

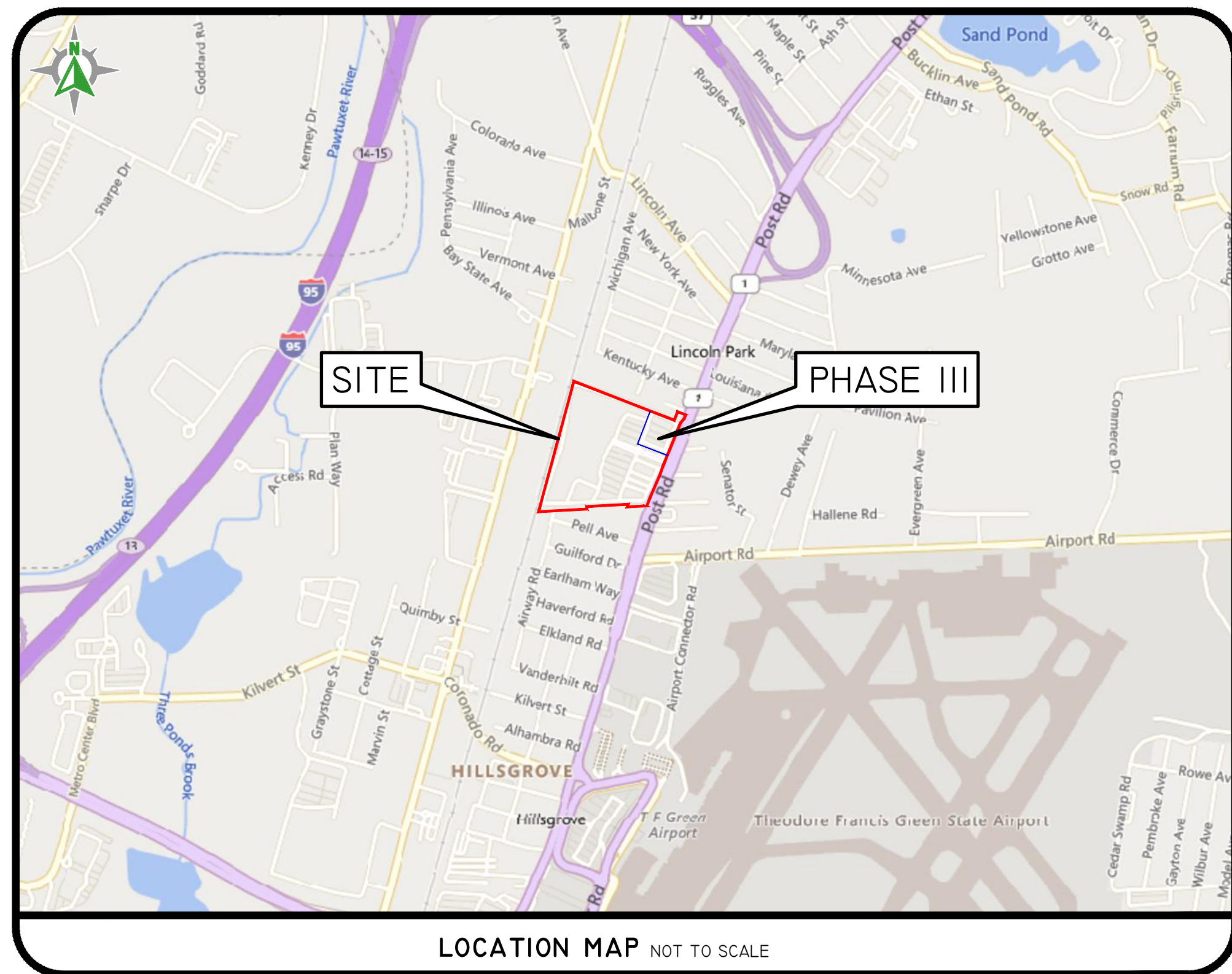
# PRELIMINARY PLANS

# ANN & HOPE REDEVELOPMENT-PHASE III

1689 POST ROAD

WARWICK, RHODE ISLAND

ASSESSOR'S PLAT 322 LOT 209



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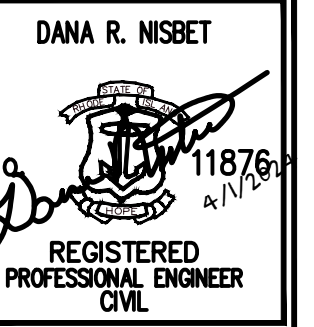
**SESC / O&M**  
 THE SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC) AND STORMWATER OPERATION AND MAINTENANCE PLAN (O&M) ARE REQUIRED DOCUMENTS WITH THIS PLAN SET AND MUST BE MAINTAINED BY THE CONTRACTOR AND OWNER ON SITE.

**RIDOT**  
 THE PROPOSED IMPROVEMENTS WILL NOT INCREASE THE RATE OF STORMWATER RUNOFF ONTO THE STATE HIGHWAY. ALL WORK WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO THE RI STANDARD SPECIFICATIONS, DETAILS, AND ADDENDUMS.

**DiPrete Engineering**

Two Stafford Court Cranston, RI 02920  
 tel 401-943-1000 fax 401-464-6000 www.diprete-eng.com

Boston • Providence • Newport



THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED, ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
 DIPRETE ENGINEERING ONLY WARRANTS PLANS ONLY AS PREPARED BY DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY.  
 THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE NEANS CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND PROGRAMS UTILIZED CONSISTENT WITH THE PLAN AND APPROPRIATE ONLY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

NO.	DATE	DESCRIPTION	D.S.N.	D.T.
1	10/20/2024	PRELIMINARY PLAN SUBMISSION		
DESIGN BY: J.W.S.			DESIGN BY: D.R.N.	

**COVER SHEET**  
**ANN & HOPE REDEVELOPMENT-PHASE III**  
 ASSESSOR'S PLAT 322 LOT 209  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
**U-HAUL**  
 266 MERRILL AVENUE  
 LEONISTON, MA 01545

Z:\BENHAIN\PROJECTS\06010501 POST ROAD 1689\AUTOCAD DRAWINGS\06010501-050-CVAR-DWG-PLUTTB-4/1/2024

Z:\DEVELOPMENT\PROJECTS\0614551\POST ROAD\689A\AUTOCAD DRAWINGS\0614551-050-CVAR.DWG PLOT# 4/1/2024

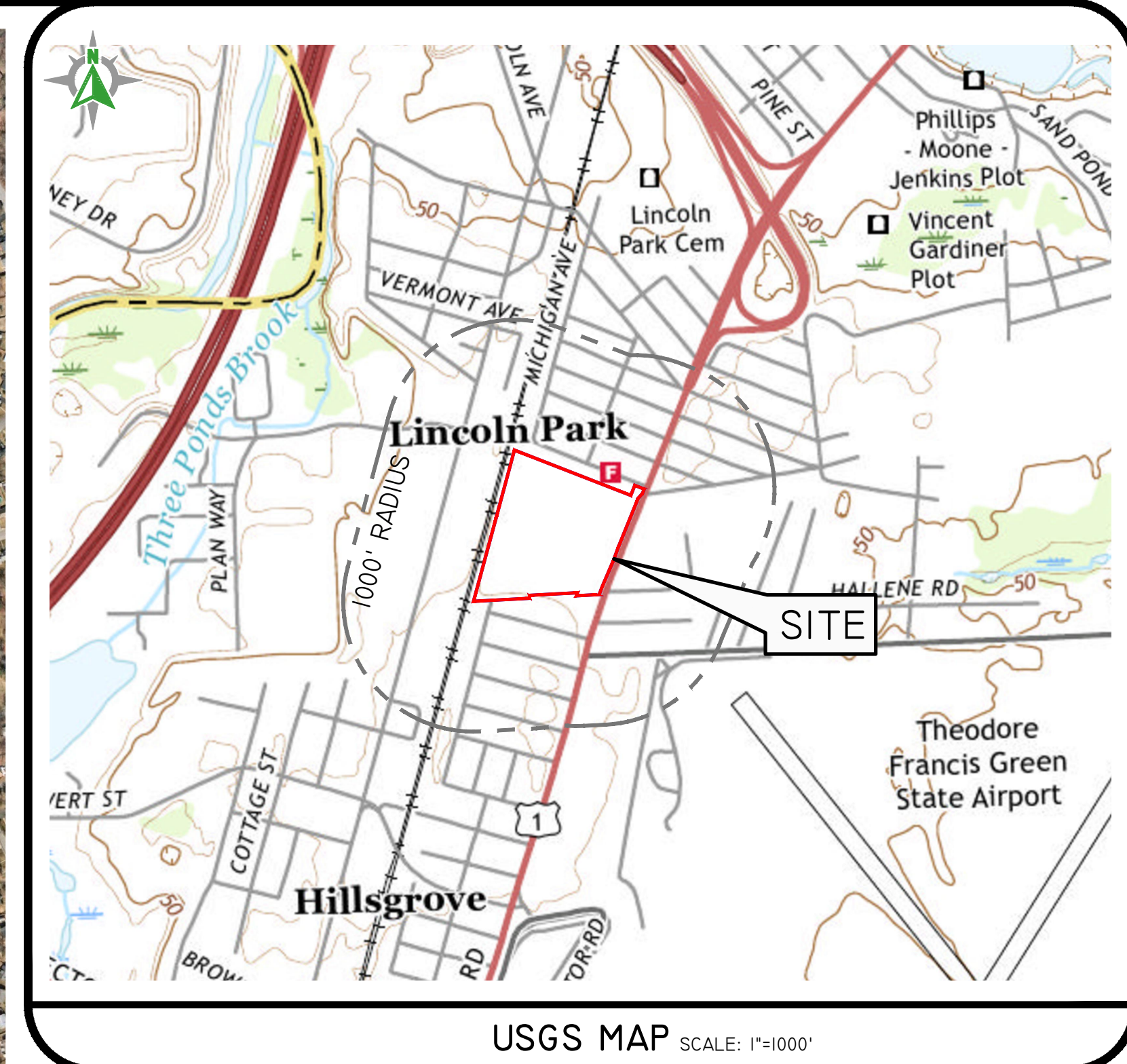


PHOTO OBTAINED FROM NEARMAP.  
 DATE OF PHOTOGRAPHY 03-27-2023.  
 SCALE: 1"=400'  
 0 200' 400' 800'

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**Boston • Providence • Newport**

**DANA R. NISSET**  
 No. 11876  
 REGISTERED PROFESSIONAL ENGINEER CIVIL

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS SHOWN OTHERWISE. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE MEANS AND METHODS OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

NO.	DATE	DESCRIPTION	D.S.N.	D.T.
1	03/27/2024	PRELIMINARY PLAN SUBMISSION		
DESIGN BY: D.R.N.				

**AERIAL AND HALF MILE RADIUS  
 ANN & HOPE REDEVELOPMENT-PHASE III**  
 ASSESSOR'S PLAT 322 LOT 209  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
**U-HAUL**  
 266 MERRILL AVENUE  
 LEONISTON, MA 01535

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SHEET **2** OF 10

GENERAL NOTES:

- 1. THE SITE IS LOCATED ON THE CITY OF WARWICK ASSESSOR'S PLAT 322 LOT 209.
2. THE SITE IS APPROXIMATELY 19.51 ACRES AND IS ZONED GB. THE PHASE III PROJECT AREA IS APPROXIMATELY 2.77 ACRES.
3. THE OWNER OF AP 322 LOT 209 IS: AMERCO REAL ESTATE COMPANY 2727 NORTH CENTRAL AVE PHOENIX, AZ 85004
4. THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44003C031M, MAP REVISED SEPTEMBER 18, 2013. (FLOOD PLAN DESCRIPTIONS SHOWN BELOW).
- ZONE X (UNSHADED) - THIS SITE IS LOCATED IN FEMA FLOOD ZONE X, WHICH ARE AREAS WHERE THERE IS MINIMAL FLOODING.
5. THE BOUNDARY LINES AS SHOWN ON THE ENGINEERING PLAN SET DEPICTS THE RESULTS OF A CLASS I BOUNDARY RETRACEMENT SURVEY AS PERFORMED BY DIPRETE ENGINEERING. THIS PLAN IS NOT TO BE CONSTRUED AS A CLASS I BOUNDARY RETRACEMENT SURVEY PLAN AND IS NOT SUITABLE FOR RECORDING AS A CLASS I STANDARD SURVEY PLAN.
6. CONTOUR DATA SHOWN ON THIS PLAN OUTSIDE OF THE PROJECT AREA CONFORMS TO A T-4 TOPOGRAPHICAL SURVEY STANDARD AS ADOPTED BY THE RHODE ISLAND BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS; SAID DATA IS BASED ON ELEVATION INFORMATION THAT WAS COLLECTED WITH AIRBORNE LIDAR TECHNOLOGY FOR THE ENTIRE AREA OF RHODE ISLAND BETWEEN APRIL 22 AND MAY 6, 2011 AS PART OF THE NORTHEAST LIDAR PROJECT. THIS DATA'S POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED BY DIPRETE ENGINEERING AND IS SUBJECT TO CHANGES AN AUTHORITY FIELD SURVEY MAY DISCLOSE.
7. ALL WORK PERFORMED HEREIN IS TO BE GOVERNED BY CURRENT EDITIONS OF THE RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, CITY OF WARWICK STANDARD SPECIFICATIONS AND DETAILS AND SPECIFICATIONS INCLUDED AS PART OF THE DRAWINGS. IN AREAS OF CONFLICT BETWEEN THE DIFFERENT SPECIFICATIONS, THE DESIGN PLANS AND PROJECT SPECIFICATIONS WILL TAKE PRECEDENCE OVER THE GENERAL SPECIFICATIONS AND THE CEOR WILL INTERPRET THE CONSTRUCTION REQUIREMENT. THE CONTRACTOR IS ADVISED TO SUBMIT A REQUEST FOR INFORMATION (RFI) FOR ANY AREAS OF CONFLICT BEFORE COMMITTING TO CONSTRUCTION.
8. THE SITE IS NOT WITHIN A:
GROUNDWATER PROTECTION AREA (RIDEM)
NATURAL HERITAGE AREA (RIDEM)
GROUNDWATER PROTECTION OVERLAY DISTRICT (TOWN)
9. THE SITE IS NOT LOCATED WITHIN THE FRESHWATER WETLAND BUFFER URBAN REGION/RIVER PROTECTION REGION /RIVER PROTECTION REGION 2 PER THE FRESHWATER WETLANDS BUFFER REGIONS MAPS (250-RI-CR-150-15-3.ZA).
10. THE FOLLOWING DOCUMENTS ARE CONSIDERED PART OF THE PROJECT PLANS AND THE CONTRACTOR/OWNER MUST MAINTAIN THESE DOCUMENTS AS PART OF A FULL PLAN SET:
- SOIL EROSION AND SEDIMENT CONTROL PLAN (SESC). THE SESC CONTAINS THE FOLLOWING:
- EROSION CONTROL MEASURES
- SHORT TERM MAINTENANCE
- ESTABLISHMENT OF VEGETATIVE COVER
- CONSTRUCTION POLLUTION PREVENTION
- SEQUENCE OF CONSTRUCTION
- STORMWATER OPERATION AND MAINTENANCE PLAN (OSM). THE OSM CONTAINS:
- LONG TERM MAINTENANCE
- LONG TERM POLLUTION PREVENTION
11. THIS PLAN SET REFERENCES RIDOT STANDARD DETAILS (DESIGNATED AS RIDOT STD X.X.X.X), RIDOT STANDARD DETAILS ARE AVAILABLE FROM RIDOT AND ONLINE AT: HTTP://WWW.DOT.RI.GOV/BUSINESS/CONTRACTORSANDCONSULTANTS.PHP.
12. THE SITE IS TO BE SERVICED BY PUBLIC WATER AND PUBLIC SEWER.
13. THE DRAINAGE SYSTEM IS DESIGNED TO MEET THE CITY OF WARWICK SUBDIVISION AND LAND DEVELOPMENT REGULATIONS WITH THE USE OF CATCH BASINS AND UNDERGROUND DRAINAGE BASINS. THE STORMWATER MANAGEMENT SYSTEM MEETS THE RIDEM BEST MANAGEMENT PRACTICES.
14. THE "PHASE III" PROJECT AREA SITE IS PROPOSED TO BE BUILT IN ONE PHASE.
15. INFILTRATION TESTING, TEST PITS, AND SOIL EVALUATIONS WERE COMPLETED BY DIPRETE ENGINEERING ON 4/10/2023.
16. THERE ARE NO WETLANDS OR ASSOCIATED WETLAND BUFFER ZONES ON SITE.
17. ANY PROPRIETARY PRODUCTS REFERENCED IN THIS PLAN SET ARE REPRESENTATIVE OF THE MINIMUM DESIGN REQUIREMENTS FOR THE PURPOSE THEY PROPOSE TO SERVE. ALTERNATIVES TO ANY PROPRIETARY PRODUCT MAY BE SUBMITTED TO THE CEOR FOR CONSIDERATION, WHICH MUST BE ACCOMPANIED BY APPROPRIATE SPECIFICATION SHEETS/DESIGN CALCULATIONS THAT DEMONSTRATE THE ALTERNATIVE(S) MEET THE MINIMUM DESIGN PARAMETERS OF THE PRODUCT SHOWN ON THE PLANS. NO ALTERNATIVES MAY BE USED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER OF RECORD.
18. THIS PLAN SET MAY REFERENCE AND/OR INCLUDE REPRODUCTIONS OF PROPRIETARY PRODUCTS/ DETAILS BY OTHERS, AND/OR THEIR ASSOCIATED SPECIFICATIONS, ANY REFERENCED OR REPRODUCED PROPRIETARY PRODUCT OR DETAIL BY OTHERS THAT IS SHOWN ON CEOR PLANS IS STRICTLY FOR INFORMATION/SPECIFICATION PURPOSES ONLY. DIPRETE ENGINEERING DOES NOT WARRANT ANY PROPRIETARY PRODUCTS, OR THEIR ASSOCIATED SPECIFICATIONS. IF A DIPRETE ENGINEERING PLAN INCLUDES A PROPRIETARY PRODUCT/DETAIL BY OTHERS (EITHER EXPLICITLY OR IMPLIED) AND IS STAMPED BY A REGISTERED PROFESSIONAL ENGINEER AND/OR REGISTERED LANDSCAPE ARCHITECT OF DIPRETE ENGINEERING, SAID STAMP DOES NOT EXTEND TO ANY PORTION OF THE PROPRIETARY PRODUCT/DETAIL BY OTHERS OR ITS DESIGN.

DEMOLITION NOTES:

DEMOLITION NOTES:

- 1. CONTRACTOR MUST NOTIFY "DIG SAFE" AT 811 (OR 1-888-344-7233) A MINIMUM OF 72 HOURS BEFORE EXCAVATING.
2. CONTRACTOR MUST OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS PRIOR TO THE START OF CONSTRUCTION.
3. CONTRACTOR MUST PERFORM DAILY SWEEPING AT CONSTRUCTION ENTRANCES DURING DEMOLITION AND CONSTRUCTION TO MINIMIZE SEDIMENTS ON EXTERNAL STREETS.
4. ANY EXISTING BUILDING(S) AND PROPERTY PROPOSED TO REMAIN THAT ARE DAMAGED BY THE CONTRACTOR MUST BE REPAIRED BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
5. CONTRACTOR IS RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) ALL MATERIALS INDICATED ON THE PLANS UNLESS SPECIFIED OTHERWISE HEREIN. R&D MATERIALS INCLUDE BUT ARE NOT LIMITED TO PAVEMENT, CATCH BASINS, MANHOLES, GRATES/FRAMES/COVERS, AND ANY EXCESS SOIL THAT IS NOT INCORPORATED INTO THE WORK.
6. IN ADDITION TO THOSE AREAS SPECIFICALLY DESIGNATED ON THE PLANS, ALL DISTURBED AREAS INCLUDING THE CONTRACTOR'S STOCKPILE AND STAGING AREAS WITHIN THE LIMIT OF WORK MUST BE RESTORED TO MATCH THE DESIGN PLANS.
7. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION MUST BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF DEMOLITION AND PRIOR TO START OF NEW CONSTRUCTION. A MARKER MUST BE INSTALLED TO FINISH GROUND AT ALL INSTALLED CAPS/PLUGS. THE MARKER CAN BE A POST IN CONSTRUCTION AREAS OR PAINTED ON A PERMANENT SURFACE.
8. ACTIVE UTILITY LINES AND STRUCTURES NOT SPECIFICALLY NOTED ON PLANS, BUT WHICH ARE ENCOUNTERED TO BE IN CONFLICT WITH THE PROPOSED WORK, MUST BE EXTENDED, PROTECTED, OR REWORKED BY THE CONTRACTOR AS DIRECTED OR REQUIRED BY THE UTILITY ENTITY OR OWNER UNLESS OTHERWISE NOTED.
9. CONTRACTOR MUST COORDINATE THE CUTTING AND CAPPING OF ALL UTILITIES WITH THE OWNER, THE MUNICIPALITY, AND ALL APPLICABLE UTILITY ENTITIES HAVING JURISDICTION.
10. INACTIVE SUBSURFACE UTILITIES NOT IN CONFLICT WITH THE PROPOSED WORK AREA MAY BE ABANDONED IN PLACE WITH WRITTEN PERMISSION FROM THE OWNER.

AS-BUILT NOTES:

ALL COMPONENTS OF THE DRAINAGE, SEWER, AND WATER SYSTEMS MUST BE FIELD LOCATED PRIOR TO COVERING. NOTIFY SURVEYOR A MINIMUM OF SEVENTY-TWO (72) HOURS IN ADVANCE OF NEED FOR FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.

RIDOT NOTES:

- 1. ALL WORK TO BE DONE WITHIN THE STATE RIGHT OF WAY MUST CONFORM TO RHODE ISLAND STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION AMENDED MARCH 2018 WITH ALL REVISIONS AND ADDENDA. STANDARD DETAILS FOR THIS WORK ARE RHODE ISLAND STANDARD DETAILS DATED JUNE 21, 2019 WITH ALL REVISIONS.
2. CONTRACTOR MUST OBTAIN A UTILITY CONNECTION PERMIT FOR WORK WITHIN THE STATE RIGHT-OF-WAY (ROW) PRIOR TO CONSTRUCTION. THE PHYSICAL ALTERATION PERMIT (PAP) IS NOT A SUBSTITUTE FOR THE UTILITY PERMIT AND THE PAP DOES NOT CONSTITUTE AN APPROVAL OF ANY UTILITY WORK.
3. ALL TRAFFIC CONTROL MUST CONFORM TO THE MUTCD, LATEST EDITION, WITH ALL REVISIONS.
4. NO LANE OR SHOULDER CLOSURES ARE ALLOWED TO BE PERFORMED WITHIN THE STATE ROW DURING PEAK TRAFFIC HOURS.
5. SEWER AND WATER CONNECTIONS WITHIN THE STATE ROW WILL REQUIRE A SEPARATE RIDOT UTILITY PERMIT. THE CONTRACTOR MUST OBTAIN BEFORE CONSTRUCTION.
6. THE DRAINAGE SYSTEM IS DESIGNED TO DECREASE BOTH STORMWATER RUNOFF RATE, AND STORMWATER RUNOFF VOLUME TO THE STATE ROW FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. THERE SHALL BE NO INCREASE IN RUNOFF TO THE STATE ROW FROM THE PROPOSED DEVELOPMENT.
7. WORK WITHIN THE STATE'S ROW WILL CONFORM TO PROPOSED PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG). WORK WITHIN THE STATE ROW WILL CONFORM TO AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) UNLESS THE WORK IS ON STATE OWNED LAND.

LAYOUT AND MATERIALS:

- 1. DIMENSIONS ARE FROM THE FACE OF CURB, FACE OF BUILDING, FACE OF WALL, AND CENTER LINE OF PAVEMENT MARKINGS, UNLESS OTHERWISE NOTED.
2. CURBING MUST BE PRECAST CONCRETE, MONOLITHIC CONCRETE, BITUMINOUS BERM OR GRANITE, OR AS LABELED ON THE PLANS.
3. SIDEWALK MUST BE CONCRETE OR AS LABELED ON THE PLANS.
4. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MEET ALL SIGNAGE AND PAVEMENT MARKING REQUIREMENTS OF THE MUTCD AND AUTHORITIES HAVING JURISDICTION, REGARDLESS OF ITEMS SHOWN (OR NOT SHOWN) ON THIS PLAN SET. THIS INCLUDES (BUT IS NOT LIMITED TO) SIGN TYPE, NUMBER OF SIGNS, POLE MOUNTING TYPE, PAVEMENT MARKING LOCATIONS (TYPE/ WIDTH/ MATERIALS, INSTALLATION METHODS, AND ANY ADDITIONAL SIGNS AND/OR MARKINGS THAT MAY BE REQUIRED). THE CONTRACTOR MUST NOTIFY THE CEOR OF ANY MODIFICATIONS OR DISCREPANCIES PRIOR TO ORDERING OR INSTALLING SIGNAGE/ PAVEMENT MARKINGS.
5. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALE TO THEIR ACTUAL DIMENSIONS ON THE DRAWINGS. THE CONTRACTOR MUST REFER TO THE DETAIL SHEET DIMENSIONS, MANUFACTURER'S LITERATURE, SHOP DRAWINGS AND FIELD MEASUREMENTS OF SUPPLIED PRODUCTS FOR LAYOUT OF THE PROJECT FEATURES.
6. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS PERTAINING TO THE BUILDING, INCLUDING SIDEWALKS, RAMPS, BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, CONECTOR PAD, LOADING DOCKS, BOLLARDS, ETC.
7. CONTROL POINTS, PROPOSED BOUNDS, AND ANY EXISTING PROPERTY LINE MONUMENTATION DISTURBED DURING CONSTRUCTION MUST BE SET OR RESET BY A PROFESSIONAL LICENSED SURVEYOR.
8. CONTRACTOR MUST NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS AND DATA FILES THAT ARE OBTAINED FROM THE CEOR. CONTRACTOR MUST VERIFY LOCATION OF PROJECT FEATURES AND MATERIALS WITH THE STAMPED DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL. ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS, ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER WARWICK WATER DEPARTMENT REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY WARWICK WATER DEPARTMENT. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER DEPARTMENT TO ENSURE INSPECTOR IS ON SITE.
9. IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.

