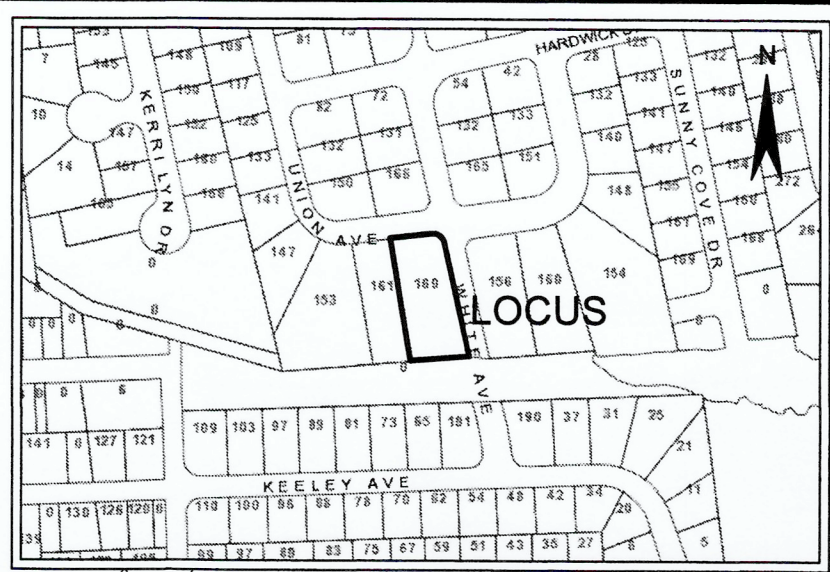
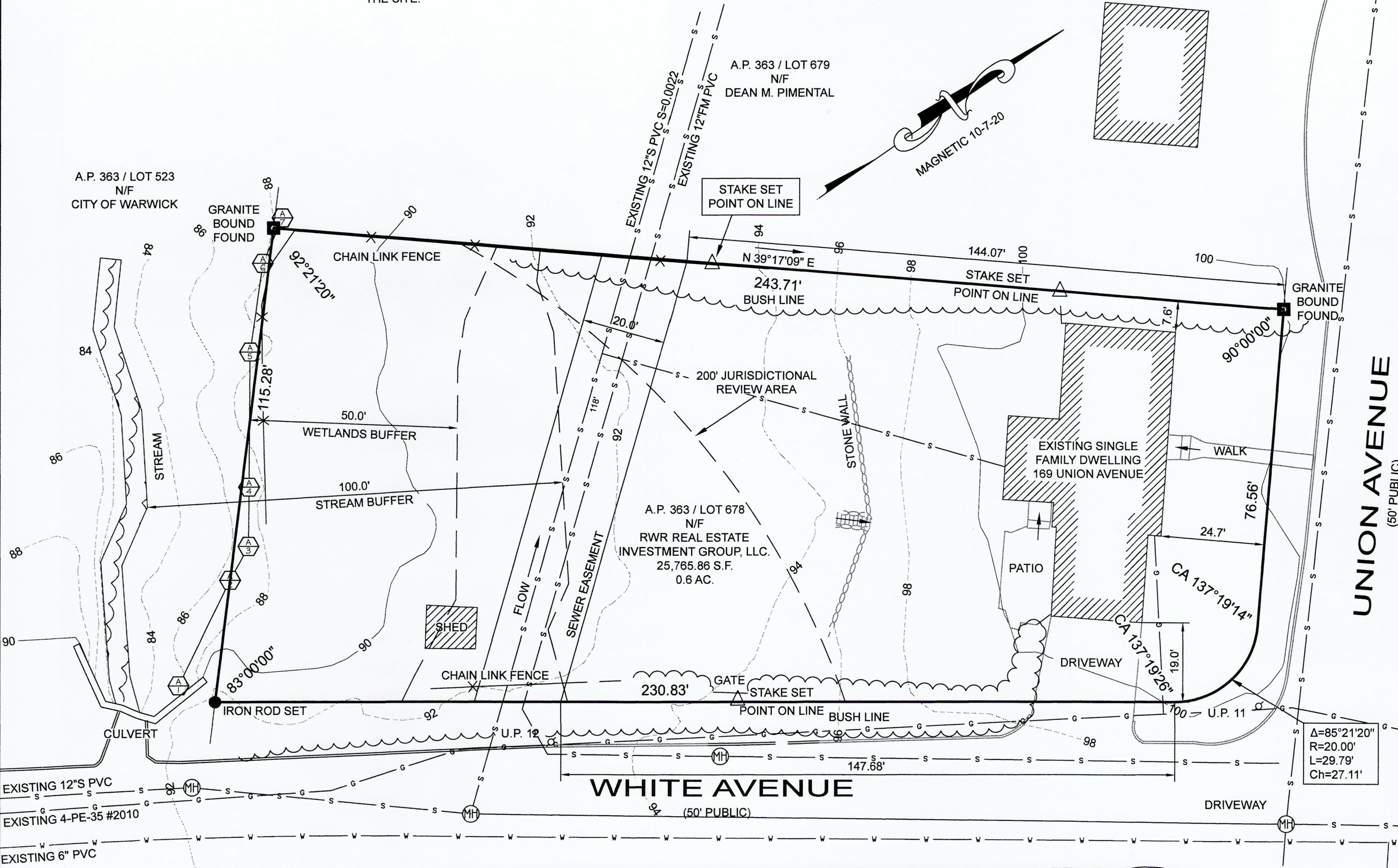


