

PASSEONKQUIS COVE

APPROXIMATE MEAN HIGH WATER

- REFERENCES:**
1. CITY OF WARWICK, R.I. DB 8847 PG 209
  2. CITY OF WARWICK, R.I. GIS WEBSITE.
  3. WWW.BING.COM



LOCATION MAP

**GENERAL NOTES:**

1. THE PARCEL OF LAND DESIGNATED AS LOT 58-9543 ON TAX MAP 19 IS LOCATED IN THE CITY OF WARWICK, COUNTY OF KENT & STATE OF R.I..
2. SAID PARCEL IS LOCATED IN AN X ZONE (MINIMAL FLOOD AREA) AS SHOWN ON FEMA FLOOD MAP No. 44003C0132H EFFECTIVE DATE 9/18/2013.
3. ANY UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND SHOULD BE VERIFIED PRIOR TO ANY FUTURE CONSTRUCTION.
4. THERE ARE NO WETLANDS ON THIS PARCEL.

**STREET INDEX  
LANE ONE**

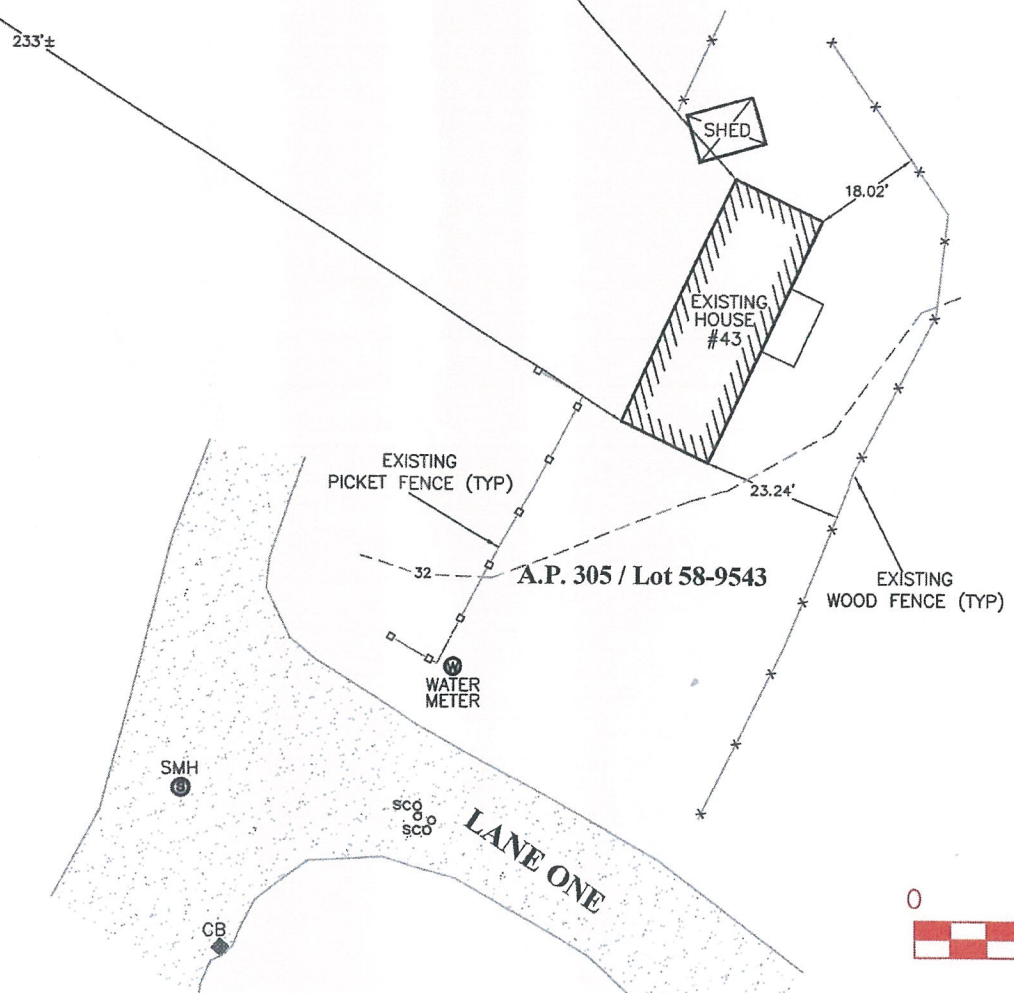
THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015 AS FOLLOWS:

<u>TYPE OF BOUNDARY SURVEY:</u>	<u>MEASUREMENT SPECIFICATION:</u>
COMPILATION PLAN	CLASS IV

THIS COMPILATION PLAN HAS BEEN PREPARED FROM SOURCES OF INFORMATION AND DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITATIVE FIELD SURVEY MAY DISCLOSE."