REDEVELOPMENT NOTES:

- 1. ALL EXISTING MANHOLE COVERS, GRATES, VALVE BOXES, SHUT-OFFS, AND HAND HOLES, TO REMAIN WITHIN THE LIMIT OF WORK MUST BE RESET TO FINISHED GRADE.
2. THE CONTRACTOR MUST PROTECT AND MAINTAIN ALL BUILDINGS TO REMAIN AND ALL ACTIVE UTILITIES THAT SERVICE THE BUILDINGS TO REMAIN, REFER TO ARCHITECTURAL PLANS FOR BUILDING DEMOLITION INFORMATION.
3. ALL UTILITY STRUCTURES INDICATED TO BE ABANDONED MUST BE CUT TO FOUR FEET BELOW FINISH GRADE ELEVATION. INLETS AND OUTLETS PLUGGED WITH MORTAR, AND SEALED WITH CONCRETE, UNLESS OTHERWISE NOTED.
4. WHEN ABANDONING INACTIVE UTILITY PIPES NEAR THE PROPERTY LINE, THE CONTRACTOR MUST CAP OR PLUG IN PLACE AT THE PROPERTY LINE. WHEN REMOVING AND DISPOSING OF A PORTION OF EXISTING PIPE, THE CONTRACTOR MUST CAP OR PLUG BOTH ENDS REMAINING IN PLACE.
5. CONTRACTOR MUST DOCUMENT LOCATION OF ALL SUBSURFACE UTILITIES REMAINING IN PLACE AFTER DEMOLITION (ACTIVE AND INACTIVE/ABANDONED). LOCATION CAN BE DOCUMENTED BY FIELD SURVEY OR SWING TIES. COPIES OF LOCATION DOCUMENTATION MUST BE PROVIDED TO THE OWNER.
6. NO GUARANTEE IS MADE THAT THE EXISTING UTILITY SERVICE CONNECTIONS ARE SUITABLE FOR REUSE. EXISTING UTILITY SERVICE CONNECTIONS WERE NOT FIELD VERIFIED FOR SIZE, MATERIAL, EXACT LOCATION, OR INSPECTED FOR SUITABILITY FOR REUSE. CONTRACTOR MUST EVALUATE THE SIZE, MATERIAL, LOCATION, AND SUITABILITY FOR REUSE, AND IMMEDIATELY PROVIDE WRITTEN DOCUMENTATION OF CONDITIONS TO THE OWNER/DIPRETE ENGINEERING.

TRAFFIC NOTES:

- 1. ALL TRAFFIC CONTROL MUST CONFORM TO THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) CURRENT EDITION.
2. DURING CONSTRUCTION, TRAFFIC CONES MUST BE USED FOR SEPARATION OF ACTIVE TRAFFIC FROM WORK ZONE PER MUTCD REQUIREMENTS.
3. DURING CONSTRUCTION FLAGGERS MUST BE EMPLOYED TO ENSURE SAFETY FOR INTERACTION OF CONSTRUCTION VEHICLES AND ACTIVE TRAFFIC.
4. ALL SIGNS, FLAGGERS, TRAFFIC CONTROL DEVICES, AND TEMPORARY TRAFFIC ZONE ACTIVITIES MUST MEET THE REQUIREMENTS OF THE MUTCD LATEST EDITION AND SUBSEQUENT ADDENDA.
5. TEMPORARY CONSTRUCTION SIGNS MUST BE MOUNTED ON RIDOT APPROVED SUPPORTS AND MUST BE REMOVED OR COVERED WHEN NOT APPLICABLE.

DEMOLITION NOTES:

GRADING, DRAINAGE, AND UTILITY NOTES:

- 1. CONSTRUCTION TO COMMENCE FALL 2023 OR UPON RECEIPT OF ALL NECESSARY APPROVALS.
2. THE CONTRACTOR MUST COORDINATE WITH ALL OF THE APPROPRIATE UTILITY COMPANIES FOR AGREEMENTS TO SERVICE THE PROPOSED BUILDING. THIS MUST BE DONE PRIOR TO CONSTRUCTION. NO REPRESENTATIONS ARE MADE BY DIPRETE ENGINEERING THAT UTILITY SERVICE IS AVAILABLE.
3. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING FINISH GRADING AND DRAINAGE AROUND THE BUILDING TO ENSURE SURFACE WATER AND/OR GROUNDWATER IS DIRECTED AWAY FROM THE STRUCTURE.
4. PRIOR TO START OF CONSTRUCTION, CONTRACTOR MUST VERIFY EXISTING PAVEMENT ELEVATIONS AT INTERSECTIONS WITH PROPOSED PAVEMENTS, AND EXISTING GROUND ELEVATIONS ADJACENT TO DRAINAGE OUTLETS TO ASSURE PROPER TRANSITIONS BETWEEN EXISTING AND PROPOSED FACILITIES. CONTRACTOR MUST NOTIFY THE CEOR OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. ALL PROPOSED UNDERGROUND UTILITIES SERVING THE SITE AND BUILDINGS MUST BE COORDINATED WITH OWNER, ARCHITECT, AND ENGINEER PRIOR TO INSTALLATION.
6. ALL RETAINING WALLS AND STEEP SLOPES ARE SUBJECT TO FINAL STRUCTURAL DESIGN. DIPRETE ENGINEERING IS NOT PROVIDING THE STRUCTURAL DESIGN OF THESE ITEMS. ALL WALLS AND STEEP SLOPES MUST BE DESIGNED AND BUILT UNDER THE DIRECTION OF A RHODE ISLAND LICENSED PROFESSIONAL ENGINEER SUITABLY QUALIFIED IN GEOTECHNICAL ENGINEERING AND CERTIFIED TO THE OWNER PRIOR TO THE COMPLETION OF THE PROJECT. SHOP DRAWINGS MUST BE SUBMITTED PRIOR TO CONSTRUCTION. FINAL STRUCTURAL DESIGN MUST INCORPORATE THE INTENT OF THE GRADING SHOWN ON THESE PLANS AND ALL WORK MUST BE WITHIN THE LIMIT OF DISTURBANCE SHOWN ON THE PLANS.
7. ALL CUT AND FILL WORK MUST BE DONE UNDER THE DIRECTION OF A PROFESSIONAL GEOTECHNICAL ENGINEER, WITH TESTING AND CERTIFICATION PROVIDED TO THE OWNER AT THE COMPLETION OF THE PROJECT. DIPRETE ENGINEERING IS NOT PROVIDING THE FILL SPECIFICATION, GEOTECHNICAL ENGINEERING, STRUCTURAL ENGINEERING SERVICES, OR SUPERVISION AS PART OF THESE DRAWINGS.
8. MATERIAL STOCKPILES MUST NOT BE LOCATED IN THE RIGHT-OF-WAY, AND TRENCHES MUST NOT BE LEFT OPEN OVERNIGHT.
9. ALL EXCESS SOIL, TREES, ROCKS, BOLLARDS, AND OTHER REFUSE, MUST BE DISCARDED OFF SITE IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS. STUMPS MUST BE GROUND ON SITE OR REMOVED.
10. THE SITE WILL HAVE 3' BITUMINOUS BERM AND/OR 6" CONCRETE CURBING AS INDICATED ON THE PLANS. SITE GRADING/CONTOURS SHOWN ON THE PLANS DO NOT NECESSARILY REFLECT THE FIELD LOCATION OF IMPROVEMENTS. SURVEYOR MUST PROVIDE OWNER AND CONTRACTOR WITH WRITTEN NOTICE OF COMPLETION OF FIELD WORK PRIOR TO CONTRACTOR COVERING IMPROVEMENTS. OWNER/DIPRETE ENGINEERING WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE SITE CONTRACTOR.
11. NO STUMP DUMPS ARE ALLOWED ON SITE.
12. ALL DRAINAGE OUTFALLS ARE DESIGNED TO BE INSTALLED AT EXISTING GROUND ELEVATION. CONTRACTOR MUST IMMEDIATELY NOTIFY THE CEOR OF ANY DISCREPANCIES WHERE EXISTING GROUND IS HIGHER THAN OUTFALL DESIGN ELEVATION. ANY RESOLUTION OF DISCREPANCIES BY THE CONTRACTOR, UNLESS AUTHORIZED IN WRITING IN ADVANCE BY THE OWNER AND THE CEOR, IS DONE AT THE CONTRACTOR'S RISK.
13. CONTRACTOR MUST PROVIDE SAW CUTTING AND FULL DEPTH PAVEMENT RESTORATION IN AREAS WHERE PAVEMENT AND/OR SIDEWALK IS REMOVED FOR UTILITY INSTALLATION.
14. IF ROADWAY SURFACE PAVEMENT COURSE IS NOT TO BE INSTALLED FOR 12 MONTHS OR MORE AFTER INSTALLATION OF DRAINAGE STRUCTURES, ALL CATCH BASIN RIMS MUST BE SET AT BINDER GRADE AND RAISED TO FINAL PAVEMENT GRADE PRIOR TO PLACEMENT OF SURFACE COURSE.
15. CONTRACTOR MUST HOLD/ SUPPORT/ RESTORE ALL EXISTING UTILITY COMPONENTS INCLUDING (BUT NOT LIMITED TO) POLES, MAST ARMS AND ABOVEGROUND OBJECTS AS NECESSARY DURING THE PROJECT'S ELECTRICAL INSTALLATION. CONTRACTOR MUST COORDINATE SAID WORKS WITH ALL ASSOCIATED UTILITY OWNERS ACCORDINGLY. ANY EXISTING ITEMS DAMAGED OR REMOVED AS INCIDENTAL DURING UTILITY CONNECTION/ ELECTRICAL INSTALLATION INCLUDING (BUT NOT LIMITED TO) CURBS IN THE ROW MUST BE REPLACED IN KIND FOLLOWING COMPLETION OF WORKS.
16. DRAINAGE:
ALL DRAINAGE PIPING MUST BE HIGH-DENSITY POLYETHYLENE (HDPE) OR EQUAL, WITH WATERTIGHT JOINTS WHERE INSTALLED WITHIN THE SEASONAL HIGH GROUNDWATER TABLE, UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL DRAINAGE STRUCTURES MUST BE WATER TIGHT. ALL STORMWATER PIPING WITHIN THE STATE'S RIGHT-OF-WAY MUST BE REINFORCED CONCRETE PIPE (RCP). DRAINAGE STRUCTURES DO NOT REQUIRE BRICK INVERT AS SHOWN IN DOT DETAILS.
DRAINAGE STRUCTURES MUST BE AS FOLLOWS (UNLESS OTHERWISE NOTED ON PLANS):
- SINGLE FRAME CATCH BASIN GRATES: RIDOT STD 6.3.2
- DRAINAGE MANHOLE COVERS: RIDOT STD 6.2.1
- DROP INLETS: RIDOT STD 4.5.0, 4.5.1 OR 4.5.2
- APRON TRENCH, WHERE REQUIRED: RIDOT STD 7.1.7 OR 7.1.8
- MANHOLES: RIDOT STD 4.2.0, 4.2.1 OR 4.2.2 AS REQUIRED. SEE NOTES BELOW FOR COVER TYPE SELECTION.
- FOR ALL OTHER DRAINAGE STRUCTURES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE APPROPRIATE STRUCTURE TOP REQUIRED (E.G. CONE TOP, FLAT TOP ETC) TO MEET THE DESIGN PARAMETERS AS SHOWN ON THESE PLANS, INCLUDING (BUT NOT LIMITED TO) THE RELATIONSHIP BETWEEN FINISH SURFACE ELEVATION/ DEPTH TO PIPE INVERTS AND MEETING MANUFACTURER/ AIA REQUIREMENTS AND SPECIFICATIONS.
DRAINAGE CONNECTIONS FROM ALL YARD DRAINS (YD), AREA DRAINS (AD), TRENCH DRAINS (TD), FRENCH DRAINS (FD), WALL DRAINS (WD), AND DOWNSPOUTS (DS) ARE SHOWN FOR SCHEMATIC PURPOSES ONLY. THE LEVEL OF DETAIL SHOWN DOES NOT INCLUDE ALL JOINTS THAT MAY BE REQUIRED FOR PROPER CONNECTION. ALL FITTINGS AND PIPE SLOPES THAT TIE INTO MAIN TRUNK LINE MUST BE FIELD FIT BY CONTRACTOR.
17. SANITARY SEWER:
ALL SANITARY SEWER PIPING MUST BE SDR 35 UNLESS NOTED OTHERWISE ON THE PLANS OR IN THE SPECIFICATIONS. ALL SEWER IMPROVEMENTS MUST BE IN ACCORDANCE WITH THE WARWICK SEWER AUTHORITY RULES AND REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR MUST SUBMIT SHOP DRAWINGS FOR APPROVAL BY ENGINEER OF RECORD PRIOR TO CONSTRUCTION.
18. WATER:
ALL WATER MAINS MUST BE CEMENT LINED DUCTILE IRON PIPE (CLDIP). ALL WATER MAIN IMPROVEMENTS MUST COMPLY WITH WARWICK WATER DEPARTMENT REGULATIONS AND ANY APPLICABLE AUTHORITY HAVING JURISDICTION, INCLUDING (BUT NOT LIMITED TO) MATERIALS, DIMENSIONS AND ACCESS COVERS. CONTRACTOR TO PROVIDE SHOP DRAWINGS AND SUBMITTALS TO THE ENGINEER OF RECORD FOR APPROVAL FOR ALL WATER IMPROVEMENTS AND APPURTENANCES INCLUDING BUT NOT LIMITED TO PIPES, VALVES, FITTINGS, HEAT ENCLOSURES, AND BACKFLOW PREVENTERS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE ASBUILT PER WARWICK WATER DEPARTMENT REQUIREMENTS. ALL COMPONENTS OF THE WATER SYSTEM MUST BE INSPECTED BY WARWICK WATER DEPARTMENT. CONTRACTOR MUST COORDINATE ALL IMPROVEMENTS WITH WARWICK WATER DEPARTMENT TO ENSURE INSPECTOR IS ON SITE.
19. IN THE CASE OF ANY NEW HYDRANT INSTALLED IN OR NEXT TO AN EXISTING SIDEWALK, THE CONTRACTOR MUST INCREASE THE WIDTH OF THE SIDEWALK, AS NECESSARY, TO MAINTAIN A MINIMUM OF 3'-0" CLEAR WIDTH FROM THE OUTERMOST COMPONENTS OF THE HYDRANT TO THE EDGE OF THE SIDEWALK. THE 3'-0" SIDEWALK WIDTH IS REQUIRED ONLY ON ONE SIDE OF THE HYDRANT TO PROVIDE A CLEAR PATH ON THE SIDEWALK.
20. ELECTRIC/TELECOM/GAS:
PROPOSED GAS, ELECTRIC, CABLE AND DATA UTILITIES ARE SHOWN SCHEMATICALLY AND ARE PROPOSED TO BE UNDERGROUND. THE OWNER AND CONTRACTOR MUST COORDINATE FINAL DESIGN WITH APPROPRIATE UTILITY COMPANIES. ALL WORK MUST BE IN ACCORDANCE WITH EACH UTILITY COMPANY'S STANDARDS AND DETAILS AS WELL AS LOCAL AND FEDERAL REGULATIONS. THIS INCLUDES BUT IS NOT LIMITED TO POLES, TRANSFORMERS, PULL BOXES, CONCRETE PADS, CONCRETE ENCASUREMENTS AND CONDUITS, CONNECTION POINTS FOR ELECTRIC AND TELECOM UTILITIES, AT THE EXISTING INFRASTRUCTURE. ARE CURRENTLY SHOWN AS UNDERGROUND UTILITIES. THESE UTILITIES MAY BE UNDERGROUND OR OVERHEAD AND MUST BE COORDINATED WITH RI ENERGY PRIOR TO CONSTRUCTION.
21. SITE LIGHTING:
SITE LIGHTING (TEMPORARY AND PERMANENT) MUST BE DIRECTED AWAY FROM AND SHIELDED FROM ENVIRONMENTALLY SENSITIVE AREAS AND ABUTTING LANDS. EXACT LOCATIONS OF LIGHT POLES MUST BE COORDINATED WITH THE APPROPRIATE UTILITIES, AND MUST BE LOCATED WITHIN THE STREET RIGHT-OF-WAY. FINAL LIGHTING AND CONDUIT LOCATIONS TO BE PROVIDED BY THE USER.

AMERICANS WITH DISABILITIES ACT (ADA) NOTES:

- 1. ALL IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES" (ADAAG) BY THE US DEPARTMENT OF JUSTICE (CURRENT EDITION).
2. MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 4.5% (0.045 FT/FT), AND MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
3. ADA PARKING SPACES AND LOADING AREAS: THE STEEPEST SLOPE OF THE SPACE, MEASURED IN ANY DIRECTION (INCLUDING DIAGONALLY), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
4. A MINIMUM 5'x5' LANDING MUST BE PROVIDED IN FRONT OF ALL PUBLICLY ACCESSIBLE BUILDING ENTRANCES/ EGRESSES. THE STEEPEST SLOPE OF THE LANDING, MEASURED IN ANY DIRECTION (INCLUDING DIAGONAL), MUST BE LESS THAN OR EQUAL TO 2% (0.02 FT/FT). THE CEOR GENERALLY RECOMMENDS A MAXIMUM OF 1.4% (0.014 FT/FT) BE USED FOR BOTH RUNNING AND CROSS SLOPES IN ORDER TO COMPLY.
5. FOR EVERY 6 (OR FRACTION OF 6) ADA PARKING SPACES, AT LEAST ONE MUST BE A VAN PARKING SPACE. FOR EXAMPLE, IF 7 ADA PARKING SPACES ARE REQUIRED, A MINIMUM OF 2 MUST BE VAN SPACES.
6. NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
7. NOTE THAT THE GRADING/PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLAN SET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NONCOMPLIANCE, THE CONTRACTOR MUST NOTIFY THE CEOR BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.

ABBREVIATIONS LEGEND

Table listing abbreviations and their meanings: ADA AMERICANS WITH DISABILITY ACT, ADU AUTHORITY HAVING JURISDICTION, AP ASSESSOR'S PLAT, ARCH ARCHITECT, BC BOTTOM OF CURB, BT BOTTOM OF TESTHOLE, BIT BITUMINOUS (BERM), BIO BIORENTION, BS BASEMENT SLAB ELEVATION, BW FINISHED GRADE AT BOTTOM OF WALL, CB CATCH BASIN, (C) CALCULATED, RL RIGHT LEADER, ROW RIGHT-OF-WAY, S SLOPE, SD SUBDRAIN, CEOR CIVIL ENGINEER OF RECORD, DIPRETE ENGINEERING UNLESS DESIGNATED OTHERWISE BY OWNER, CLDIP CONCRETE LINED DUCTILE IRON PIPE, CO CLEAN OUT, CONC CONCRETE, (D) DEED, DCB DOUBLE CATCH BASIN, DI DROP INLET, DMH DRAINAGE MANHOLE, DP DETENTION POND, ELEV ELEVATION, ESP EDGE OF PAVEMENT, ESC EROSION AND SEDIMENT CONTROL, EX EXISTING, FES FLARED END SECTION, FFE FINISH FLOOR ELEVATION, GS GAS SLAB ELEVATION, GWT GROUND WATER TABLE, HW HEADWALL, HC HIGH CAPACITY CATCH BASIN GRATE, HOPE HIGH DENSITY POLYETHYLENE, ID INLINE DRAIN, INV INVERT, IP INFILTRATION POND, LARCH LANDSCAPE ARCHITECT, LF LINEAR FEET, LOD LIMIT OF DISTURBANCE, LP LIGHT POLE, (M) MEASURED, MEP MECHANICAL/ELECTRICAL/ PLUMBING ENGINEER

SITE CALLOUTS LEGEND

Table listing site callouts: ADAS ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS, ADAV VAN ADA SPACE PAVEMENT MARKINGS MUST COMPLY WITH ALL ADA AND MUTCD REGULATIONS AND REQUIREMENTS, 7.2.A PRECAST CONCRETE CAR STOPS, 7.1.O RIDOT STD PRECAST CONCRETE CURB, BB BITUMINOUS BERM (SEE DETAIL), MCC MONOLITHIC CONCRETE CURB (SEE DETAIL)

EXISTING LEGEND

Table listing existing features and their symbols: NAIL FOUND/SET, DRILL HOLE FOUND/SET, IRON ROD FOUND/SET, BOUND FOUND/SET, SIGN, BOLLARD, SOIL EVALUATION, CATCH BASIN, DOUBLE CATCH BASIN, DCMH DRAINAGE MANHOLE, FLARED END SECTION, GUY POLE, ELECTRIC MANHOLE, UTILITY/POWER POLE, LIGHTPOST, SEWER/SEPTIC MANHOLE, SEWER VALVE, CLEANOUT, HYDRANT, IRRIGATION VALVE, WATER VALVE, WELL, MONITORING WELL, UNKNOWN MANHOLE, GAS VALVE, BENCH MARK, STREAM FLOW DIRECTION, GROUNDWATER OVERLAY, GROUNDWATER RECHARGE AREA, GROUNDWATER RESERVOIR, NATURAL HERITAGE, COMMUNITY WELLHEAD PROTECTION, NON-COMMUNITY WELLHEAD PROTECTION

PROPOSED LEGEND

Table listing proposed features and their symbols: DRAINAGE LINE, PERFORATED SUBDRAIN, SWALE, SEWER FORCE MAIN, GAS LINE, WATER LINE, HYDRANT ASSEMBLY, WATER SHUT OFF, WATER VALVE, THRUST BLOCK, SEWER LINE, OVERHEAD WIRE, ELECTRIC, TELEPHONE, CABLE LINE, LIMIT OF DISTURBANCE/ LIMIT OF CLEARING, SLOPES STEEPER THAN 3:1 (2:1 OR 1:1 SLOPES), UNDERGROUND INFILTRATION OUTLINE, POND ACCESS, RIPRAP, HEAVY DUTY ASPHALT PAVEMENT, SAND FILTER, CATCH BASIN, DOUBLE CATCH BASIN, DRAINAGE MANHOLE, FLARED END SECTION, HEADWALL, SEWER MANHOLE, SINGLE LIGHT, DOUBLE LIGHT, OVERHANGING LIGHT, BUILDING FOOTPRINT, BUILDING OVERHANG, ASPHALT PAVEMENT, HEAVY DUTY ASPHALT PAVEMENT, HEAVY DUTY CONCRETE, MILL AND OVERLAY, CONCRETE, ASPHALT SIDEWALK, SAWCUT LINE, SIGN (RIDOT STD 24.6.2 AS APPLICABLE), ACCESSIBLE PARKING SPACE SYMBOLS, BUILDING INGRESS/EGRESS

NOTE: THIS PLAN SET MUST BE REPRODUCED IN COLOR

UTILITY NOTE:

ALL UNDERGROUND UTILITIES SHOWN ON THESE PLANS WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE PLANS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.

PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION SERVICES AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.

DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED. ANY SIZES, LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.

PERMIT NOTE:

THE PURPOSE OF THIS PLAN SET IS TO OBTAIN A PERMIT FROM THE REGULATORY AGENCY IT WAS SUBMITTED TO. THIS PLAN SET CONTAINS THE REQUIRED INFORMATION NEEDED FOR APPROVAL BY THE SPECIFIC AGENCY IT WAS SUBMITTED TO AND MAY NOT HAVE INFORMATION NECESSARY FOR OTHER REGULATORY AGENCIES. THIS PLAN SET MUST NOT BE CONSTRUED AS A FULL CONSTRUCTION OR BID SET. ADDITIONAL DETAIL IS REQUIRED FOR CONSTRUCTION AND BID DOCUMENTS, SUCH AS (BUT NOT LIMITED TO) FINE GRADING, GRADING BETWEEN THE CONTOUR INTERVAL, ADDITIONAL SURVEY/ MAPPING, BUILDING SHAPE/ LOCATION, ADA UTILITY CONNECTIONS, UTILITY CROSSING, GROUND WATER MITIGATION, SOIL STABILITY AND CONSISTENCY, SPECIFIC END USER NEEDS, CONSTRUCTION LIABILITY ISSUES, ETC. ANY USER OF THESE PLANS SHOULD UNDERSTAND THIS LIMITATION.

DiPrete Engineering logo and contact information: Two Stafford Court Cranston, RI 02920, tel 401-943-1000 fax 401-464-6000 www.diprete-eng.com

Professional Engineer stamp for Dana R. Nisbet, No. 11876, Registered Professional Engineer Civil.