REFERENCE:

1. DEED BK 9597 PG. 243
2. REC. LOT 8 "REPLAT OF A PART OF VANSTONE PARK OWNED BY ROMEO DELLA VENTURA WARWICK, R.I. N.M. VERDE, ENGR - JAN, 1954 SCALE 1"=40' " P.C. 486

NOTE:

1. FEMA MAP 44003C0133H / 09-18-13 / ZONE X
2. ALL PARCELS HAVE ACCESS TO SEWERS
3. SITE IS NOT LOCATED WITHIN A HISTORIC DISTRICT.
4. NO HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE SITE.
5. NO UNIQUE NATURAL OR HISTORIC FEATURES ON THE SITE.



LOCUS MAP
ZONING DISTRICT A-7
 MINIMUM LOT AREA 7,000 S.F.
 MINIMUM LOT FRONTAGE 70 FT.
 MINIMUM SETBACKS: FRONT 25 FT.
 SIDE 8 FT.
 REAR 20 FT.
 MAXIMUM STRUCTURE HEIGHT: 35 FT.
 MINIMUM LANDSCAPE 10%

A.P. 363 / LOT 696
 N/F
 GARY M. AVEDISIAN

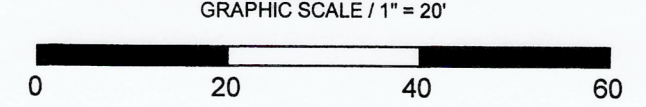
I HEREBY CERTIFY THAT HIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN. LOTS DEPICTED ON THIS PLAT SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOT LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995.

RUSSO PLAT
EXISTING CONDITIONS PLAN

A.P. 363 / LOT 678
 169 UNION AVENUE
 WARWICK, R.I. 02889
 SCALE: 1"=20' DATE: OCTOBER 16, 2020
 REVISION: DECEMBER 15, 2020 (AJB)
 PREPARED FOR:

RWR REAL ESTATE INVESTMENT GROUP
 18 BLUE RIDGE ROAD, CRANSTON R.I. 02920
 PHONE: (401) 742-6869
 PREPARED BY:

OCEAN STATE PLANNERS, INC.
 1255 OAKLAWN AVENUE, CRANSTON, RI 02920
 PHONE: (401) 463-9696 info@osplanners.com
 JOB NO. 9828 / DWG. NO. 9828 - EC - (AJB)
 SHEET: 1 OF 4



SURVEY CLASSIFICATION:
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

A.P. 363 / LOT 677
 N/F
 JOHN W. DONABEDIAN

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

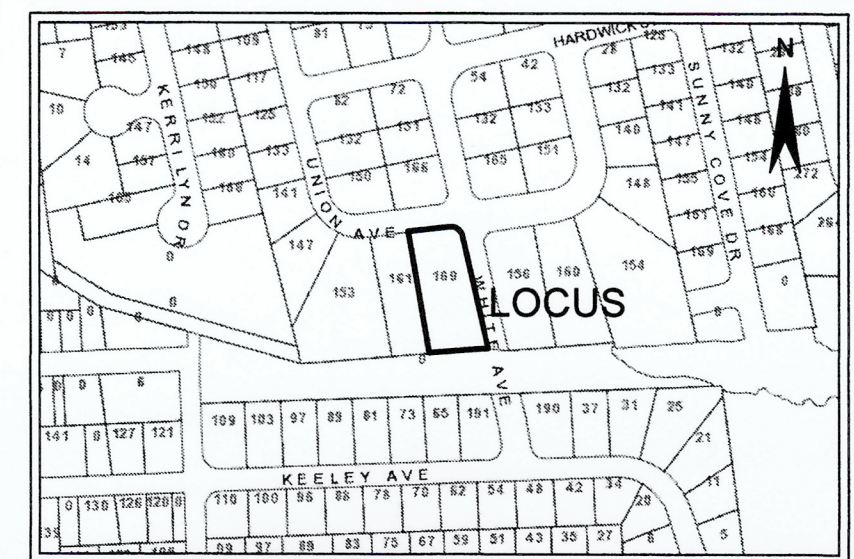
BY: *[Signature]* DATE: 1/05/21
 BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60



