

LOCATION MAP

GENERAL NOTES:

1. THE PARCEL OF LAND DESIGNATED AS LOT 208 ON TAX MAP 317 IS LOCATED IN THE CITY OF WARWICK, COUNTY OF KENT & STATE OF RHODE ISLAND.
2. SAID LOT IS IN AN X ZONE (MINIMAL ANNUAL FLOOD HAZARD) AS SHOWN ON FEMA MAP No. 44003C0132H WITH AN EFFECTIVE DATE OF 9/18/2013.
3. THE CURRENT ZONING FOR SAID PARCEL IS A-15.
 MINIMUM LOT AREA: 15,000 SQ. FT.
 MINIMUM LOT WIDTH/FRONTAGE: 125 FEET
 MINIMUM FRONT YARD SETBACK: 30 FEET
 MINIMUM REAR YARD SETBACK: 30 FEET
 MINIMUM SIDE YARD SETBACK: 20 FEET
4. THERE ARE NO WETLANDS SHOWN ON SAID PARCEL.
5. ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY FUTURE CONSTRUCTION.

REFERENCES:

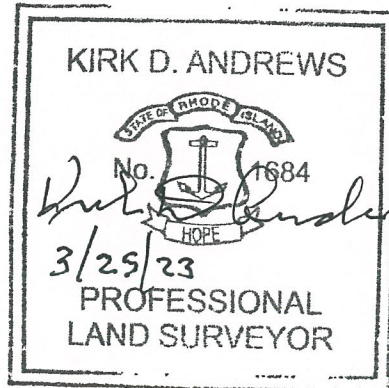
1. "NAUSAUKET BEACH PLAT, BETWEEN COLE'S AND CONIMICUT STATIONS, WARWICK, R.I., BELONGING TO JOHN E. CUMMINGS, SURVEYED AND PLATTED BY R.S. MOWRY, JULY 1893"
2. "E.T. SHELDON SHORE PLAT, WARWICK, R.I. BY J.A. LATHAM & SON, JUNE, 1915"
3. CITY OF WARWICK, R.I. DB 7032 PG 238.
4. CITY OF WARWICK, R.I. TAX MAP 360.
5. CITY OF WARWICK, R.I. GIS WEBSITE.
6. WWW.BING.COM

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

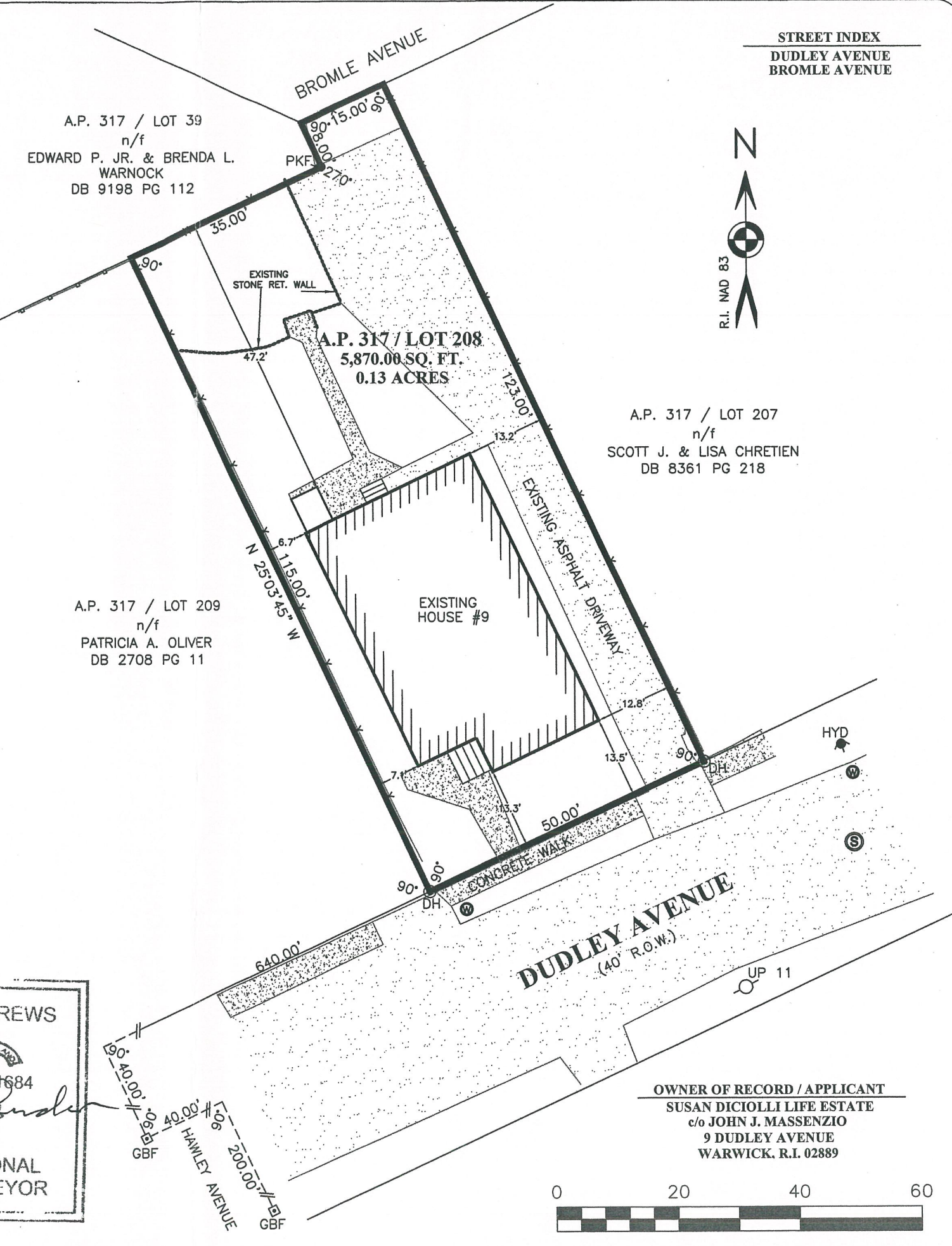
THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS TO ESTABLISH THE PERIMETER OF LOT 208 ON TAX MAP 317 SO TO PRODUCE AN EXISTING CONDITIONS MAP OF SAID PARCEL.