THIS PLAN SET MUST NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS IT IS PREPARED, ISSUED FOR CONSTRUCTION AND STAMPED BY A REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ONLY A DIPRETE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE WORK SHOWN ON THESE PLANS. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

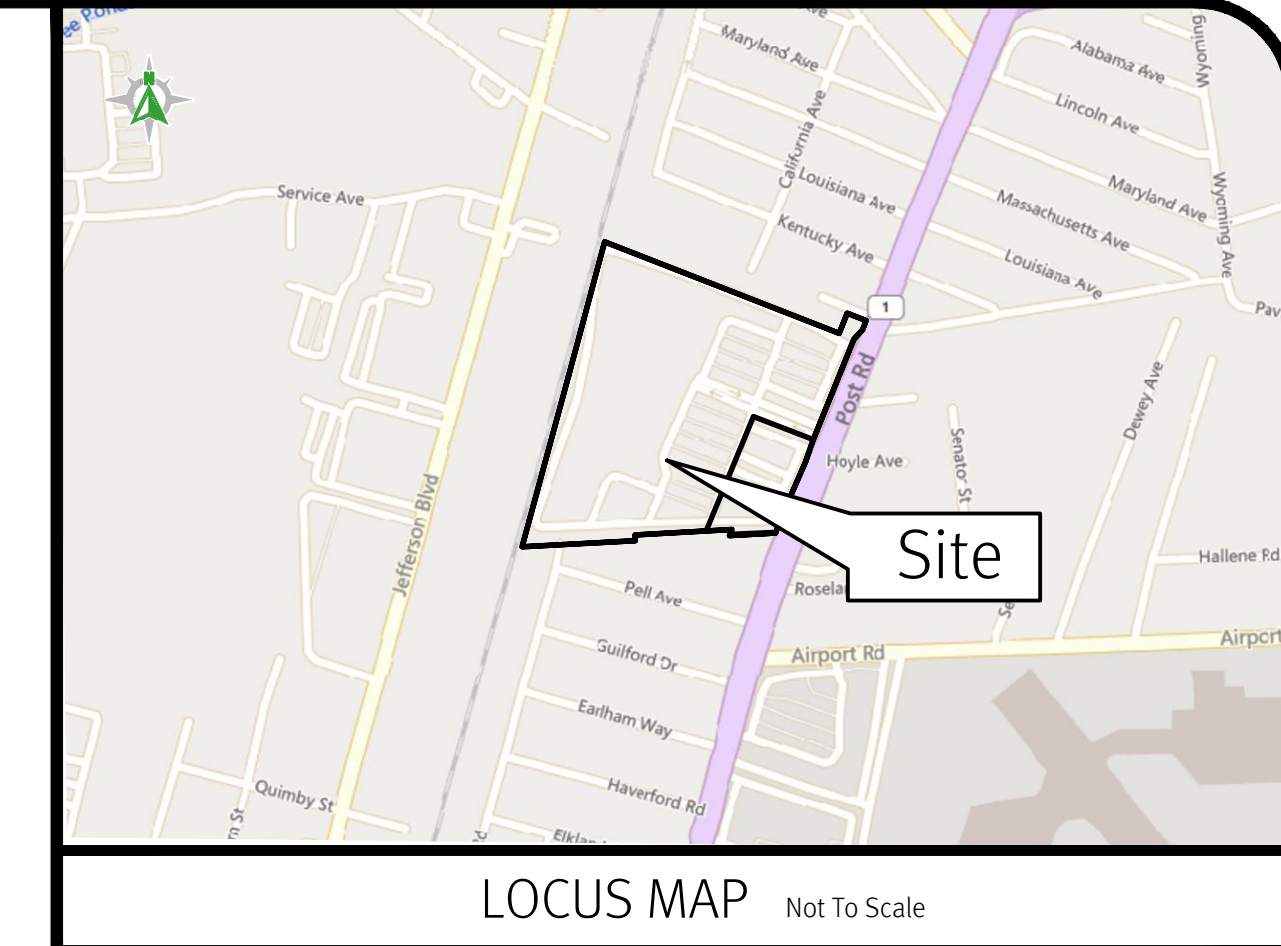
Table with columns: DATE, DESCRIPTION, DESIGN BY, DRAWN BY, CHECKED BY, PREPARED BY, SUBMISSION NO., DATE, DESCRIPTION, DESIGN BY, DRAWN BY.

Notes & Legend section: ANN & HOPE REDEVELOPMENT-PHASE III, WARWICK, RHODE ISLAND. PREPARED FOR: U-HAUL, 266 MERRIAN AVENUE, LEWISTON, MA 01853. SHEET 3 OF 10.

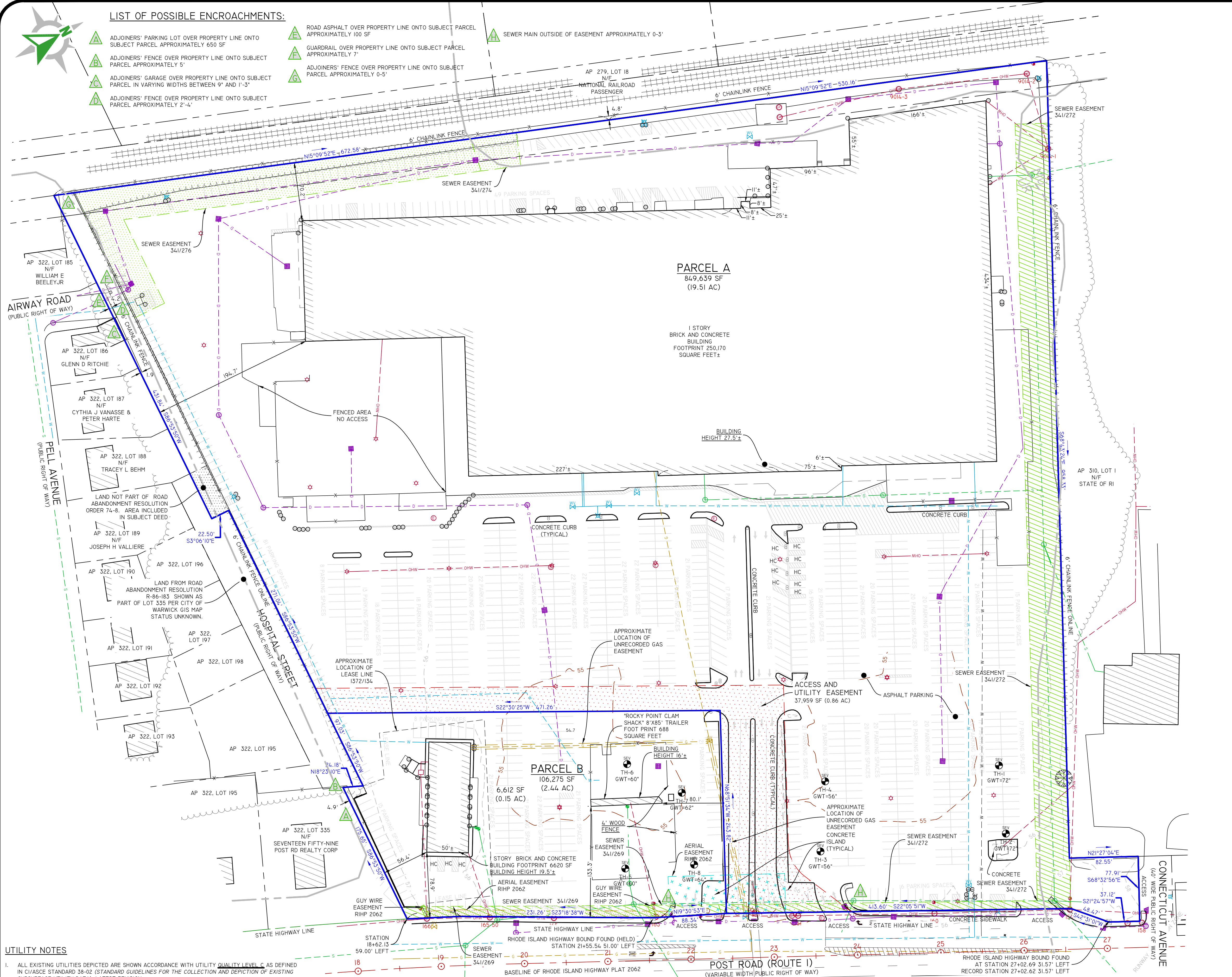
Z:\DEPMAN\PROJECTS\1601-0501 POST ROAD REPAV/CAD DRAWINGS\1601-0501-CAR-DWG-PLATE-412.DWG

**LIST OF POSSIBLE ENCROACHMENTS:**

- ADJOINERS' PARKING LOT OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 650 SF
- ADJOINERS' GARAGE OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 5'
- ADJOINERS' GARAGE OVER PROPERTY LINE ONTO SUBJECT PARCEL IN VARYING WIDTHS BETWEEN 9" AND 1'-3"
- ADJOINERS' FENCE OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 2'-4"
- ROAD ASPHALT OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 100 SF
- GUARDRAIL OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 7'
- ADJOINERS' FENCE OVER PROPERTY LINE ONTO SUBJECT PARCEL APPROXIMATELY 0-5'
- SEWER MAIN OUTSIDE OF EASEMENT APPROXIMATELY 0-3'



**LOCUS MAP** Not To Scale



**LEGEND**

Water Line	123/1234	DEED BOOK/PAGE	BOLLARD
Sewer Line	AP	ASSESSOR'S PLAT	SOIL EVALUATION
Sewer Force Main	HC	HANDICAPPED	CATCH BASIN
Gas Line	N/F	NOW OR FORMERLY	DOUBLE CATCH BASIN
Electric Line	LC	LANDSCAPING	WATER VALVE
Overhead Wires	(R)	RECORD	GAS VALVE
Drainage Line	(CA)	CHORD ANGLE	WETLAND FLAG
Minor Contour Line	▲	NAIL/SPIKE	DRAINAGE MANHOLE
Major Contour Line	●	DRILL HOLE	FLARED END SECTION
Property Line	○	IRON ROD/PIPE	GUY POLE
Assessors Line	□	BOUND	ELECTRIC MANHOLE
Treeline	○	SIGN POST	UTILITY/POWER POLE
Guardrail	○	SEWER MANHOLE	WELL
Fence	○	HYDRANT	MONITORING WELL
Retaining Wall	○	IRRIGATION VALVE	BENCH MARK
Stone Wall	○	UNKNOWN MANHOLE	TREE
Soil Boundary	○		

**GENERAL NOTES**

- THE PARCELS ARE FOUND IN THE CITY OF WARWICK, KENT COUNTY, RHODE ISLAND.
- THE OWNER OF PARCEL A PER DEED BOOK 10266, PAGE 222 AND DEED BOOK 10270, PAGE 126 IS AMERCO REAL ESTATE COMPANY.
- THE OWNER OF PARCEL B PER DEED BOOK 10270, PAGE 140 IS CROSSROADS CAPITAL FUND VI, LLC, A RHODE ISLAND LIMITED LIABILITY COMPANY.
- THIS SITE IS LOCATED IN FEMA FLOOD ZONE X. REFERENCE FEMA FLOOD INSURANCE RATE MAP 44003C013H, MAP REVISED 09/18/2013 AND FEMA FLOOD INSURANCE RATE MAP 44003C012H, MAP REVISED 10/02/2015. THIS DESIGNATION MAY CHANGE BASED UPON REVIEW BY A FLOOD ZONE SPECIALIST OR BY THE RESULTS OF A COMPREHENSIVE FLOOD STUDY.
- THE PARCEL IS ZONED GB BASED ON THE CITY OF WARWICK'S GIS MAP. ANY OVERLAY DISTRICTS, SPECIAL PERMITS OR VARIANCES SPECIFIC TO THIS SITE ARE NOT TAKEN INTO CONSIDERATION. PLEASE CONTACT THE ZONING DEPARTMENT FOR ANY ADDITIONAL INFORMATION OR FOR A CERTIFICATE OF ZONING.
- THERE WERE NO CEMETERIES, GRAVE SITES AND OR BURIAL GROUNDS OBSERVED WITHIN THE LIMITS OF THE SURVEY.
- FIELD SURVEY PERFORMED BY DIPRETE ENGINEERING ON NOVEMBER 19, 2021. THIS PLAN REFLECTS ON THE GROUND CONDITIONS AS OF THAT DATE.
- ELEVATIONS SHOWN HEREON, IN U.S. SURVEY FEET, ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88), AS DETERMINED BY DIPRETE ENGINEERING USING REAL TIME KINEMATIC G.P.S. OBSERVATIONS.

**PLAN REFERENCES:**

- 1689 BOSTON POST ROAD CONDOMINIUM U.S. ROUTE 1 WARWICK, RHODE ISLAND; CONDOMINIUM PLATS & PLAN - A.P. 310 LOT 17 A.P. 322 LOTS 209 & 210; ISSUED FOR DECLARATION OF CONDOMINIUM; BY VANASSE HANGEN BRUSTLIN, INC. 530 BROADWAY PROVIDENCE, R.I. 02909; SHEETS 1-4, DATED: MAY 29, 2001; SCALE 1"=50'; REFERENCED IN DEED BOOK 3628 PAGES 56-59 AND FOUND AT THE CONDOMINIUM HANGING FILES, CONDO MAP FILE NOS. 1065, 1066, 1067 & 1068.
- BROAD LAWN, HILLSGROVE WARWICK, RI BELONGING TO WILLIS H. WHITE AND SONS CO. PLAN BY JOSEPH WOOD ENGINEER, DATED MARCH 1930. HOW EVER REVISED AND RECORDED IN THE CITY OF WARWICK LAND'S EVIDENCE RECORDS.
- MINOR SUBDIVISION, THE CROSSROADS POST ROAD PLAT, 1689 POST ROAD, WARWICK, RHODE ISLAND, AP 322, LOT 209, SCALE 1"=100', DATED APRIL 28, 2022, PLAN BY DIPRETE ENGINEERING, RECORDED 1/12, 2023 IN PAGE 1767, OF THE CITY OF WARWICK LAND EVIDENCE RECORDS

**SURVEYOR'S CERTIFICATE**

TO: AMERCO REAL ESTATE COMPANY, CROSSROADS CAPITAL FUND VI, LLC, FIRST AMERICAN TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 2, 3, 4, 6(A), 7(A), 7(B)(1), 7(C), 8, 9, 13, 14, 16, & 17 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED BETWEEN NOVEMBER 19, 2021, DATE OF PLAT OR MAP; MAY 17, 2023

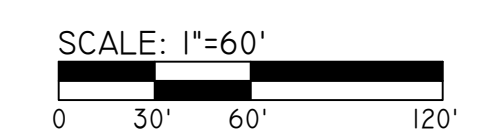
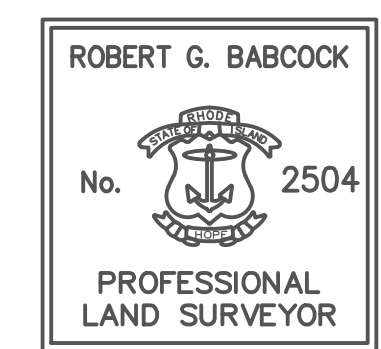
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

- COMPREHENSIVE BOUNDARY SURVEY CLASS I
- DATA ACCUMULATION SURVEY CLASS III
- TOPOGRAPHIC SURVEY CLASS T-2

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS: ALTA SURVEY.

**UTILITY NOTES**

- ALL EXISTING UTILITIES DEPICTED ARE SHOWN ACCORDANCE WITH UTILITY QUALITY LEVEL 4 AS DEFINED IN CIVILAS STANDARD 38-02 (STANDARD GUIDELINES FOR THE COLLECTION AND DEPICTION OF EXISTING SUBSURFACE UTILITY DATA), LATEST REVISION.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN WERE PROVIDED BY OTHERS AND ARE APPROXIMATE ONLY. LOCATIONS MUST BE DETERMINED IN THE FIELD BEFORE EXCAVATION, BLASTING, UTILITY INSTALLATION, BACKFILLING, GRADING, PAVEMENT RESTORATION, AND ALL OTHER SITE WORK. ALL UTILITY COMPANIES, PUBLIC AND PRIVATE, MUST BE CONTACTED INCLUDING THOSE IN CONTROL OF UTILITIES NOT SHOWN ON THESE DOCUMENTS. CONTACT DIG SAFE A MINIMUM OF 72 WORKING HOURS PRIOR TO ANY CONSTRUCTION AT 811. DIG SAFE IS RESPONSIBLE FOR CONTACTING MEMBER UTILITY COMPANIES. DIG SAFE MEMBER UTILITY COMPANIES ARE RESPONSIBLE TO MARK ONLY THE FACILITIES THAT THEY OWN OR MAINTAIN. NON DIG SAFE MEMBER COMPANIES ARE NOT NOTIFIED BY DIG SAFE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND NOTIFY IF ANY PRIVATELY OWNED OR NON DIG SAFE MEMBER UTILITIES ARE IN THE AREA.
- PER THE CODE OF FEDERAL REGULATIONS - TITLE 29, PART 1926 IT IS THE SITE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ACCURATE UNDERGROUND UTILITY LINE LOCATIONS FROM THE UTILITY COMPANIES, UTILITY OWNERS AND, OR VIA UNDERGROUND UTILITY LOCATION EQUIPMENT AS NEEDED TO ESTABLISH ACCURATE LOCATIONS PRIOR TO ANY EXCAVATION. THE USE OF PROFESSIONAL UTILITY LOCATING COMPANIES PRIOR TO ANY EXCAVATION IS RECOMMENDED.
- DIPRETE ENGINEERING IS NOT A PROFESSIONAL UTILITY LOCATION COMPANY, AND IS NOT RESPONSIBLE FOR UNDERGROUND UTILITIES, DEPICTED OR NOT, EITHER IN SERVICE OR ABANDONED, ANY SIZES. LOCATIONS, EXISTENCE, OR LACK OF EXISTENCE OF UTILITIES SHOWN ON THESE PLANS SHOULD BE CONSIDERED APPROXIMATE UNTIL VERIFIED BY A PROFESSIONAL UTILITY LOCATION COMPANY. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED.



PREPARED FOR:  
ANN & HOPE REDEVELOPMENT  
ASSESSOR'S PLAT 322 LOT 209  
WARWICK, RHODE ISLAND

U-HAUL  
LEWISTON, MA 01855

ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160

7/26/23

**Diprete Engineering**  
Two Stafford Court Cranston, RI 02920  
tel 401-943-1000 fax 401-464-6006 www.diprete-eng.com

**Boston • Providence • Newport**

**DANA R. NISSET**  
No. 11876  
REGISTERED PROFESSIONAL ENGINEER CIVIL

NO.	DATE	DESCRIPTION	BY:	DRN:
1	02/26/23	EXISTING CONDITIONS PLAN	J.W.S.	J.W.S.
				DESIGN BY: D.R.N.

**EXISTING CONDITIONS PLAN**

**ANN & HOPE REDEVELOPMENT**  
ASSESSOR'S PLAT 322 LOT 209  
WARWICK, RHODE ISLAND

U-HAUL  
LEWISTON, MA 01855

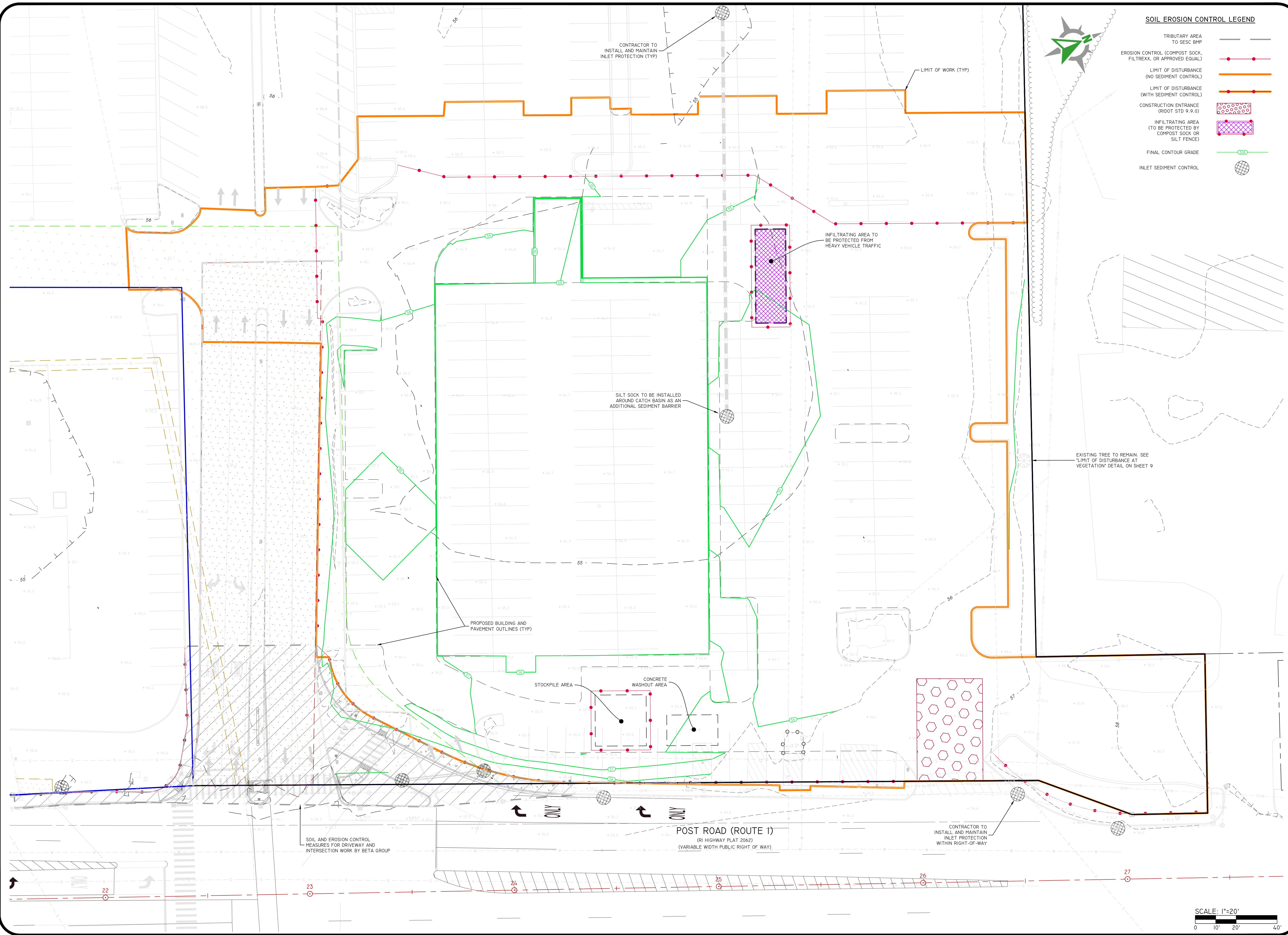
ROBERT G. BABCOCK, RIPLS #2504, COA #LS.000A160

7/26/23

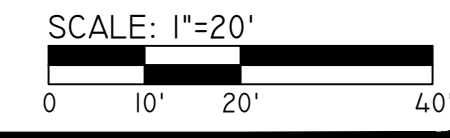
SHEET 4 OF 10

Z:\DEP\PROJECTS\1689 POST ROAD 1689A\UTCAD DRAWINGS\04-050-EXC-DUAL STAMP.DWG PLOTTED: 10/12/2023

Z:\BETA\PROJECTS\061050 POST ROAD REPAV\AUTOCAD DRAWINGS\061050-PLAN PHASE 3.DWG PLOTTED: 4/1/2024



- SOIL EROSION CONTROL LEGEND**
- TRIBUTARY AREA TO SESC BMP
  - EROSION CONTROL (COMPOST SOCK, FILTREXX, OR APPROVED EQUAL)
  - LIMIT OF DISTURBANCE (NO SEDIMENT CONTROL)
  - LIMIT OF DISTURBANCE (WITH SEDIMENT CONTROL)
  - CONSTRUCTION ENTRANCE (RIDOT STD 9.9.0)
  - INFILTRATING AREA (TO BE PROTECTED BY COMPOST SOCK OR SILT FENCE)
  - FINAL CONTOUR GRADE
  - INLET SEDIMENT CONTROL



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THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS STAMPED ISSUED FOR CONSTRUCTION AND SIGNED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING.  
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NO.	DATE	DESCRIPTION	D.S.N.	B.T.
1	06/01/2024	PRELIMINARY PLAN SUBMISSION		
DRAWN BY: J.W.S. DESIGN BY: D.R.N.				