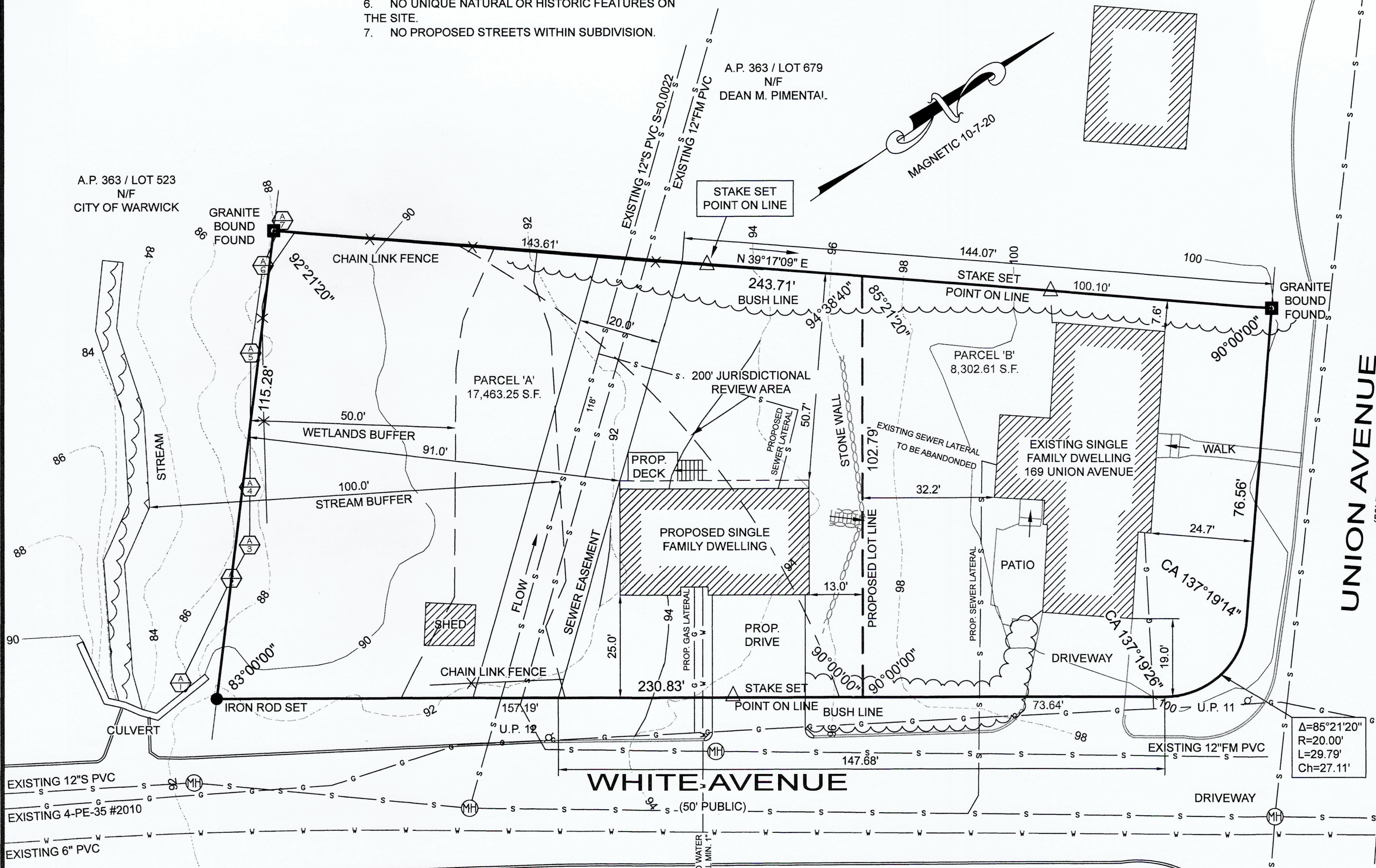
- REFERENCE:**
- DEED BK. 9597 PG. 243
 - REC. LOT 8 "REPLAT OF A PART OF VANSTONE PARK OWNED BY ROMEO DELLA VENTURA WARWICK, R.I. N.M. VERDE, ENGR - JAN, 1954 SCALE 1"=40' P.C. 486

- NOTE:**
- FEMA MAP 44003C0133H / 09-18-13 / ZONE X
 - ALL PARCELS HAVE ACCESS TO SEWERS
 - NO WELLS OR ISDS ON LOT
 - SITE IS NOT LOCATED WITHIN A HISTORIC DISTRICT.
 - NO HISTORIC CEMETERIES ON OR IMMEDIATELY ADJACENT TO THE SITE.
 - NO UNIQUE NATURAL OR HISTORIC FEATURES ON THE SITE.
 - NO PROPOSED STREETS WITHIN SUBDIVISION.

LOT / PARCEL	OLD AREA	NEW AREA
LOT 678	25,765.86 S.F.	0 S.F.
PARCEL 'A'	0 S.F.	17,463.25 S.F.
PARCEL 'B'	0 S.F.	8,302.61 S.F.



LOCUS MAP
ZONING DISTRICT A-7
 MINIMUM LOT AREA 7,000 S.F.
 MINIMUM LOT FRONTAGE 70 FT.
 MINIMUM SETBACKS: FRONT 25 FT.
 SIDE 8 FT.
 REAR 20 FT.
 MAXIMUM STRUCTURE HEIGHT: 35 FT.
 MINIMUM LANDSCAPE 10%



A.P. 363 / LOT 696
 N/F
 GARY M. AVEDISIAN

I HEREBY CERTIFY THAT HIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT. THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN. LOTS DEPICTED ON THIS PLAT SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOT LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995.