BY: *Kirk D. Andrews*
 KIRK D. ANDREWS PLS NO. 1684
 COA No.: 000A555



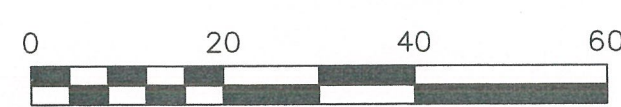
LEGEND

-X-X-	EXISTING CHAIN LINK FENCE
---o---	EXISTING VINYL FENCE
UP 11-O	EXISTING UTILITY POLE
PKF ●	"PK" NAIL FOUND
GBF □	GRANITE BOUND FOUND
DH ⊙	PROPOSED DRILL HOLE
⊙	WATER GATE
HYD ⊙	HYDRANT
⊙	SEWER MANHOLE



STREET INDEX

- DUDLEY AVENUE
- BROMLE AVENUE

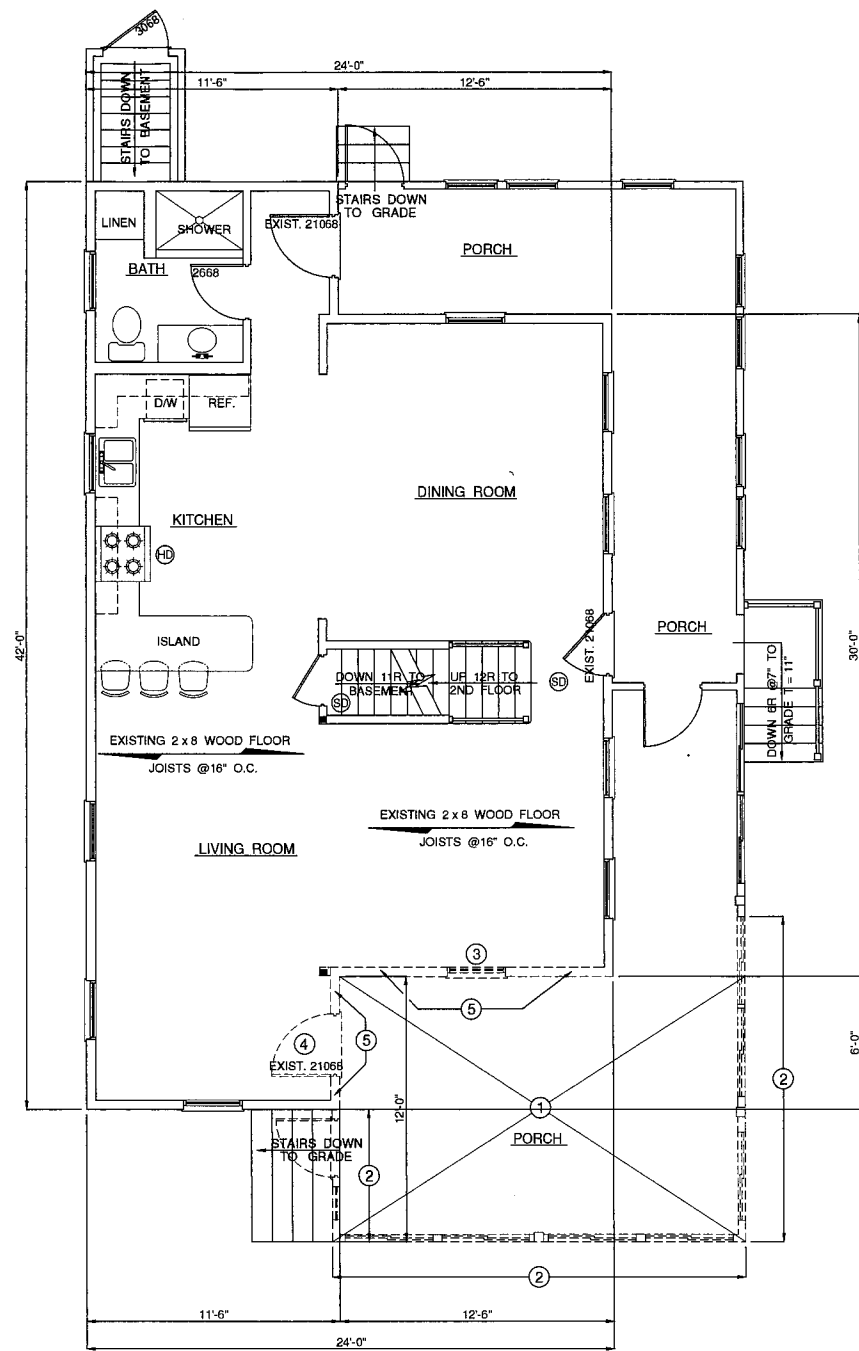


SURVEY & LOCATION PLAN
 PREPARED FOR
 JOHN J. MASSENZIO
 LOCATION
 9 DUDLEY AVENUE
 A.P. 317 / LOT 208
 WARWICK, RHODE ISLAND

Checked By:	K.D.A.	Drawn By:	E. J. I.
Scale:	1" = 20'	Date:	3-25-2023
REVISIONS			
NO.	REVISION	BY	DATE

E. GREENWICH
SURVEYORS, LLC
 LAND SURVEYING AND SITE PLANNING
 1050 MAIN STREET SUITE 31
 EAST GREENWICH, RHODE ISLAND 02818
 PHONE: (401) 339-2681 (401) 368-8574
 E-MAIL: KANDREWS1684@AOL.COM FAX: (401) 884-0017

#10893 - 9 Dudley Ave



EXISTING FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
(DEMOLITION PLAN)