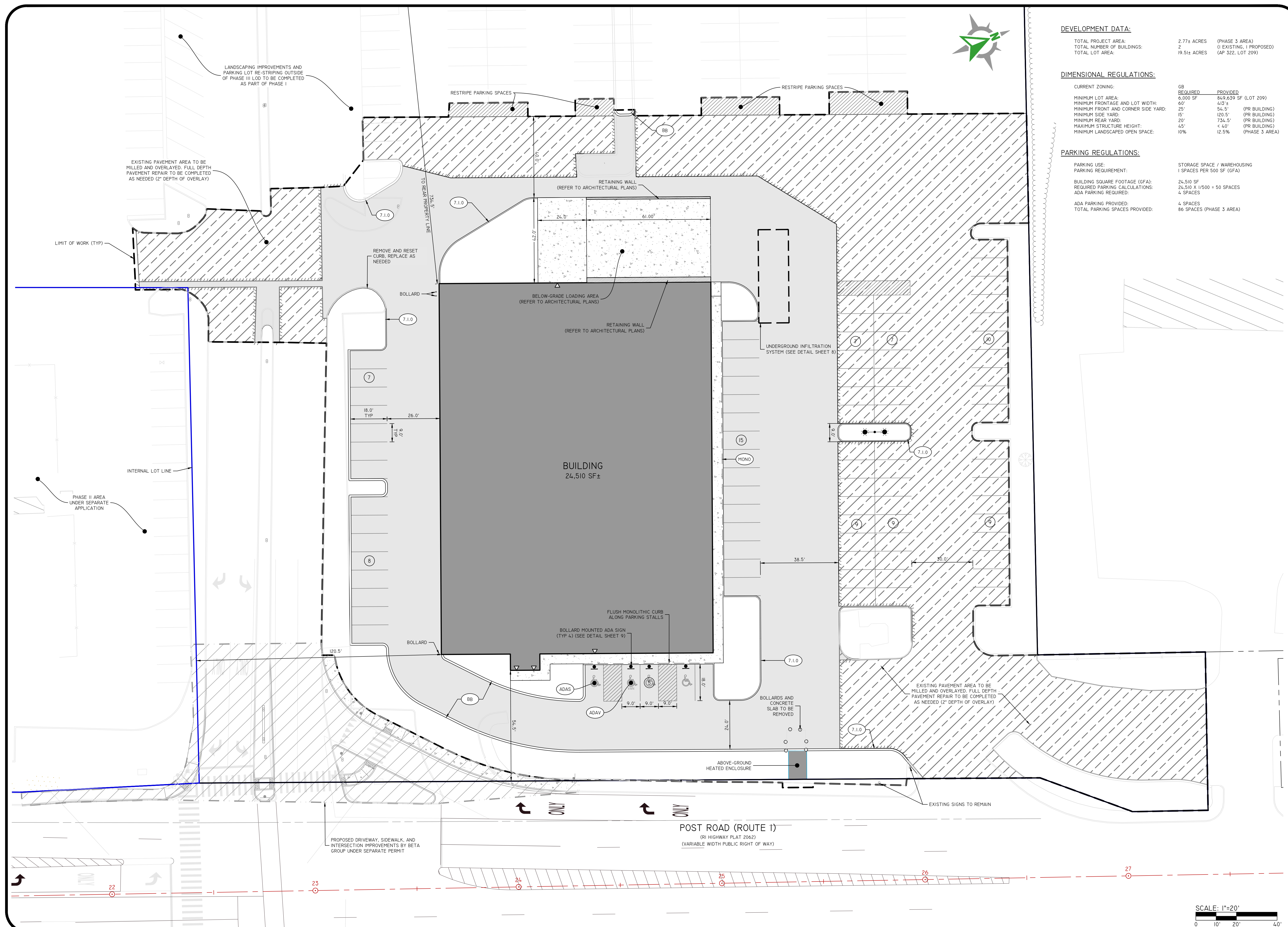
**SOIL EROSION AND SEDIMENT CONTROL PLAN**  
**ANN & HOPE REDEVELOPMENT-PHASE III**  
 ASSESSOR'S PLAT 322 LOT 209  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
**U-HAUL**  
 266 MERRILL AVENUE  
 LEWISTON, MA 01545

BE JOB NO. 2024-005 COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.

SHEET **5** OF 10

Z:\DEVELOPMENT\PROJECTS\06014550 POST ROAD 189\AUTOCAD DRAWINGS\06014550-PLAN PHASE 3.DWG PLOTTED: 4/1/2024



**DEVELOPMENT DATA:**

TOTAL PROJECT AREA:	2.77± ACRES	(PHASE 3 AREA)
TOTAL NUMBER OF BUILDINGS:	2	(1 EXISTING, 1 PROPOSED)
TOTAL LOT AREA:	19.51± ACRES	(AP 322, LOT 209)

**DIMENSIONAL REGULATIONS:**

CURRENT ZONING:	GB	REQUIRED	PROVIDED
MINIMUM LOT AREA:	6,000 SF	84,9,639 SF (LOT 209)	
MINIMUM FRONTAGE AND LOT WIDTH:	60'	43'	
MINIMUM FRONT AND CORNER SIDE YARD:	25'	54.5'	(PR BUILDING)
MINIMUM SIDE YARD:	15'	120.5'	(PR BUILDING)
MINIMUM REAR YARD:	20'	734.5'	(PR BUILDING)
MAXIMUM STRUCTURE HEIGHT:	45'	< 40'	(PR BUILDING)
MINIMUM LANDSCAPED OPEN SPACE:	10%	12.5%	(PHASE 3 AREA)

**PARKING REGULATIONS:**

PARKING USE:	STORAGE SPACE / WAREHOUSING
PARKING REQUIREMENT:	1 SPACES PER 500 SF (GFA)
BUILDING SQUARE FOOTAGE (GFA):	24,510 SF
REQUIRED PARKING CALCULATIONS:	24,510 X 1/500 = 50 SPACES
ADA PARKING REQUIRED:	4 SPACES
ADA PARKING PROVIDED:	4 SPACES
TOTAL PARKING SPACES PROVIDED:	86 SPACES (PHASE 3 AREA)

**DiPrete Engineering**  
 Two Stafford Court Cranston, RI 02920  
 Tel: 401-943-1000 Fax: 401-464-6000 www.diprete-eng.com

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**DANA R. NISSET**  
 No. 11876  
 REGISTERED PROFESSIONAL ENGINEER CIVIL

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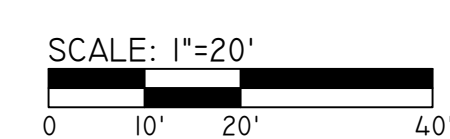
NO.	DATE	DESCRIPTION	D.S.N.	B.T.
1	06/01/2024	PRELIMINARY PLAN SUBMISSION		

DESIGN BY: D.R.N.  
 DRAWN BY: J.W.S.

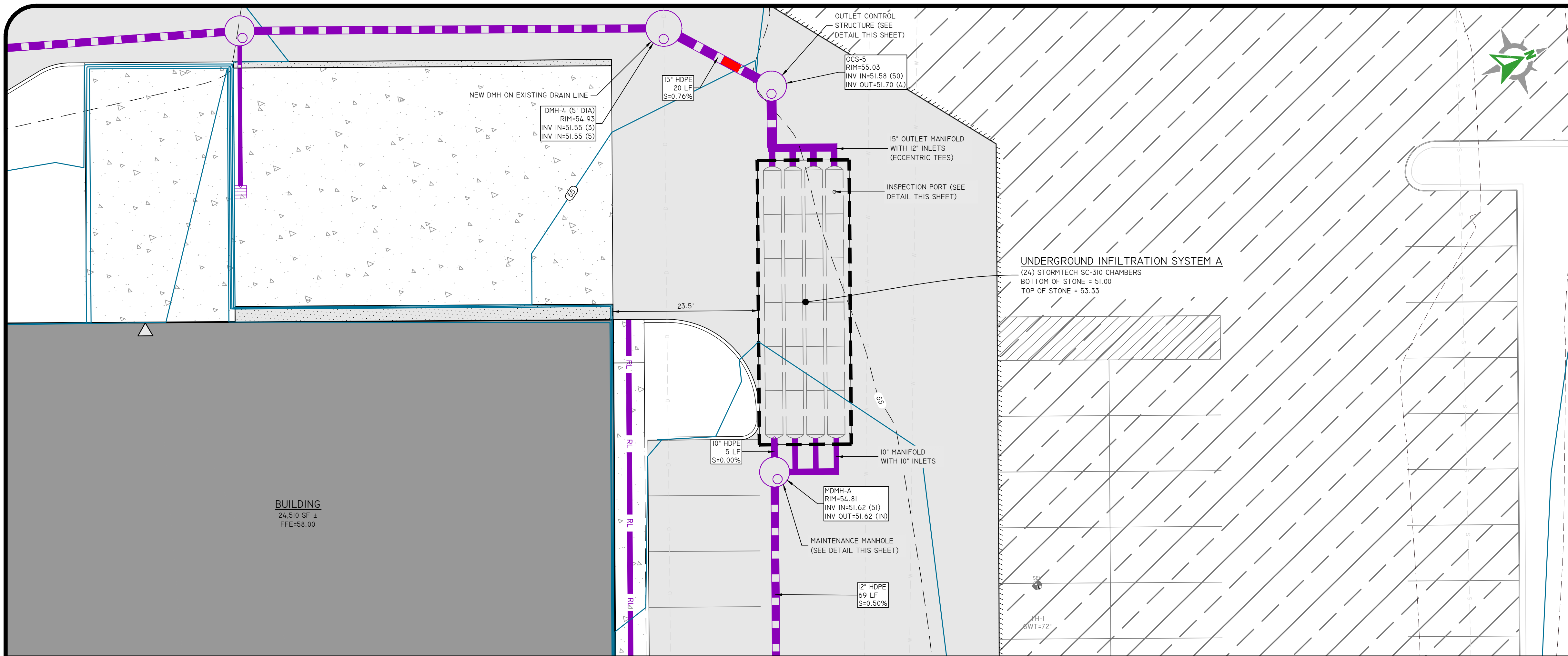
**SITE LAYOUT PLAN**  
**ANN & HOPE REDEVELOPMENT-PHASE III**  
 ASSESSOR'S PLAT 322 LOT 209  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
**U-HAUL**  
 266 MERRILL AVENUE  
 LEONISTON, MA 01535

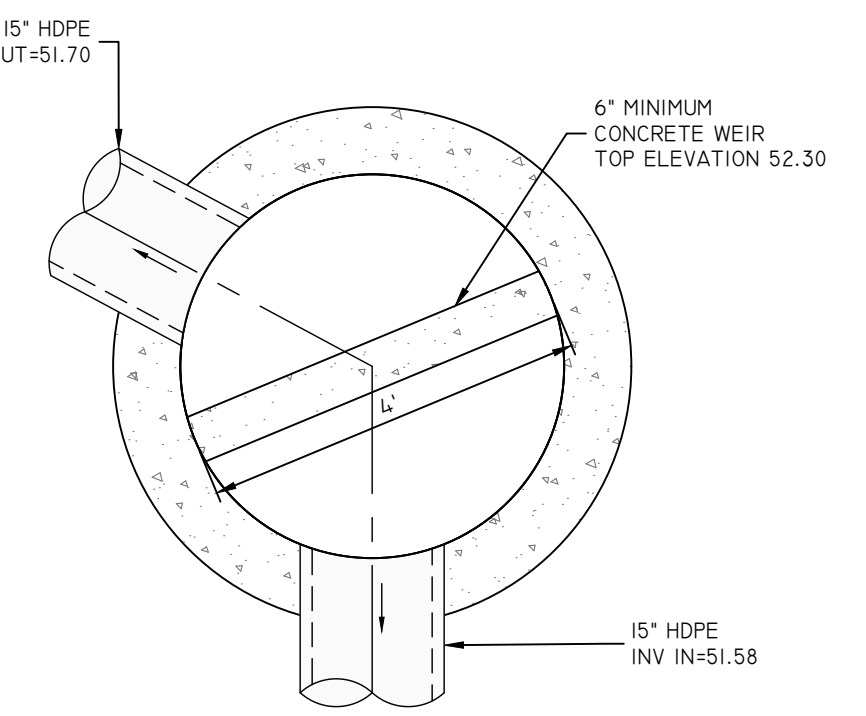
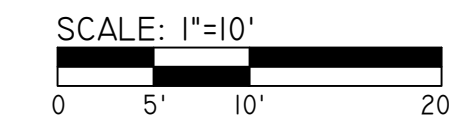
BE JOB NO. 2024-005 COPYRIGHT 2024 BY DIPRETE ENGINEERING ASSOCIATES, INC.



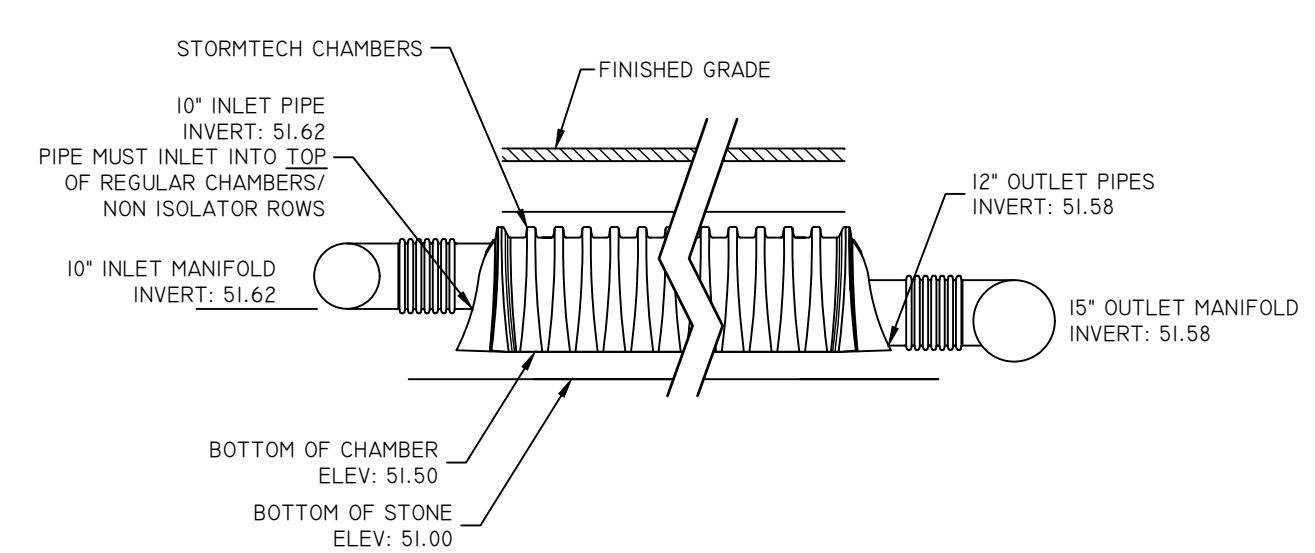




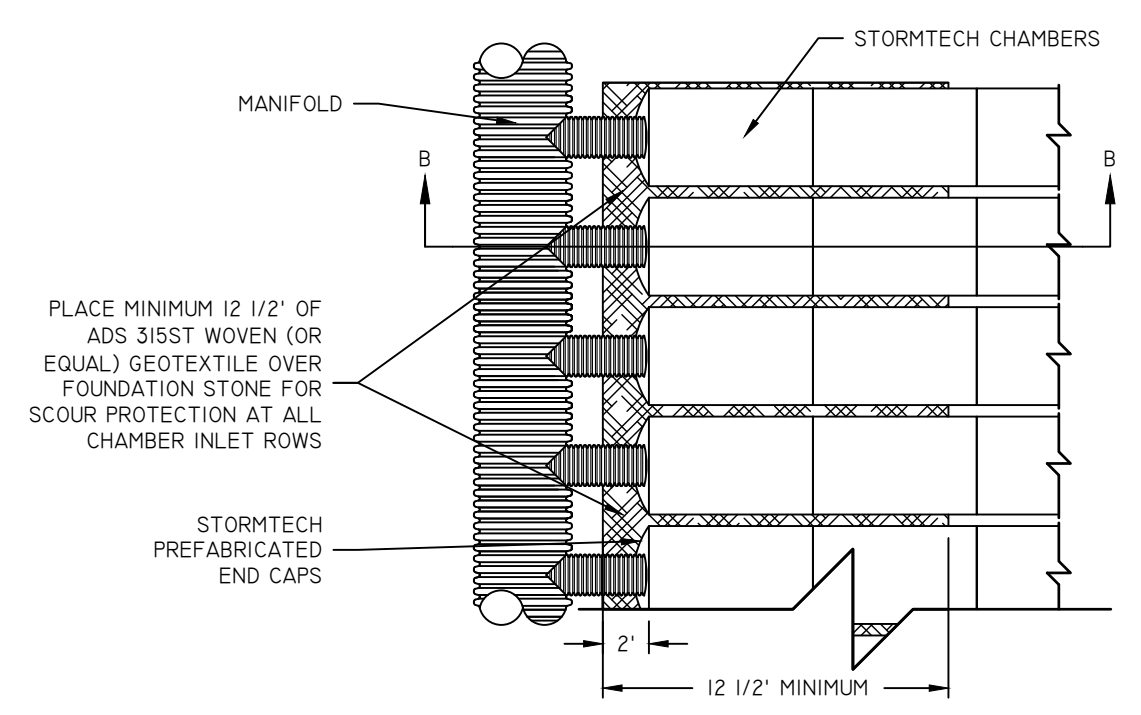
UNDERGROUND INFILTRATION SYSTEM A



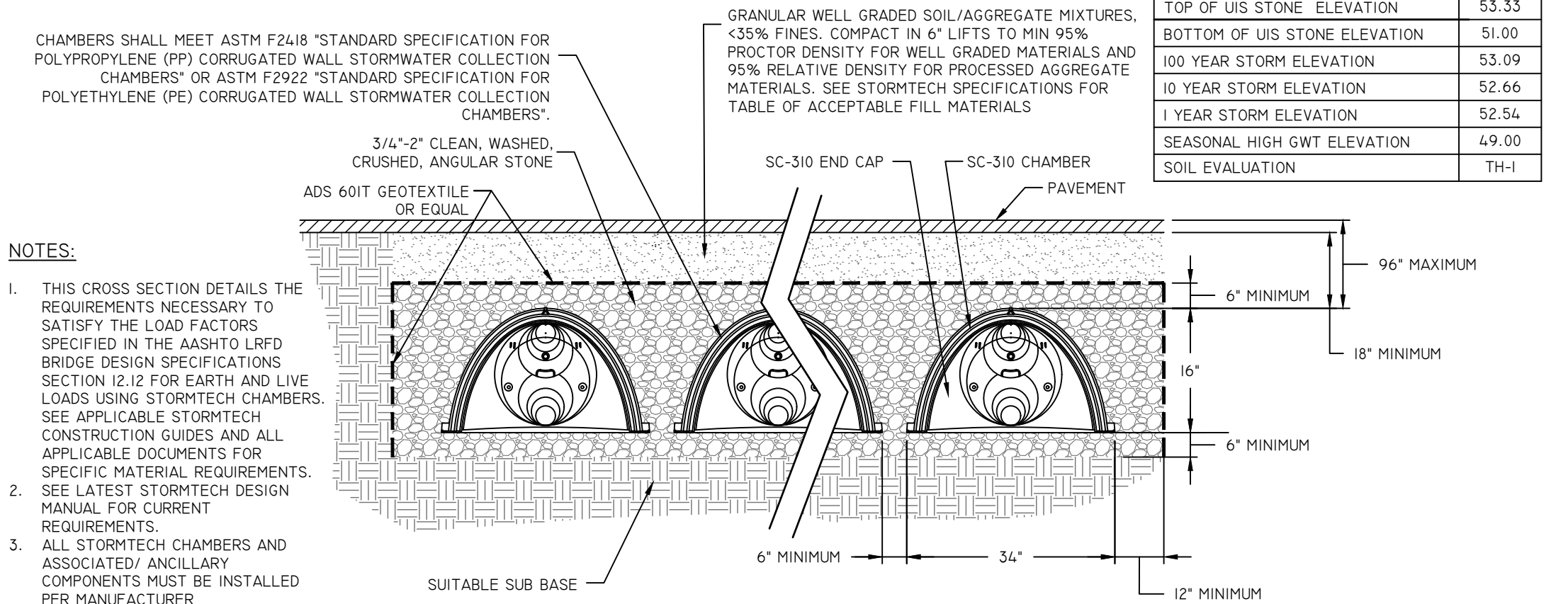
OCS-5 (4"Ø MANHOLE)  
SCALE: 1"=2'



SECTION B-B  
REGULAR CHAMBERS  
STORMTECH ELEVATIONS  
NOT TO SCALE

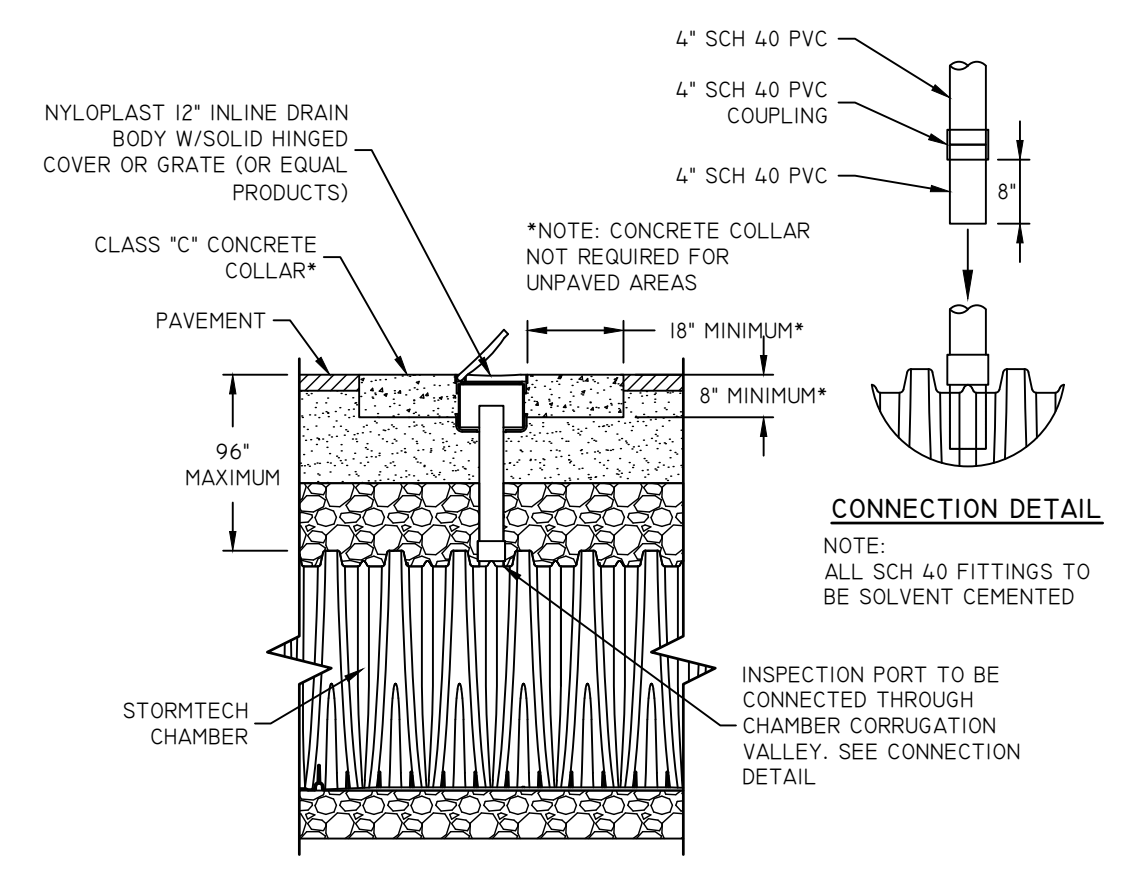


STORMTECH MANIFOLD DETAIL  
NOT TO SCALE



- NOTES:
- THIS CROSS SECTION DETAILS THE REQUIREMENTS NECESSARY TO SATISFY THE LOAD FACTORS SPECIFIED IN THE AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS SECTION 12.12 FOR EARTH AND LIVE LOADS USING STORMTECH CHAMBERS. SEE APPLICABLE STORMTECH CONSTRUCTION GUIDES AND ALL APPLICABLE DOCUMENTS FOR SPECIFIC MATERIAL REQUIREMENTS.
  - SEE LATEST STORMTECH DESIGN MANUAL FOR CURRENT REQUIREMENTS.
  - ALL STORMTECH CHAMBERS AND ASSOCIATED/ ANCILLARY COMPONENTS MUST BE INSTALLED PER MANUFACTURER RECOMMENDATIONS AND THESE PLANS. CONTRACTOR TO NOTIFY DESIGN ENGINEER OF ANY DISCREPANCIES PRIOR TO INSTALLATION.