RUSSO PLAT
PROPOSED SITE PLAN

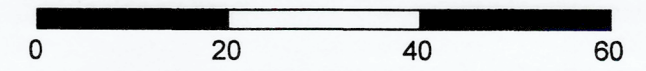
A.P. 363 / LOT 678
 169 UNION AVENUE
 WARWICK, R.I. 02889

SCALE: 1"=20' DATE: OCTOBER 16, 2020
 REVISION: FEBRUARY 2, 2021 (AJB)

PREPARED FOR:
RWR REAL ESTATE INVESTMENT GROUP
 18 BLUE RIDGE ROAD, CRANSTON R.I. 02920
 PHONE: (401) 742-6869

PREPARED BY:
OCEAN STATE PLANNERS, INC.
 1255 OAKLAWN AVENUE, CRANSTON, RI 02920
 PHONE: (401) 463-9696 info@osplanners.com
 JOB NO. 9828 / DWG. NO. 9828 - PC - (AJB)
 SHEET: 2 OF 4

GRAPHIC SCALE / 1" = 20'



A.P. 363 / LOT 677
 N/F
 JOHN W. DONABEDIAN

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
 TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

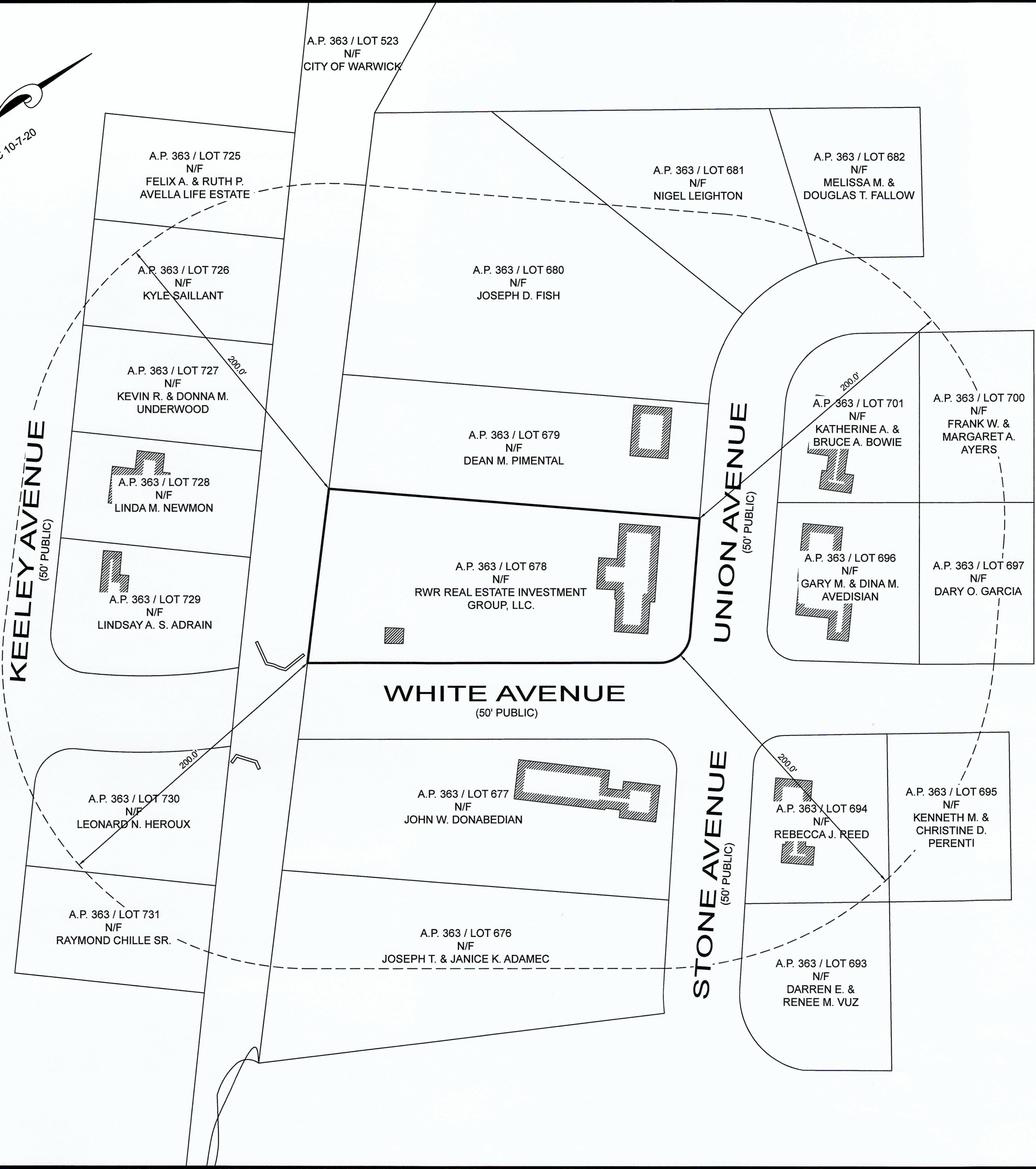
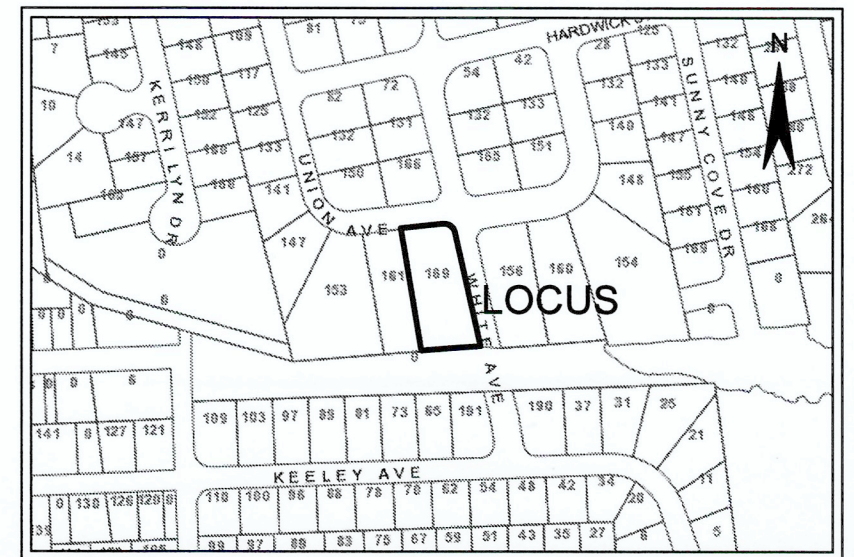
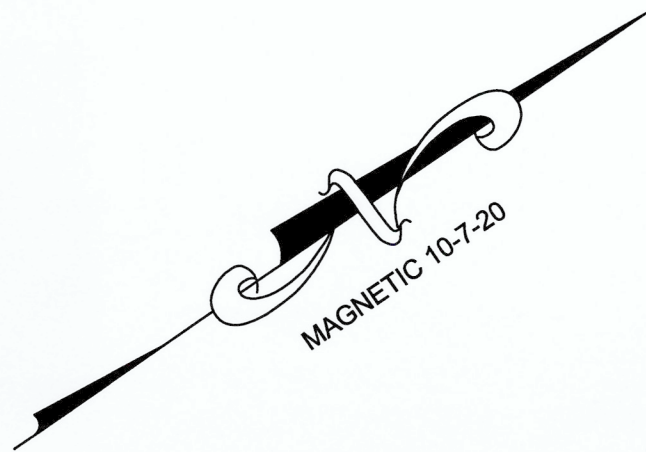
BY: *[Signature]* DATE: 2/03/21