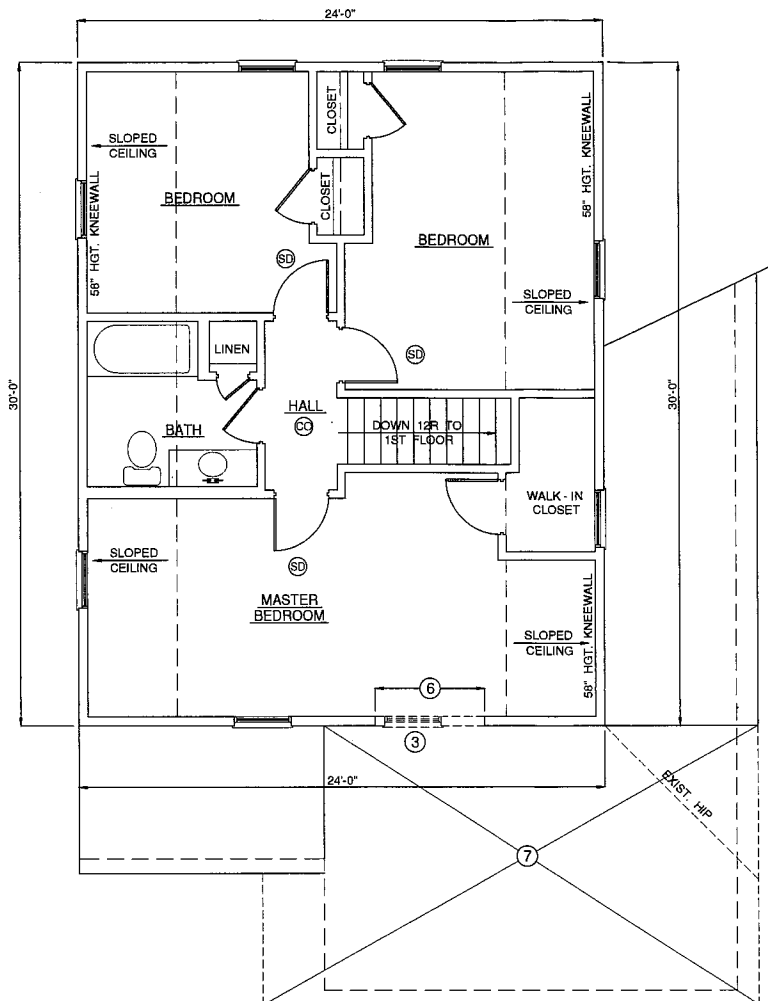


DEMOLITION NOTES:

- ① REMOVE AND DISPOSE OF EXISTING AREA OF SLOPED WOOD FRAMED PORCH FLOOR STRUCTURE.
- ② REMOVE AND DISPOSE OF EXISTING WOOD FRAMED EXTERIOR PORCH WALLS, WINDOWS & DOOR.
- ③ REMOVE AND DISPOSE OF EXISTING WINDOW UNIT
- ④ REMOVE AND DISPOSE OF EXISTING EXTERIOR DOOR.
- ⑤ REMOVE AND DISPOSE OF EXISTING 2x4 EXTERIOR WALL. PROVIDE AND INSTALL PROPER TEMPORARY SHORING OF EXISTING STRUCTURE PRIOR TO THIS DEMOLITION. TEMP SHORING SHALL REMAIN IN PLACE UNTIL PROPER STRUCTURAL SUPPORT IS INSTALLED PER NEW WORK.
- ⑥ CAREFULLY SAWCUT & REMOVE PORTION OF EXISTING 2x4 EXTERIOR WALL IN ORDER TO INSTALL NEW SLIDING GLASS DOOR AND HEADER PER NEW WORK. SHORING SHALL REMAIN IN PLACE UNTIL PROPER
- ⑦ REMOVE AND DISPOSE OF EXISTING FRONT ROOF STRUCTURE INCLUDING ASPHALT SHINGLES, SHEATHING, RAFTERS, CEILING JOISTS AND INTERIOR CEILING FINISHES.

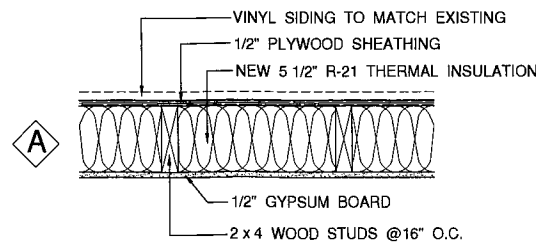
LEGEND

- EXISTING PARTITION TO REMAIN
- - - - - EXISTING TO BE REMOVED
- ▨ NEW PARTITION
- ⬇ SECTION / DETAIL SEE LOWER NO. FOR DRAWING LOCATION
- ◇ PARTITION DETAIL SEE THIS DRAWING
- Ⓢ SMOKE / FIRE DETECTOR
- Ⓢ SMOKE / FIRE / CARBON MONOXIDE DETECTOR
- Ⓢ HEAT DETECTOR
- ③ FLOOR FRAMING NOTE SEE DRAWING A-2



EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
(DEMOLITION PLAN)