STORMTECH SC-310 TYPICAL CROSS SECTION  
NOT TO SCALE



STORMTECH GENERAL INSPECTION PORT DETAIL  
NOT TO SCALE

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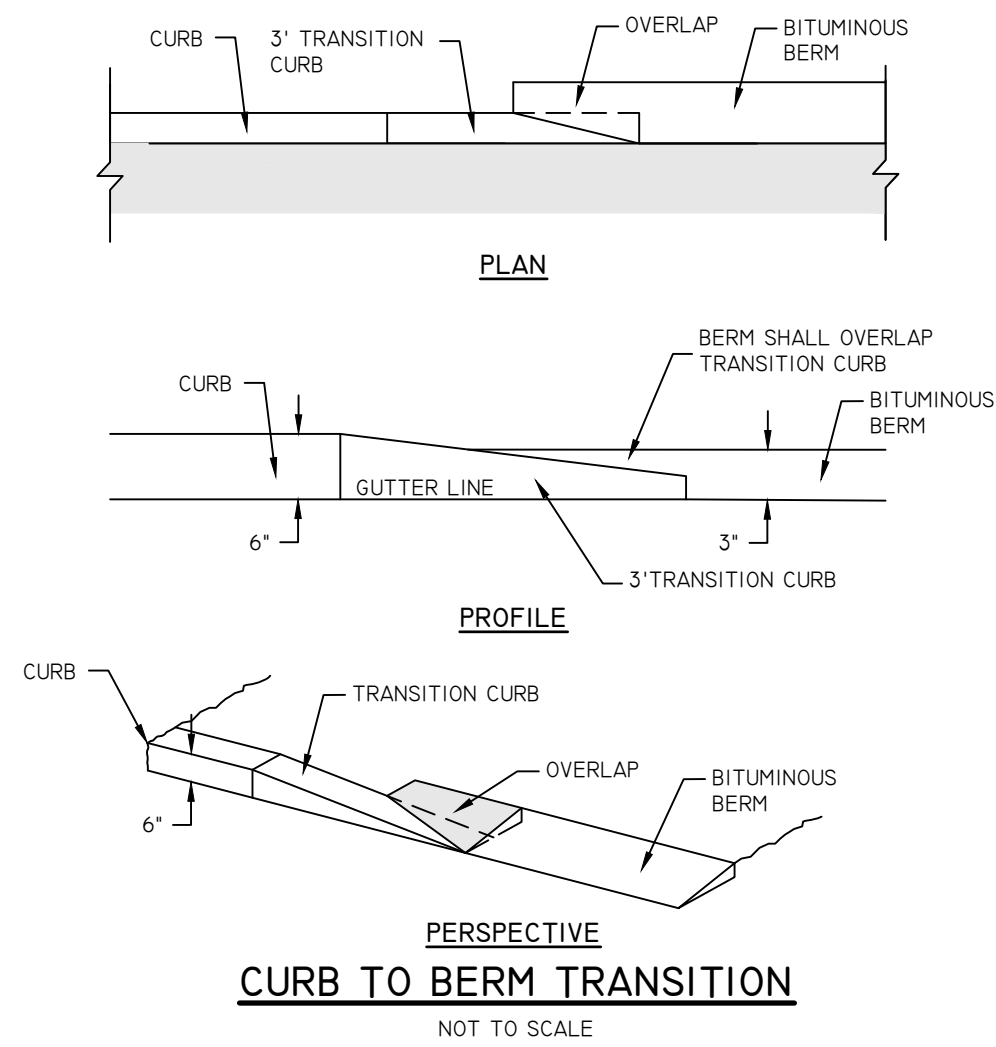
**DANA R. NISBET**  
No. 11876  
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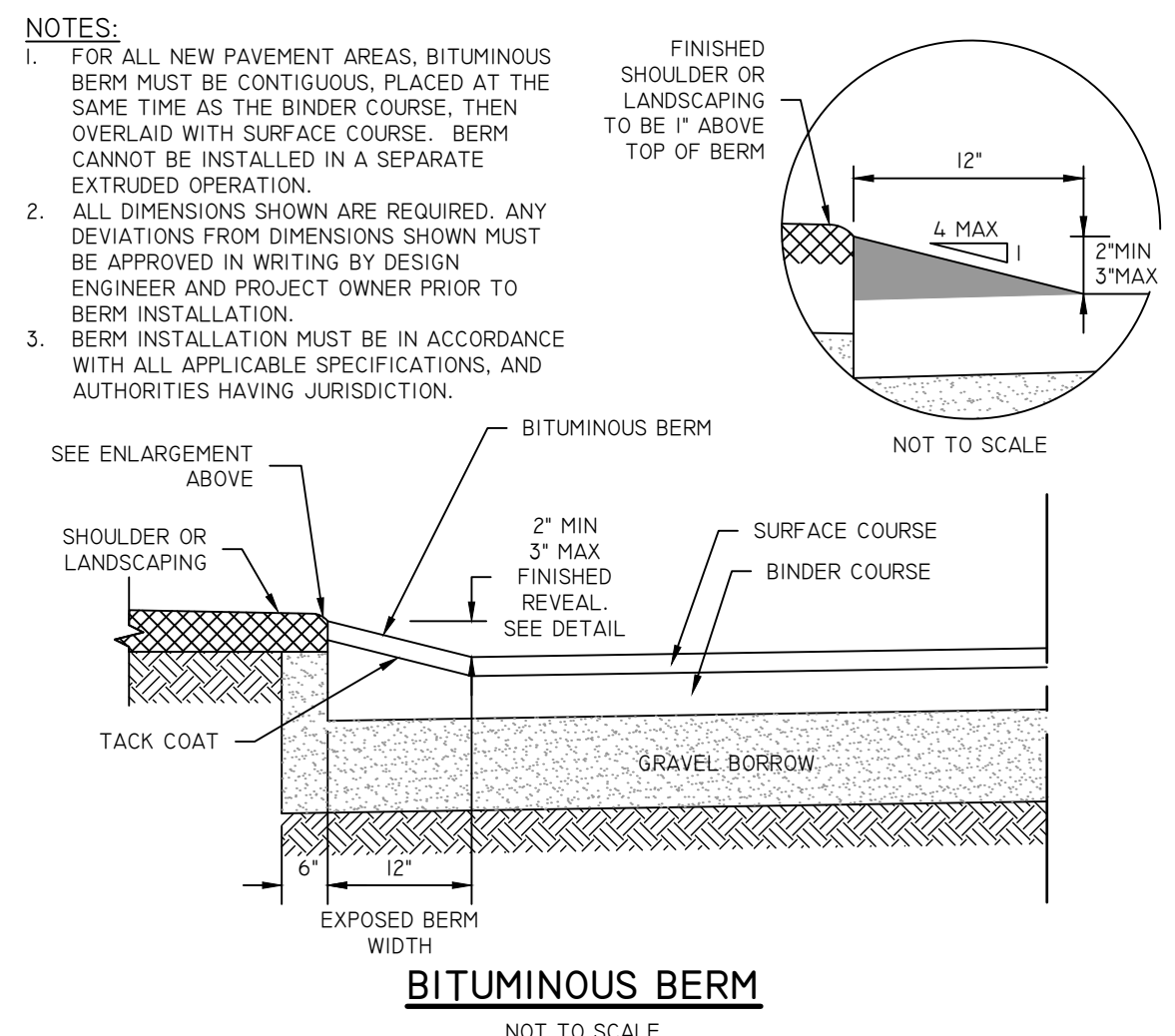
NO.	DATE	DESCRIPTION	DESIGNED BY	D.R.N.
1	06/20/2024	PRELIMINARY PLAN SUBMISSION		
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**UNDERGROUND SYSTEM DETAIL SHEET**  
**ANN & HOPE REDEVELOPMENT-PHASE III**  
ASSESSOR'S PLAT 322 LOT 209  
WARWICK, RHODE ISLAND  
PREPARED FOR:  
**U-HAUL**  
266 MERRIAN AVENUE  
LEONISTER, MA 01535

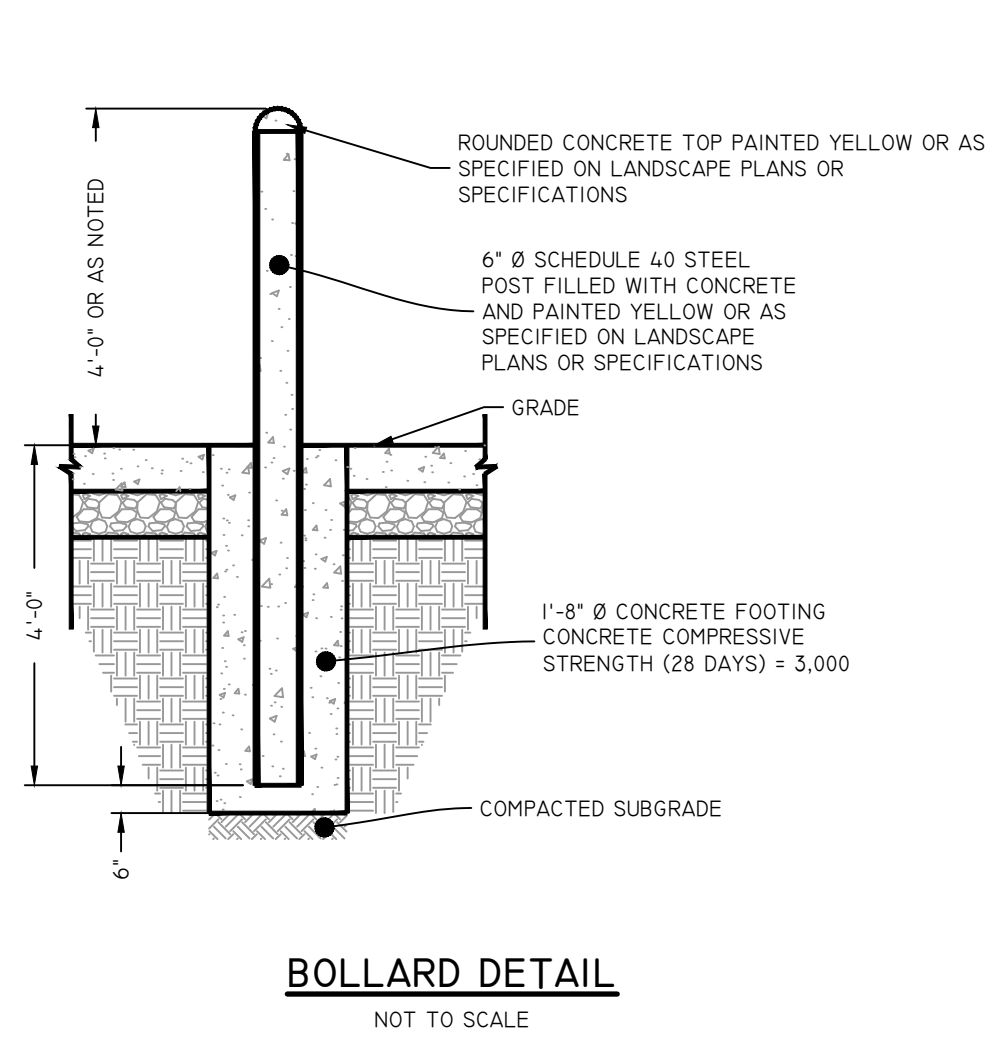




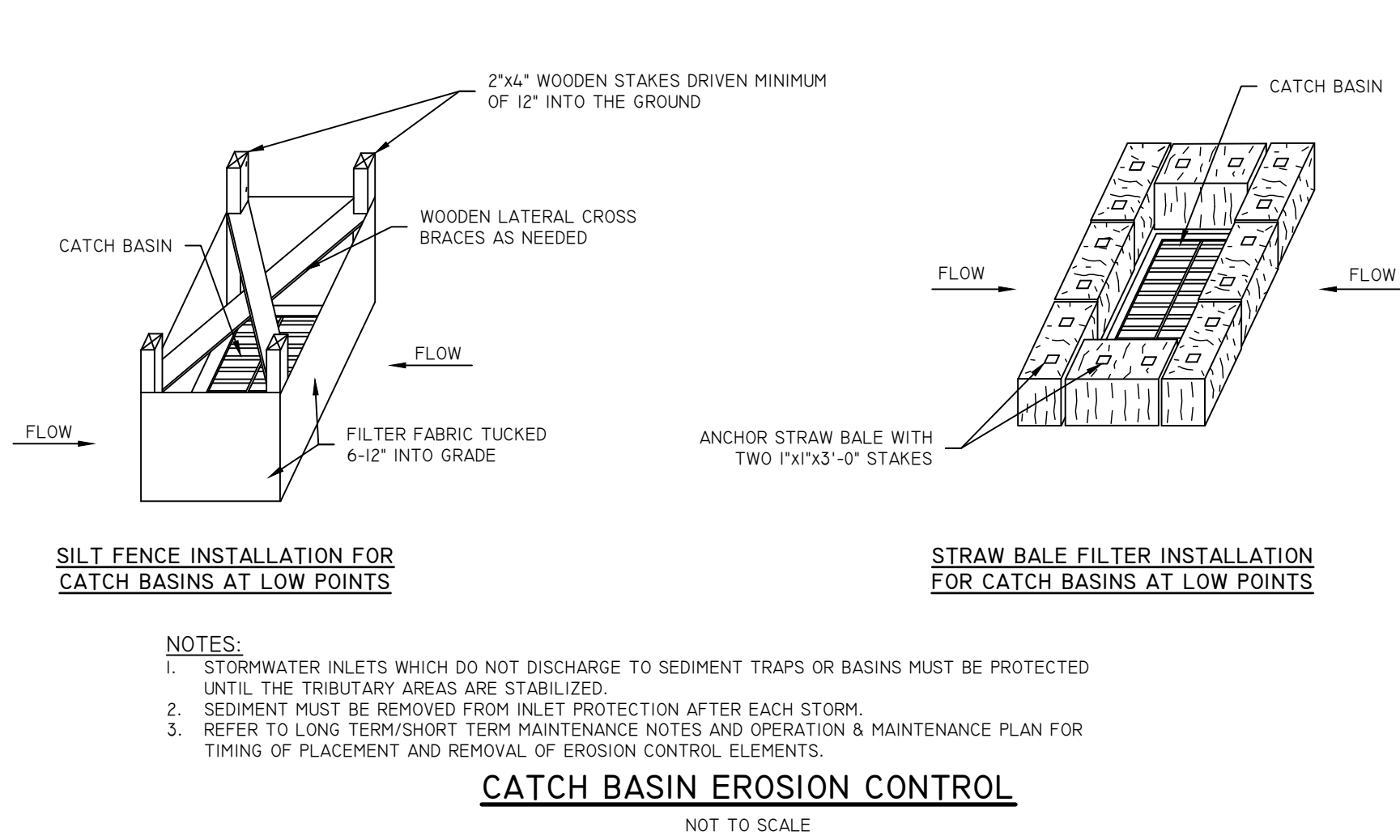
**CURB TO BERM TRANSITION**  
NOT TO SCALE



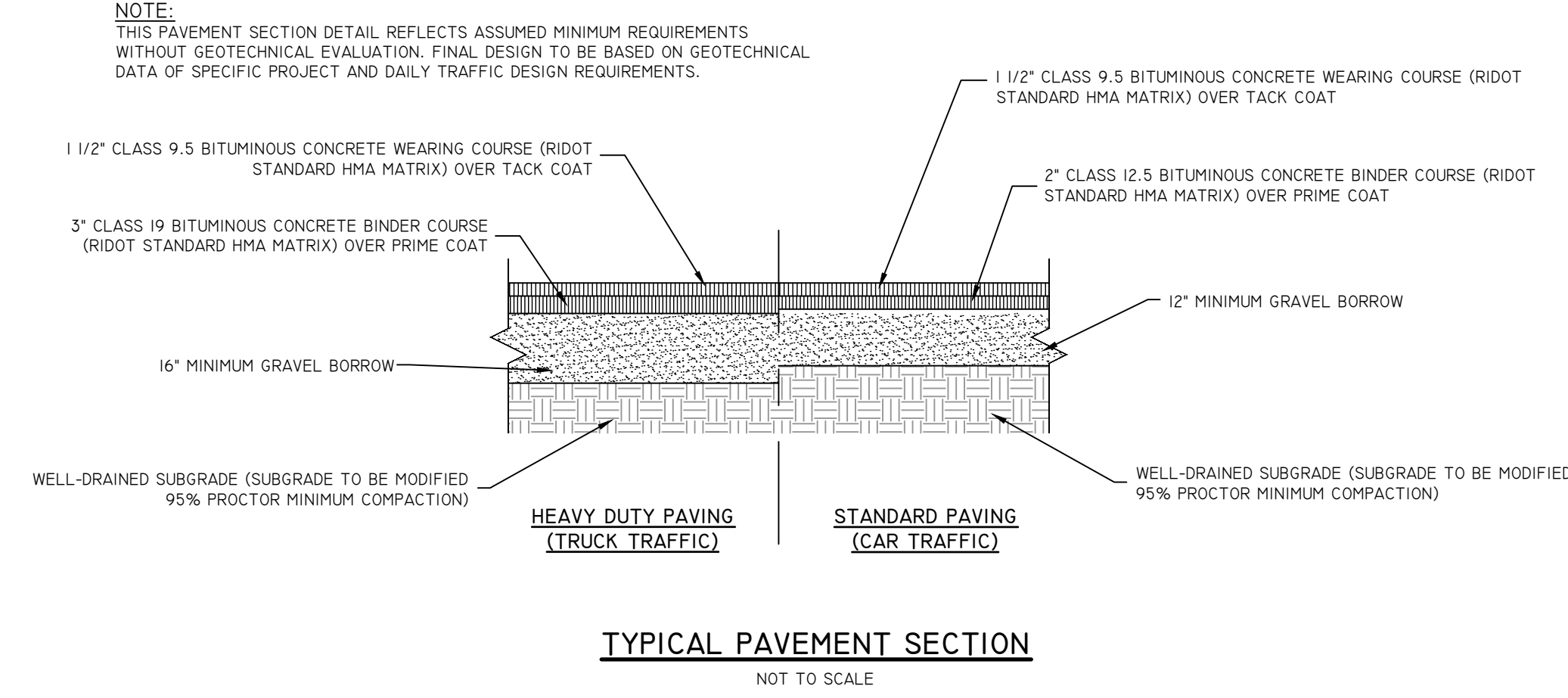
**BITUMINOUS BERM**  
NOT TO SCALE



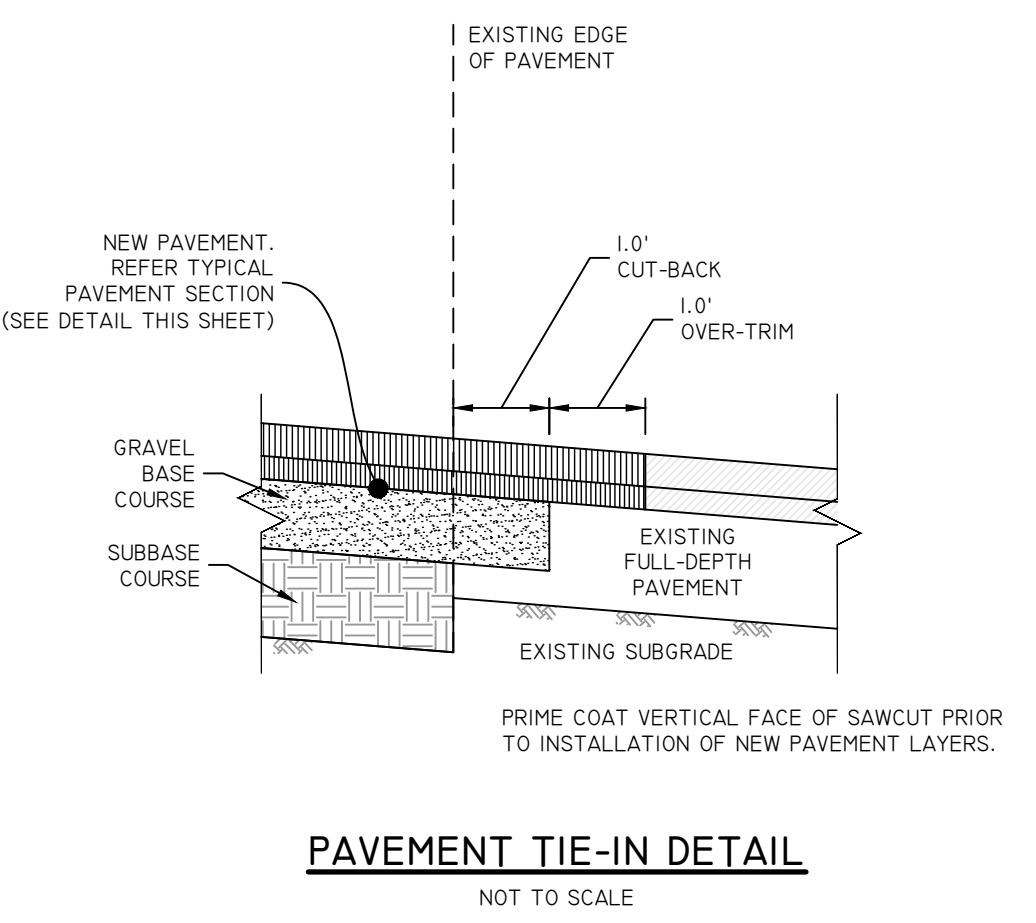
**BOLLARD DETAIL**  
NOT TO SCALE



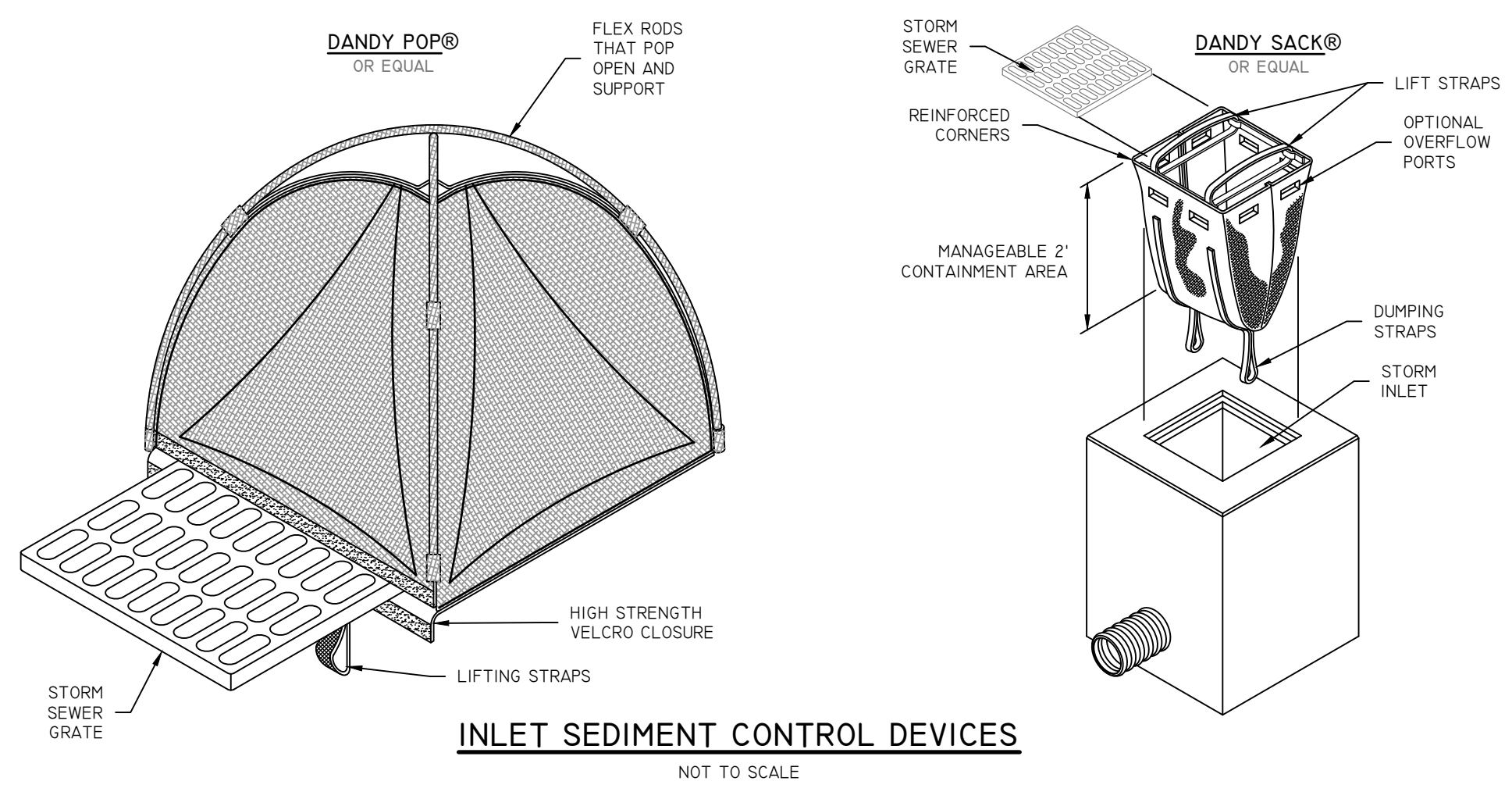
**CATCH BASIN EROSION CONTROL**  
NOT TO SCALE



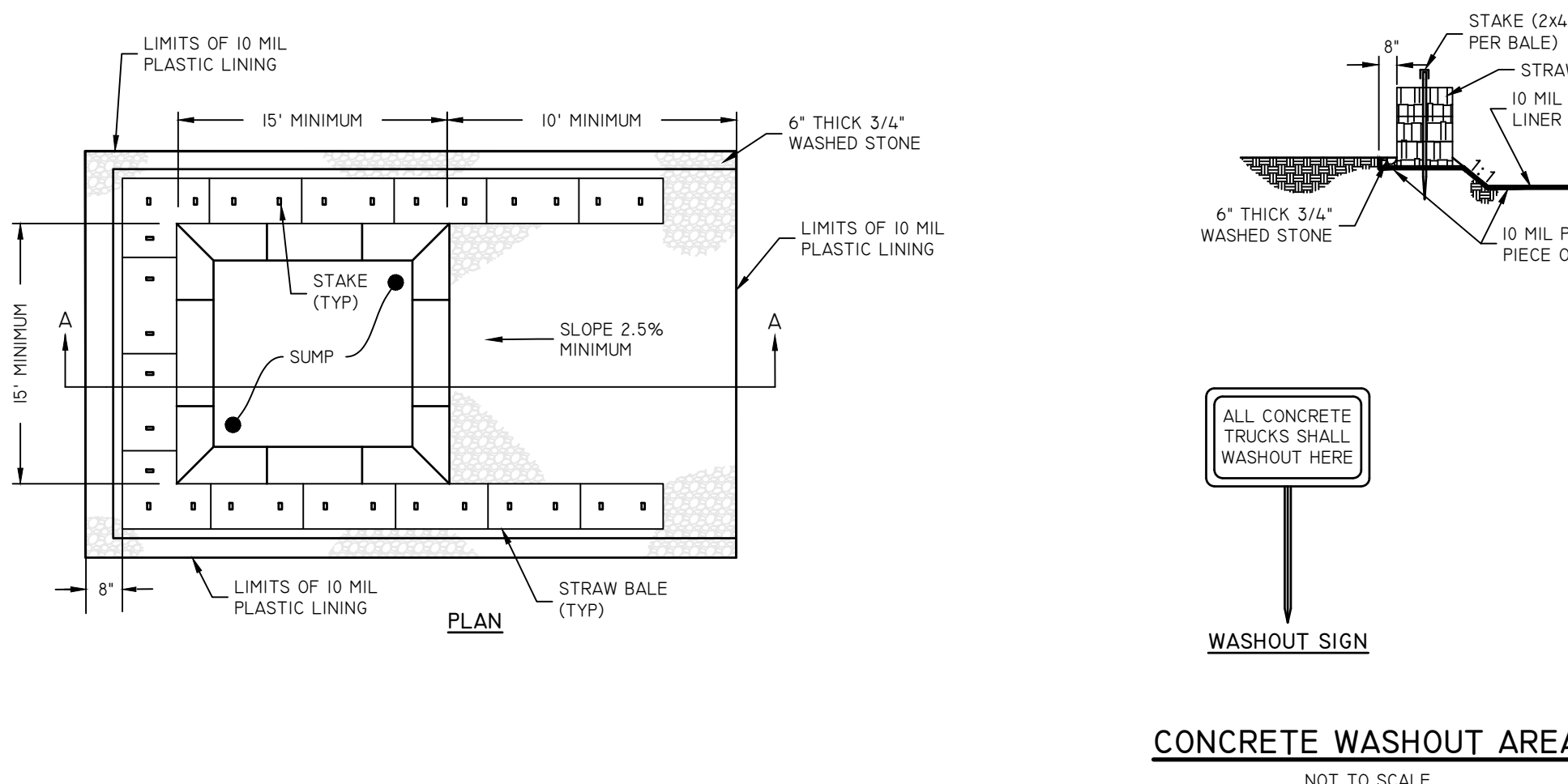
**TYPICAL PAVEMENT SECTION**  
NOT TO SCALE