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60



SURVEY CLASSIFICATION:
 THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III



LOCUS MAP

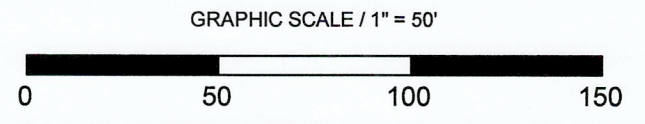
**RUSSO PLAT
200' RADIUS MAP**

A.P. 363 / LOT 678
169 UNION AVENUE
WARWICK, R.I. 02889

SCALE: 1"=50' DATE: OCTOBER 16, 2020
REVISION: DECEMBER 15, 2020 (AJB)

PREPARED FOR:
RWR REAL ESTATE INVESTMENT GROUP
18 BLUE RIDGE ROAD, CRANSTON R.I. 02920
PHONE: (401) 742-6869

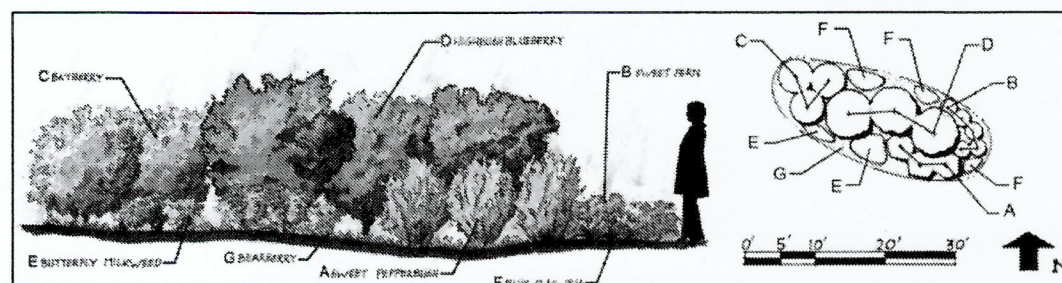
PREPARED BY:
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, RI 02920
PHONE: (401) 463-9696 info@osplanners.com
JOB NO. 9828 / DWG. NO. 9828 - RM - (AJB)
SHEET: 3 OF 4



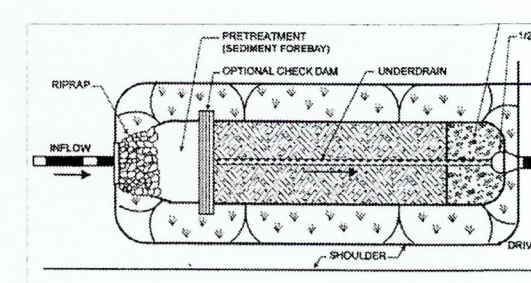
**UNION AVENUE
WHITE AVENUE
STREET INDEX**