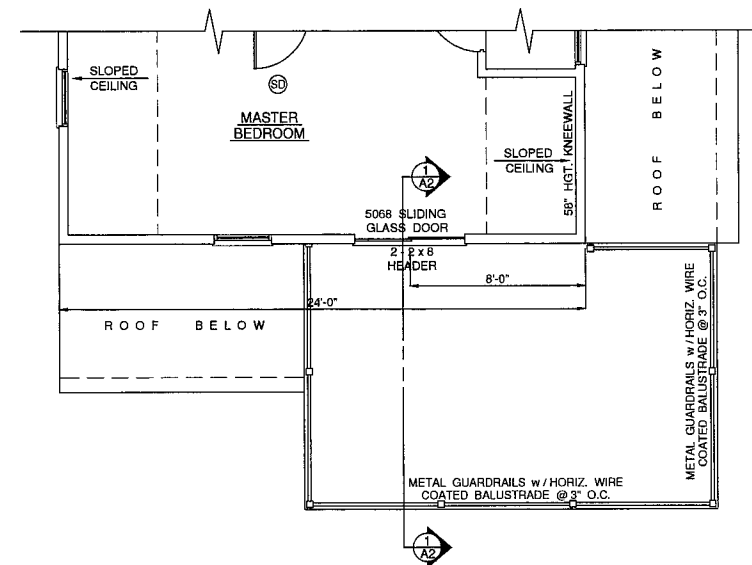
WINDOW SCHEDULE					
DESIG. #	QTY.	MANUFACTURER / SERIES NO.	WINDOW TYPE	MINIMUM ROUGH OPENING	NOTES
G45	2	ANDERSEN / 400	SINGLE DBL. HUNG	4'-0" x 5'-0"	RIGHT SIDE
G55	3	ANDERSEN / 400	SINGLE DBL. HUNG	5'-0" x 5'-0"	FRONT
ALL WINDOW GLAZING TO BE LOW "E" - MIN. U - FACTOR : 0.27					



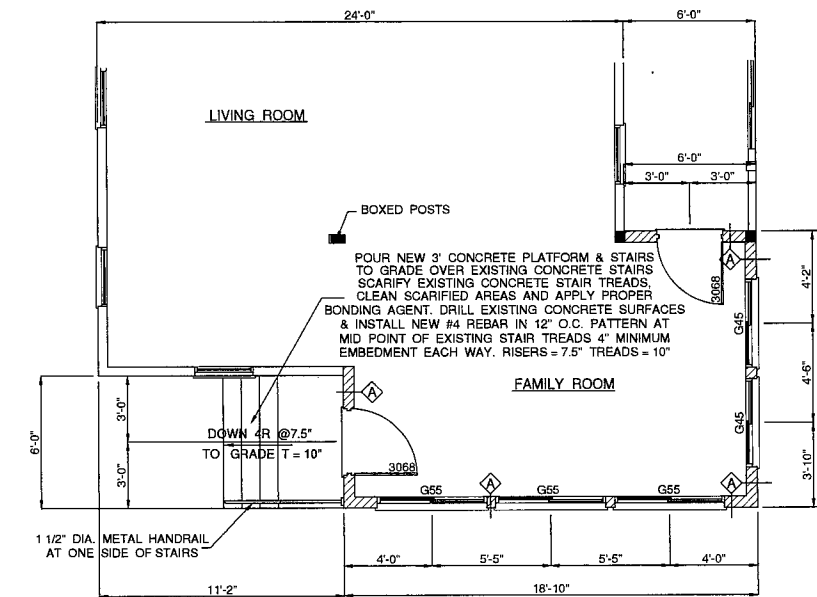
PARTITION DETAIL
SCALE: 1 1/2" = 1'-0"

GENERAL NOTES:

- 1. ALL WORK SHALL BE IN DONE IN ACCORDANCE WITH RISBC-2 ONE AND TWO FAMILY DWELLING CODE. (2022)
- 2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL CONDITIONS AND DIMENSIONS AS THEY RELATE TO NEW CONSTRUCTION.
- 3. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING OF THE EXISTING STRUCTURE DURING BOTH DEMOLITION AND NEW WORK.



PARTIAL PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



PARTIAL PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

Project :
**PROPOSED 2ND FLOOR FRONT DECK
ON EXISTING 2 - STORY, 1 - FAMILY
DWELLING**

**9 DUDLEY AVENUE
WARWICK, R.I.**

Greg W. Bagian
(401)-464-2601

Date : 12/19/22

Scale : As Noted

Drawn by : GB

A.P. : 317

Lot No. : 208

Revision : Date :