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN WAS TO SHOW THE EXISTING CONDITIONS OF THIS PARCEL.

BY: *Kirk D. Andrews*  
 KIRK D. ANDREWS PLS NO. 1684  
 COA No.: 000A555



**SURVEY & LOCATION PLAN**

PREPARED FOR  
 SPRING GREEN AT GASPEE POINT, LLC

LOCATION  
 43 LANE 1  
 A. P. 305 / LOT 58-9543  
 WARWICK, RHODE ISLAND

Checked By: K.D.A.	Drawn By: E. J. I.	
Scale: 1" = 30'	Date: 5-7-2023	
REVISIONS		
NO.	REVISION	DATE

**E. GREENWICH  
 SURVEYORS, LLC**  
 LAND SURVEYING AND SITE PLANNING  
 1050 MAIN STREET SUITE 31  
 EAST GREENWICH, RHODE ISLAND 02818  
 PHONE: (401) 339-2681 (401) 368-8574  
 E-MAIL: KANDREWS1@GMAIL.COM FAX: (401) 884-0017

Sheet **1**  
of **1** sheets

#10899- 43 Lane 1



SHEET LIST		
ORDER	SHEET NUMBER	SHEET NAME
1	A-001	TITLE SHEET
2	A-002	SPECIFICATIONS
3	A-101	BASEMENT / FDN. PLAN
4	A-102	FIRST FLOOR PLAN
5	A-103	ROOF PLAN
6	A-201	EXTERIOR ELEVATIONS
7	A-202	EXTERIOR ELEVATIONS
8	A-203	WINDOW DETAILS
9	A-301	CROSS SECTIONS
10	A-302	CROSS SECTIONS
11	S-101	FOUNDATION DETAILS
12	S-102	FLOOR FRAMING PLAN
13	S-103	ROOF FRAMING PLAN
14	S-104	DECK DETAILS

# NEW HOME 43 LANE 1 WARWICK, RI



100 MAYFLOWER DRIVE  
SEEKONK, MA 02771  
TEL 508-336-7147 FAX 508-336-9105

1. ALL CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THE PROJECT INCLUDING BUT NOT LIMITED TO THE 2013 STATE OF RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE.
2. BECAUSE THERE WILL BE NO PROJECT SUPERVISION BY THE DESIGNER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO INSURE COMPLIANCE WITH ALL CODES AND MODIFY THE SPECIFICATIONS AS NEEDED TO COMPLY WITH SUCH CODES.
3. DESIGNER OF THESE PLANS SHALL NOT BE HELD LIABLE FOR ANY DEVIATION AND/OR MODIFICATIONS TO DRAWINGS BY THE OWNER AND/OR HIS CONTRACTOR AND/OR SUB-CONTRACTORS.

## GENERAL REQUIREMENTS:

- 1.1 Scope of Work - All materials shall be installed in strict accordance with the manufacturer's written specifications or Material's Institute Standards. Where the manufacturer's recommended details are used, the manufacturer shall be responsible for the performance of their product. All items not specifically mentioned that are required to make the work complete and operational shall be included.
- 1.2 Codes - Construction shall comply with the 2013 EDITION OF THE RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE AND ALL LOCAL CODES AND ORDINANCES. Because there will be no project supervision by the designer and engineer, it is the responsibility of the Contractor and Owner to insure compliance with said codes and modify the specifications as needed to comply with such codes.
- 1.3 Measurements - The Contractor shall check and verify all dimensions and conditions before proceeding with construction. Do not scale drawings. Noted dimensions take precedence.
- 1.4 Workmanship - Workmanship shall conform to the best and highest standards of quality in each trade and shall include all items of fabrication, construction and installation. All work shall be completed by skilled tradesmen and mechanics. Installation of all equipment and materials shall be in strict accordance with manufacturers recommendations.

