE ISLAND  
 PREPARED FOR:  
**COLBEA ENTERPRISES**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-0065

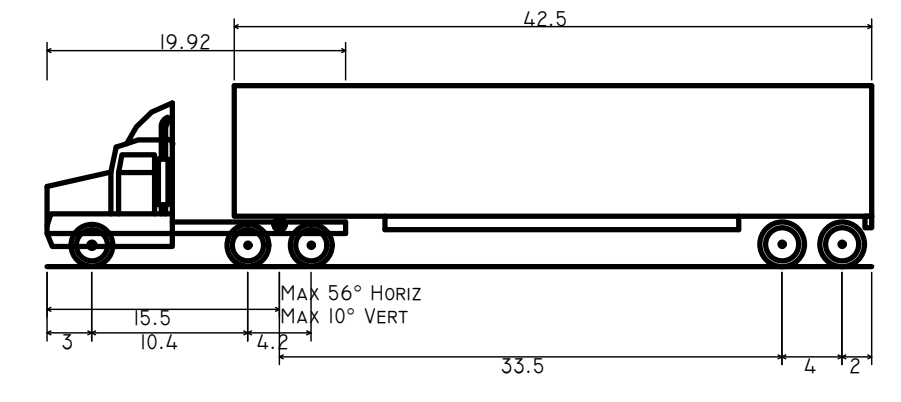
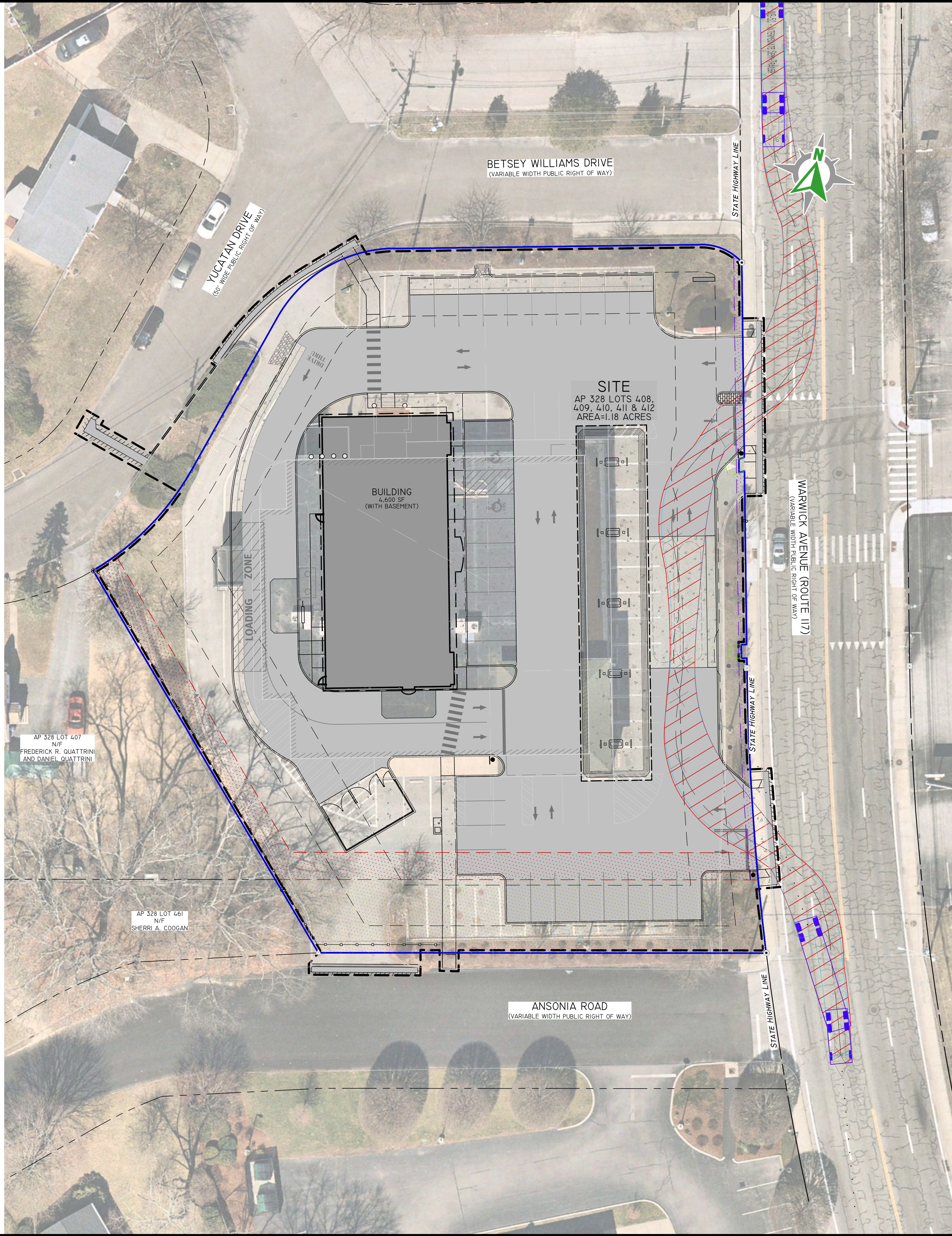
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NO.	DATE	DESCRIPTION	DRAWN BY:	DESIGN BY:
1	02/28/2021	USE AS SUBMITTAL PLAN SUBMISSION	MAH	MAH

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 ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO COLLISIONS OF EXISTING UTILITIES.

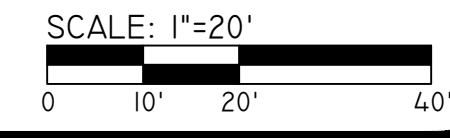
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WB-50 - INTERMEDIATE SEMI-TRAILER

OVERALL LENGTH	62.5
OVERALL WIDTH	10.92
OVERALL BODY HEIGHT	12.052
MIN BODY GROUND CLEARANCE	1.334
MAX TRACK WIDTH	8.500
LOCK-TO-LOCK TIME	6.00S
MAX STEERING ANGLE (VIRTUAL)	17.90°



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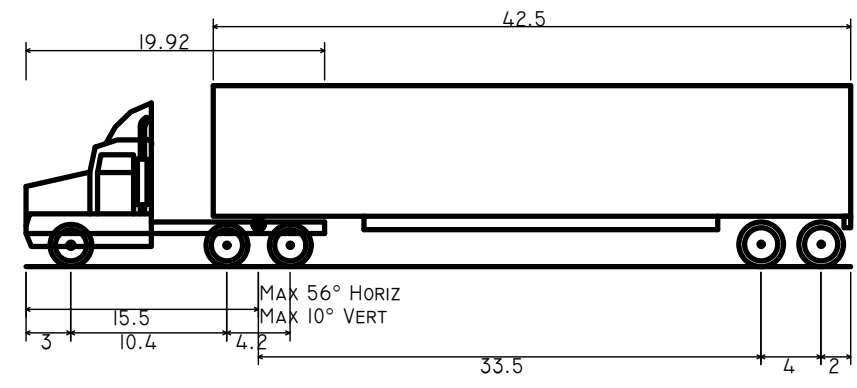
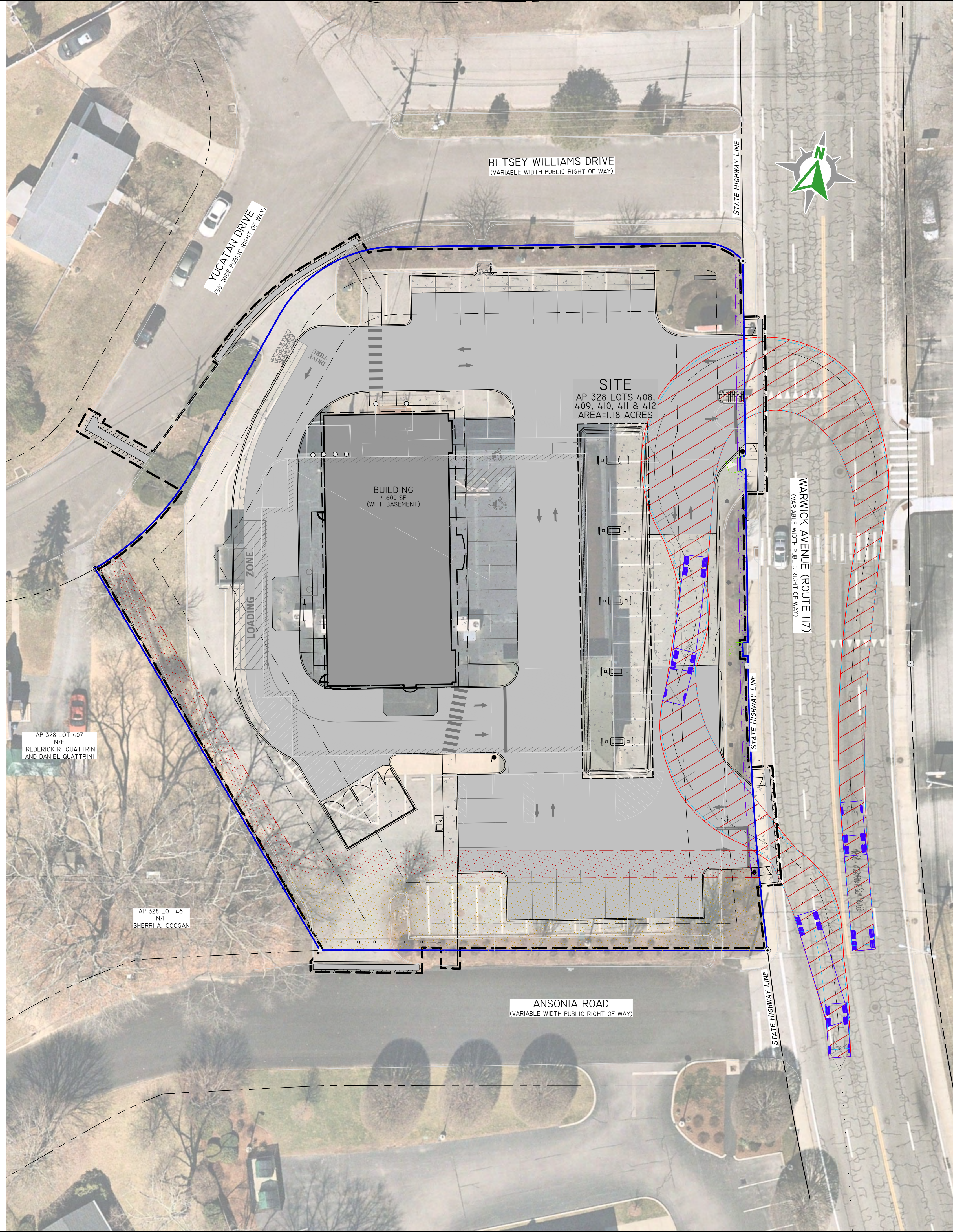
NO.	DATE	DESCRIPTION	DRAWN BY:	DESIGN BY:
1	02/28/2021	USE AS SUBMITTAL PLAN SUBMISSION	MAH	MAH

**TRUCK TURN PLAN - 2**

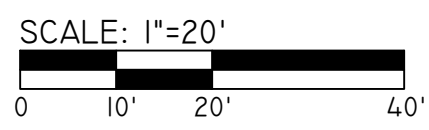
**SEASONS CORNER MARKET**  
ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
WARWICK, RHODE ISLAND

PREPARED FOR:  
**COLBEA ENTERPRISES**  
2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
TEL 401-943-0066

DE JOB NO: 2562-008 COPYRIGHT 2021 BY DIPRETE ENGINEERING ASSOCIATES, INC.



WB-50 - INTERMEDIATE SEMI-TRAILER  
 OVERALL LENGTH 62.500FT  
 OVERALL WIDTH 10.920FT  
 OVERALL BODY HEIGHT 12.052FT  
 MIN BODY GROUND CLEARANCE 1.334FT  
 MAX TRACK WIDTH 8.500FT  
 LOCK-TO-LOCK TIME 6.00S  
 MAX STEERING ANGLE (VIRTUAL) 17.90°



**TRUCK TURN PLAN - 3**

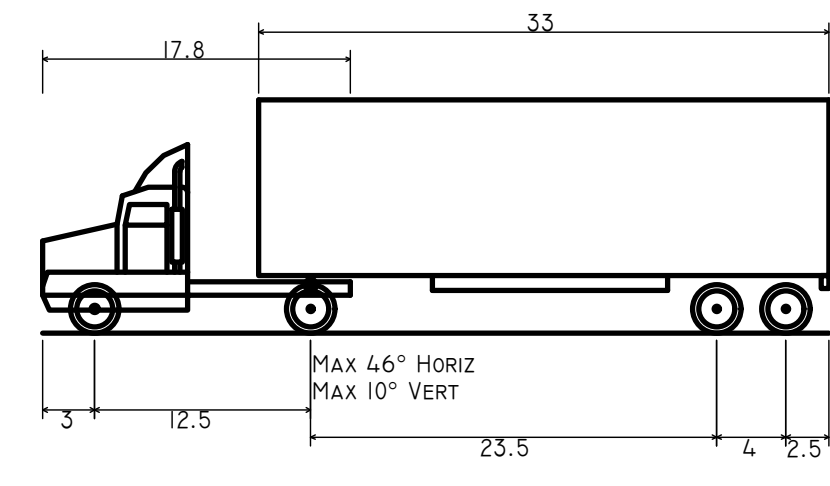
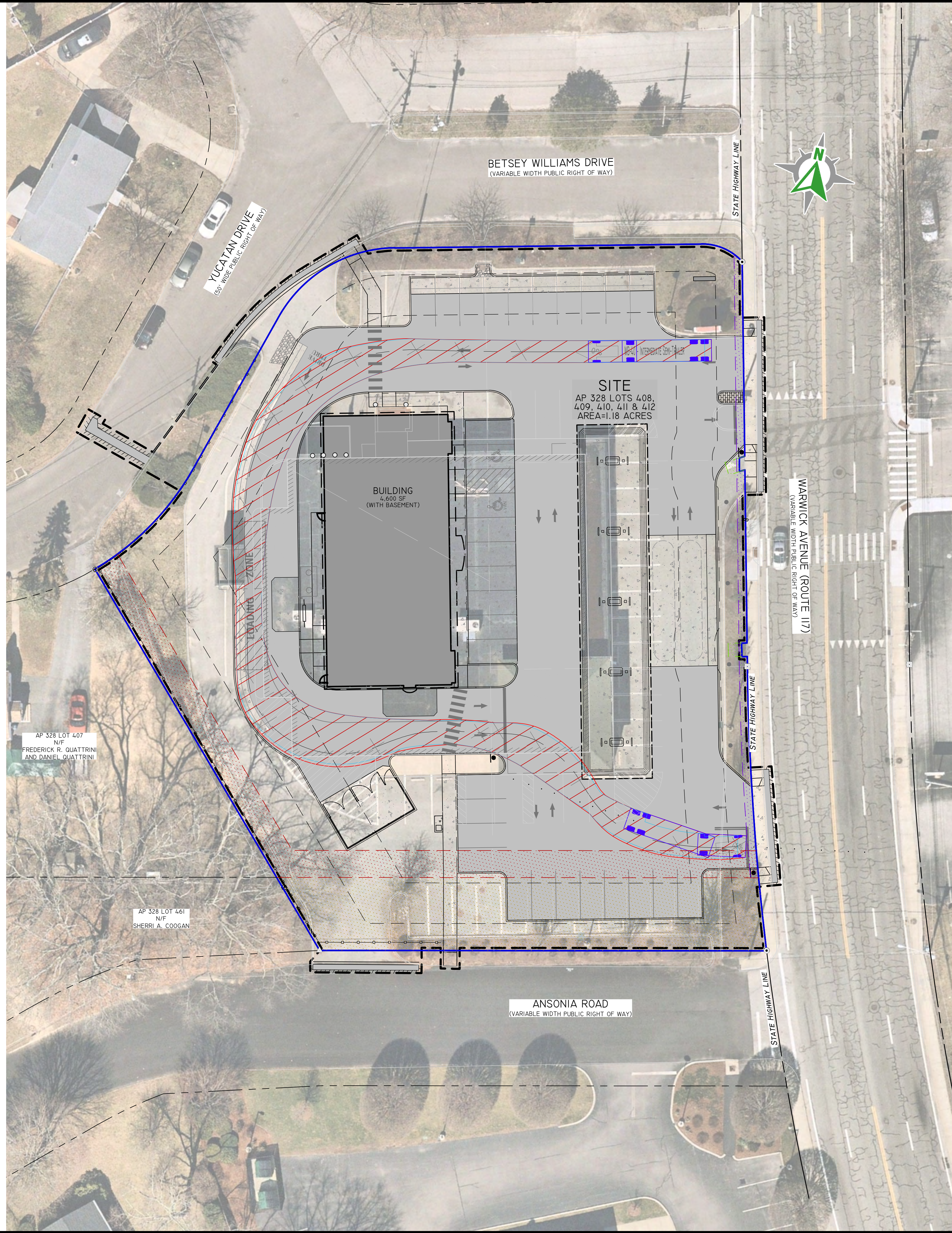
**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
 WARWICK, RHODE ISLAND  
 PREPARED FOR:  
**COLBEA ENTERPRISES**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-0065

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.