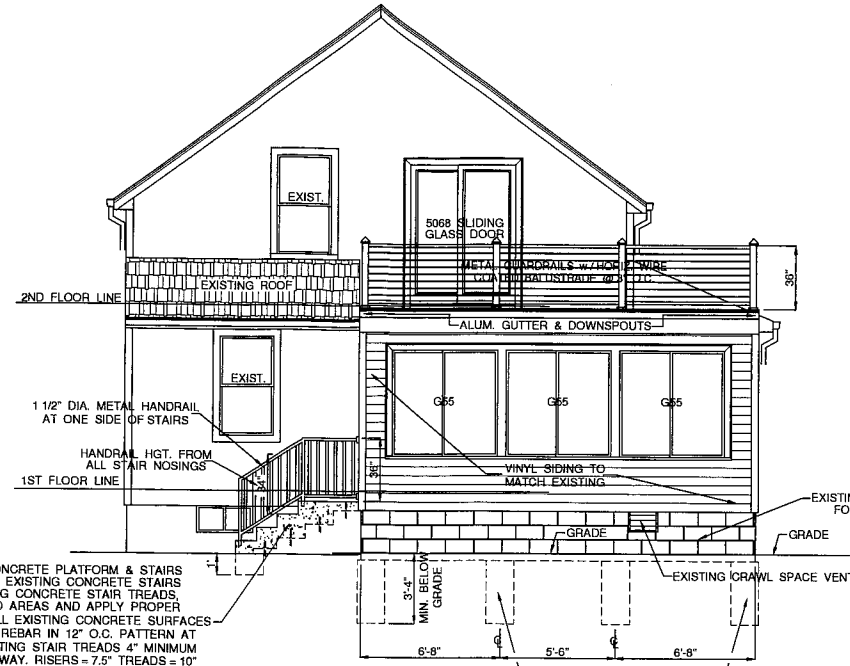
Drawing No. :

A1

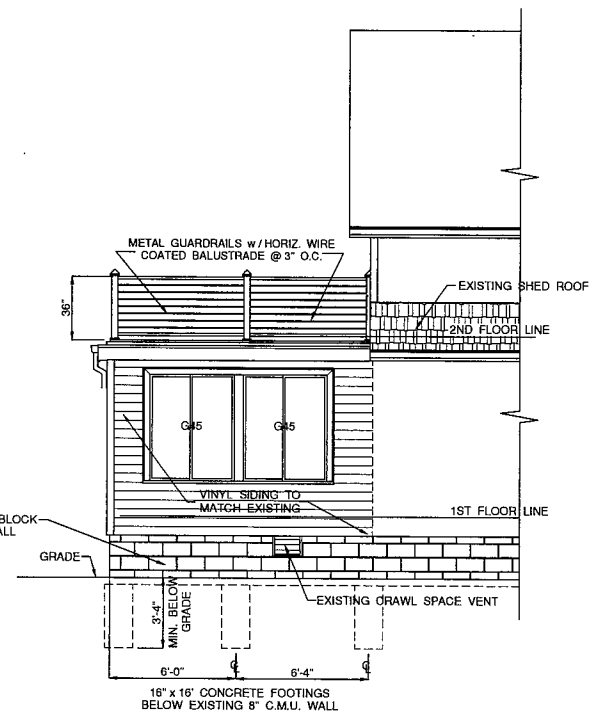
1 OF 2 DWGS.