## GENERAL NOTES:

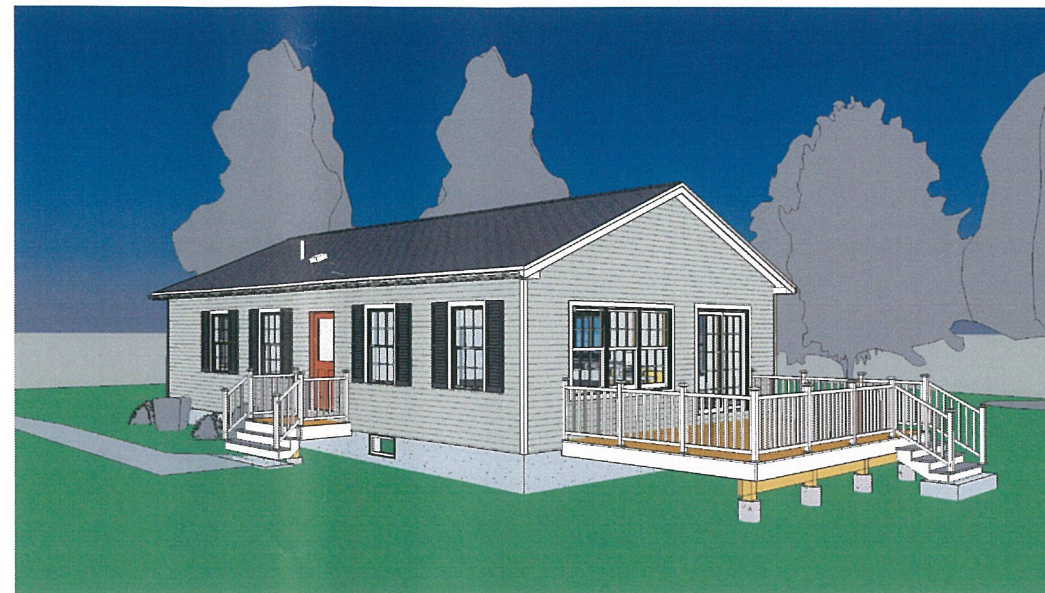
1. BEFORE COMMENCING ANY WORK THE CONTRACTOR SHALL VERIFY ALL GRADES, LOCATIONS, DIMENSIONS AND EXISTING CONDITIONS INDICATED ON THE DRAWINGS. ANY DISCREPANCIES OR COORDINATION CONFLICTS SHALL BE IMMEDIATELY RESOLVED PRIOR TO PROCEEDING WITH ANY WORK.
2. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND DESIGNER OF ANY UNFORESEEN CONDITIONS OR PROBLEMS REQUIRING DEVIATION FROM THE CONTRACT DOCUMENTS.
3. DETAILS, NOTES, AND FINISHES SHALL BE APPLICABLE TO ALL TYPICAL CONDITIONS AND ARE NOT REFERENCED AT ALL LOCATIONS WHERE THEY OCCUR.
4. DIMENSIONS ARE TO FACE OF CONCRETE OR MASONRY OR TO FACE OF STUD UNLESS NOTED OTHERWISE.
5. THE CONTRACTOR SHALL SECURE AND PAY FOR ALL BUILDING PERMITS, FEES, INSPECTIONS, TESTING SERVICES, AND ATTAIN ALL APPROVALS NECESSARY FOR CONSTRUCTION AND PROPER EXECUTION OF THE WORK AND COMPLETION OF THE CONSTRUCTION UNLESS SPECIFICALLY NOTED OTHERWISE.
6. ALL DISPOSAL OF WASTE FROM THIS PROJECT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE IN COMPLIANCE WITH ALL LOCAL, STATE, FEDERAL, AND ENVIRONMENTAL LAWS AND REGULATIONS.
7. DESIGNER OF THESE PLANS SHALL NOT BE HELD LIABLE FOR ANY DEVIATION AND/OR MODIFICATIONS TO DRAWINGS BY THE OWNERS AND/OR THE CONTRACTOR AND SUB-CONTRACTORS.

INSULATION SHALL BE INSTALLED PER THE REQUIREMENTS OF THE 2013 INTERNATIONAL ENERGY CONSERVATION CODE:

**R402.2.1 CEILINGS WITH ATTIC SPACES:** R-38 MIN. WHENEVER THE FULL HEIGHT OF UNCOMPRESSED INSULATION EXTENDS OVER THE TOP PLATES AT THE EAVES. R-49 MIN. INSULATION SHALL BE REQUIRED THROUGHOUT WHEN INSULATION IS COMPRESSED AT THE EAVES.

FLOORS OVER UNCONDITIONED SPACES: R-30 MIN.  
CATHEDRAL CEILINGS: R-30 MIN.