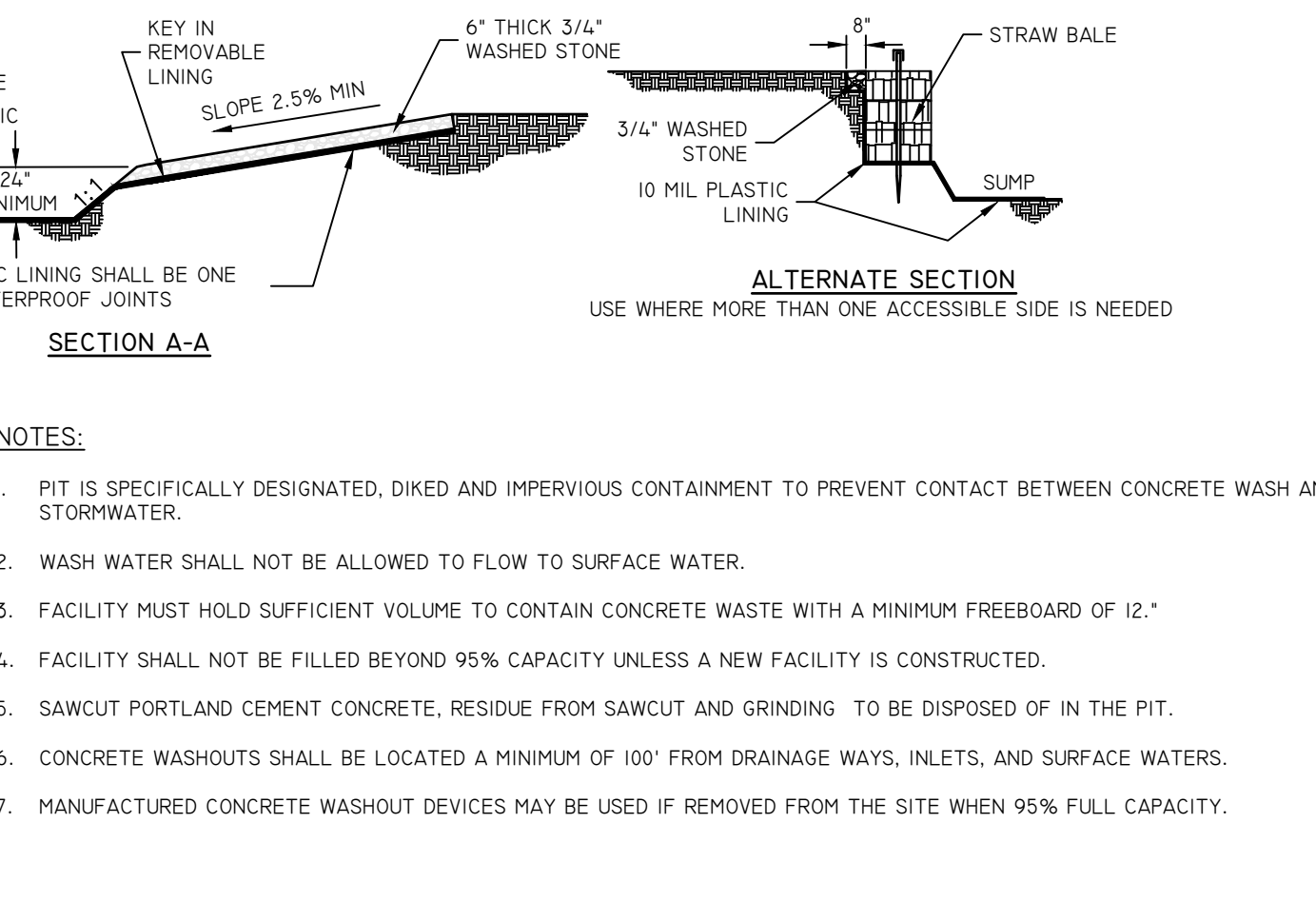
**PAVEMENT TIE-IN DETAIL**  
NOT TO SCALE



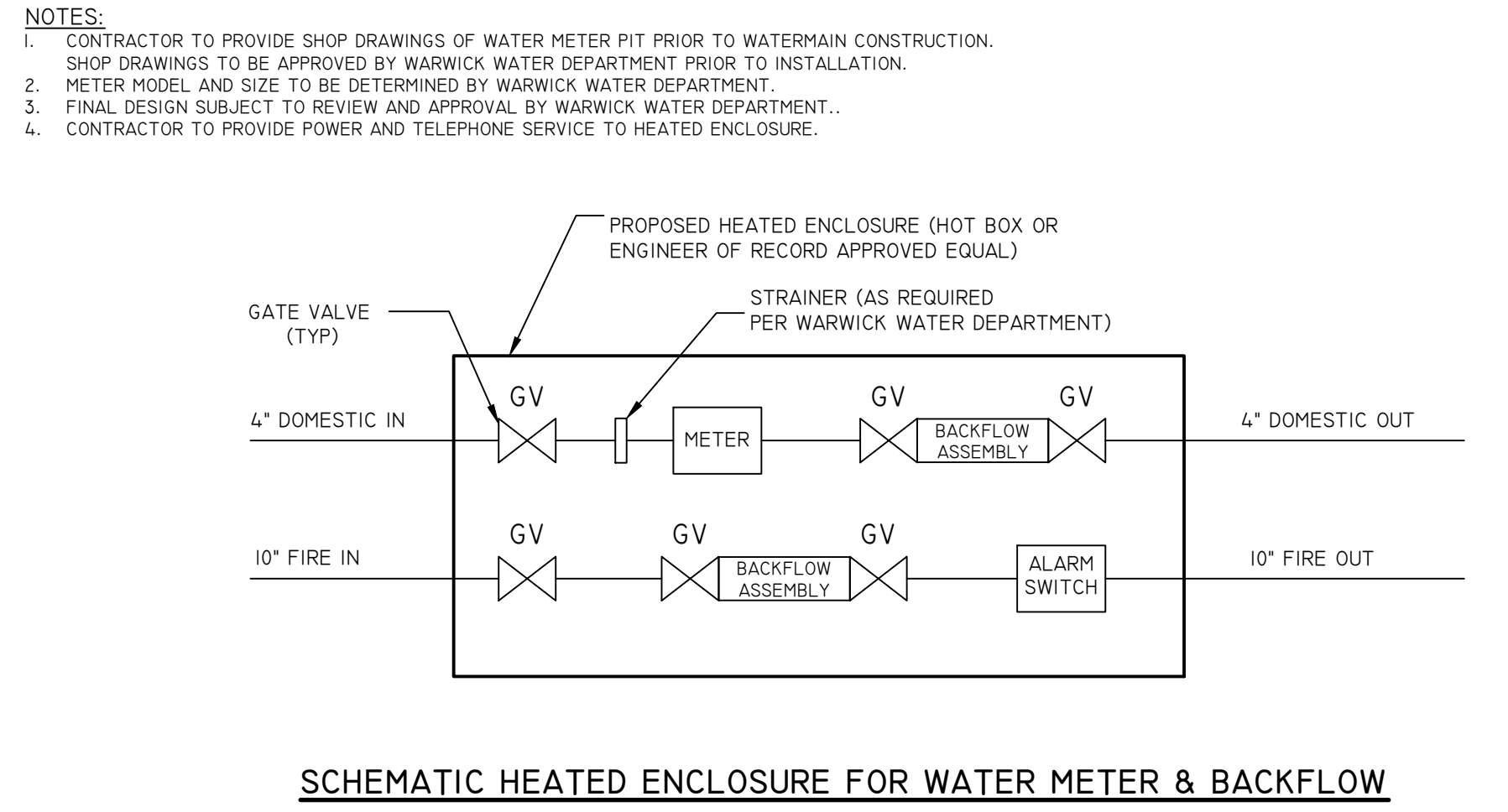
**INLET SEDIMENT CONTROL DEVICES**  
NOT TO SCALE



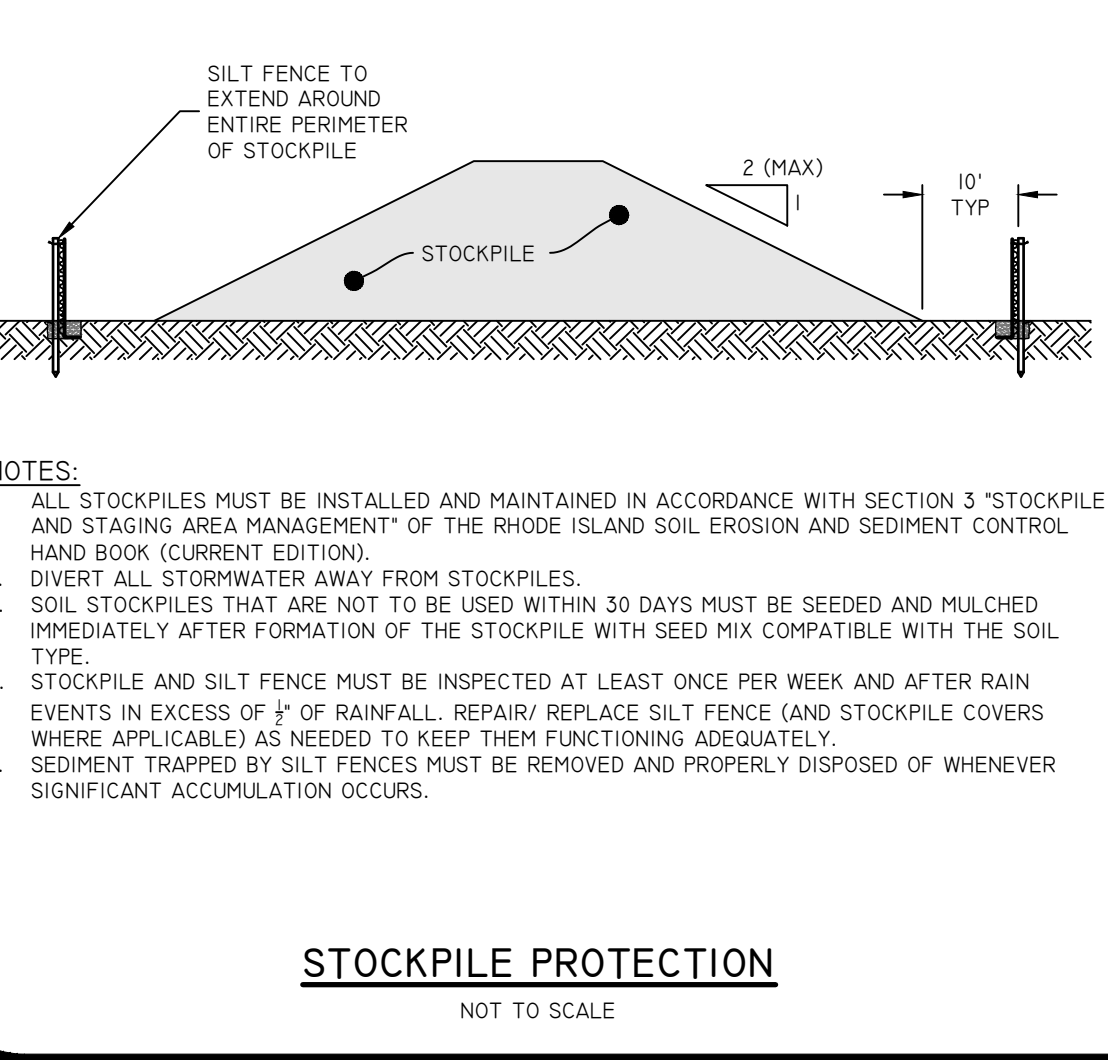
**CONCRETE WASHOUT AREA**  
NOT TO SCALE



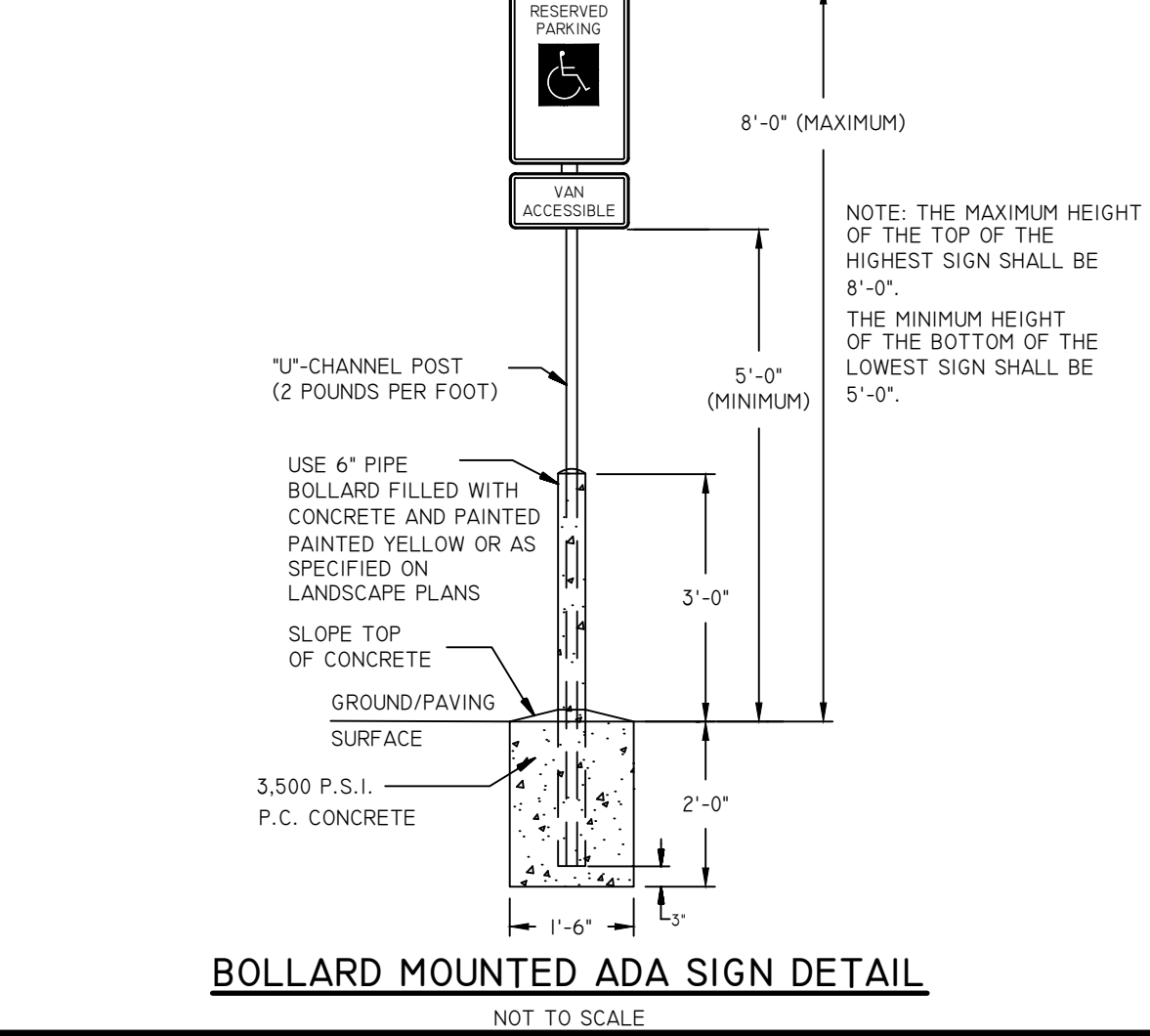
**ALTERNATE SECTION**  
USE WHERE MORE THAN ONE ACCESSIBLE SIDE IS NEEDED



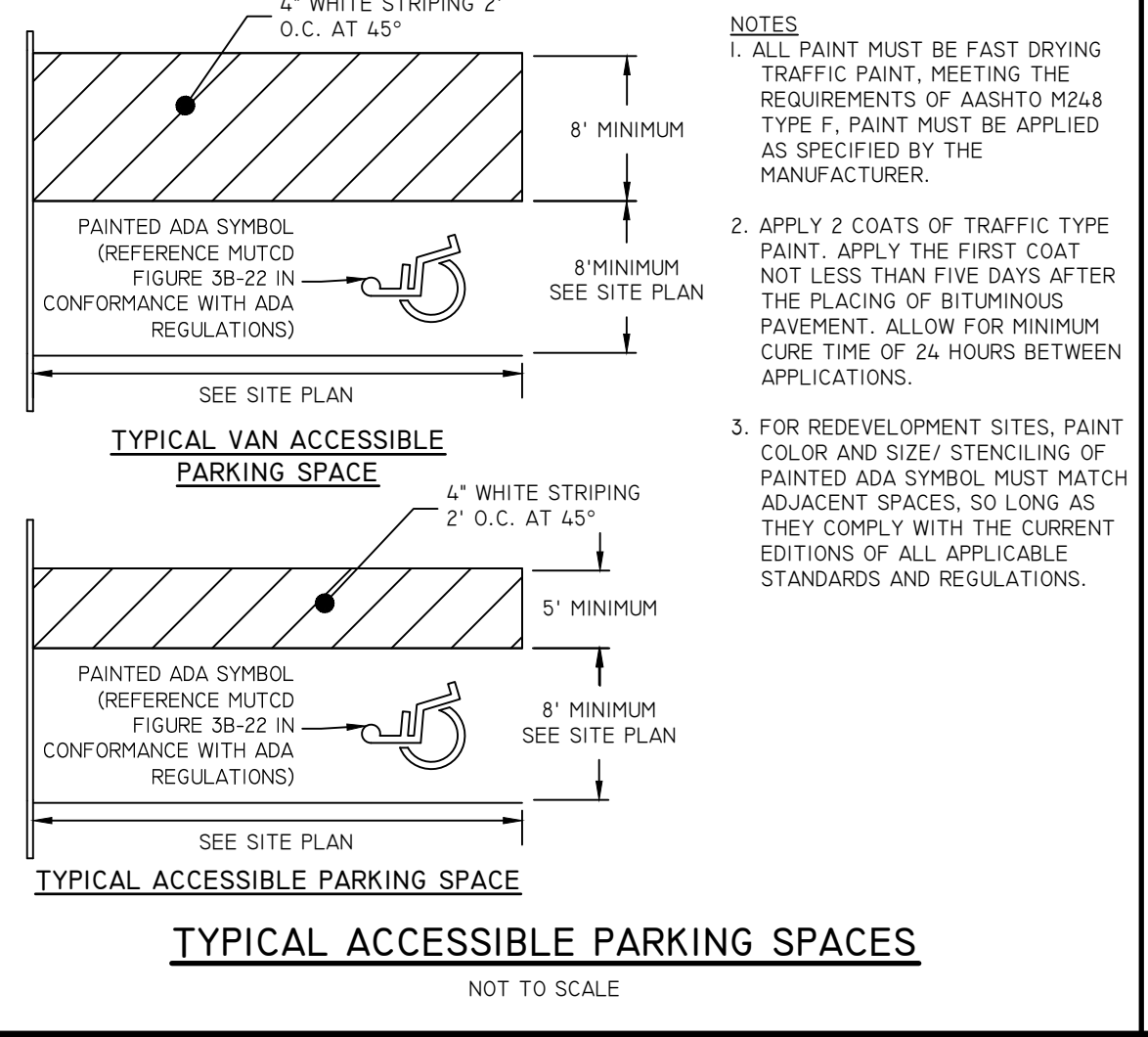
**SCHEMATIC HEATED ENCLOSURE FOR WATER METER & BACKFLOW**  
NOT TO SCALE



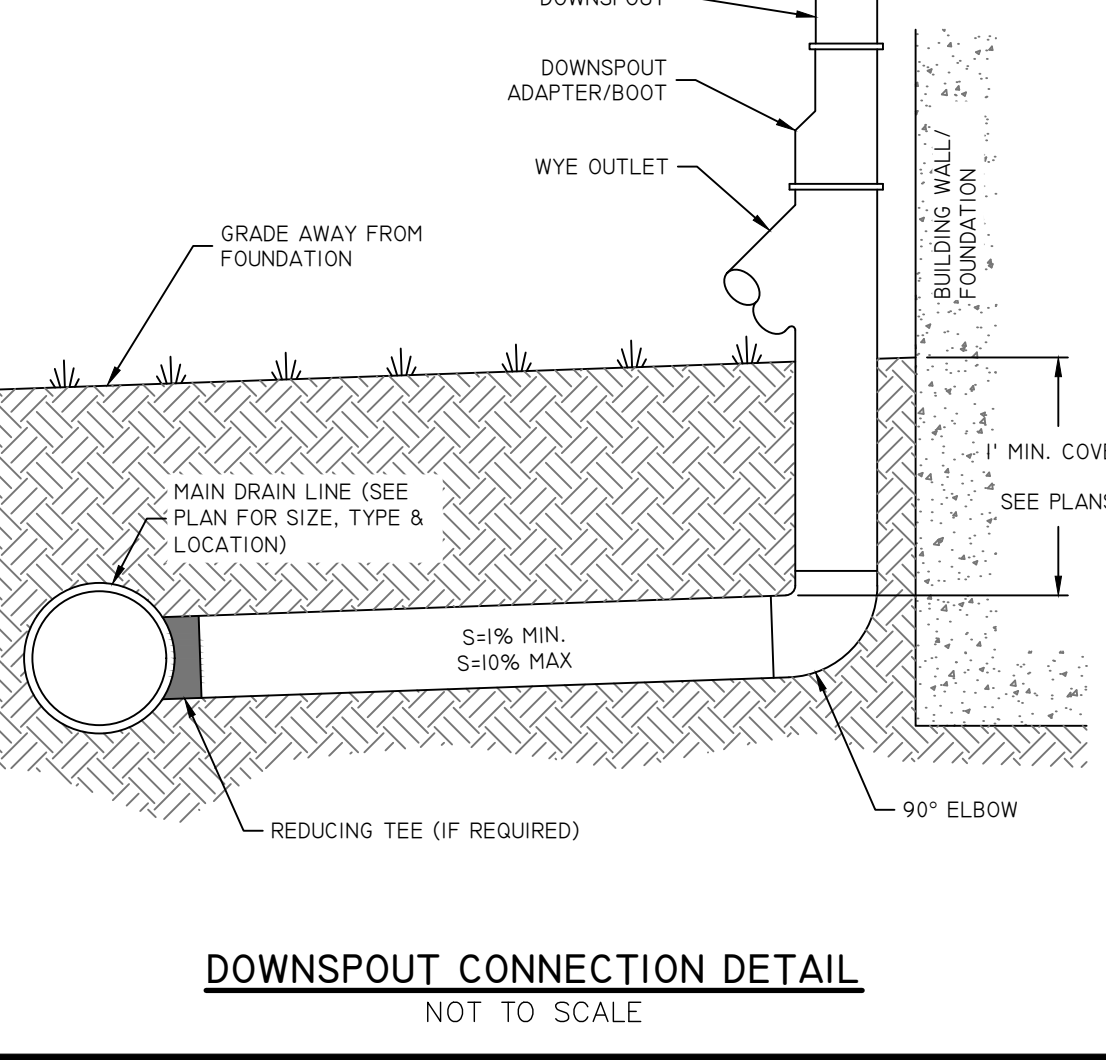
**STOCKPILE PROTECTION**  
NOT TO SCALE



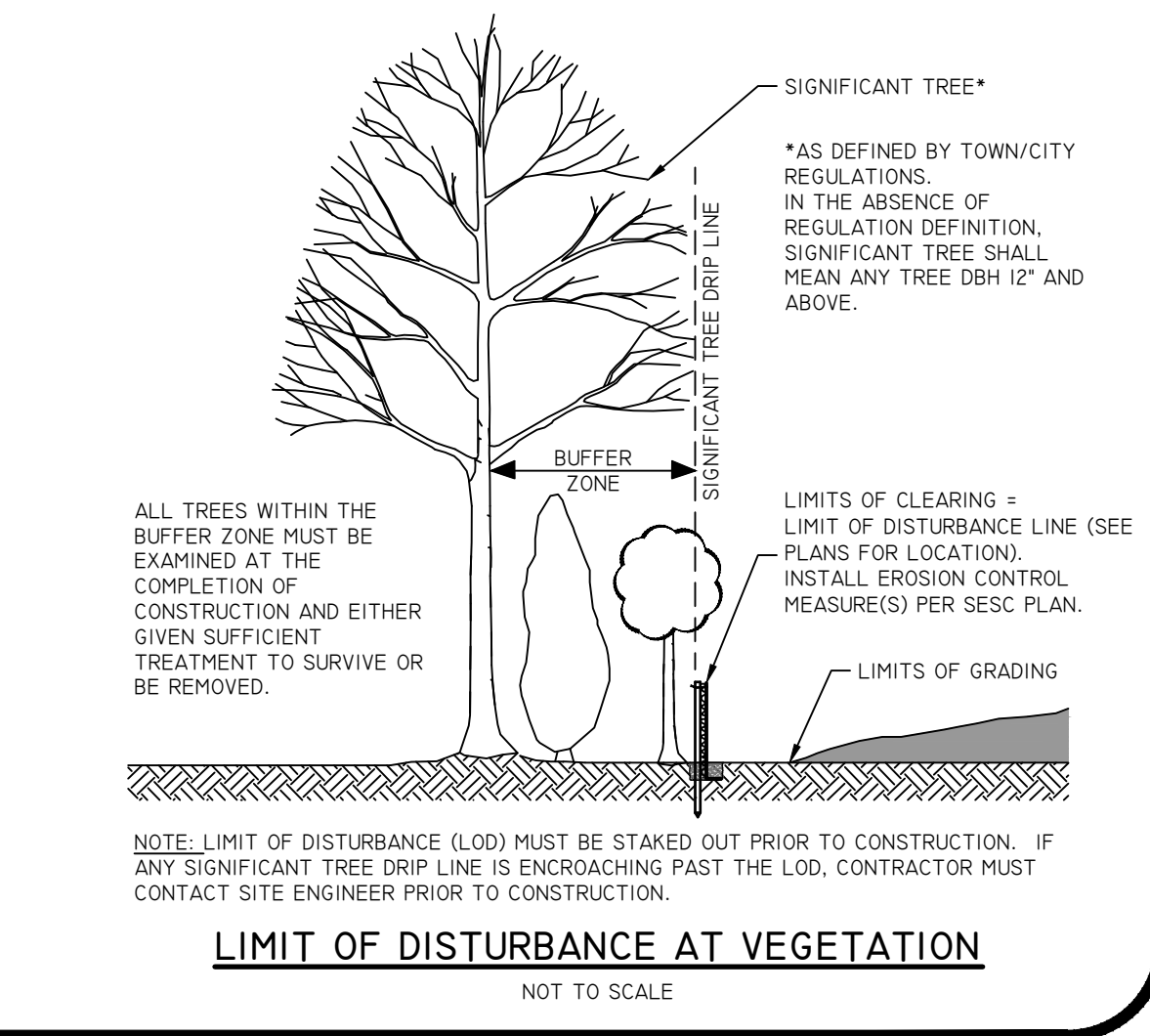
**BOLLARD MOUNTED ADA SIGN DETAIL**  
NOT TO SCALE



**TYPICAL ACCESSIBLE PARKING SPACES**  
NOT TO SCALE



**DOWNSPOUT CONNECTION DETAIL**  
NOT TO SCALE



**LIMIT OF DISTURBANCE AT VEGETATION**  
NOT TO SCALE

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DATE: 10/20/2024  
SUBMISSION: PRELIMINARY PLAN SUBMISSION  
DATE: 10/20/2024  
DESCRIPTION: CONSTRUCTION  
DESIGN BY: J.W.S.  
D.R.N.