OWNER:
RWR REAL ESTATE INVESTMENT GROUP
18 BLUE RIDGE ROAD, CRANSTON, R.I. 02920
PHONE: (401) 742-6869

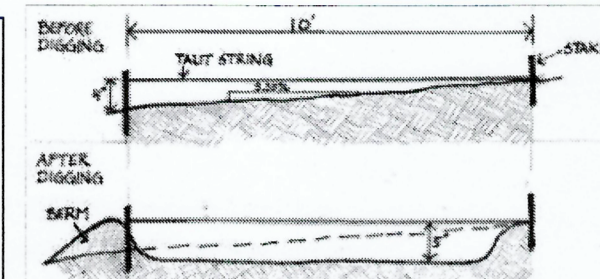
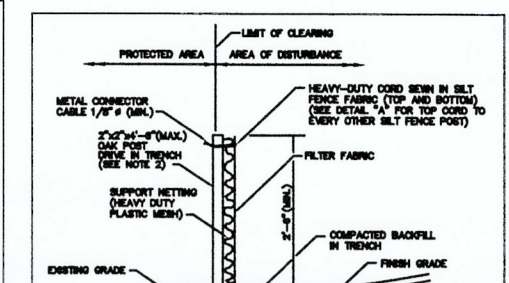
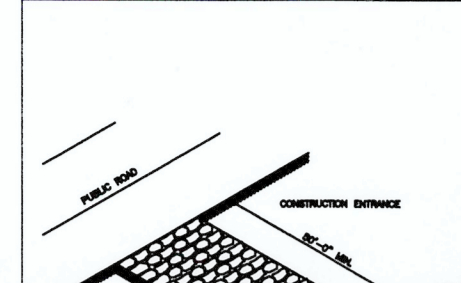
REFERENCE:
1. DEED BK. 9597 PG. 243
2. REC. LOT 8 "REPLAT OF A PART OF VANSTONE PARK OWNED BY ROMEO DELLA VENTURA WARWICK, R.I. N.M. VERDE, ENGR - JAN, 1954 SCALE 1"=40' P.C. 486



RAIN GARDEN EXAMPLE PLANTING



18" VEGETATED SWALE CONSTRUCTION DETAIL



RAIN GARDEN LOW SLOPE CONSTRUCTION DETAIL

RAIN GARDEN CALCULATIONS:
ROOF IMPERMEABLE TRIBUTARY AREA = 1,182.66 S.F. ~ 1,200 S.F.
2 DIVIDED ROOF AREAS: TRIBUTARY AREA = 600 S.F. x2
TRIB. AREA TO GARDEN SQUARE FOOTAGE CONVERSION = 0.16
*FROM RI SMG TABLE 8
600 S.F. * 0.16 = 96 S.F. RAIN GARDENS REQUIRED
2:1 LENGTH TO WIDTH RATIO RECOMMENDED PER RI SMG
LENGTH=12 FT. WIDTH=8 FT.
12 FT. * 8 FT. = 96 S.F. RAIN GARDENS PROPOSED

VEGETATED SWALE CALCULATIONS:
ROOF IMPERMEABLE TRIBUTARY AREA = 556 S.F. ~ 600 S.F.
TRIB. AREA TO 18" DEEP SWALE SQUARE FOOTAGE CONVERSION = 0.16
*FROM RI SMG TABLE 5
600 S.F. * 0.16 = 96 S.F. VEGETATED SWALE REQUIRED
LENGTH=12 FT. WIDTH=8 FT.
12 FT. * 8 FT. = 96 S.F. VEGETATED SWALE PROPOSED