DIPRETE ENGINEERING ONLY WARRANTS PLANS ONLY. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. ONLY DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO COLLISIONS OF EXISTING UTILITIES.

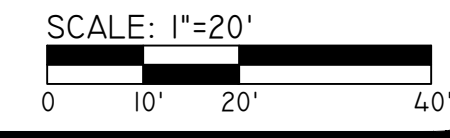
NO.	DATE	DESCRIPTION	BY:	DESIGN BY:
1	02/28/2021	DATE SUBMITTED FOR PLAN SUBMISSION	MAH	MAH





WB-40 - INTERMEDIATE SEMI-TRAILER  
 OVERALL LENGTH 45.499FT  
 OVERALL WIDTH 8.000FT  
 OVERALL BODY HEIGHT 13.500FT  
 MIN BODY GROUND CLEARANCE 1.334FT  
 TRACK WIDTH 8.000FT  
 LOCK-TO-LOCK TIME 4.00S  
 MAX STEERING ANGLE (VIRTUAL) 20.30°

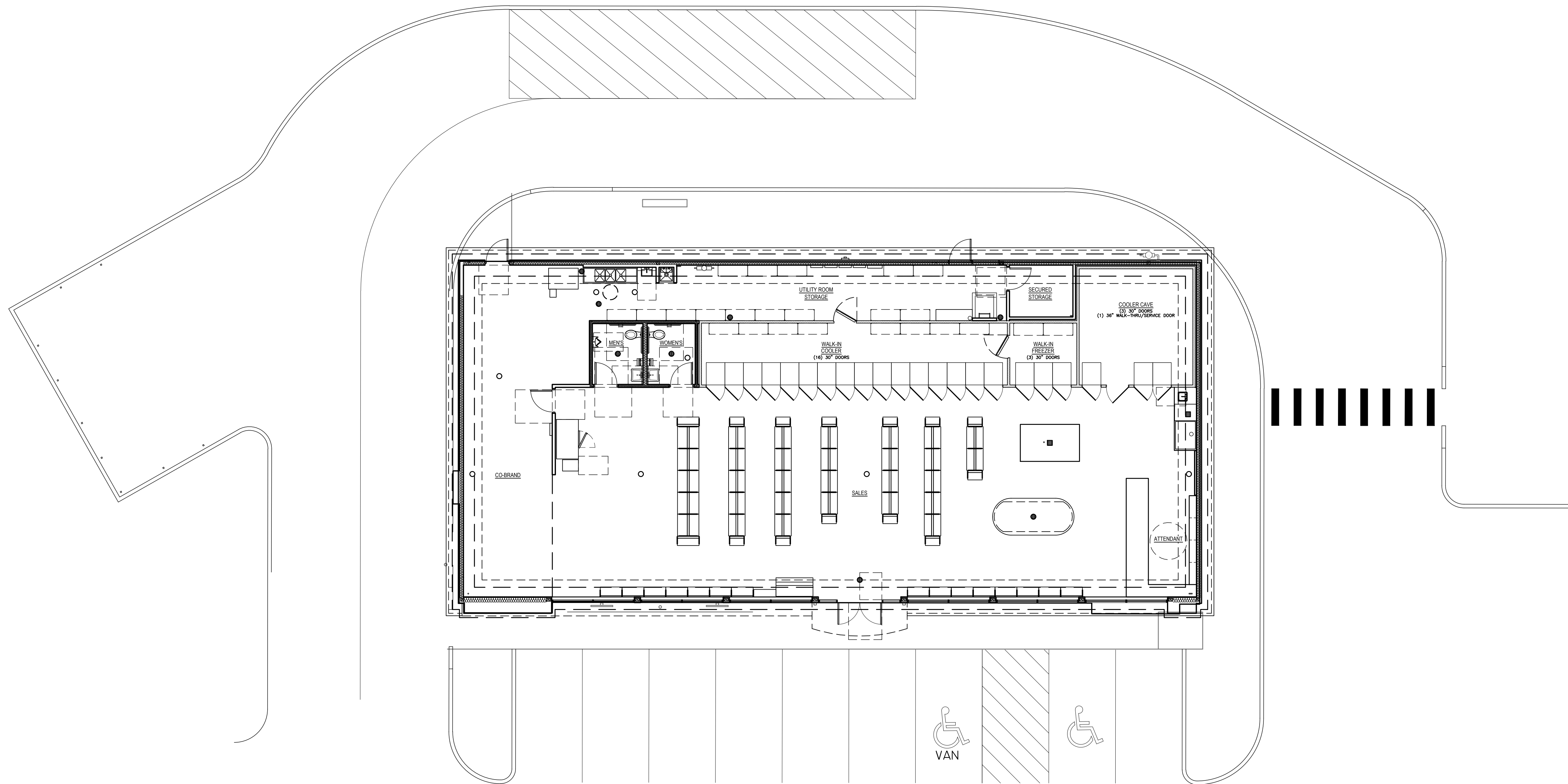
45.499FT  
 8.000FT  
 13.500FT  
 1.334FT  
 8.000FT  
 4.00S  
 20.30°



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED AND SIGNED BY THE PROFESSIONAL ENGINEER OF RECORD AND STAMPED BY THE PROFESSIONAL ENGINEER OF RECORD.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE PROFESSIONAL ENGINEER OF RECORD BASIS. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
 THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND UTILITIES INFORMATION FROM THE LOCAL AUTHORITIES. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO OMISSIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	DESIGN BY: MAH
1	02/28/2021	ISSUE FOR PERMITS SUBMISSION	DESIGN BY: MAH

**TRUCK TURN PLAN - 4**  
**SEASONS CORNER MARKET**  
 ASSESSOR'S PLAT 328 LOT 408, 409, 410, 411 & 412  
 WARWICK, RHODE ISLAND  
 PREPARED FOR:  
**COLBEA ENTERPRISES**  
 2050 PLAINFIELD PIKE, CRANSTON, RHODE ISLAND 02921  
 TEL 401-943-0066



Typical Floor Plan

**Seasons Corner Market**

2055 Warwick Avenue  
Warwick, Rhode Island

Prepared by:

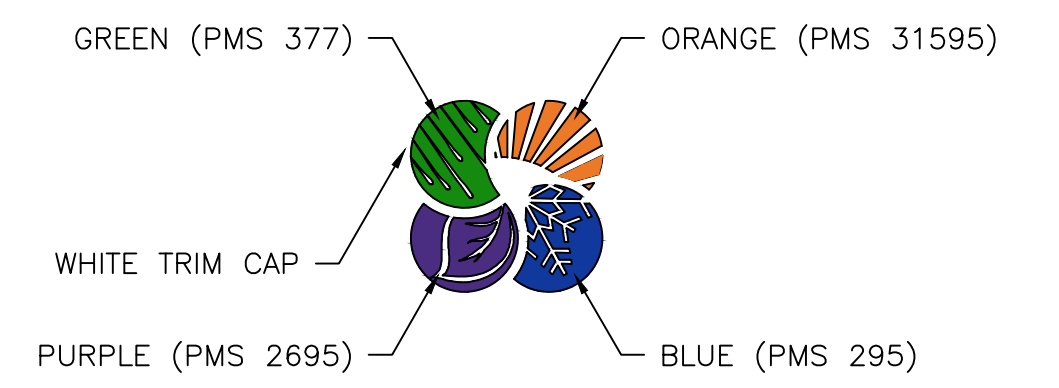


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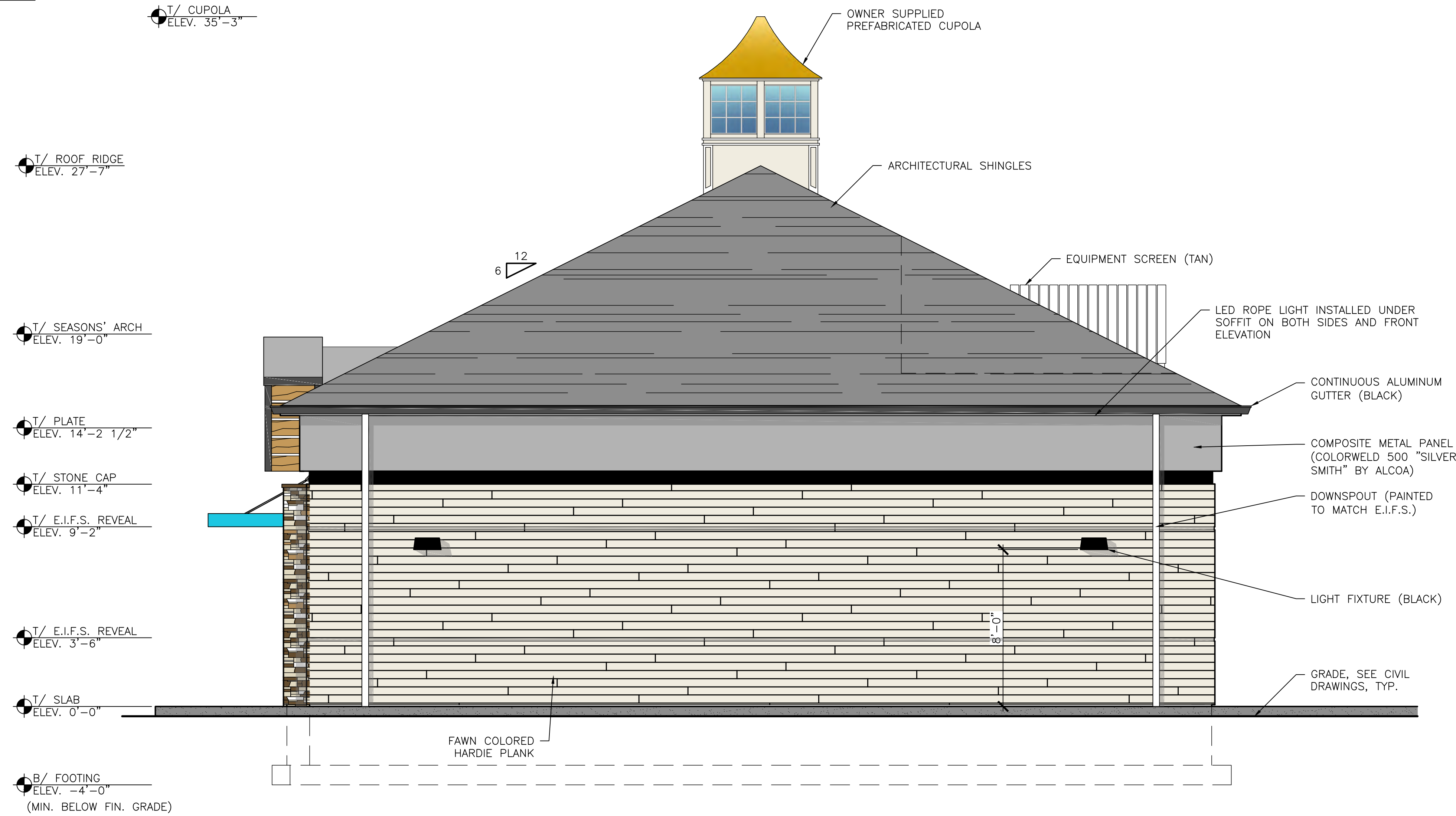
Date: 10/28/2021



1 FRONT ELEVATION  
A2.0c SCALE: 1/4" = 1'-0"



1b SEASONS' SYMBOL DETAIL  
A2.0c SCALE: 1/4" = 1'-0"



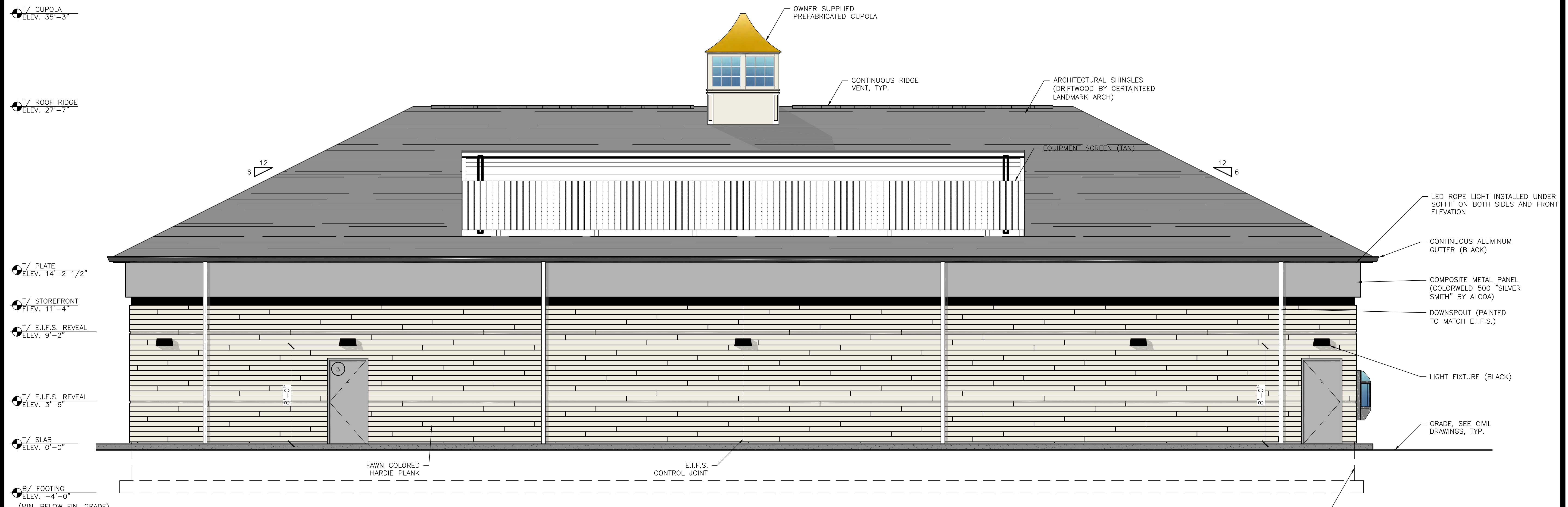
2 RIGHT SIDE ELEVATION  
A2.0c SCALE: 1/4" = 1'-0"

