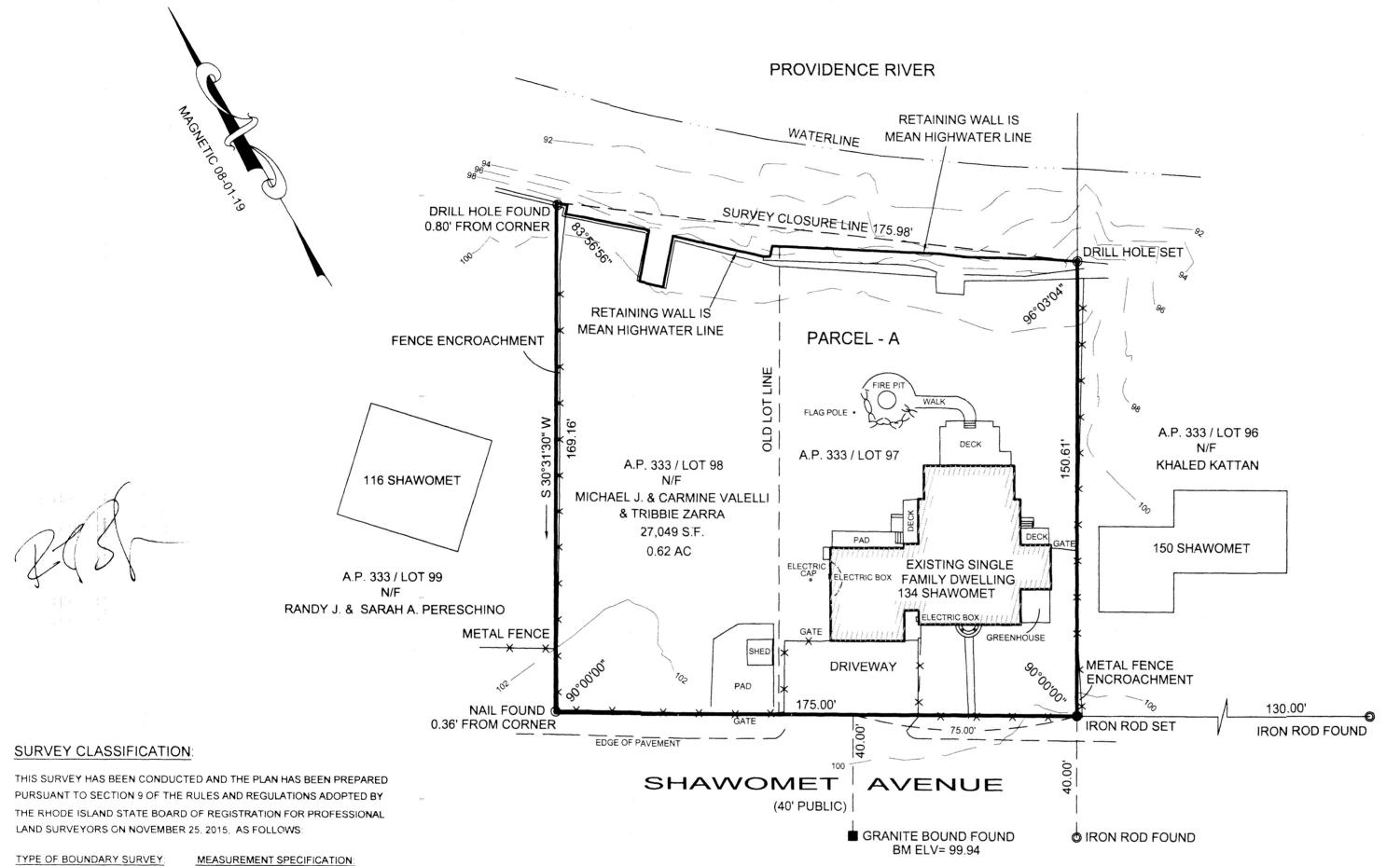
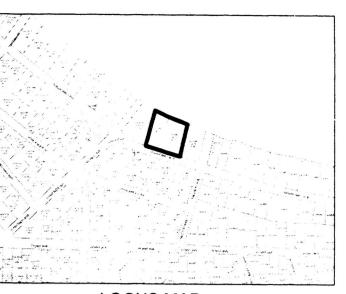
SHAWOMET AVENUE

STREET INDEX





LOCUS MAP

ZONING DISTRICT A-15

| MINIMUM LOT AREA | 15,000 S. |
|---------------------------|-----------|
| MINIMUM LOT FRONTAGE | 125 FT. |
| MINIMUM SETBACKS: FRONT | 30 FT. |
| SIDE | 20 FT. |
| REAR | 30 FT. |
| MAXIMUM STRUCTURE HEIGHT: | 35 FT. |
| MINIMUM LANDSCAPE | 15% |

REFERENCE:

DEED BK. 9300 / PG. 126 DESIGNATED AS LOTS 14 &15 ON PLAT ENTITLED: "PLAT OF SHAWOMET AVE. GREENE ST, & CONIMICUT AVE. & ADJACENT LANDS IN WARWICK, R.I. JULY 25, 1892" PLAT CARD 119

NOTE:

FEMA COMMUNITY PANEL 44003C0153H, 09/18/2013, ZONE AE.

OWNER:

MICHAEL J. & CARMINE VALELLI 350 PIPPIN ORCHARD ROAD CRANSTON, RI 02921

FINAL RECORD PLAT



ADMINISTRATIVE SUBDIVISION PLAN

VALELLI PLAT

A.P. 333 / LOT 97 & 98 134 SHAWOMET AVENUE WARWICK, R.I.

SCALE: 1"= 30' DATE: DECEMBER 11, 2019

MICHAEL J. VALELLI

350 PIPPIN ORCHARD ROAD CRANSTON, RI 02921

PREPARED BY:

OCEAN STATE PLANNERS, INC.

1255 OAKLAWN AVENUE, CRANSTON, RI 02920 PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 9489 / DWG. NO. 9489 - (JNP)

GRAPHIC SCALE / 1" = 30"

| | | | | | - | | |
|------|----|----|----|---|------|---|----|
| 30 | 60 | 90 | 11 | 7 | 1 | | |
| | | | | | Bank | 4 | i. |

DE 11: 2019

LIMITED CONTENT BOUNDARY SURVEY DATA ACCUMULATION SURVEY

CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:

TO ESTABLISH AND STAKE RECORD BOUNDARY LINES TO CREATE ONE LOT FROM

TWO EXISTING LOTS.

BY: RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60

HEREBY CERTIFY THAT HIS SURVEY WAS ACTUALLY MADE ON THE GROUND AS PER RECORD DESCRIPTION AND IS CORRECT THERE ARE NO ENCROACHMENTS EITHER WAY ACROSS PROPERTY LINES EXCEPT AS SHOWN.

LOTS DEPICTED ON THIS PLAT SHALL NOT BE ALTERED DIMENSIONALLY OR IN FORM, INCLUDING THE ENLARGEMENT OF LOTS OR MOVING OF ANY LOT LINE FOR ANY PURPOSE WHATSOEVER, WITHOUT FIRST FILING A NEW SUBDIVISION APPLICATION IN ACCORDANCE WITH THE CITY OF WARWICK DEVELOPMENT REVIEW REGULATIONS OF DECEMBER 31, 1995.

| A.P. 333 / LOT / PARCEL | OLD AREA | NEW AREA |
|-------------------------|-------------|-------------|
| LOT 97 | 15,278 S.F. | 0 |
| LOT 98 | 11,771 S.F. | 0 |
| PARCEL- A | 0 | 27,049 S.F. |