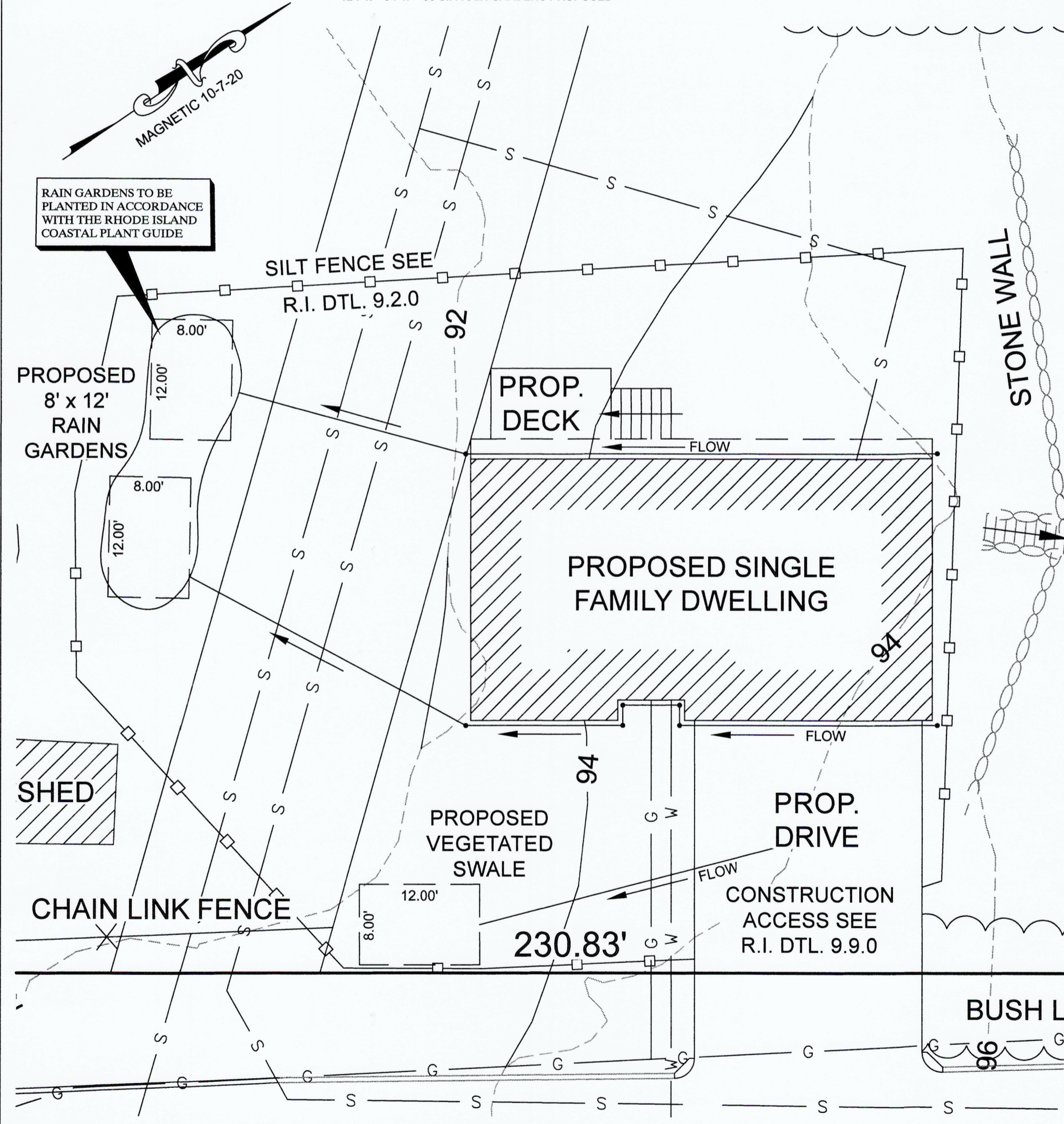
GENERAL
1. THIS PLAN IS INTENDED TO PROVIDE GUIDANCE AND INSTRUCTION TO THE OWNER AND CONTRACTOR(S) IN THE PREVENTION OF EROSION AND SEDIMENTATION BOTH ON-SITE AND OFF-SITE. THIS PLAN IS INTENDED TO ALLOW ANY EROSION APPROVALS TO BE MORE SPECIFIC IN ADDRESSING ITEMS OF CONCERN. IF, UPON ISSUANCE OF ANY ORDER, APPROVAL OR PERMIT BY ANY MUNICIPAL, STATE OR FEDERAL ENTITY, ANY ITEMS SPECIFIED HEREIN ARE IN CONFLICT WITH SUCH ORDERS, SAID ORDERS SHALL SUPERCEDE THE REQUIREMENTS SPECIFIED ON THIS PLAN.
2. THIS PLAN IS PART OF A SET OF DOCUMENTS THAT ARE TO BE VIEWED AND REVIEWED IN THEIR ENTIRETY. SUCH DOCUMENTS INCLUDE THE CONSTRUCTION SPECIFICATIONS, CONSTRUCTION PLANS AND ANY PERMITS ISSUED BY THE CITY OF WARWICK OR THE STATE OF RHODE ISLAND, THEIR AGENTS, OR OTHER REGULATORY AGENCIES.

EROSION CONTROL MEASURES
1. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT EROSION AND SEDIMENTATION ARE CONTROLLED. THIS PLAN SHALL BE ADAPTED TO FIT THE CONTRACTOR'S EQUIPMENT, WEATHER CONDITIONS, AND ANY ORDERS ISSUED BY THE REGULATORY AGENCY HAVING JURISDICTION OVER THIS PROJECT.
2. THE MOST IMPORTANT ASPECTS OF CONTROLLING EROSION AND SEDIMENTATION ARE LIMITING THE EXTENT OF DISTURBANCE AND STABILIZING SURFACES AS SOON AS POSSIBLE. OF SECONDARY IMPORTANCE IN EROSION CONTROL IS THE LIMITING OF THE SIZE AND LENGTH OF THE TRIBUTARY DRAINAGE AREA WITHIN THE WORK SITE. THESE FUNDAMENTAL PRINCIPLES SHALL BE THE KEY FACTOR IN THE CONTRACTOR'S CONTROL OF EROSION ON THE SITE.
3. ALL DISTURBED SURFACES SHALL BE STABILIZED A MINIMUM OF 7 DAYS AFTER CONSTRUCTION IN ANY PORTION OF THE SITE THAT CONSTRUCTION HAS CEASED OR IS TEMPORARILY HALTED.
4. THE CONTRACTOR IS RESPONSIBLE FOR THE MAINTENANCE AND REPAIR OF ALL EROSION CONTROL DEVICES ON SITE. ALL EROSION CONTROL DEVICES SHALL BE REGULARLY INSPECTED. ANY SEDIMENT REMOVED FROM THE CONTROL DEVICES SHALL BE DISPOSED OF OFF-SITE.
5. AT NO TIME SHALL SILT-LADEN WATER BE ALLOWED TO ENTER OFF-SITE AREAS OR EXISTING DRAINAGE SYSTEMS. ANY RUNOFF FROM DISTURBED SURFACES SHALL BE DIRECTED THROUGH SETTLING BASINS AND/OR EROSION CONTROL BARRIERS PRIOR TO ENTERING ANY SENSITIVE AREAS.