**Front and Right Side Elevation**

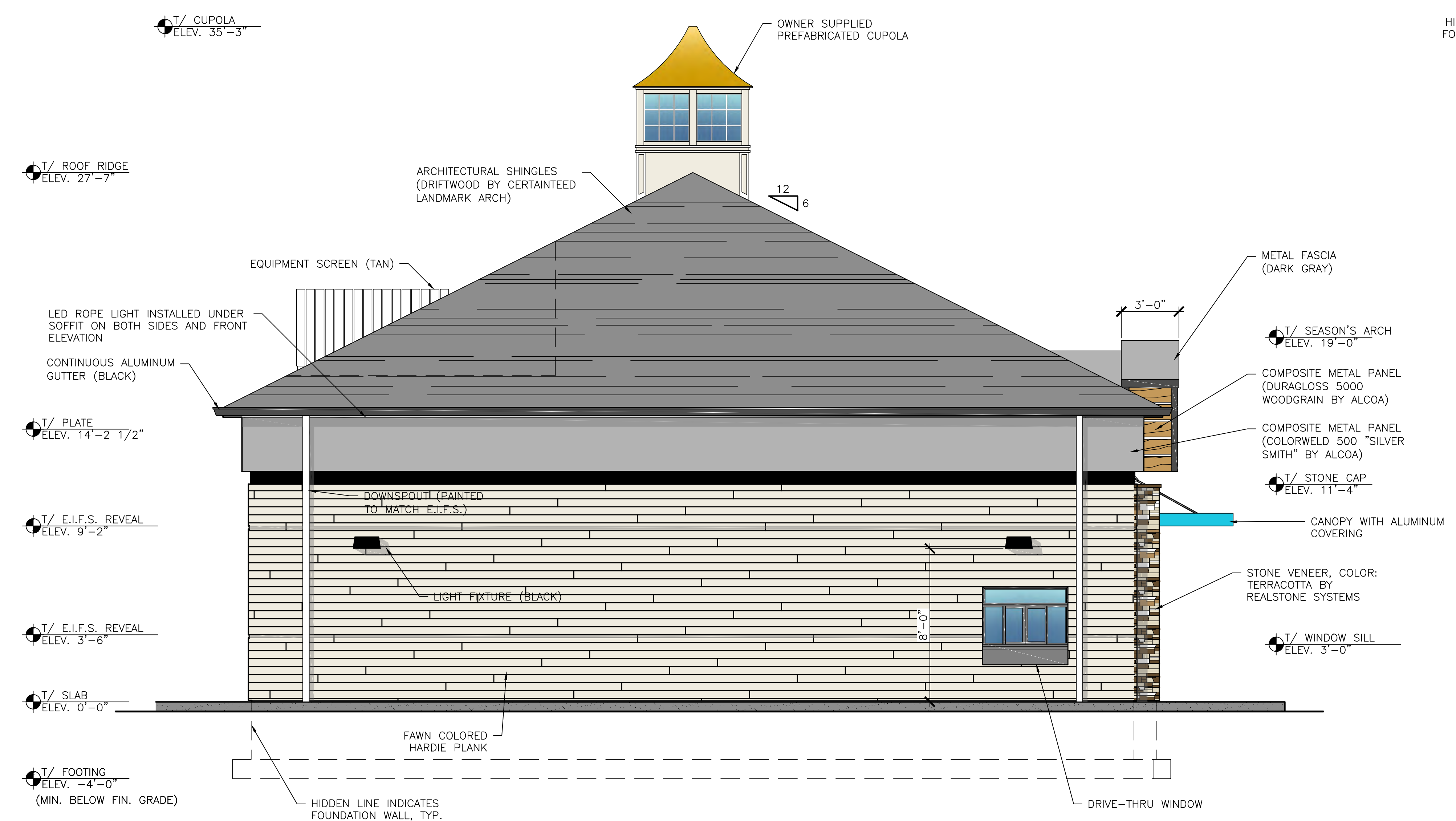
**Seasons Corner Market**  
2055 Warwick Avenue  
Warwick, Rhode Island

Prepared by:

Scale: As Shown Date: 10/28/2021



1 REAR ELEVATION  
A2.1g SCALE: 1/4" = 1'-0"



2 LEFT SIDE ELEVATION  
A2.1g SCALE: 1/4" = 1'-0"

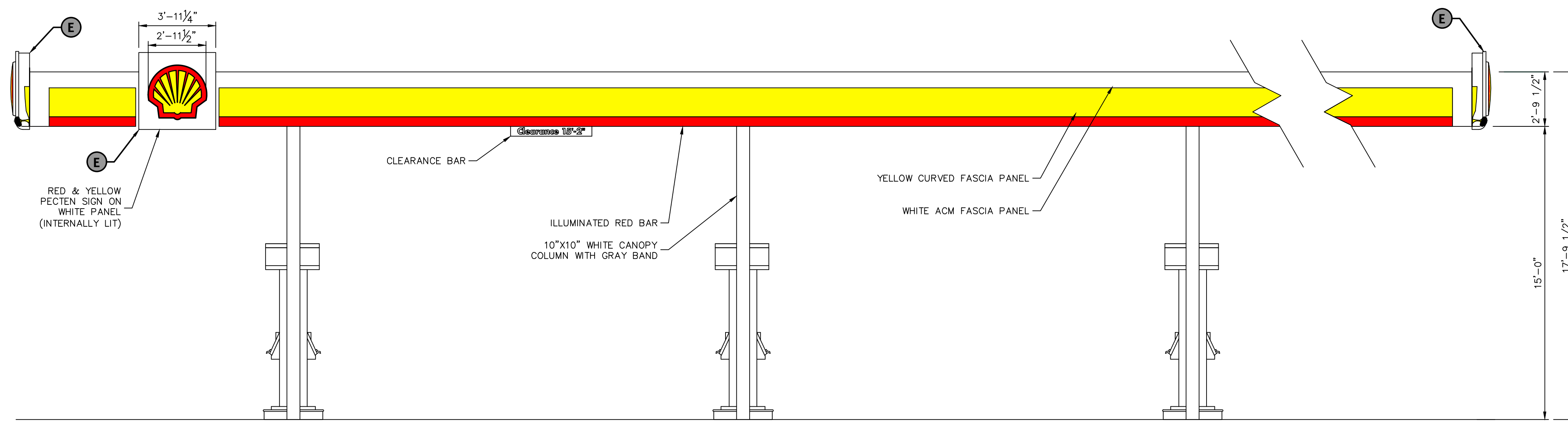
**Rear and Left Side Elevation**

**Seasons Corner Market**  
2055 Warwick Avenue  
Warwick, Rhode Island

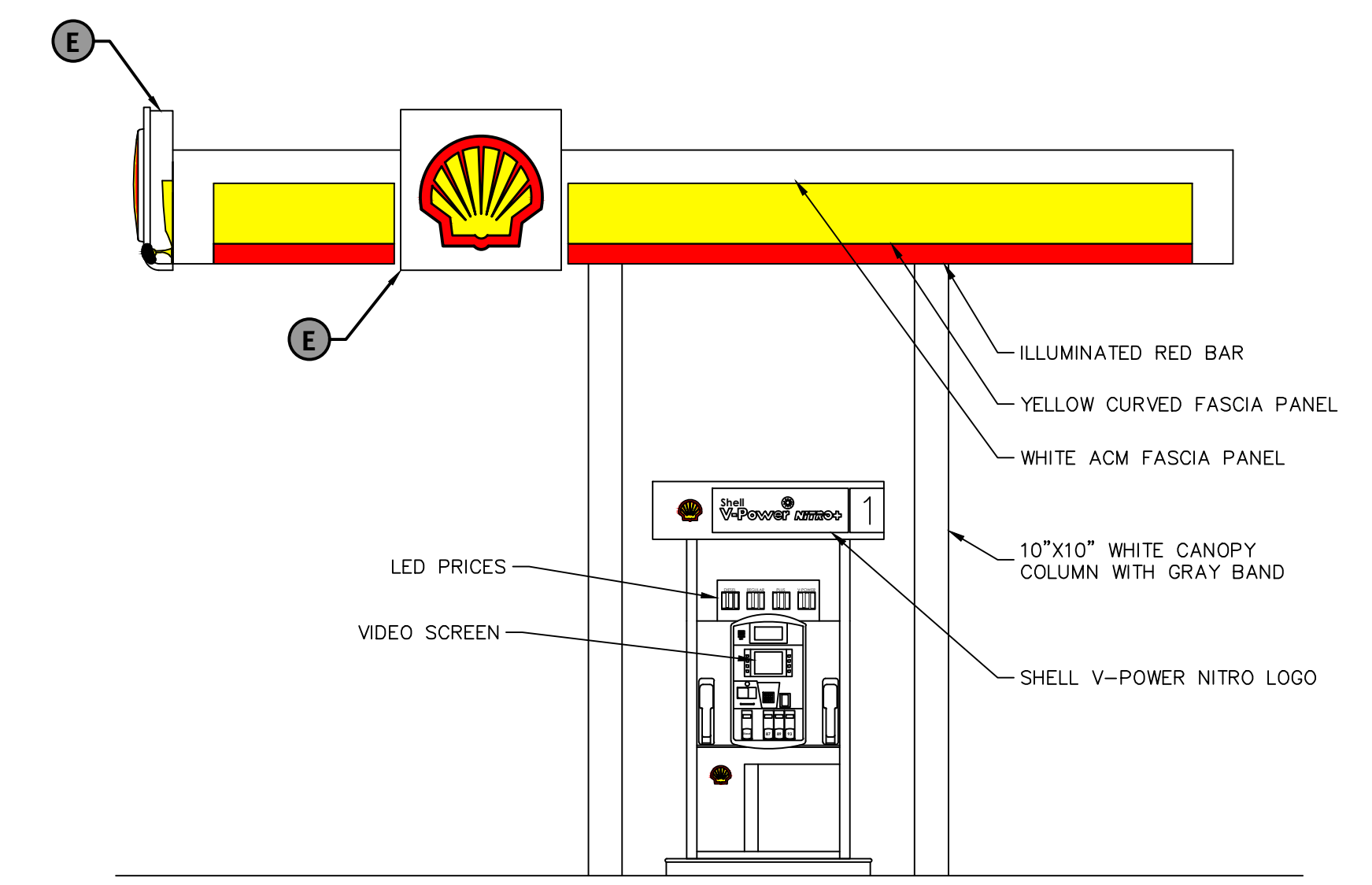
Prepared by:



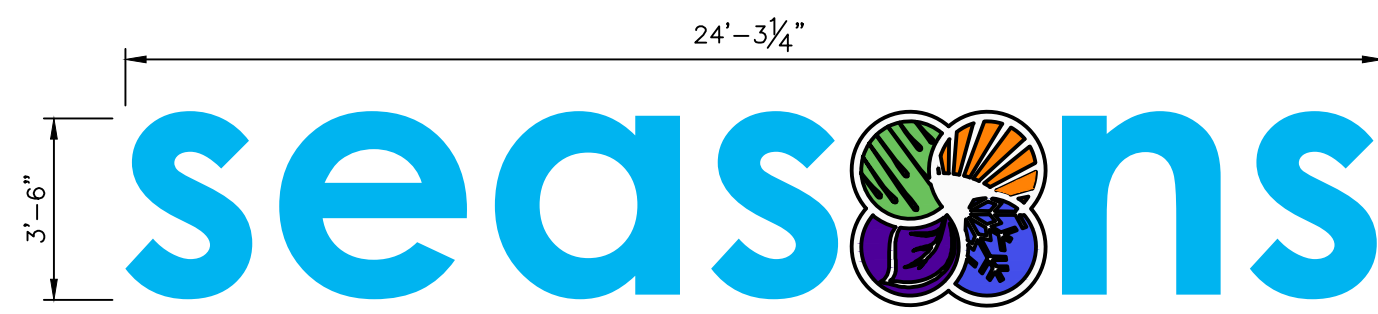
Scale: As Shown Date: 10/28/2021



**Proposed Front Canopy Elevation**  
SCALE: 1/4"=1'-0"

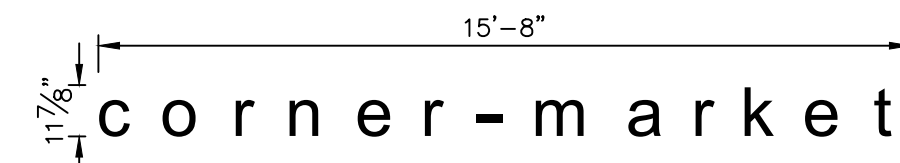


**Proposed Side Canopy Elevation**  
SCALE: 1/4"=1'-0"



**B** PROPOSED "SEASONS" SIGN  
AREA=85.0 S.F.  
(QTY. 1)

SIGN IS MADE UP OF INDIVIDUAL LETTERS.

