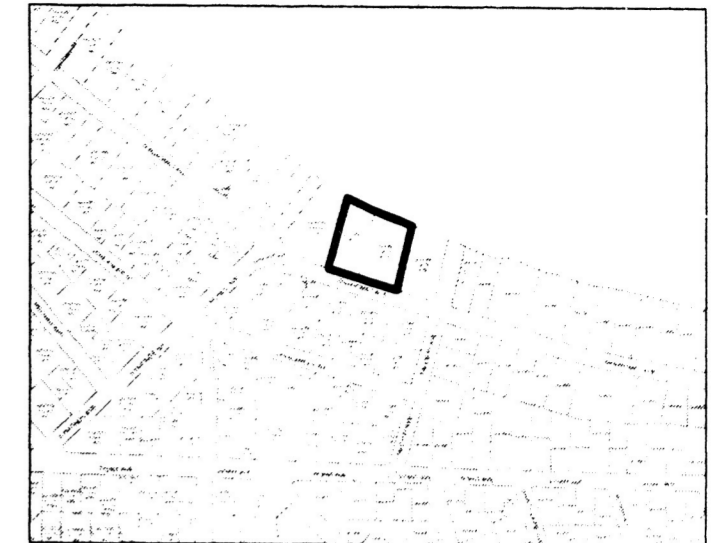
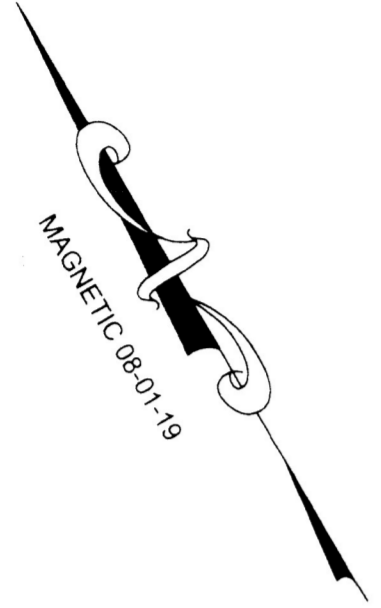


SHAWOMET AVENUE  
STREET INDEX



LOCUS MAP

ZONING DISTRICT A-15

MINIMUM LOT AREA	15,000 S.F.
MINIMUM LOT FRONTAGE	125 FT.
MINIMUM SETBACKS: FRONT	30 FT.
SIDE	20 FT.
REAR	30 FT.
MAXIMUM STRUCTURE HEIGHT:	35 FT.
MINIMUM LANDSCAPE	15%

REFERENCE:

DEED BK. 9300 / PG. 126 DESIGNATED AS LOTS 14 & 15  
ON PLAT ENTITLED: "PLAT OF SHAWOMET AVE.  
GREENE ST. & CONIMICUT AVE. &  
ADJACENT LANDS IN WARWICK, R.I.  
JULY 25, 1892" PLAT CARD 119

NOTE:

FEMA COMMUNITY PANEL 44003C0153H, 09/18/2013, ZONE AE.

OWNER:

MICHAEL J. & CARMINE VALELLI  
350 PIPPIN ORCHARD ROAD  
CRANSTON, RI 02921

FINAL RECORD PLAT

*[Signature]* 2/16/2021  
DATE

ADMINISTRATIVE SUBDIVISION PLAN

VALELLI PLAT

A.P. 333 / LOT 97 & 98  
134 SHAWOMET AVENUE  
WARWICK, R.I.

SCALE: 1"= 30' DATE: DECEMBER 11, 2019

PREPARED FOR:

MICHAEL J. VALELLI  
350 PIPPIN ORCHARD ROAD  
CRANSTON, RI 02921

PREPARED BY:

OCEAN STATE PLANNERS, INC.  
1255 OAKLAWN AVENUE, CRANSTON, RI 02920  
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JOB NO. 9489 / DWG. NO. 9489 - (JNP)

GRAPHIC SCALE / 1" = 30'