GENERAL CONSTRUCTION REQUIREMENTS
1. NO ON-SITE DISPOSAL OF SOLID WASTE, INCLUDING BUILDING MATERIALS, IS ALLOWED. THE BURIAL OF STUMPS, DEMOLITION DEBRIS, CONSTRUCTION DEBRIS OR OTHER MATERIALS SHALL NOT BE ALLOWED ANYWHERE ON-SITE.
2. NO MATERIALS SHALL BE DISPOSED OF INTO EXISTING OR PROPOSED SEWER OR DRAINAGE SYSTEMS, EITHER ON-SITE OR OFF-SITE. ALL CONTRACTORS, INCLUDING CONCRETE SUPPLIERS, PAINTERS AND PLASTERERS, SHALL BE INFORMED THAT THE CLEANING OF EQUIPMENT IS PROHIBITED IN AREAS WHERE THE WASH WATER WILL DRAIN DIRECTLY TO OFF-SITE DRAINAGE SYSTEMS.
3. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL WHICH SHALL INCLUDE SWEEPING OF ALL PAVED SURFACES THAT ARE IMPACTED BY SITE CONSTRUCTION ON A REGULAR BASIS, AS NEEDED.

PRE-CONSTRUCTION
1. AN EROSION CONTROL BARRIER SHALL BE INSTALLED AT ANY LOCATION WHERE AREAS TO BE DISTURBED COULD CAUSE EROSION TO OTHER AREAS. THESE BARRIERS SHALL REMAIN IN PLACE UNTIL ALL TRIBUTARY SURFACES HAVE BEEN FULLY STABILIZED.
2. THE CONTRACTOR SHALL ESTABLISH A STAGING AREA ON A PORTION OF THE AREA TO BE DISTURBED FOR THE OVERNIGHT STORAGE OF EQUIPMENT AND STOCKPIILING OF MATERIALS.
3. IN THE STAGING AREA, THE CONTRACTOR SHALL HAVE A STOCKPILE OF MATERIALS REQUIRED TO CONTROL EROSION ON-SITE, TO BE USED TO SUPPLEMENT OR REPAIR EROSION CONTROL DEVICES. THESE MATERIALS SHALL INCLUDE, BUT ARE NOT LIMITED TO: HAYBALES, SILT FENCE AND CRUSHED STONE
4. THE CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL ON-SITE AND SHALL UTILIZE EROSION CONTROL MEASURES WHERE NEEDED, REGARDLESS OF WHETHER THE MEASURES ARE SPECIFIED HEREIN, ON THE PLAN OR IN ANY ORDERS.

PRELIMINARY SITE WORK
1. MATERIAL REMOVED SHOULD BE STOCKPILED, SEPARATING THE TOPSOIL FOR FUTURE USE ON THE SITE. EROSION CONTROL SHALL BE UTILIZED ALONG THE DOWNSLOPE SIDE OF THE PILES IF THE PILES ARE TO REMAIN MORE THAN 3 WEEKS.
2. STOCKPILES SHALL BE LOCATED WITHIN THE LIMITS OF DISTURBANCE, IN AREAS OF MINIMAL IMPACT. IF A STOCKPILE IS LOCATED ON A SLOPE, THE RUNOFF SHALL BE DIRECTED AWAY FROM THE PILE
3. IF INTENSE RAINFALL IS ANTICIPATED, THE INSTALLATION OF SUPPLEMENTAL HAYBALE DIKES, SILT FENCES, OR ARMORED DIKES SHALL BE UTILIZED.



SURVEY CLASSIFICATION:
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS I

DATA ACCUMULATION SURVEY: CLASS III
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES FOR A SINGLE FAMILY DWELLING.

BY: *[Signature]* DATE: 2/03/21
RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60



**RUSSO PLAT
SOIL EROSION AND
SEDIMENT CONTROL PLAN**

A.P. 363 / LOT 678 / PARCEL 'A'
169 UNION AVENUE
WARWICK, R.I. 02889
SCALE: 1"=10' DATE: OCTOBER 16, 2020
REVISION: DECEMBER 15, 2020 (AJB)
PREPARED FOR:

RWR REAL ESTATE INVESTMENT GROUP
18 BLUE RIDGE ROAD, CRANSTON R.I. 02920
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JOB NO. 9828 / DWG. NO. 9828 - SESC - (AJB)
SHEET: 4 OF 4
GRAPHIC SCALE / 1" = 10'