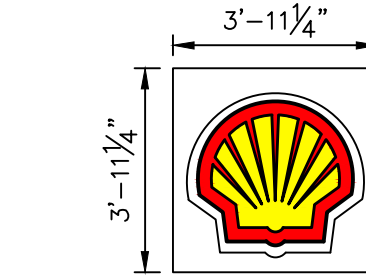


**C** PROPOSED "CORNER MARKET" SIGN  
AREA=15.5 S.F.  
(QTY. 1)



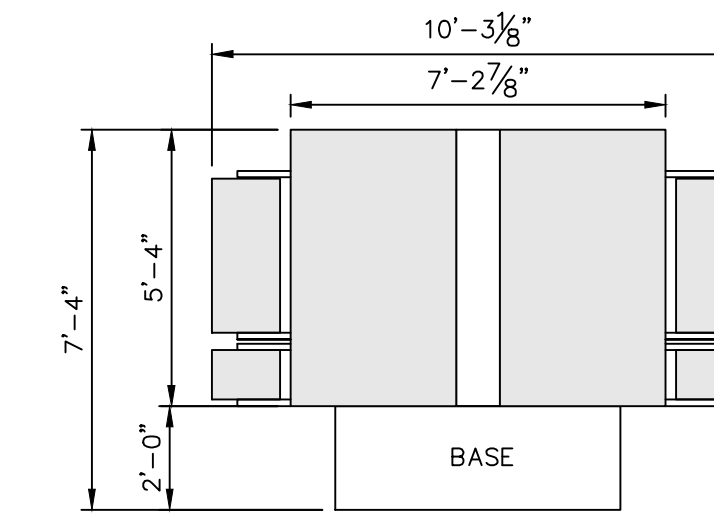
**D** PROPOSED CO-BRAND SIGN  
AREA=17.7 S.F.  
(QTY. 1)

NOTE: TENANT SIGN/BASE TO BE PER CO-BRAND SPECIFICATIONS

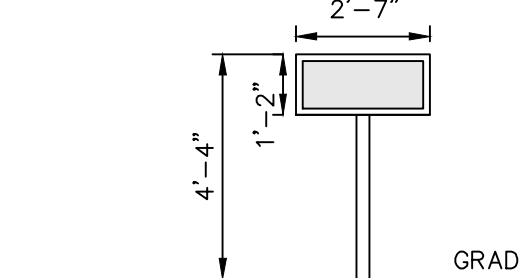


**E** PROPOSED PECTEN SIGN  
AREA=15.5 S.F.  
(QTY. 3)

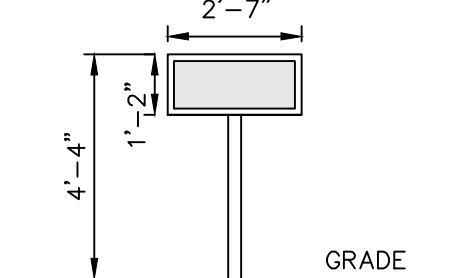
**F** PROPOSED "WELCOME" SIGN  
AREA=2.1 S.F.  
(QTY. 1)



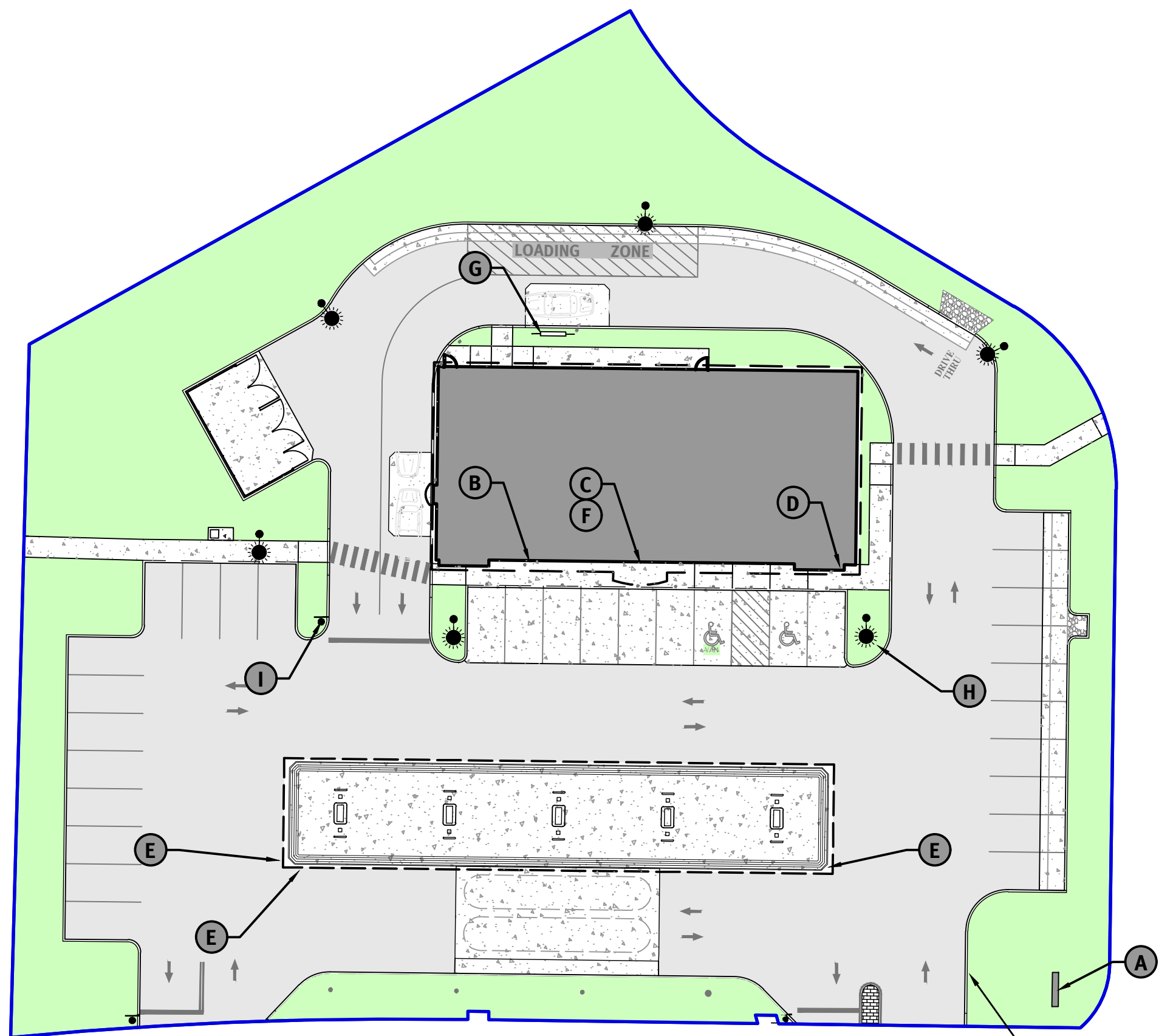
**G** PROPOSED MENU BOARD  
AREA=48.9 S.F.  
(QTY. 1)



**H** PROPOSED "DRIVE THRU" SIGN  
AREA=3.0 S.F.  
(QTY. 1)



**I** PROPOSED "EXIT" SIGN  
AREA=3.0 S.F.  
(QTY. 1)



Warwick Avenue

**Site Plan**  
SCALE: 1"=30'

TYPE	ALLOWED PER ORDINANCE	CALCULATION	PROVIDED	SIGN REFERENCE
CANOPY	2 PER 1 FOOT OF BUILDING FRONTAGE	100' * 2 = 200 SF	46.5 SF	E
FREESTANDING	80 PER SIDE, NOT TO EXCEED 160 SF	N/A	43.1 SF	A
	MAX HEIGHT OF 15'	N/A	7.36'	A
	MIN SIGN SETBACK OF 10'	N/A	10'	A
WALL	2 PER 1 FOOT OF BUILDING FRONTAGE	100' * 2 = 200 SF	118.2'	B, C, D
DIRECTIONAL	NO SPECIFIC REQUIREMENT			F, G, H, I

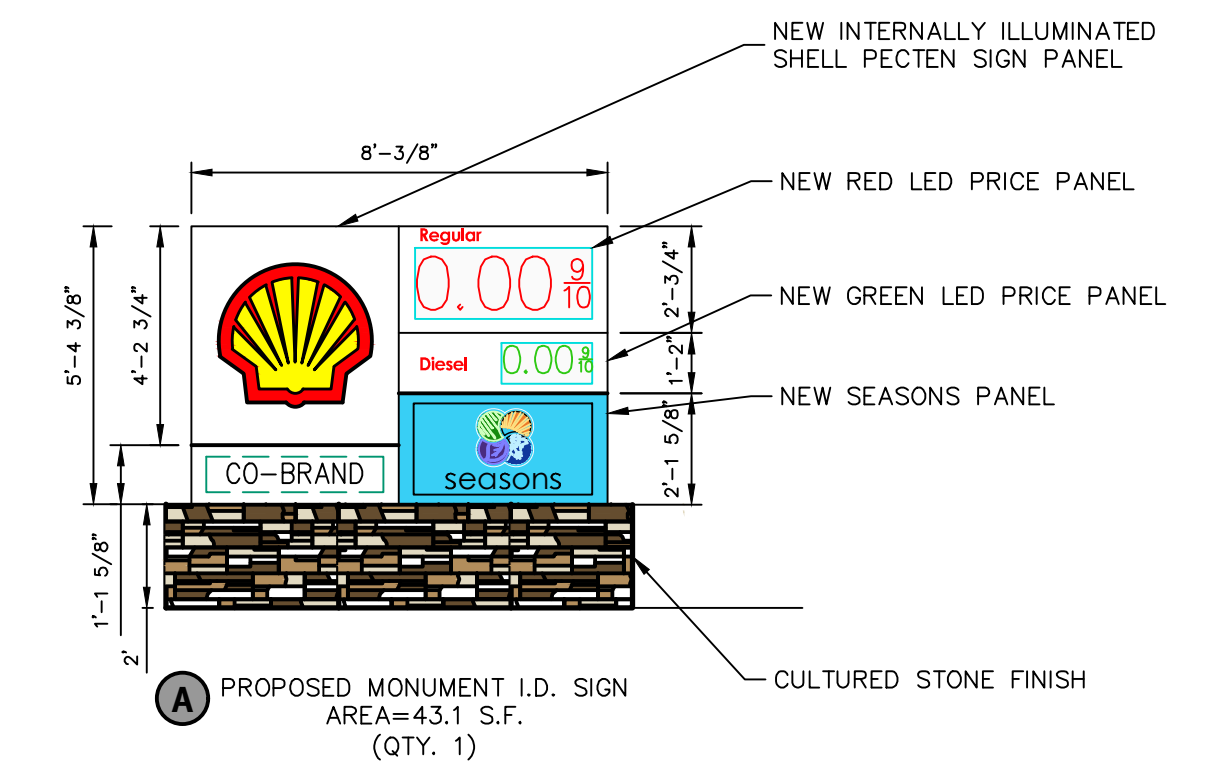
**Sign Ordinance Analysis**

MARK	DESCRIPTION	SIZE	AREA (SF)	QUAN.	SIZE (SF)	ILLUMINATION	REMARKS	TYPE
FREESTANDING SIGNS								
<b>A</b>	I.D. SIGN	8'-3/8" X 5'-4 3/4"	43.1	1	43.1	INT	NEW	GROUND
TOTAL PROPOSED FREESTANDING SIGNAGE: 43.1 S.F.								
WALL SIGNS								
<b>B</b>	"SEASONS" SIGN	24'-3 1/4" X 3'-6"	85.0	1	85.0	INT	NEW	WALL
<b>C</b>	"CORNER MARKET" SIGN	15'-8" X 0'-11 1/8"	15.5	1	15.5	EXT	NEW	WALL
<b>D</b>	CO-BRAND SIGN	7'-1" X 2'-6"	17.7	1	17.7	INT	NEW	WALL
<b>E</b>	CANOPY SIGN	3'-11 1/4" X 3'-11 1/4"	15.5	3	46.5	INT	NEW	WALL
TOTAL PROPOSED WALL SIGNAGE: 164.7 S.F.								
<b>F</b>	"WELCOME"	4'-3" X 0'-6"	2.1	1	2.1	INT	NEW	WALL
<b>G</b>	MENU BOARD	5'-4" X 10'-3 1/8"	48.9	1	48.9	INT	NEW	GROUND
<b>H</b>	DRIVE-THRU SIGN	1'-2" X 2'-7"	3.0	1	3.0	INT	NEW	GROUND
<b>I</b>	EXIT SIGN	1'-2" X 2'-7"	3.0	1	3.0	INT	NEW	GROUND
TOTAL PROPOSED DIRECTIONAL SIGNAGE: 57.0 S.F.								

**Proposed Sign Schedule**

**Sign Scope of Work Note:**

- ALL SIGNAGE SHOWN ON THIS SHEET FOR REFERENCE ONLY.
- INSTALLATION OF SIGN COMPONENTS AND SIGN MATERIALS PROVIDED BY OWNER.
- FOOTINGS AND POWER SUPPLY BY CONTRACTOR.
- ALL SIGNS AND ANCILLARY SIGNAGE/BRANDING ITEMS TO BE PROVIDED AND DIRECTED BY COLBEA ENTERPRISES.
- CANOPY FOOTINGS WILL BE DESIGNED BY CANOPY SUPPLIER IN ACCORDANCE WITH ALL APPLICABLE CODES AND DESIGN STANDARDS. CANOPY FOOTINGS WILL BE PLACED BY GC IN STRICT CONFORMANCE TO FOOTING DESIGN, INCLUDING EXCAVATION, FORMING, ANCHOR BOLTS, STEEL PLACEMENT, DEWATERING, CONCRETE PLACEMENT, ETC.



**Main ID Note:**

- SIGN IS DOUBLE SIDED AND HAS COPY ON EACH SIDE AS SHOWN ABOVE.
- SIGN IS IDENTICAL ON EACH SIDE.
- MONUMENT SIGN AND BASE DESIGN BY FEDERAL HEATH.

**Signage Plan & Elevations**

**Seasons Corner Market**

2055 Warwick Avenue  
Warwick, Rhode Island

Prepared by:



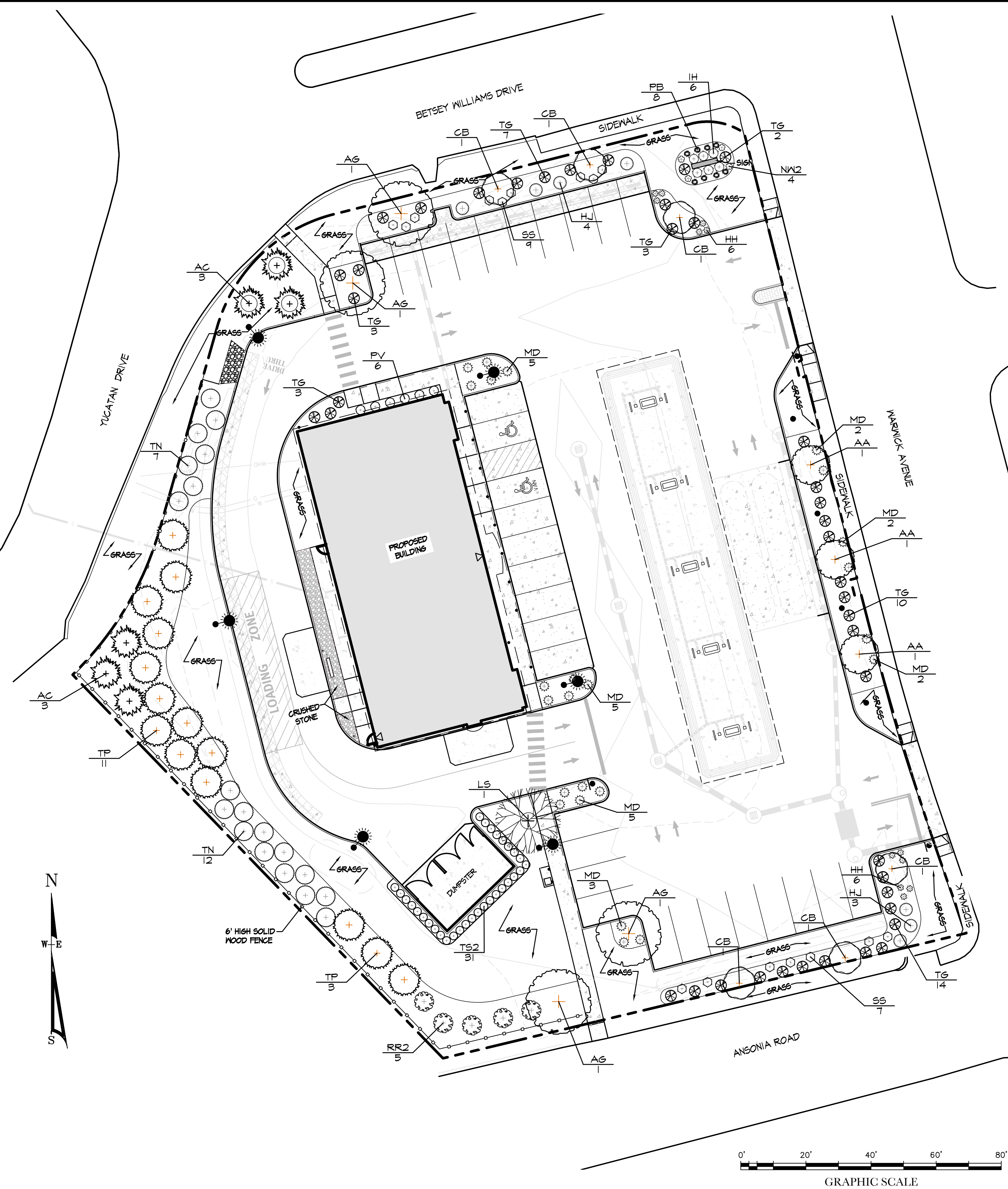
Scale: Not to Scale

**NOTES:**

**GENERAL:**

1. THE EXISTING SITE INFORMATION WAS TAKEN FROM A PLAN PREPARED BY DIPRETE ENGINEERING, TITLED 'EXISTING CONDITIONS SURVEY', DATED JUNE 25, 2021, AND FROM OBSERVATIONS PERFORMED BY JOHN C. CARTER & CO.
2. ANY PROPERTY LINES DEPICTED ON THIS PLAN ARE PICTORIAL ONLY. THIS PLAN IS TO BE USED FOR THE SELECTION, LOCATION AND INSTALLATION OF LANDSCAPE MATERIALS ONLY AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. ALL FOUNDATIONS, RETAINING WALLS AND DRAINAGE COMPONENTS SHALL BE STAKED OUT BY THE ENGINEER OR SURVEYOR.
3. WRITTEN DIMENSIONS AND SPECIFICATIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
4. THE LOCATION OF UTILITIES IF SHOWN ON THIS PLAN ARE APPROXIMATE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES BEFORE ANY EXCAVATION. DIG-SAFE SHALL BE CONTACTED AT LEAST 72 HOURS BEFORE EXCAVATION. DIG-SAFE CAN BE REACHED AT 1-888-344-1233.