**DETAIL SHEET - I**

**ANN & HOPE REDEVELOPMENT-PHASE III**  
ASSESSOR'S PLAT 322 LOT 209  
WARWICK, RHODE ISLAND

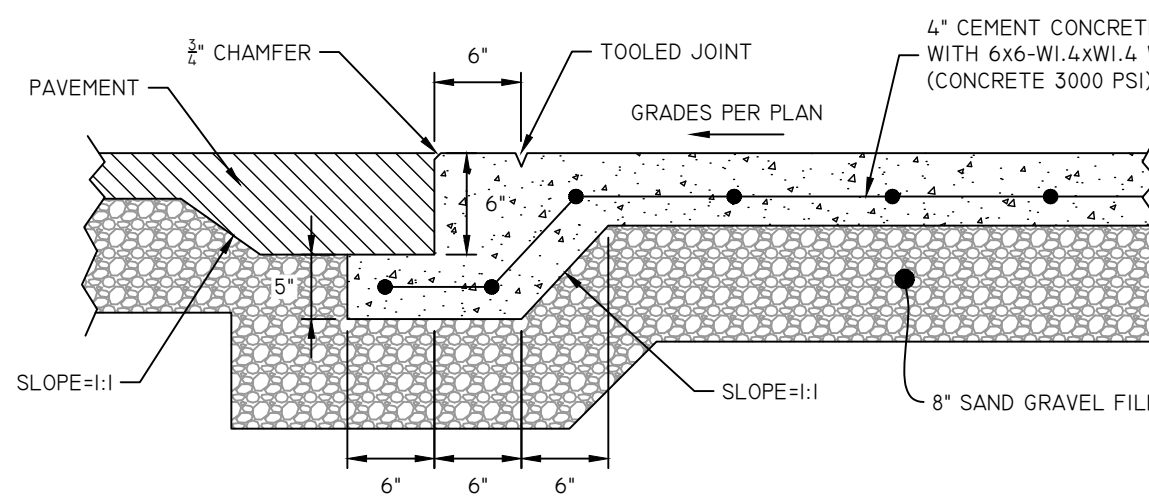
PREPARED FOR:  
**U-HAUL**  
266 MERRILL AVENUE  
LEWISTON, MA 01545

DATE: 10/20/2024  
SUBMISSION: PRELIMINARY PLAN SUBMISSION  
DATE: 10/20/2024  
DESCRIPTION: CONSTRUCTION  
DESIGN BY: J.W.S.  
D.R.N.

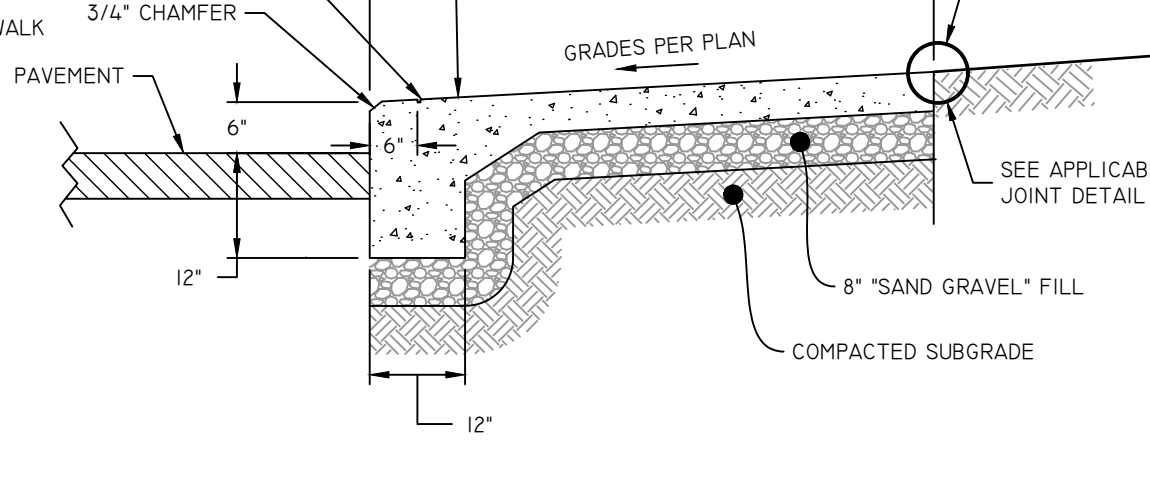
SHEET 9 OF 10

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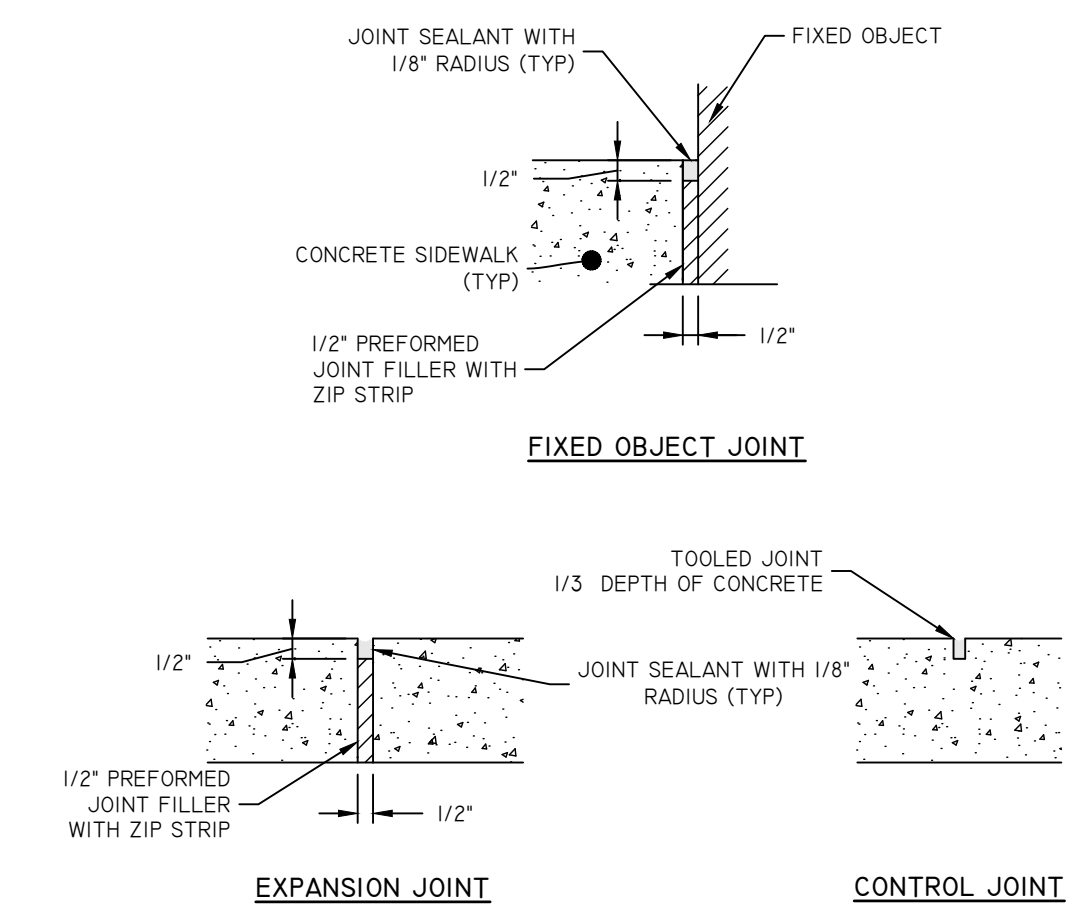
- NOTE:**
- SEE SITE PLAN FOR SIDEWALK WIDTH AND GRADES.
  - SURFACE TEXTURE SHALL BE A LIGHT BROOMING, TRANSVERSE TO THE LENGTH OF THE WALK. CARE MUST BE TAKEN TO ENSURE A UNIFORM GRADE, FREE OF SAGS AND SHORT GRADE CHANGES.
  - ALL IMPROVEMENTS MUST COMPLY WITH THE AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG) BY THE DEPARTMENT OF JUSTICE, CURRENT EDITION.
  - PROVIDE EXPANSION JOINTS AT MAX. 16 FT. O.C. WITH PREFORMED JOINT FILLER AND SEALANT.
  - PROVIDE CONTROL JOINTS AT 5' O.C.
  - MUST BE IN ACCORDANCE WITH THE R.I. STANDARD SPECIFICATIONS, CURRENT EDITION.



**SECTION**  
**MONOLITHIC CONCRETE SIDEWALK (FLUSH)**  
NOT TO SCALE



**SECTION**  
**MONOLITHIC CONCRETE SIDEWALK (6" REVEAL)**  
NOT TO SCALE



**EXPANSION JOINT**  
**CONTROL JOINT**

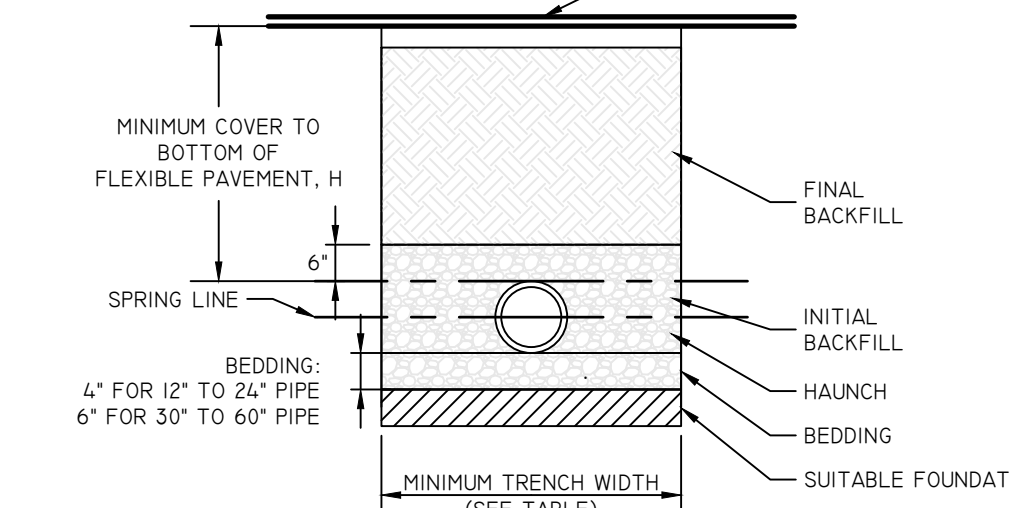
- INSTALLATION NOTES:**
- ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS, LATEST EDITION.
  - MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
  - FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL AS SPECIFIED BY THE ENGINEER. AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
  - BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II OR III. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER, UNLESS OTHERWISE NOTED BY THE ENGINEER. MINIMUM BEDDING THICKNESS SHALL BE 4" (100MM) FOR 4"-24" (100MM-600MM); 6" (150MM) FOR 30"-60" (750MM-900MM).
  - INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II OR III IN THE PIPE ZONE EXTENDING NOT LESS THAN 6' ABOVE CROWN OF PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION.
  - MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12" FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOATION. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12" UP TO 48" Ø PIPE AND 24" OF COVER FOR 60" Ø PIPE. MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT. FOR TRAFFIC APPLICATIONS WITH LESS THAN FOUR FEET OF COVER, EMBEDMENT OF THE PIPE SHALL BE USING ONLY A CLASS I OR CLASS II BACKFILL.

MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS\*\*

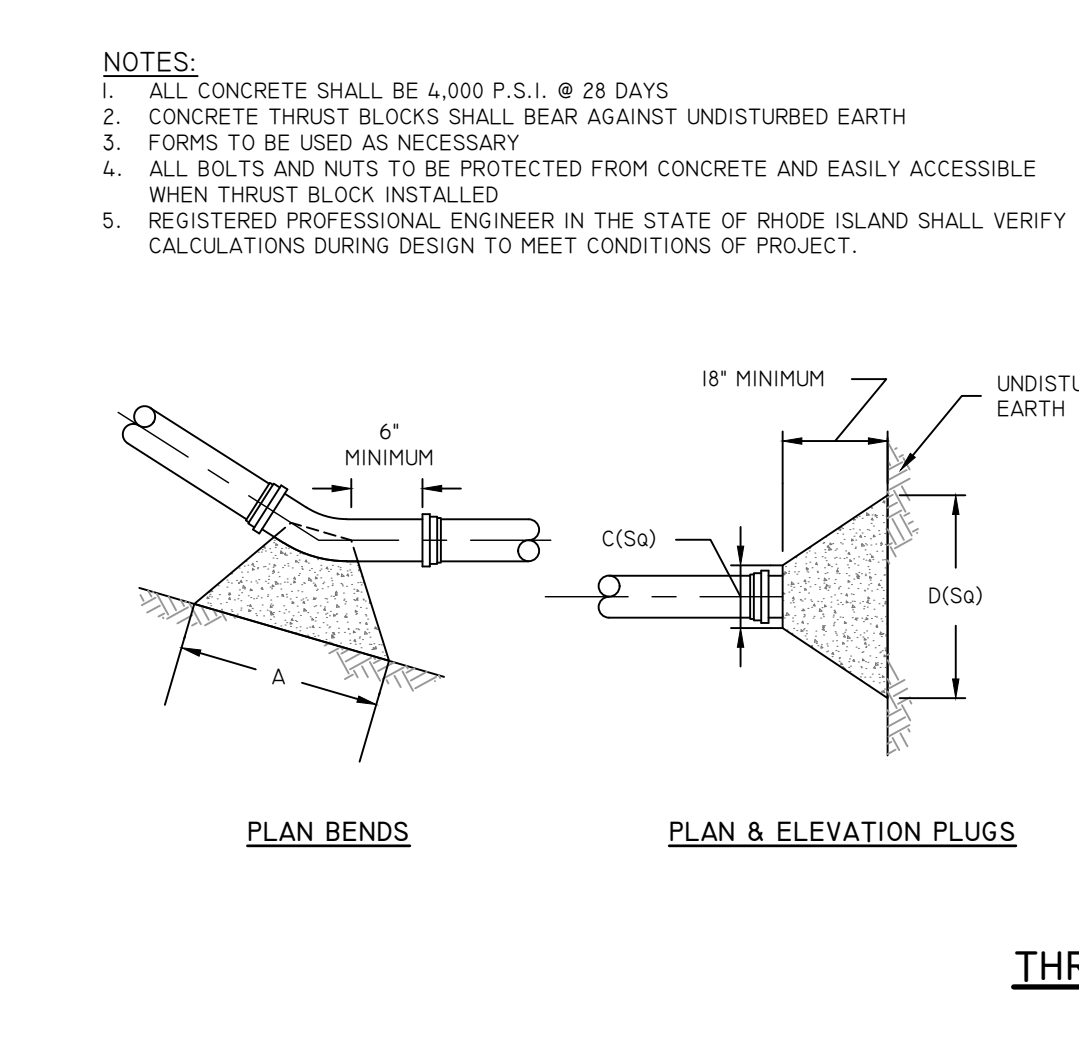
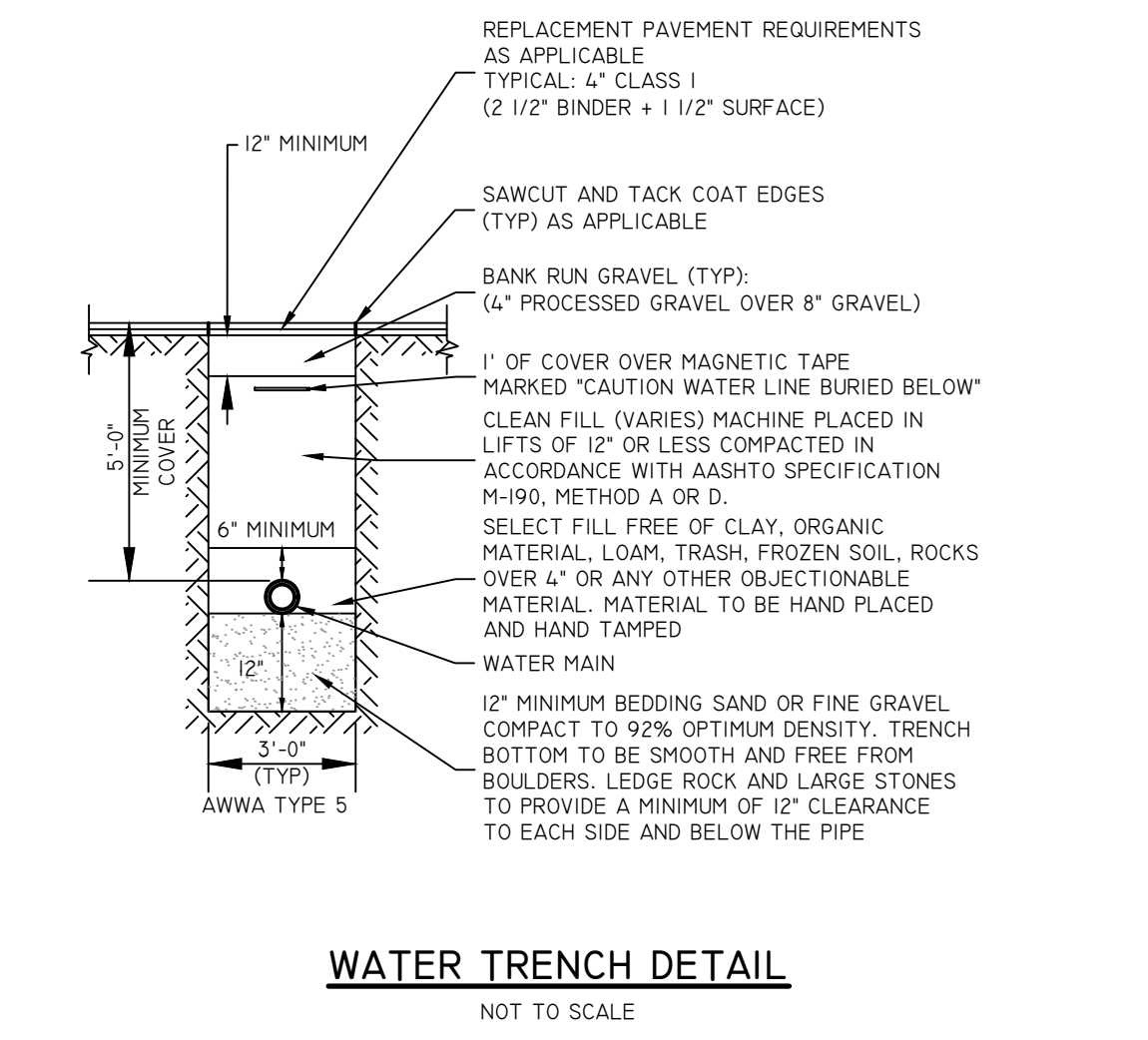
PIPE Ø	SURFACE LIVE LOADING CONDITION	
	H-25	HEAVY CONSTRUCTION (75T AXLE LOAD)
12" - 48"	12"	48"
60"	24"	60"

\*\*VEHICLES IN EXCESS OF 75T MAY REQUIRE ADDITIONAL COVER.  
\*\*SEE BACKFILL REQUIREMENTS IN NOTE 6.

PIPE Ø	MIN. TRENCH WIDTH	PIPE Ø	MIN. TRENCH WIDTH
4"	21"	24"	48"
6"	23"	30"	56"
8"	26"	36"	64"
10"	28"	42"	72"
12"	30"	48"	80"
15"	34"	60"	96"
18"	39"		



**HDPE TRENCH DETAIL**  
NOT TO SCALE



SIZE	TEES				PLUGS				90° BEND				45° BEND				22.5° BEND				11.25° BEND			
	A	B	C	D	A	B	C	D	A	B	A	B	A	B	A	B	A	B	A	B	A	B		
6"	20"	10"	10"	21"	24"	12"	18"	9"	15"	7"	9"	5"												
8"	26"	13"	12"	26"	32"	16"	24"	12"	17"	9"	12"	6"												
10"	34"	17"	16"	34"	40"	20"	30"	15"	22"	11"	15"	8"												
12"	41"	20"	16"	41"	48"	24"	35"	18"	25"	13"	18"	9"												
16"	54"	27"	20"	54"	64"	32"	47"	23"	34"	17"	24"	12"												

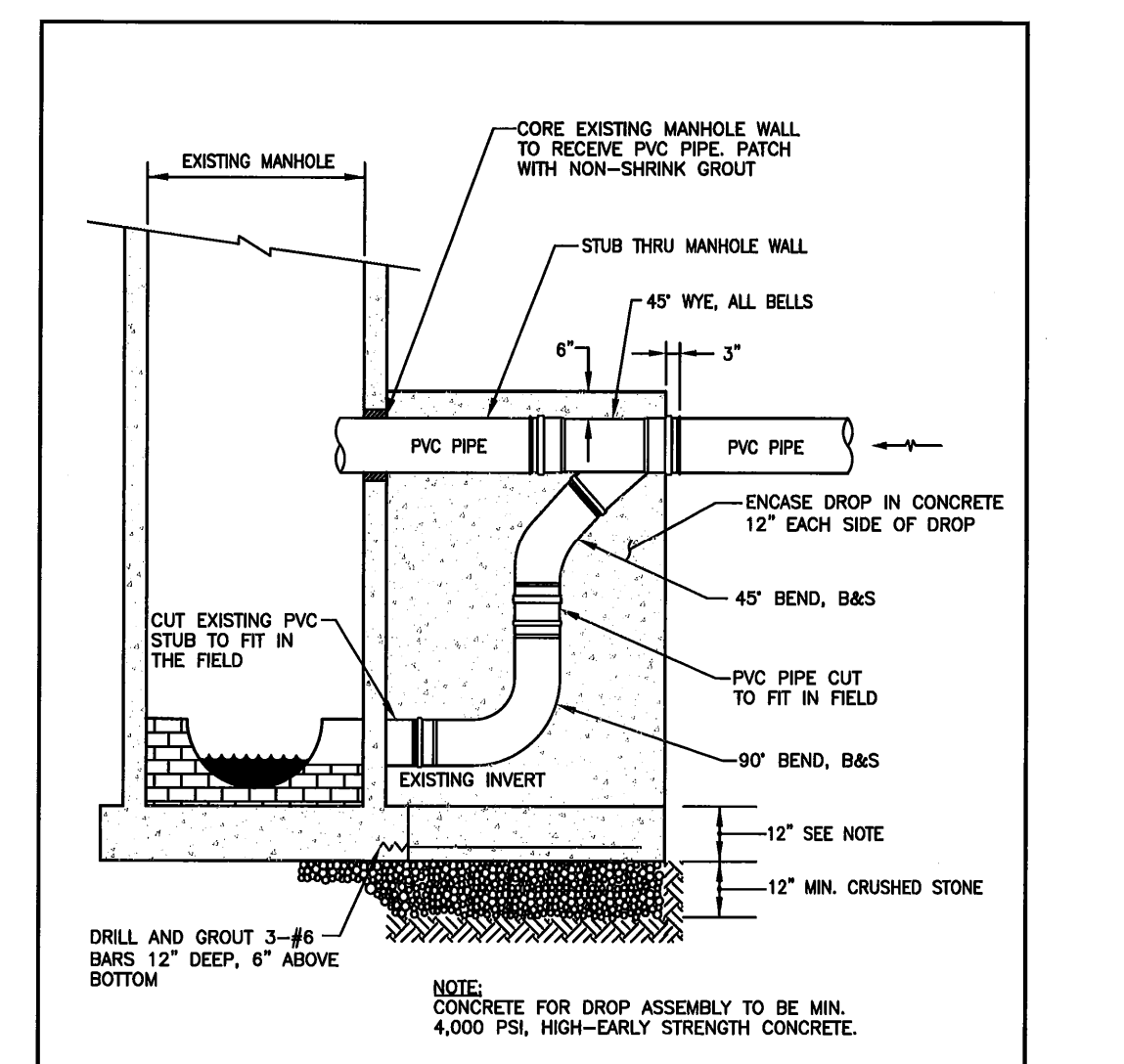
- WATER INSTALLATION NOTES:**
- INSTALLATION OF WATER MAIN AND SERVICE SHALL CONFORM TO THE RULES AND REGULATIONS OF THE WARWICK WATER DIVISION.
  - DISTRIBUTION PIPING SHALL BE CL 52 DUCTILE IRON, DOUBLE CEMENT LINED WITH PUSH ON JOINTS (TYTON STYLE ONLY). PIPE SHALL MEET ANSI/AWWA C151/A21.5/ANSI/AWWA C150/A21.5. JOINTS SHALL MEET ANSI/AWWA C11/A21.11.
  - FITTINGS SHALL BE DUCTILE IRON MECHANICAL JOINT CL530 CEMENT MORTAR LINED AND MEET ANSI/AWWA C151/A21.53. MECHANICAL JOINTS SHALL MEET ANSI/AWWA C11/A21.11 AMERICAN MANUFACTURER ONLY.
  - VALVES SHALL BE MECHANICAL JOINT, DOUBLE DISC PARALLEL SEAT OR RESILIENT SEAT GATE STYLES AS FOLLOWS:  
A. METRO SEAL 250, AVK OR EQUAL.  
B. RUBBER SEATED TIGHT CLOSING CLASS 150 MEETING OR EXCEEDING AWWA C504 UNDERGROUND SERVICE PRATT, M & H VALVE OR EQUAL.  
C. MUELLER, FORD, OR EQUAL.
  - PRESSURE TEST OF THE WATER SYSTEM SHALL BE 1.5 TIMES THE MAXIMUM WORKING PRESSURE. NOTIFY WARWICK WATER DIVISION 2 DAYS PRIOR TO TEST.
  - NOTIFY THE WARWICK WATER DIVISION 5 DAYS PRIOR TO CONSTRUCTION COMMENCEMENT.
  - CHLORINATION OF SYSTEM AND SAMPLING SHALL CONFORM TO SEC. 3.5 OF REQUIREMENTS FOR SERVICE AND MAIN INSTALLATION.
  - NOTIFY ENGINEER PRIOR TO COVERING OF WATER MAIN TO SURVEY AS-BUILT LOCATION AND TO COMPLETE REQUIRED AS-BUILT PLAN. ENGINEER WILL NOT ACCEPT FIELD MEASUREMENTS FROM THE CONTRACTOR.
  - WATER SERVICE INSTALLATIONS GREATER THAN 200' MUST HAVE A METER PIT.
  - TEMPORARY FLUSHING CONNECTIONS AND BLOW-OFFS SHALL BE SIZED TO PROVIDE 2.5-FOOT PER SECOND FLOW PER AWWA STANDARD 651.
  - CONTRACTOR RESPONSIBLE TO COORDINATE WITH PLUMBING OFFICIAL FOR DISINFECTION OF SERVICE PIPE EXTENDING FROM CURB BOX TO HOME PER STATE PLUMBING CODE AND WARWICK WATER DIVISION REGULATIONS. WATER SERVICE CANNOT BE ACTIVATED WITHOUT COPY OF LAB RESULTS AND PLUMBING INSPECTOR'S VERIFICATION.
  - ALL PIPES, FITTINGS, AND APPURTENANCES SHALL CONFORM TO WARWICK WATER DIVISION REGULATIONS.
  - ALL PROPOSED WATER VALVES SHALL BE "RIGHT ON" VALVES AS REQUIRED BY THE WARWICK WATER DIVISION.