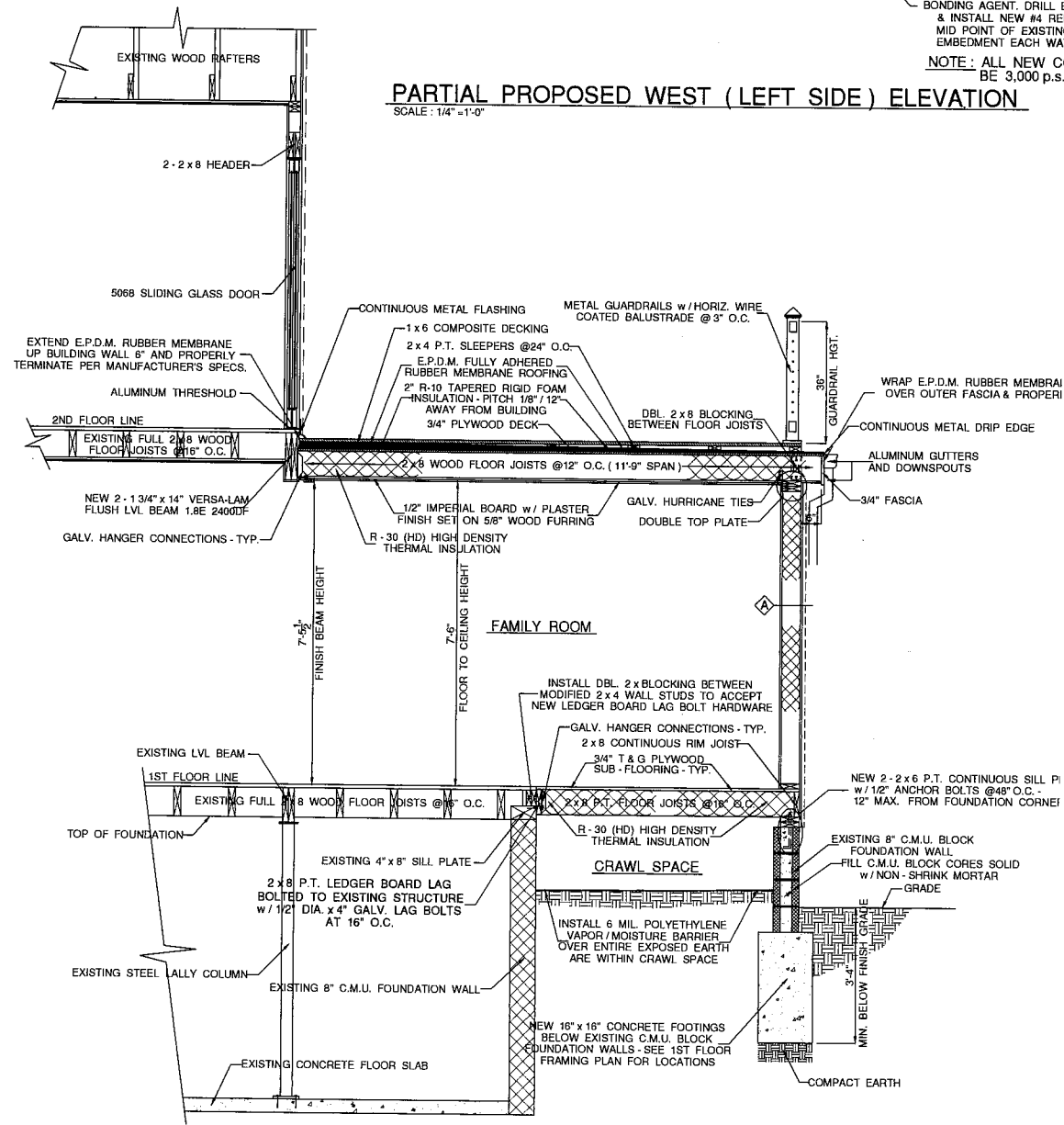
PARTIAL PROPOSED WEST (LEFT SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



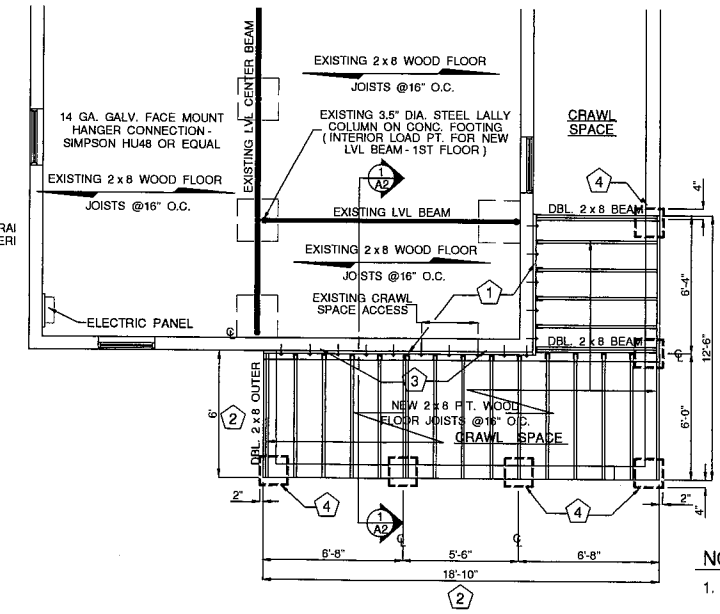
PROPOSED SOUTH (FRONT) ELEVATION
(FACING DUDLEY AVENUE)
SCALE: 1/4" = 1'-0"