PLANT SCHEDULE				
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
AC	6	ABIES CONCOLOR	WHITE FIR	5-6' HT.
AA	3	ACER RUBRUM 'ARMSTRONG'	ARMSTRONG RED MAPLE	2.5-3" CAL
AG	4	ACER RUBRUM 'OCTOBER GLORY' TM	OCTOBER GLORY MAPLE	2.5-3" CAL
CB	6	CARPINUS BETULUS 'FASTIGIATA'	PYRAMIDAL EUROPEAN HORNBEAN	2.5-3" CAL
LS	1	LIQUIDAMBAR STYRACIFLUA	AMERICAN SWEET GUM	2.5-3" CAL
TP	14	THUJA PLICATA 'GREEN GIANT'	GREEN GIANT ARBORVITAE	5-6' HT.
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HJ	7	HYDRANGEA PANICULATA 'JANE' TM	LITTLE LIME PANICLE HYDRANGEA	18-24" HT.
IH	6	ILEX CRENATA 'HOOGENDORN'	HOOGENDORN JAPANESE HOLLY	3 GAL
MD	24	MICROBIOTA DECUSSATA	SIBERIAN CARPET CYPRESS	3 GAL
RR2	5	RHODODENDRON MAXIMUM 'ROSEUM'	PINK ROSEBAY RHODODENDRON	24-30" HT.
SS	16	SPIRAEA JAPONICA 'SHIROBANA'	SHIROBANA SPIREA	15-18" HT
TG	42	TAXUS X MEDIA 'GREENWAVE'	GREENWAVE SPREADING YEW	18-24" HT
TN	19	THUJA OCCIDENTALIS 'NIGRA'	AMERICAN ARBORVITAE	5-6' HT
TS2	31	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	4-5' HT
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE
PV	6	PANICUM VIRGATUM	SWITCH GRASS	2 GAL
PB	8	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY'	LITTLE BUNNY FOUNTAIN GRASS	2 GAL
ANNUALS/PERENNIALS	QTY	BOTANICAL NAME	COMMON NAME	SIZE
HH	12	HEMEROCALLIS X EVERBLOOMING MIX	HAPPY RETURNS & RUBY STELLA DAYLILY MIX	2 GAL
NA2	4	NEPETA X FAASSENII 'WALKERS LOW'	WALKERS LOW CATMINT	2 GAL



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	<b>LANDSCAPE PLAN</b> <b>SEASONS CORNER MARKET</b> <small>WARWICK AVENUE</small> <small>ASSESSOR'S PLAT 328 LOTS 408, 409, 410, 411, &amp; 412</small> <small>WARWICK, RHODE ISLAND</small>									
	<small>PREPARED BY</small> <b>JOHN C. CARTER &amp; COMPANY, INC.</b> <b>LANDSCAPE ARCHITECTURE</b> <small>960 Boston Neck Road</small> <small>Narragansett, RI 02882</small> <small>(401)783-3500 Fax: (401) 792-1327</small>									
<small>PREPARED FOR</small> <b>Colbea Enterprises</b> <small>2050 Plainfield Pike</small> <small>Cranston, RI 02921</small>		<small>SHEET</small> <b>1</b>								
<table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>LANDSCAPE REVISIONS DESCRIPTION</th> <th>J.C.C. BY</th> </tr> </thead> <tbody> <tr> <td>0</td> <td>00/00/00</td> <td></td> <td></td> </tr> </tbody> </table>	NO.	DATE	LANDSCAPE REVISIONS DESCRIPTION	J.C.C. BY	0	00/00/00			<small>OCTOBER 25, 2021</small> <small>DWN. BY: L.M.W.</small>	
NO.	DATE	LANDSCAPE REVISIONS DESCRIPTION	J.C.C. BY							
0	00/00/00									

**PLANTING BED PREPARATION:**

ALL PLANTING BEDS ARE TO BE TREATED AS FOLLOWS:

1. ALL PLANTING BEDS ARE TO BE EXCAVATED TO A DEPTH OF 8" BELOW FINISHED GRADE.
2. THE BOTTOM OF THE PLANTING BEDS ARE TO BE SCARIFIED TO ENCOURAGE DRAINAGE AND PREVENT COMPACTION.
3. ALL PLANTING BEDS ARE TO BE BACKFILLED WITH 8" OF LOOSE, FRIABLE, ORGANIC LOAM OR COMPOST.

**PLANTING:**

1. PROVIDE QUALITY PLANTS IN THE GENUS, SPECIES AND VARIETY INDICATED IN THE PLANT SCHEDULE, COMPLYING WITH APPLICABLE REQUIREMENTS OF "ANSI Z601 AMERICAN STANDARD FOR NURSERY STOCK."
2. PROVIDE PLANTS IN THE SIZE AND NUMBER INDICATED IN THE PLANT SCHEDULE. PLANTS SHALL BE GROWN IN NURSERIES LOCATED IN THE NORTHEASTERN U.S.
3. DELIVER FRESH DIG TREES WHICH ARE BALLED AND BURLAPPED, AND SHRUBS WHICH ARE BALLED AND BURLAPPED OR IN NURSERY CONTAINERS. ALL PLANTS ARE TO BE HEALTHY, VIGOROUS AND FREE OF INSECTS AND DISEASE.
4. PLANTS ARE TO BE INSTALLED AS SPECIFIED IN THE PLANTING DETAILS WITH ADEQUATE WATER PROVIDED DURING PLANTING TO ALLOW COMPACTION OF THE PLANTING SOIL TO PREVENT ANY AIR POCKETS OR SETTLEMENT AFTER PLANTING.
5. ALL PLANTING BEDS ARE TO BE COVERED WITH 2" SHREDDED PINE BARK MULCH.
6. AFTER THE TREES AND SHRUBS ARE PLANTED, THE DISTURBED AREAS BETWEEN THE PLANTING BEDS SHALL BE LOAMED AND SEEDED WITH A SEED MIX AS SPECIFIED IN THE LOAMING AND SEEDING NOTES.
7. ALL DECIDUOUS AND EVERGREEN TREES OVER 5' TALL ARE TO BE STAKED AS SHOWN IN THE PLANTING DETAILS. TREES ARE TO REMAIN PLUMB AND SHALL BE ADJUSTED AS NEEDED. ALL STAKES AND ARBOR TIES ARE TO BE MAINTAINED AND ADJUSTED TO PREVENT GIRDLING OF THE TRUNK AND REMOVED WHEN NO LONGER NEEDED.
8. PLANT SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY AND SITE CONDITIONS. SUBSTITUTIONS MAY BE MADE ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

**LAYOUT:**

1. AFTER THE PLANTING BEDS ARE PREPARED, THE PLANTS SHALL BE PLACED ON THE GROUND WHERE SHOWN ON THE PLAN.
2. THE PLANTS SHALL BE ORIENTED IN SUCH A MANNER TO RESULT IN THE MOST UNIFORM AND VIGOROUS SIDE OF THE PLANT FACING THE FRONT.
3. THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED AND SHALL INSPECT AND APPROVE THE LOCATIONS BEFORE THEY ARE PLANTED.

**MAINTENANCE & WARRANTY:**

1. THE CONTRACTOR SHALL WARRANT ALL PLANTS FOR A PERIOD OF ONE YEAR AFTER THE DATE OF SUBSTANTIAL COMPLETION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH.
2. AFTER PLANTING IS COMPLETED, THE OWNER SHALL BE RESPONSIBLE TO PROVIDE ADEQUATE WATER TO ENSURE HEALTHY AND VIGOROUS GROWTH.
3. ANY PLANT WHICH IS NOT HEALTHY AND GROWING VIGOROUSLY AFTER ONE YEAR SHALL BE REPLACED BY THE CONTRACTOR IN CONFORMANCE WITH THE PLANTING SPECIFICATIONS.
4. IF NECESSARY, THE CONTRACTOR SHALL OVERSEED OR SOD ANY AREAS WHICH ARE NOT SUBSTANTIALLY COVERED BY ADEQUATE GRASS GROWTH FOR ONE YEAR AFTER THE INITIAL SEED APPLICATION.

**LOAMING & SEEDING:**

1. AREAS LABELED AS 'GRASS' ARE TO BE SEEDING OR SODDED AS DIRECTED BY THE OWNER.
2. AFTER ROUGH GRADING IS COMPLETED, ALL DISTURBED AREAS WHICH ARE LABELED AS 'GRASS', ARE TO BE BROUGHT TO AN ELEVATION OF 6" BELOW THE PROPOSED FINISHED GRADE. IF COMPACTED, THE SUBGRADE IS TO BE SCARIFIED TO A DEPTH OF 12" WITH THE TEETH OF A BACKHOE TO RESULT IN AN UNCOMPACTED TOPSOIL. THEN 6" OF GOOD QUALITY TOPSOIL IS TO BE APPLIED AND RAKED TO FINISHED GRADE.
3. THE TOPSOIL IS TO BE GOOD QUALITY LOAM, FERTILE AND FREE OF NEEDS, STICKS AND STONES OVER 3/4" IN SIZE AND OTHERWISE COMPLYING WITH SECTION M.8.01 OF THE RI DOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
4. LIME IS TO BE APPLIED AT A RATE OF ONE TON PER ACRE AND UNIFORMLY INCORPORATED INTO THE TOP 1-2" OF TOPSOIL.
5. AFTER THE SEED BED IS PREPARED, THE AREA IS TO BE HYDRO-SEEDING. THE HYDRO-SEED SHALL BE APPLIED EVENLY OVER THE SURFACE WITH A BONDED 100% WOOD FIBER MATRIX USING ACCEPTED HORTICULTURAL PRACTICES. THE SLURRY SHALL INCLUDE WATER, SEED, WOOD FIBER AND A HIGH PHOSPHORUS STARTER FERTILIZER.
6. RATHER THAN HYDRO-SEEDING AS DESCRIBED ABOVE, WITH PERMISSION FROM THE OWNER, THE CONTRACTOR MAY BROADCAST SEED. PRIOR TO SEEDING, FERTILIZE WITH A HIGH PHOSPHORUS STARTER FERTILIZER, APPLIED AT THE MANUFACTURER'S RECOMMENDED RATES. SEED SHALL BE BROADCAST EVENLY OVER THE PREPARED SURFACE AND WORKED INTO THE TOP 1" OF SOIL.

**SEED MIXES:**

- PROVIDE QUALITY SEED DERIVED FROM THE VARIETY INDICATED UNDER 'SEEDING'.
- ALL SEED IS TO BE VIABLE, HEALTHY AND FREE OF INSECTS AND DISEASE.
- SEED IS TO BE INSTALLED AS SPECIFIED IN THE SEEDING NOTES WITH ADEQUATE WATER PROVIDED TO ESTABLISH A HEALTHY GRASS CATCH.
- RECOMMENDED SEEDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15. LATE FALL AND WINTER DORMANT SEEDING REQUIRE AN INCREASE IN THE SEEDING RATE.
- SEED SUBSTITUTIONS SHALL BE ALLOWED BASED ON AVAILABILITY ONLY WITH DIRECT APPROVAL FROM THE LANDSCAPE ARCHITECT OR OWNER.

**SEED MIX SHALL BE AS FOLLOWS:**

- 50% TRI-PLEX  
PERENNIAL RYEGRASS BLEND CONSISTING OF APPLAUD II, SOFRANO & IS SQUARED
- 50% DARK & DURABLE
  - 21% FURY TALL FESCUE
  - 21% CORONADO TALL FESCUE
  - 26% ENDEAVOR TALL FESCUE
  - 10% IQ PERENNIAL RYEGRASS
  - 10% BROOKLAWN KENTUCKY BLUEGRASS

**SODDING:**

IF THE AREAS THAT ARE LABELED 'GRASS' ARE TO BE SODDED:

1. SOD SHALL BE LIVE, FRESH, AND OF SUITABLE CHARACTER FOR THE PURPOSE INTENDED AND FOR THE SOIL ON WHICH IT WILL BE PLACED. SODS SHALL BE AT LEAST 2-SQUARE FEET IN AREA AND SHALL BE THICK ENOUGH TO CONTAIN ALL NATURAL ROOTS WITHOUT MUTILATION. IN NO CASE WILL SODS BE PERMITTED TO BE UNDER 3/4" THICK OR OVER 1" THICK, UNLESS EXPRESS WRITTEN PERMISSION OF THE LANDSCAPE ARCHITECT IS PROCURED. SOD STORED LONGER THAN 96 HOURS WILL NOT BE ALLOWED UNDER ANY CIRCUMSTANCES.
2. RECOMMENDED SODDING DATES ARE APRIL 1 TO JUNE 30 AND AUGUST 15 TO NOVEMBER 15.
3. SOD INSTALLATION: THE SOD BED SHALL BE MOIST AND BE WATERED CONTINUOUSLY DURING THE SODDING OPERATION. SOD SHALL BE LAID IN THE LONGEST DIMENSION PARALLEL TO THE CONTOURS. THE FIRST ROW OF SOD SHALL BE LAID A STRAIGHT LINE WITH THE SUBSEQUENT ROWS PLACED PARALLEL TO AND TIGHTLY AGAINST EACH OTHER. LATERAL/VERTICAL JOINTS SHALL BE STAGGERED BY A MINIMUM OF 12" TO PROMOTE UNIFORM GROWTH AND STRENGTH. SOD SHALL NOT BE STRETCHED OR OVERLAPPED AND ALL JOINTS SHALL BE BUTTED TIGHT.
4. AFTER THE SOD IS PLACED, IT SHALL BE PRESSED FIRMLY INTO CONTACT WITH THE SOD BED BY TAMPING OR HAND ROLLING. THIS PROCEDURE SHALL NOT DEFORM THE SOD. THE CONTRACTOR SHALL CUT THE SOD TO LINE AS INDICATED ON THE PLAN OR AS DIRECTED BY THE LANDSCAPE ARCHITECT.