**CHLORINATION & DISINFECTION POLICY**

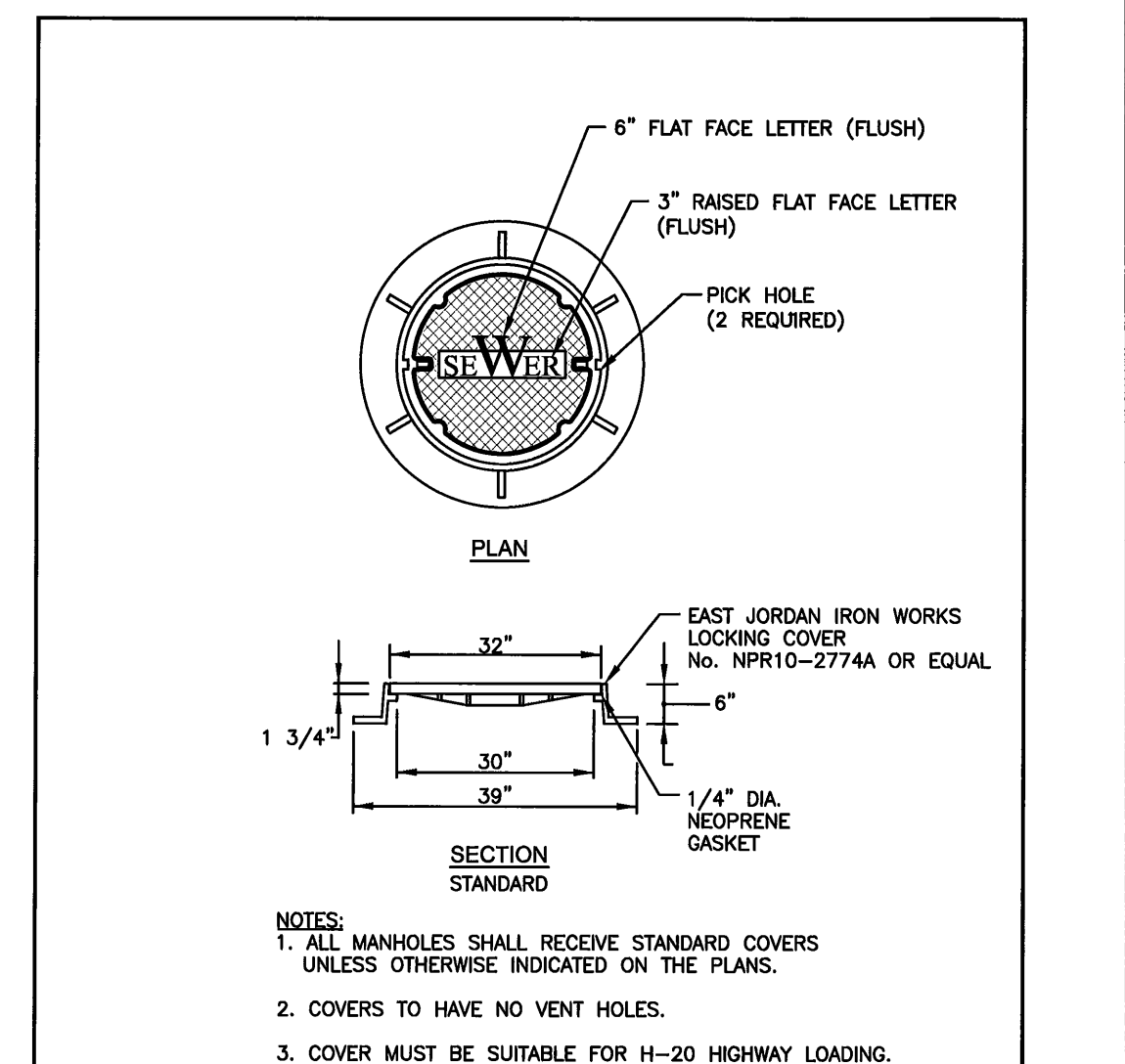
- ALL NEW OR REPAIRED POTABLE WATER SYSTEM DISTRIBUTION MAINS, SERVICE PIPE AND THE NECESSARY CONNECTING PIPES, FITTINGS, CONTROL VALVES, AND APPURTENANCES IN OR ADJACENT TO ANY RESIDENCE, BUILDING OR PREMISES SHALL BE FURIED OF DELETERIOUS MATTER AND SHALL BE DISINFECTED PRIOR TO UTILIZATION OR PERMANENT CONNECTION TO THE WARWICK WATER DIVISION SYSTEM. THAT PORTION OF THE CUSTOMER'S SERVICE PIPE AFTER THE CURB STOP SHALL BE DISINFECTED UNDER THE SUPERVISION OF THE LOCAL PLUMBING OFFICIAL. THE OWNER MUST PROVIDE WRITTEN LABORATORY CERTIFIED DOCUMENTATION OF THE DISINFECTION RESULTS TO THE WARWICK WATER DIVISION BEFORE MAKING ANY PERMANENT CONNECTION TO THE WARWICK WATER DIVISION SYSTEM OR BEFORE REACTIVATION OF ANY EXISTING WATER SERVICE CAN BE AUTHORIZED. PLEASE REFER TO APPENDICES FOR PROGRAM REQUIREMENTS OF THE CUSTOMER WATER SERVICE DISINFECTION POLICY.
- THE PROPOSER OR THE CONTRACTOR FOR THE PROPOSER, IN ACCORDANCE WITH CHAPTER 5, DISTRIBUTION SYSTEM CHLORINATION, AMERICAN WATER WORKS ASSOCIATION MANUAL #20, SHALL PERFORM CHLORINATION. TABLET CHLORINATION SHALL NOT BE ALLOWED.
- THE OWNER OR CUSTOMER IS RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH THE DISINFECTION PROCESS OR PROCEDURE.
- THE DISINFECTION MUST RESULT IN ELIMINATION FROM THE VARIOUS PARTS OF THE NEW PIPE LINE ANY EVIDENCE OF THE EXISTENCE, THEREIN, OF BACTERIA INDICATIVE OF ANY CONTAMINATION, AS DETERMINED BY TEST OF THE BACTERIAL CONTENT OF SAMPLES OF WATER TAKEN FROM THE NEW WATER MAIN. THE DISINFECTION MAY BE ACCOMPLISHED BY INTRODUCING INTO ALL THE VARIOUS PARTS OF THE NEW WATER MAINS, A LIQUID SOLUTION CONTAINING 1% AVAILABLE CHLORINE IN SUCH VOLUME THAT THE RATE OF DOSAGE TO THE WATER MAINS SHALL BE AT LEAST 50 PARTS PER MILLION OF AVAILABLE CHLORINE. TABLET CHLORINATION IS NOT ALLOWED. THE CONTACT PERIOD FOR THIS DISINFECTION SHALL BE AT LEAST 24 HOURS, AND A LONGER PERIOD WILL BE REQUIRED IF TESTS OF RESIDUAL CHLORINE SHOW IT TO BE NECESSARY FOR PROPER DISINFECTION.
- THE NEW WATER SYSTEM SHALL BE FLUSHED OUT AFTER DISINFECTION AND REFILLED WITH FRESH WATER. ALL CHLORINATED WATER USED IN THE DISINFECTION PROCESS SHALL BE DE-CHLORINATED PRIOR TO DISCHARGE TO THE SURROUNDING AREA.
- WATER MUST SIT IN THE MAIN FOR AT LEAST 24 HOURS PRIOR TO TAKING A TEST SAMPLE. WATER UTILIZED FOR THIS PURPOSE, FLUSHING OR PRESSURE TESTING, WHICH IS OBTAINED DIRECTLY FROM THE WARWICK WATER DIVISION SYSTEM, MUST FLOW THROUGH AN ISOLATED CONNECTION TO THE WARWICK WATER DIVISION SYSTEM VIA AN APPROVED METER, TESTABLE BACKFLOW PREVENTION DEVICE AND JUMPER LINE. THE CONTRACTOR SHALL MAKE ALL NECESSARY ARRANGEMENTS FOR SECURING THE WATER FOR TEST PURPOSES AND SHALL BEAR THE EXPENSE OF THESE ARRANGEMENTS. THE INSTALLER SHALL FURNISH AND INSTALL SUITABLE TEMPORARY TESTING PLUGS, CAPS, PUMPS, PIPE CONNECTIONS AND OTHER APPURTENANCES, AS NECESSARY, TO OBTAIN SAMPLES AT POINTS NO FURTHER THAN 1000 FEET APART.
- AFTER FINAL FLUSHING AND BEFORE THE NEW WATER MAIN IS CONNECTED TO THE DISTRIBUTION SYSTEM, TWO COPIES OF ACCEPTABLE SAMPLES FOR COLIFORM BACTERIA HETEROTROPHIC PLATE COUNT (HPC), TAKEN 24 HOURS APART, SHALL BE COLLECTED FROM THE TERMINATION OF THE NEW MAIN. AT LEAST ONE SAMPLE SHALL BE COLLECTED EVERY 1000 FT. OF NEW MAIN, PLUS ONE SET OF TWO SAMPLES FROM THE END OF THE LINE. AT LEAST ONE SET OF TWO SAMPLES SHALL BE TAKEN FROM EACH BRANCH. SAMPLES SHALL BE COLLECTED BY WARWICK WATER DIVISION EMPLOYEES, GIVEN A TWO-DAY NOTICE AND TESTED BY A LABORATORY APPROVED BY WARWICK WATER DIVISION. A FEE SHALL BE INCURRED FOR THE SAMPLING AND TESTING FOR EACH TEST. AT THE CURRENT RATE SCHEDULE IN EFFECT AT THE TIME OF TESTING. PAYMENT SHALL BE PRIOR TO SAMPLE COLLECTION BY THE WARWICK WATER DIVISION. THE WATER SAMPLE TEST RESULTS MUST INDICATE THAT THE WATER QUALITY IN THE NEW MAIN IS CONSISTENT IN QUALITY WITH THE WARWICK WATER DIVISION SYSTEM WATER.

**LEAKAGE & PRESSURE TESTING FOR WATER MAINS**

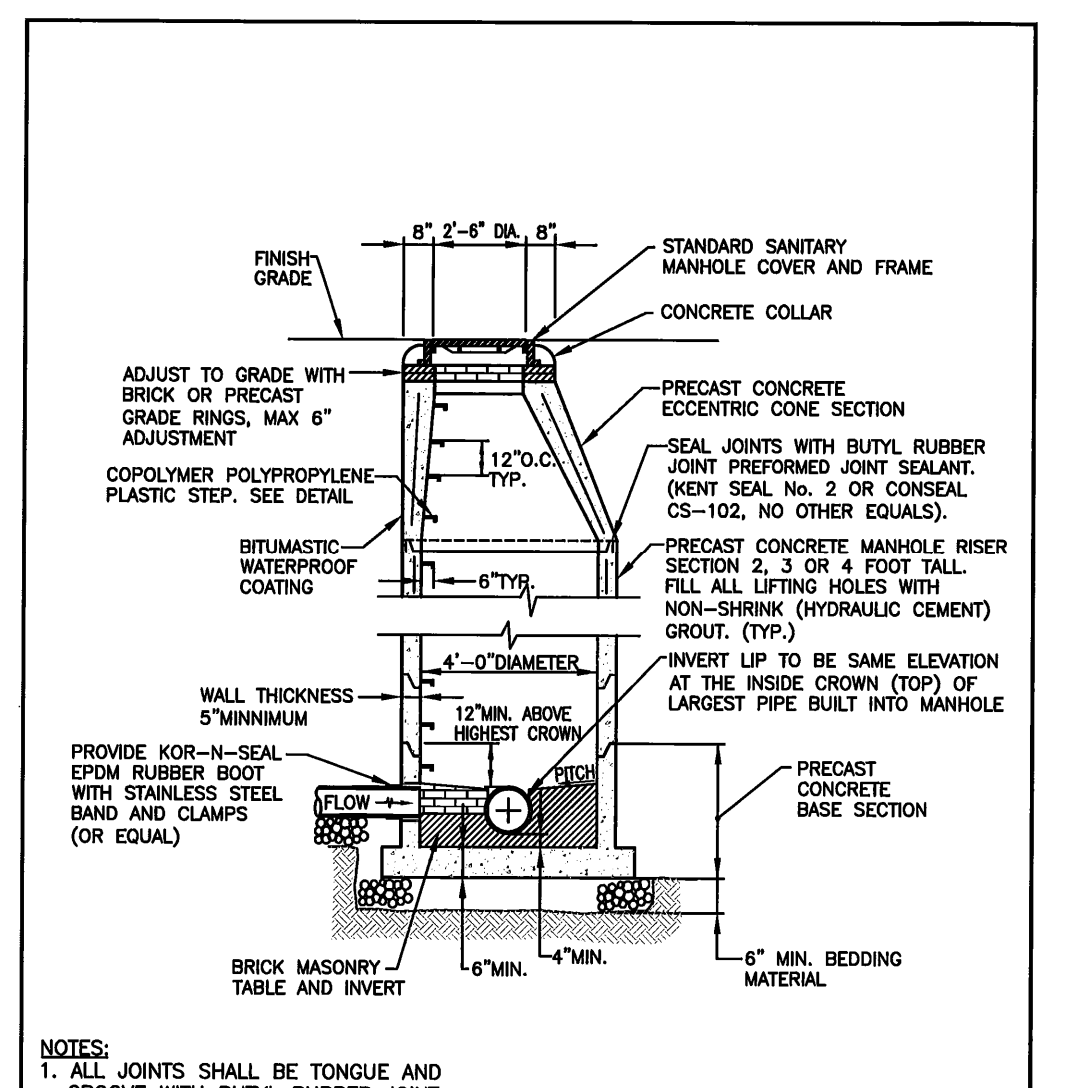
- HYDROSTATIC AND LEAKAGE TESTS SHALL BE PERFORMED ON ALL COMPLETED SECTIONS OF NEWLY INSTALLED WATERMAIN PIPELINE IN ACCORDANCE WITH AWWA C600, THE WARWICK WATER DIVISION, AND AS SPECIFIED BELOW.
- THE CONTRACTOR IS RESPONSIBLE FOR FURNISHING ALL LABOR, TOOLS AND EQUIPMENT NECESSARY FOR TESTING. CONTRACTOR TO NOTIFY WARWICK WATER DIVISION 48 HOURS IN ADVANCE OF TEST DATE.
- TESTING PROCEDURES - ALL AIR SHALL BE EXPELLED AT THE HIGH POINTS AND THE PIPELINE SLOWLY FILLED WITH POTABLE WATER, AND MUST SIT FOR 24 HOURS BEFORE CONDUCTING TEST.
- THE INTERNAL PRESSURE SHALL BE BUILT UP TO 1.5 TIMES THE WORKING PRESSURE AND MAINTAINED FOR A PERIOD OF NOT LESS THAN ONE (1) HOUR.
- ALL LEAKS IN THE PIPELINE SHALL BE STOPPED; CRACKED OR DEFECTIVE PIPE, FITTINGS OR ACCESSORIES SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR.
- THE PIPELINE SHALL BE RETESTED AS MAY BE REQUIRED AND NECESSARY UNTIL THE LEAKAGE FALLS WITHIN THE ALLOWABLE DETERMINED FOR THE PIPE NETWORK, AT WHICH TIME THE PIPELINE MAY BE CONSIDERED READY FOR:  
A. WATERMANS - DISINFECTION STEP
- COMPLIANCE WITH STATE PLUMBING CODE IN REFERENCE TO RESIDENTIAL BACK FLOW PREVENTION MUST BE VERIFIED BY PLUMBING INSPECTOR, PRIOR TO METER INSTALLATION.



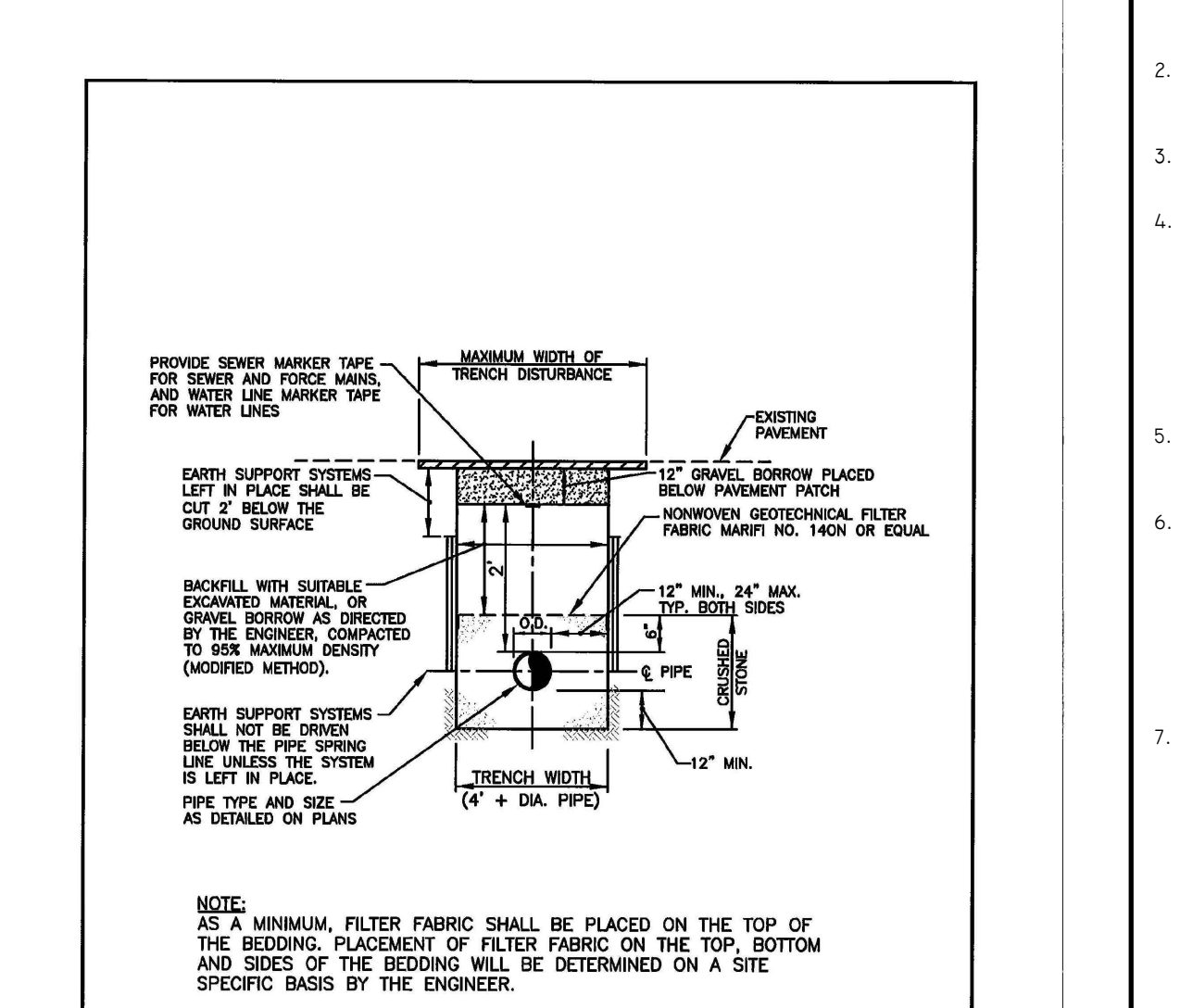
Detail No. WSA - 9	
Drop Manhole on Existing Line	
Contract DD	
Date: May 2017	Scale: Not to Scale
<b>WARWICK SEWER AUTHORITY</b> 125 Arthur Devine Boulevard Warwick, Rhode Island 02889	



Detail No. WSA - 5	
Sanitary Manhole Cover	
Contract DD	
Date: May 2017	Scale: Not to Scale
<b>WARWICK SEWER AUTHORITY</b> 125 Arthur Devine Boulevard Warwick, Rhode Island 02889	



Detail No. WSA - 3	
Sanitary Manhole	
Contract DD	
Date: May 2017	Scale: Not to Scale
<b>WARWICK SEWER AUTHORITY</b> 125 Arthur Devine Boulevard Warwick, Rhode Island 02889	



Detail No. WSA-15	
Typical Trench	
Contract DD	
Date: May 2017	Scale: Not to Scale
<b>WARWICK SEWER AUTHORITY</b> 125 Arthur Devine Boulevard Warwick, Rhode Island 02889	

**DiPrete Engineering**  
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**Boston • Providence • Newport**

**DANA R. NISBET**  
 No. 11876  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL

THIS PLAN SET MUST BE USED FOR CONSTRUCTION PURPOSES UNLESS SHARPLY INDICATED FOR CONSTRUCTION AND STAMPED BY THE REGISTERED PROFESSIONAL ENGINEER OF DIPRETE ENGINEERING. DIPRETE ENGINEERING ONLY WARRANTS PLANS ON A DIPRETE ENGINEERING PROJECT. DIPRETE ENGINEERING DOES NOT WARRANT PLANS BY ANY OTHER PARTY. THE CONTRACTOR IS RESPONSIBLE FOR ALL OF THE WORK SHOWN. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR CONFORMANCE IN THE IMPLEMENTATION OF THIS PLAN AND DESIGN. DIPRETE ENGINEERING ASSUMES NO RESPONSIBILITY FOR DAMAGES INCURRED DUE TO LOCATIONS OF EXISTING UTILITIES.

**CHLORINATION & DISINFECTION POLICY**

DATE: 05/02/2017  
 PREPARED BY: J.M.S.  
 CHECKED BY: J.M.S.  
 DRAWN BY: J.M.S.  
 DESIGN BY: D.R.N.

**DETAIL SHEET - 2**

**ANN & HOPE REDEVELOPMENT-PHASE III**

ASSESSOR'S PLAT 322 LOT 209  
 WARWICK, RHODE ISLAND

PREPARED FOR:  
**U-HAUL**  
 266 MERRIAN AVENUE  
 LEWISTON, MA 01855

DATE: 05/02/2017  
 SCALE: NOT TO SCALE

SHEET 10 OF 10

Z:\DEMAN\PROJECTS\061045050 POST ROAD 18VAUTOCAD DRAWINGS\061045050-PLAN PHASE 3.DWG PLOTTED: 4/17/2020