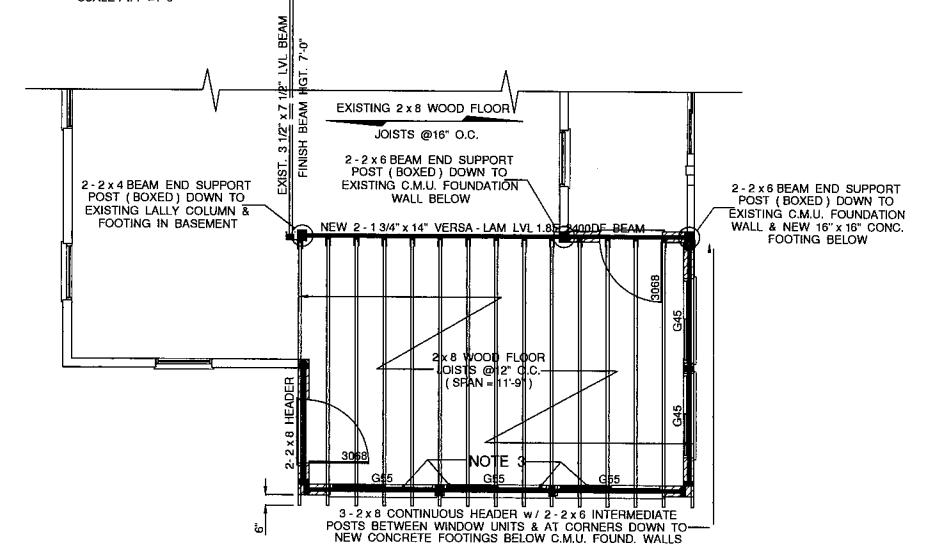
PARTIAL PROPOSED EAST (RIGHT SIDE) ELEVATION
SCALE: 1/4" = 1'-0"



TYPICAL SECTION THRU PROPOSED FRONT DECK STRUCTURE
SCALE: 1/2" = 1'-0"



PROPOSED 1ST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



PROPOSED 2ND FLOOR DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"

NOTES:

1. INSULATE CRAWL SPACE w/ R-30 (HD) HIGH DENSITY THERMAL INSULATION w/ R-10 RIGID INSULATION ABOVE = R-40.
2. INSTALL 6 MIL. POLYETHYLENE VAPOR/MOISTURE BARRIER OVER ENTIRE EXPOSED EARTH AREA WITHIN EXISTING CRAWL SPACE BELOW NEW LIVING SPACE.
3. INSTALL DOUBLE 2x8 BLOCKING BETWEEN NEW FLOOR JOISTS AT OUTER FRONT WALL.

GENERAL FRAMING NOTES:

- A. ALL NEW FRAMING LUMBER GRADE SHALL BE SPRUCE-PINE FIR GRADE NO. 1/NO. 2.
- B. ALL NEW FLOOR JOISTS TO NEW LVL BEAM SHALL HAVE GALVANIZED JOIST HANGER CONNECTIONS.

FLOOR FRAMING NOTES:

1. 2x8 P.T. LEDGER BOARD LAG BOLTED TO EXISTING STRUCTURE w/ 1/2" DIA. x 4" GALV. LAG BOLTS @ 16" O.C.
2. INSTALL NEW 2-2x6 P.T. SILL PLATE ATOP OF EXISTING 8" C.M.U. BLOCK WALL. INSTALL 1/2" DIA. GALV. ANCHOR BOLTS AT 48" O.C. - 12" MAX. FROM FOUNDATION CORNERS. FILL EXISTING BLOCK CORES SOLID w/ NON-SHRINK GROUT AT ALL NEW ANCHOR BOLTS LOCATIONS.
3. INSTALL NEW DBL. 2x BLOCKING BETWEEN EXISTING REMAINING PORTION OF MODIFIED 2x4 BALLOON FRAMED WALL STUDS AS REQUIRED TO ACCEPT NEW LEDGER BOARD LAG BOLT HARDWARE.
4. INSTALL NEW 16" x 16" CONCRETE FOOTINGS BELOW EXISTING 8" C.M.U. BLOCK FOUNDATION WALLS WHERE SHOWN ON PLAN. MINIMUM FOOTING DEPTH 3'-4" BELOW FINISH GRADE. FILL EXISTING C.M.U. BLOCK CORES SOLID w/ NON-SHRINK GROUT (ABOVE NEW FOOTINGS).

GENERAL FRAMING NOTES:

- A. ALL NEW FRAMING LUMBER GRADE SHALL BE NO. 2 SOUTHERN YELLOW PINE - PRESSURE TREATED.
- B. ALL NEW FLOOR JOISTS TO LEDGER BOARD AND/BEAM SHALL HAVE GALVANIZED JOIST HANGER CONNECTIONS.

Project :		Date :	12/19/22
PROPOSED 2ND FLOOR FRONT DECK ON EXISTING 2-STORY, 1-FAMILY DWELLING		Scale :	As Noted
9 DUDLEY AVENUE WARWICK, R.I.		Drawn by :	GB
Greg W. Bagian (401)-464-2601		A.P. :	317
Revision :		Lot No. :	208
Date :		Drawing No. :	A2
		2 OF 2 DWGS.	