**CITY OF WARWICK - CODE OF ORDINANCES**

APPENDIX A - ZONING  
SECTION 300. ESTABLISHMENT AND CLASSIFICATION OF DISTRICTS

**301. DISTRICTS**

CURRENT ZONING: GENERAL BUSINESS (GB)

**302 OVERLAY DISTRICTS**

TABLE 2B DIMENSIONAL REGULATIONS - GENERAL BUSINESS (GB)

MINIMUM LANDSCAPED OPEN SPACE REQUIRED	LANDSCAPED OPEN SPACE PROVIDED
10%	24.5%

**SECTION 500. SPECIAL REGULATIONS**

505. - LANDSCAPING AND SCREENING REQUIREMENTS FOR NONRESIDENTIAL USES

**505.1 MINIMUM LANDSCAPED BUFFER**

(A) A TEN-FOOT-WIDE LANDSCAPED BORDER SHALL BE PROVIDED ACROSS THE ENTIRE FRONTAGE OF THE LOT EXCEPT FOR ANY CURB CUTS.

A LANDSCAPED BORDER AT LEAST TEN-FOOT WIDE IS PROVIDED ACROSS THE ENTIRE FRONTAGE OF THE LOT EXCEPT FOR CURB CUTS. ENHANCED LANDSCAPING IS PROVIDED AND INTEGRATED WITH THE SIGNAGE.

(B) A 20-FOOT WIDE LANDSCAPE BORDER SHALL BE PROVIDED ALONG ANY PROPERTY LINE THAT ABUTS A RESIDENCE DISTRICT, PDR OVERLAY DISTRICT, OR AN OPEN SPACE DISTRICT WHERE SUCH LOT CONTAINS AT LEAST 5,000 SQUARE FEET INCLUDING ANY COASTAL OR FRESHWATER WETLANDS, AS DEFINED IN SECTION 200.

A LANDSCAPE BORDER OF AT LEAST 20' WIDE IS PROPOSED ON THE SOUTHWEST PROPERTY LINE, AT LEAST 10' WIDE ON THE PROPERTY LINE ABUTTING YUKATAN DRIVE AND AT LEAST 10' WIDE ON THE PROPERTY LINE ABUTTING BETSEY WILLIAMS DRIVE AND ANSONIA ROAD.

(C) IN ADDITION TO SUBSECTION (B) ABOVE, ANY NONRESIDENTIAL USE ON A LOT THAT ABUTS A DISTRICT LISTED IN (SUBSECTION) (B) ABOVE SHALL BE SCREENED ALONG SUCH ABUTTING PROPERTY LINE BY A WALL OR FENCE (SIX-FOOT MINIMUM HEIGHT) OF SOLID APPEARANCE OR A TIGHT EVERGREEN HEDGE AS SPECIFIED IN SUBSECTION 505.3, PLANT REQUIREMENTS AND SIZES.

A 6' HIGH OPAQUE FENCE IN ADDITION TO STAGGERED EVERGREENS OF NO LESS THAN 6' HIGH AT THE TIME OF INSTALLATION IS PROPOSED ALONG THE ENTIRE LENGTH OF THE REAR PROPERTY LINE ABUTTING AP 328/ LOT 461, AP 328/ LOT 401, AND YUKATAN DRIVE FROM THE REAR PROPERTY CORNER TO THE VICINITY OF THE PROPOSED CURB CUT.

(D) ALL OUTDOOR TRASH RECEPTACLES, DUMPSTERS AND ELECTRICAL BOXES SHALL BE SCREENED ON ALL SIDES BY A FENCE AND A TIGHT EVERGREEN HEDGE WHOSE HEIGHT SHALL BE GREATER THAN OR EQUAL TO THE HEIGHT OF SAID STRUCTURE, AS SPECIFIED IN SUBSECTION 505.4, PLANT REQUIREMENTS AND SIZES.

IN ADDITION TO A FENCED ENCLOSURE, THE DUMPSTER WILL BE SCREENED WITH A TIGHT EVERGREEN HEDGE ON SIDES ABUTTING ADJACENT PARCELS. THE PROPOSED PLANTINGS WILL BE BETWEEN FIVE TO EIGHT FEET IN HEIGHT AS SPECIFIED IN SECTION 505.4 WHEN INSTALLED.

**505.4 PLANT REQUIREMENTS AND SIZES**

(A) 1. SHRUBS SHALL FORM A CONTINUOUS VISUAL SCREEN AND SHALL SATISFY THE SIZE REQUIREMENTS SET FORTH IN THIS SECTION.

A CONTINUOUS PLANTING OF SHRUBS IS PROPOSED WHICH MEETS THE SIZE REQUIREMENTS SET FORTH IN THIS SECTION.

2. APPROXIMATELY EVERY 95 LINEAR FEET OF LANDSCAPING SHALL CONTAIN ONE SHADE TREE AND FIVE SHRUBS. ALTERNATELY, TWO ORNAMENTAL TREES OR TWO EVERGREEN TREES MAY SUBSTITUTE FOR ONE SHADE TREE.

THERE IS APPROXIMATELY 736 LINEAR FEET OF LANDSCAPING.

TREES REQUIRED	TREES PROVIDED	SHRUBS REQUIRED	SHRUBS PROVIDED
736 / 95 =	14 SHADE TREES	105	132
21 SHADE TREES	20 EVERGREEN TREES		
OR 42 EVERGREEN TREES			

(3) 3. MINIMUM SIZE FOR ALL SHADE TREES SHALL BE BETWEEN 2.5 AND 3 (THREE) INCHES IN DIAMETER, AND 12-14 FEET IN HEIGHT.

ALL SHADE TREES ARE SPECIFIED BETWEEN 2.5 AND 3 (THREE) INCHES IN DIAMETER AND/OR 12-14' IN HEIGHT

4. MINIMUM SIZE FOR EVERGREEN TREES SHALL BE BETWEEN FIVE TO EIGHT FEET IN HEIGHT.

ALL EVERGREEN TREES ARE SPECIFIED BETWEEN FIVE TO EIGHT FEET IN HEIGHT.

5. ALL SHRUBS SHALL BE A MINIMUM OF THREE FEET IN HEIGHT (B&B) OR THREE GALLON (CONTAINERIZED) UNLESS OTHERWISE APPROVED BY THE LANDSCAPE COORDINATOR.

ALL SHRUBS ARE SPECIFIED AS AT LEAST THREE GALLONS.

**505.6 PARKING LOT BUFFERS**

- (A) WHEN PARKING AREA IS LOCATED DIRECTLY ADJACENT TO A CITY STREET THE FOLLOWING ALTERNATIVES SHALL BE CONSIDERED TO REDUCE THE VISUAL IMPACT OF THE PARKING AREA. ALTERNATIVES INCLUDE:
  - (i) PROVIDE A TEN-FOOT MINIMUM LANDSCAPED SETBACK AREA EXCLUSIVE OF THAT REQUIRED FOR SIDEWALKS OR UTILITY EASEMENTS BETWEEN THE STREET AND THE PARKING LOT, TO BE PLANTED WITH TREES AND SHRUBS IN ACCORDANCE TO THE REQUIREMENTS SET FORTH IN SECTION 505.4, PLANT REQUIREMENTS AND SIZES.

A TEN-FOOT MINIMUM LANDSCAPED AREA IS PROVIDED BETWEEN ANSONIA ROAD, BETSEY WILLIAMS DRIVE AND THE PARKING LOT AND IS PLANTED WITH TREES AND SHRUBS IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN SECTION 505.4.

- (H) PROVIDE A MINIMUM OF FIVE PERCENT INTERIOR LANDSCAPING FOR THE PURPOSE OF PLANTING SHADE TREES AND SHRUBS.

INTERIOR LANDSCAPE  
**REQUIRED**  
5%

INTERIOR LANDSCAPE  
**PROVIDED**  
14.5%

- (i) LANDSCAPING WITHIN THE PARKING AREA SHOULD BE USED TO DELINEATE VEHICULAR AND PEDESTRIAN CIRCULATION PATTERNS, MECHANICAL EQUIPMENT, TRASH, AND LOADING AREAS SHALL BE SCREENED ON ALL SIDES BY WALLS, FENCES, AND LANDSCAPING, WHICH SHALL CONSIST OF A TIGHT EVERGREEN HEDGE.

LANDSCAPING IS PROVIDED WITHIN THE PARKING AREA TO DELINEATE VEHICULAR AND PEDESTRIAN CIRCULATION PATTERNS. THE DUMPSTER AREA IS SCREENED PER PLANNING DEPARTMENT RECOMMENDATIONS H.9, WITH A TIGHT EVERGREEN HEDGE ON SIDES ABUTTING ADJACENT PARCELS.

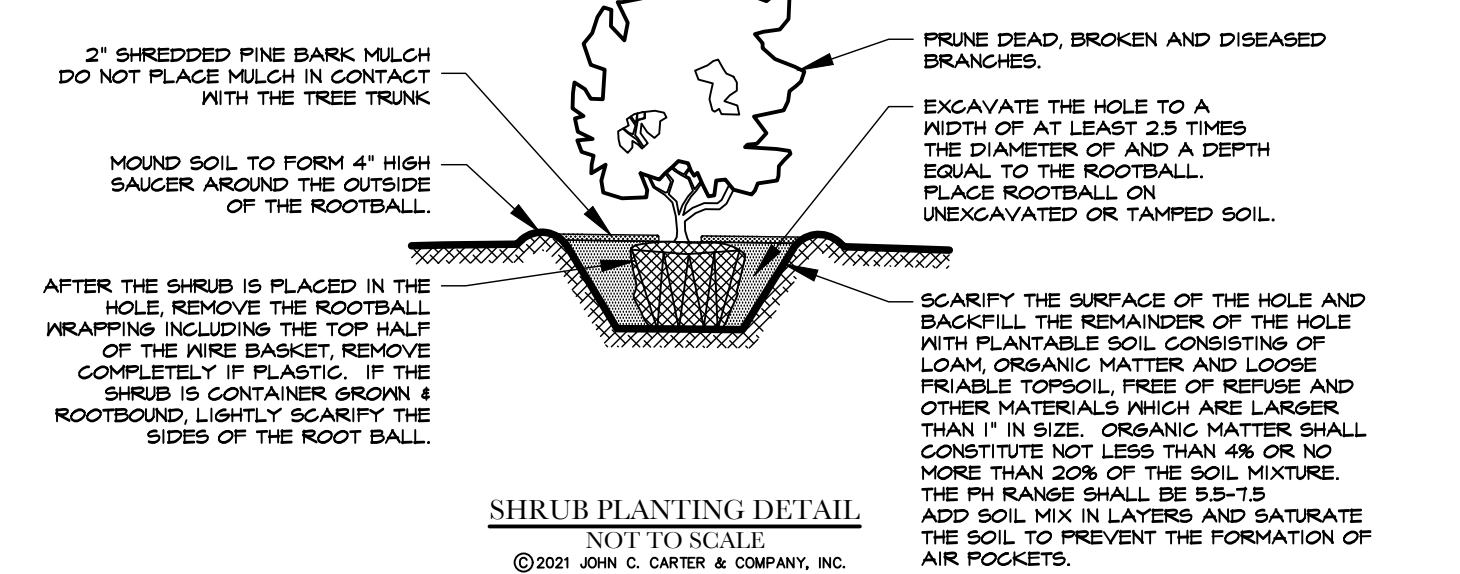
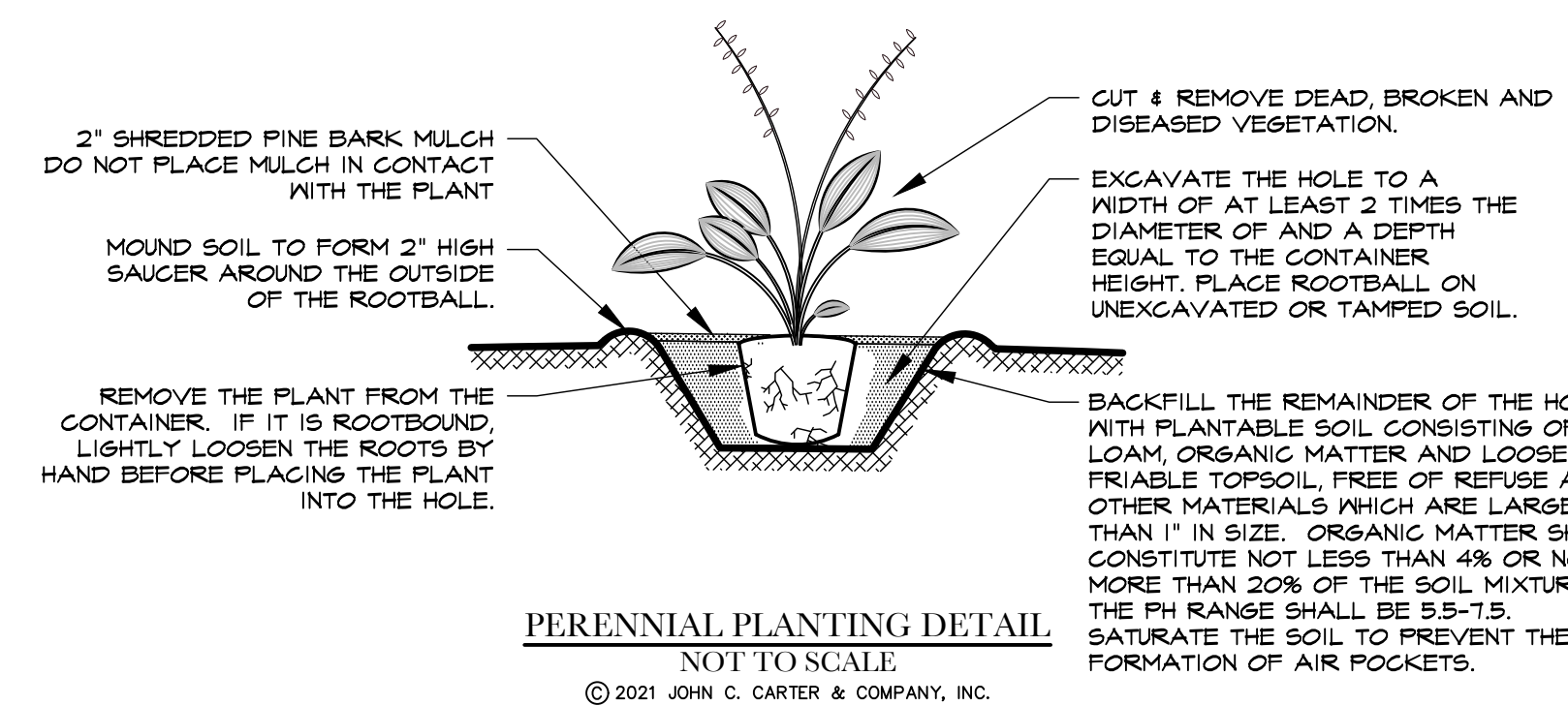
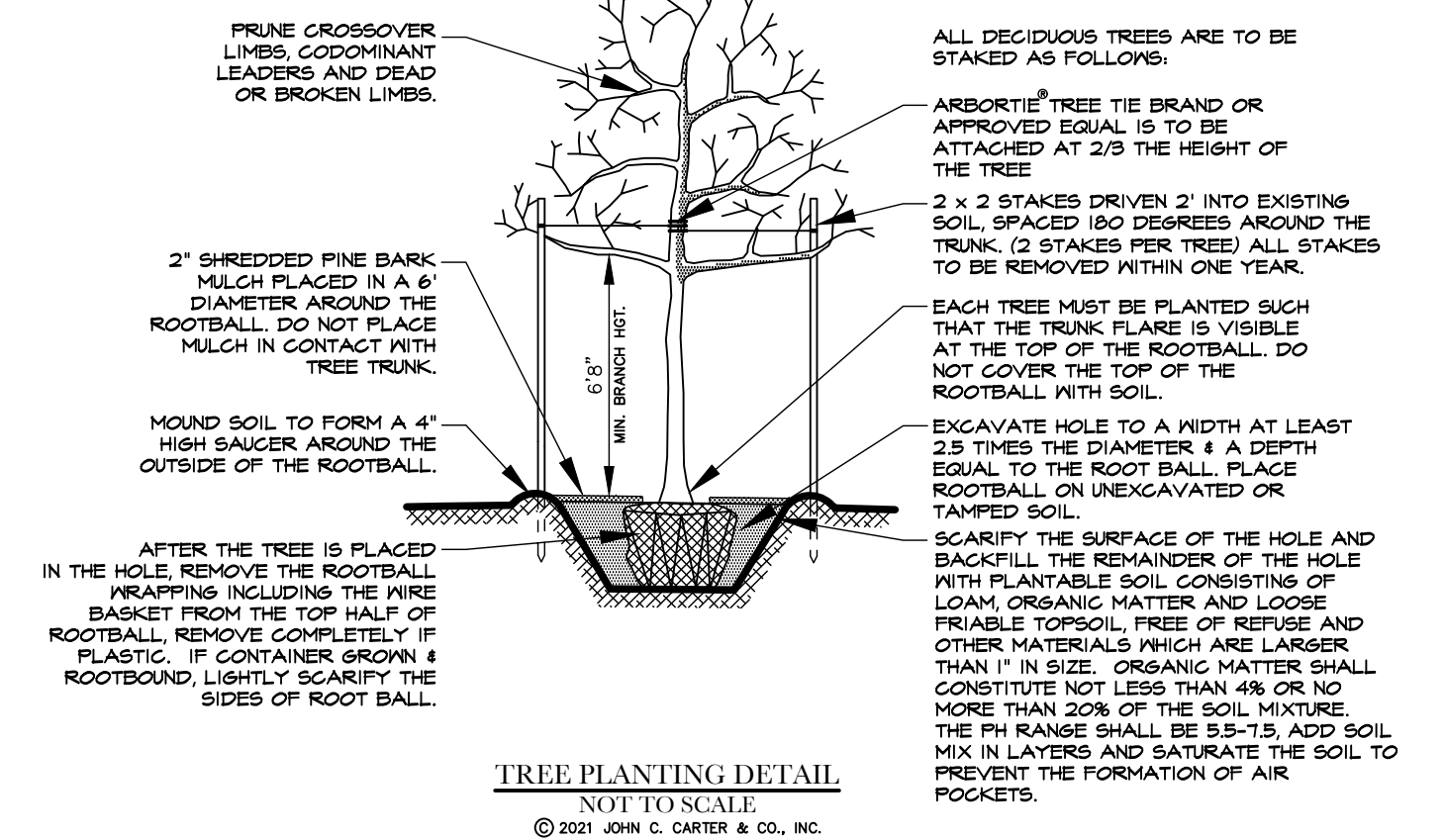
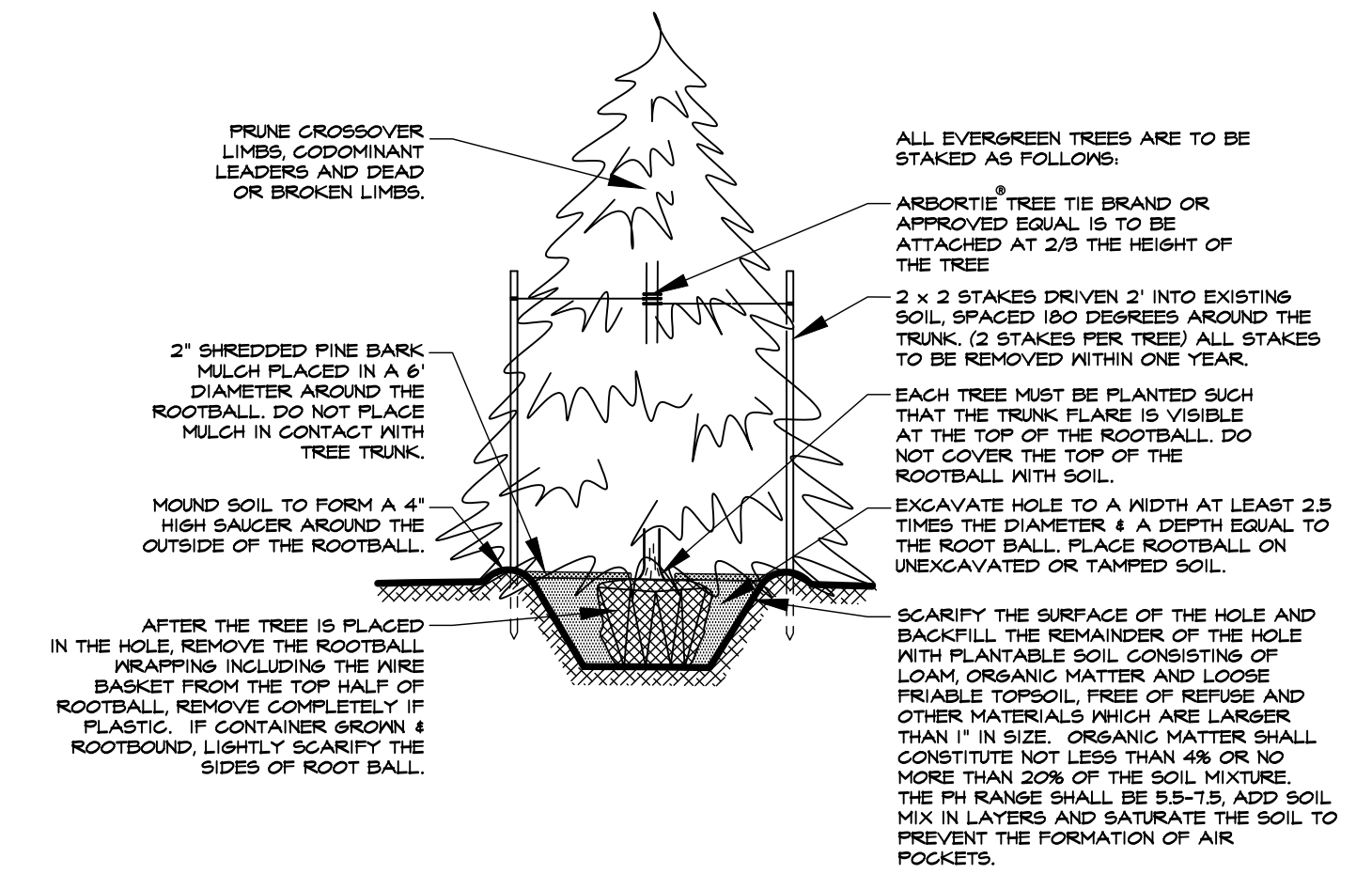
**505.7 MAINTENANCE OF LANDSCAPED AREAS**

- (A) AFTER A PERIOD OF ONE FULL YEAR FROM THE DATE OF PLANTING, THE CONTRACTOR OR OWNER SHALL REMOVE ALL STAKES, 6/01 WIRES, TAPE AND REPLACE ANY DEAD PLANT MATERIAL.

SEE MAINTENANCE AND WARRANTY NOTES, THIS SHEET.

- (B) ALL LANDSCAPING MUST BE MAINTAINED THROUGHOUT THE ENTIRE LIFE OF THE PROJECT AND ANY PLANT MATERIAL THAT DIES WITHIN THIS TIME PERIOD SHALL BE REPLACED BY THE OWNER OR CONTRACTOR.

SEE MAINTENANCE AND WARRANTY NOTES, THIS SHEET.



**LANDSCAPE NOTES & DETAILS**

**SEASONS CORNER MARKET**

WARWICK AVENUE

ASSESSOR'S PLAT 328 LOTS 408, 409, 410, 411, & 412

WARWICK, RHODE ISLAND

PREPARED BY

**JOHN C. CARTER & COMPANY, INC.**

**LANDSCAPE ARCHITECTURE**

960 Boston Neck Road

Narragansett, RI 02882

(401)783-3500 Fax: (401) 792-1327

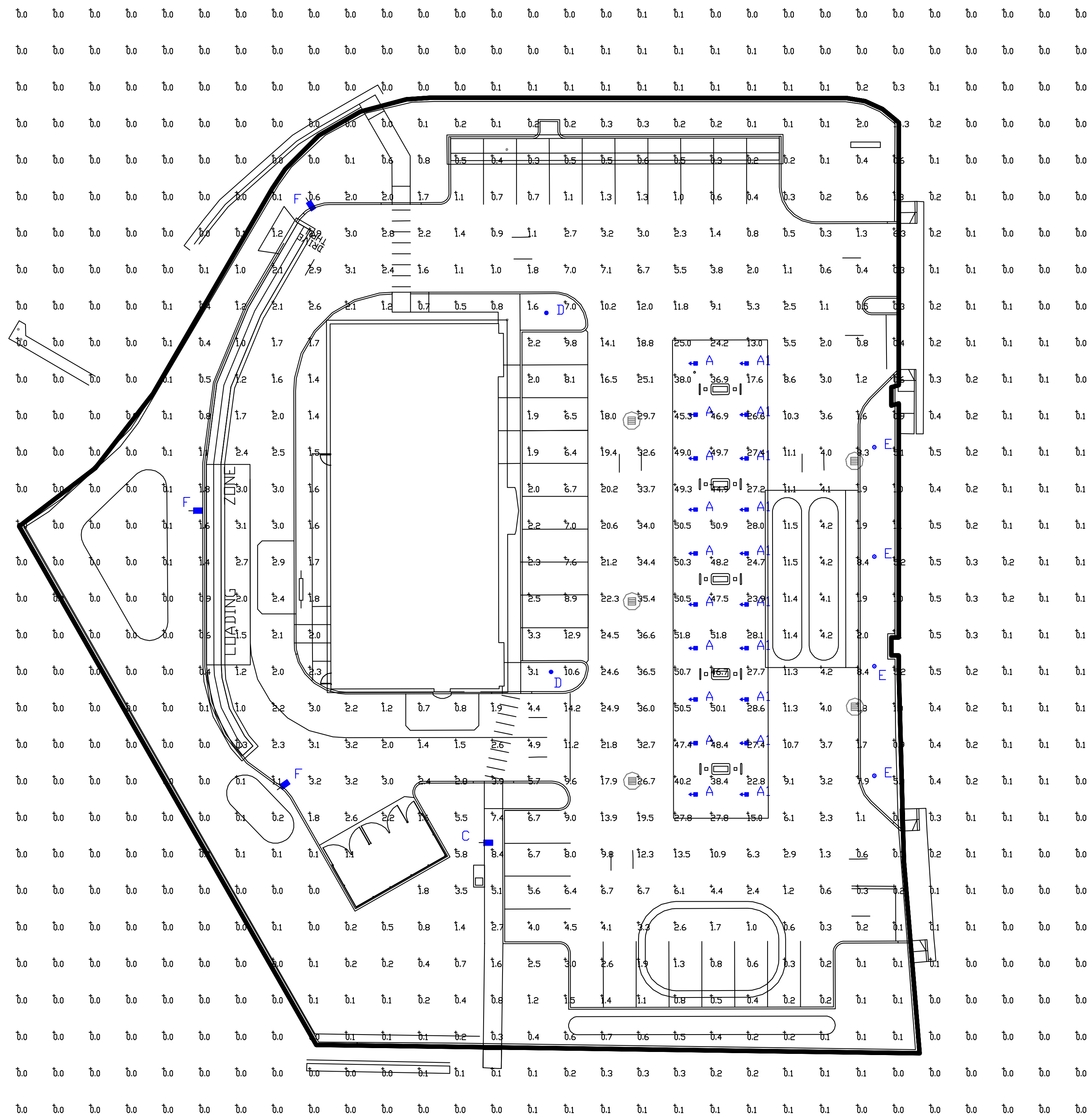
PREPARED FOR  
**Colbea Enterprises**

2050 Plainfield Pike  
Cranston, RI 02921

0	00/00/00			
NO.	DATE	LANDSCAPE REVISIONS	J.C.C.	BY

OCTOBER 25, 2021  
DWN. BY: L.M.W.

SHEET 2



SCV



MRM



XLXM3



XBVRD

Luminaire Schedule										
Symbol	Qty	Label	Arrangement	Description	LLD	UDF	LLF	Arr. Lum. Lumens	Arr. Watts	
	10	A	SINGLE	SCV-LED-23L-SCFT-50 MTD @ 15'	1.000	1.000	1.000	23101	188	
	10	A1	SINGLE	SCV-LED-23L-SCFT-50 MTD @ 15' DIMMED 80%	1.000	1.000	0.200	23101	188	
	1	C	SINGLE	MRM-LED-18L-SIL-FT-50-70CRI-SINGLE-16'POLE+2'BASE	1.000	1.000	1.000	19324	135	
	2	D	SINGLE	XLXM3-PT-FT-LED-HO-CW-16'POLE+2'BASE	1.000	1.000	1.000	8271	107	
	4	E	SINGLE	XBVR-ID-LED-24-400-CW-UE	1.000	1.000	1.000	1338	38	
	3	F	SINGLE	MRM-LED-18L-SIL-FT-50-70CRI-IL-SINGLE-16'POLE+2'BASE DIMMED 50%	1.000	1.000	0.500	12405	135	

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC PDINTS	Illuminance	Fc	3.76	51.8	0.0	N.A.	N.A.
CANDPY	Illuminance	Fc	37.54	51.8	13.0	2.89	3.98
INSIDE CURB	Illuminance	Fc	5.80	36.6	0.0	N.A.	N.A.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts  
Total Watts = 4742

1000 ALLIANCE BL. SCARSDALE, NY 11750  
TEL: 781-389-1100 FAX: 781-389-1101

LIGHTING PROPOSAL LD-154197-1  
SEASONS CORNER MARKET  
2055 WARWICK AVE  
WARWICK, RI

BY: NVC DATE: 7-29-21 REV: 9-28-21 SHEET 1 OF 1  
SCALE: 1"=20' 0 20





### LOCATION MAP

#### General Notes

- THE PARCELS OF LAND SHOWN ON TAX PLAT 328, LOTS 408, 409, 410, 411 & 412 ARE LOCATED IN THE CITY OF WARWICK, COUNTY OF KENT & STATE OF RHODE ISLAND.
  - THE CURRENT OWNER OF RECORD OF TAX PLAT 328, LOTS 408, 409, 410, 411 & 412 IS EUGENIA L. ILLIANO, OR HER SUCCESSOR TRUSTEE, AS TRUSTEE OF THE EUGENIA L. ILLIANO REVOCABLE TRUST u/t/d JANUARY 4, 2006, EUGENIA L. ILLIANO, SETTLOR BY VIRTUE OF DEED BOOK 6068 AT PAGE 267 IN THE CITY OF WARWICK, RI.
  - THE PARCEL FALLS IN ZONE X (OUTSIDE 0.2% ANNUAL CHANCE FLOODPLAIN) ON FEMA MAP NUMBER 44003C0132H EFFECTIVE DATE 9/17/2013. ZONE X IS THE AREA DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD AND PROTECTED BY LEVEE FROM 100 YEAR FLOOD.
  - THE CURRENT ZONING FOR BOTH PARCELS IS GENERAL BUSINESS
- DIMENSIONAL REGULATIONS:**
- |                                      |                |
|--------------------------------------|----------------|
| MINIMUM LOT SIZE :                   | 70,000 SQ. FT. |
| MINIMUM FRONT & CORNER SIDE SETBACK: | 25 FEET        |
| MINIMUM SIDE YARD SETBACK:           | 8 FEET         |
| MINIMUM REAR YARD SETBACK:           | 20 FEET        |
| MAXIMUM HEIGHT:                      | 35 FEET        |
| MINIMUM LANDSCAPED OPEN SPACE:       | 10%            |
- A.P. 328 / LOTS 408, 409, 410, 411, & 412 CONTAIN 1.18 ACRES (51,215.33 SQ FT.).
  - THE CROSS HATCHED SOUTHERLY PORTION OF THE PARCEL WAS ONCE A NORTHERLY PORTION OF ANSONIA ROAD WHICH WAS ABANDONED TO IMPROVE THE EXISTING PARKING AREA AND TO BECOME AN EASEMENT DEDICATED TO THE CITY OF WARWICK TO MAINTAIN ANY EXISTING UTILITIES WHICH MAY EXIST WITHIN THE PROPERTY. THE ABANDONMENT IS REPRESENTED ON REFERENCES #2 AND #6 ON THIS PLAN.
  - THE 10' STORM DRAIN EASEMENT SHOWN ON THIS PLAN IS REPRESENTED ON REFERENCE #1 ON THIS PLAN.
  - THE PERMANENT GUY EASEMENT BOUNDARIES & THE PERMANENT DRAINAGE EASEMENT BOUNDARIES SHOWN ALONG THE EASTERLY PROPERTY LINE ARE REPRESENTED ON REFERENCE #4 BELOW.
  - NO GAPS, GORES OR OVERLAPS BETWEEN THE SUBJECT PROPERTY AND ANY ADJUTING PARCELS OF LAND OR PUBLIC STREETS EXIST OTHER THAN AS SHOWN UNDER OBSERVATIONS.
  - THERE IS NO EVIDENCE OF EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
  - THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING FIELDWORK NOR IS THERE ANY EVIDENCE OF PROPOSED CHANGES TO THE STREET LINES.
  - THERE IS NO EVIDENCE OF DELINEATION MARKERS OF WETLANDS ON THE SUBJECT PROPERTY.
  - THERE ARE NO CEMETERIES WITHIN 100 FEET OF THE BOUNDARY LINES OF THE SUBJECT PROPERTY.
  - THE RECORD DESCRIPTION MATHEMATICALLY CLOSES.
  - THERE ARE 54 TOTAL EXISTING PARKING SPACES ON SITE WITH 3 OF THEM BEING DESIGNATED HANDICAPPED.
  - THE TOPOGRAPHY SHOWN ON THIS MAP WAS SCALED FROM AN AERIAL MAP WHICH WAS AVAILABLE OF THE STATE OF R.I. D.E.M. WEBSITE. TOPOGRAPHY & UTILITY LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY FUTURE CONSTRUCTION.

### Surveyors Certificate

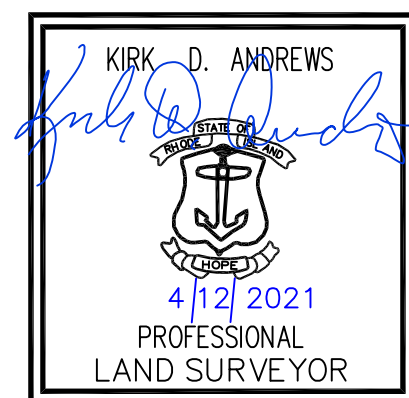
To: Adler Pollock & Sheehan P.C., Commonwealth Land Title Insurance Company, and DiPrete Engineering;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6, 7(a), 7(b)(1), 7(b)(2), 8, 9, 11, 13, 14, & 18 of Table A thereof. The fieldwork was completed on 4/5/2021.

DATE: 4/12/2021

By: *Kirk D. Andrews*

KIRK D. ANDREWS P.L.S. NO. 1684  
STATE OF R.I. COA No.: 000A555



### Street Index

WARWICK AVENUE  
ROUTE 117  
BETSEY WILLIAMS DRIVE  
YUCATAN DRIVE  
ANSONIA ROAD

### Observations

The following conditions as shown on that certain plan of survey entitled, "ALTA/NSPS Survey and Location Plan, being assessor's Plat 328; Lots 408, 409, 410, 411 & 412, prepared for Eugenia L. Illiano Revocable Trust u/t/d January 4, 2006, Location - 2055 Warwick Avenue, Warwick, Rhode Island, dated January 10, 2019, prepared by East Greenwich Surveyors, LLC"

- The existing chain link fence that runs along the easterly property line (Quattrini Trust land) encroaches by as much as 7.47' onto said Eugenia L. Illiano Revocable Trust u/t/d January 4, 2006 land. The area of the X hatched area of encroachment contains 219.87 square feet.

### Legend

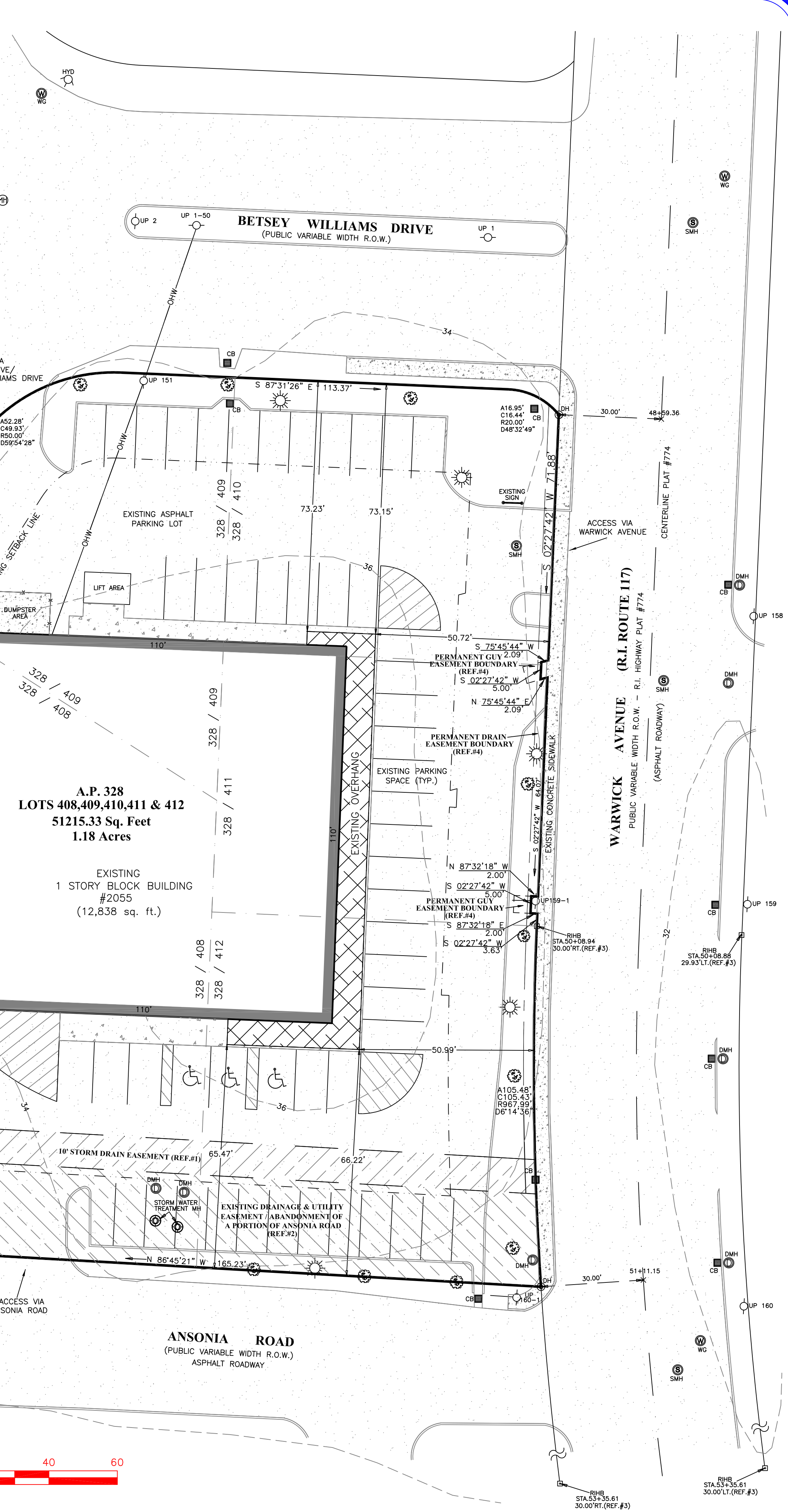
◇ UP ##	EXISTING UTILITY POLE
—X—X—	EXISTING FENCE LINE
DH ⊙	PROPOSED DRILL HOLE
"PK" NAIL ⊙	PROPOSED "PK" NAIL
IRF •	IRON ROD FOUND
RIHB □	RI HIGHWAY BOUND FOUND
☐	EXISTING TREE
☀	EXISTING LIGHT POLE
Ⓜ	EXISTING DRAIN MANHOLE
Ⓢ	EXISTING SEWER MANHOLE
Ⓜ	EXISTING WATER GATE
Ⓜ	EXISTING CATCH BASIN
48+59.36 X	EXISTING CENTERLINE STATION
—36—	EXISTING CONTOUR

### References

- "BETSEY-WILLIAMS-PLAT: WARWICK, RHODE ISLAND, BELONGING TO ATLANTIC REALTY CO. INC. BY PETER V. CIPOLLA, ENGR. SCALE: 1"=60' JAN. 1948"
- "LAND ABANDONMENT PLAN: BROOKS PHARMACY WARWICK BRANCH STORE #69, 2055 WARWICK AVENUE, WARWICK, RI, ASSESSOR'S PLAT 328 LOTS 408-412, SCALE: 1"=20', JANUARY, 2001"
- STATE OF RHODE ISLAND HIGHWAY PLAT #774.
- STATE OF RHODE ISLAND HIGHWAY PLAT #2286A.
- "RANCH ACRES: WARWICK, RI BELONGING TO PILGRIM LAND DEVELOPERS, INC. BY WATERMAN ENGINEERING CO., 1"=80' JAN. 1956"
- "ORDER ON THE ABANDONMENT OF A PORTION OF ANSONIA ROAD, MAXI DRUG, INC., PETITIONER, NO. 0-01-18, PCO-25-01, DATE: AUGUST 7, 2001"
- CITY OF WARWICK RI DEED BOOK 6068, PAGE 267.
- CITY OF WARWICK RI GIS WEBSITE.
- WWW.BING.COM

A.P. 328 / LOT 407  
N/F  
QUATTRINI TRUST  
DB 1814 PG 117

A.P. 340 / LOT 461  
N/F  
SHERRY A. COOGAN  
DB 5621 PG 48



### Property Description

That certain parcel of land situated on the northerly line of Ansonia Road, the westerly line of Warwick Avenue, the southerly line of Betsey Williams Drive and the southeasterly line of Yucatan Drive in the City of Warwick, County of Kent and State of Rhode Island is bounded and described as follows;

Beginning at a point in the northerly line of Ansonia Road, said point being the southwesterly corner of herein described parcel;

Thence turning and running N 27°19'20" W bounded southwesterly in part by land now or formerly Quattrini Trust 163.70' to a point on the southeasterly line of said Yucatan Drive;

Thence turning an interior chord angle of 105°03'30" and running in a generally northeasterly direction bounded northwesterly by said Yucatan Drive along an arc with a radius of 100.00' to a point;

Thence turning an interior chord angle of 195°03'06" and running N 32°34'04" E bounded northwesterly by said Yucatan Drive 64.46' to a point;

Thence turning and running in a generally northeasterly direction bounded northwesterly by said Yucatan Drive along an arc with a radius of 50.00' to a point;

Thence turning and running S 87°31'26" E bounded northerly by said Bestey Williams Drive 113.37' to a point;

Thence turning and running in a generally southeasterly direction bounded northeasterly by said Betsey Williams Drive along an arc with a radius of 20.00' to a point, said point being 30.00' right of centerline station 48+59.36 on R.I. State Highway Plat #774;

Thence turning and running S 02°27'42" W bounded easterly by said Warwick Avenue 71.88' to a point;

Thence turning and running S 75°45'44" W bounded southeasterly by said Warwick Avenue 2.09' to a point;

Thence turning and running S 02°27'42" W bounded easterly by said Warwick Avenue 5.00' to a point;

Thence turning and running N 75°45'44" E bounded northwesterly by said Warwick Avenue 2.09' to a point;

Thence turning and running S 02°27'42" W bounded easterly by said Warwick Avenue 64.07' to a point;

Thence turning and running N 87°32'18" W bounded southerly by said Warwick Avenue 2.00' to a point;

Thence turning and running S 02°27'42" W bounded easterly by said Warwick Avenue 5.00' to a point;

Thence turning and running S 87°32'18" E bounded northerly by said Warwick Avenue 2.00' to a point;

Thence turning and running S 02°27'42" W bounded easterly by said Warwick Avenue 3.63' to a Rhode Island highway bound found 30.00' right of centerline station 50+08.94 on said R.I. State Highway Plat #774;

Thence turning and running in a generally southerly direction bounded easterly by said Warwick Avenue along an arc with a radius of 967.99' on arc length of 105.48' to a point, said point being 30.00' right of centerline station 51+11.15 on said R.I. State Highway Plat #774;

Thence turning and running N 86°45'21" W bounded southerly by said Ansonia Road 165.23' to the point and place of beginning.

Said parcel contains 1.18 acres (51,215.33 square feet).

Said parcel is subject to utility easements of record.

Being: ASSESSORS PLAT 328 LOTS 408, 409, 410, 411 & 412

**ALTANSPS LAND TITLE SURVEY**

PREPARED FOR  
**ADLER POLLOCK & SHEEHAN P.C.**

LOCATION  
2055 WARWICK AVENUE  
WARWICK, RHODE ISLAND

Checked By: K.D.A. Drawn By: E.J.I.  
Scale: 1"=20' Date: 4-12-2021

NO.	REVISION	BY	DATE

**E. GREENWICH SURVEYORS, LLC**  
LAND SURVEYING AND SITE PLANNING

1050 MAIN STREET SUITE 31  
EAST GREENWICH, RHODE ISLAND 02818  
PHONE (401) 339-2681 (401) 368-8574  
FAX (401) 884-0017 E-MAIL: KANDREW@EAGLE.COM

Sheet 1 of 1 sheets