CLIMATE ZONE:	5
FENESTRATION U-FACTOR:	0.35
SKYLIGHT U-FACTOR	0.60
CEILING R-VALUE	R-30 OR R-49
WOOD FRAME WALL R-VALUE	R-21
MASS WALL R-VALUE	R- 13/17
FLOOR R-VALUE	R- 30
BASEMENT WALL R-VALUE	R-10/13 WHEN FINISHED
SLAB ON GRADE R-VALUE	R-10 FOR 2FT. WHEN HEATED
CRAWL SPACE WALL R-VALUE	R-10/13



## MECHANICAL:

HEATING, VENTILATION AND AIR CONDITIONING TO BE DESIGNED AND SPECIFIED BY HVAC CONTRACTOR - HVAC SHALL BE A FULLY OPERATIONAL SYSTEM DESIGNED TO MEET LOCAL WEATHER CONDITIONS AND BUILDING REQUIREMENTS. ALL PERMITS AND INSPECTIONS SHALL BE OBTAINED BY HVAC CONTRACTOR AS REQUIRED BY APPLICABLE BUILDING CODES. CONTRACTOR TO REVIEW H.V.A.C. SYSTEM WITH HOME OWNER AND DETERMINE REQUIREMENTS AND OPTIONS.

## PLUMBING:

ALL PLUMBING IS TO BE DESIGNED AND SPECIFIED BY PLUMBING CONTRACTOR - PLUMBING SHALL BE A FULLY OPERATIONAL SYSTEM DESIGNED TO MEET PLUMBING CODE REQUIREMENTS. ALL PERMITS AND INSPECTIONS SHALL BE OBTAINED BY PLUMBING CONTRACTOR AS REQUIRED BY APPLICABLE BUILDING CODES. CONTRACTOR TO REVIEW PLUMBING SYSTEM WITH HOME OWNER AND DETERMINE REQUIREMENTS AND OPTIONS.

## ELECTRICAL:

TO BE DESIGNED AND SPECIFIED BY ELECTRICAL CONTRACTOR CONTRACTOR SHALL REVIEW CONSTRUCTION DRAWINGS AND PROVIDE LABOR AND MATERIALS PERTAINING TO THE ELECTRICAL SYSTEM AS REQUIRED WHILE COMPLYING WITH ALL APPLICABLE BUILDING CODES, LOCAL UTILITY REQUIREMENTS AND BUILDING RESTRICTIONS. PROVIDE NECESSARY CIRCUITS AND WIRING FOR ALL LIGHT FIXTURES AND DEVICES. ALL LIGHTING SHALL BE SWITCHED AS REQUIRED TO MEET OWNER'S REQUIREMENTS. EXACT LOCATIONS OF FIXTURES SHALL BE COORDINATED WITH OWNER ON SITE.

## SYMBOLS LEGEND

	ELEVATION SYMBOL
	WALL TYPE SYMBOL
	WINDOW SYMBOL
	DOOR SYMBOL
	KEYNOTE SYMBOL
	DETAIL SYMBOL
	SECTION SYMBOL
	INTERIOR ELEVATION SYMBOL
	ROOM NAME AND NUMBER

No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

## TITLE SHEET

Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC
<b>A-001</b>	
Scale	1/4" = 1'-0"



## SITWORK

General - Contractor shall review construction documents and provide necessary site work, excavation and grading as required to construct said project.

02230 - Site Clearing - Clear and grub the construction site. Grade building site with appropriate soils. Existing trees to remain shall be marked prior to clearing and protected to prevent damage. If any damage is done to walkways, driveways, etc, needed repairs shall be provided by the contractor. Repair or replace any damaged vegetation or terrain that is indicated to be protected or is more than eight feet from the edge of any construction.

Soil Bearing - Foundation designs are based on a soil bearing value of 3000 psf. Foundations and slabs are designed to uniformly bear on well-compacted, well-drained non-expansive soils. If necessary, a certified soils engineer shall review foundation designs and building loads and compare with subsurface soil investigation. Should on-site observations show that foundation designs are not satisfactory, a structural engineer should be contacted immediately to redesign foundations to accommodate conditions.

02270 - Slope Protection and Erosion Control - Clear the top layer of soil and place in a designated area for use at the end of the project. Provide swales with positive outfall, and slope grade away from building to allow water to drain away from the foundation. Backfill around building with subsoil graded free of lumps larger than 6", rocks larger than 3" and debris. Keep finished grade elevations a minimum of 8" below top of foundation elevations (see construction drawings for exact locations. Do not backfill against foundation, until home is completely framed and roof structure is in place.

02300 - Earthwork - Excavate bottom of all foundation walls and footings at building perimeter a minimum of 12" below frost line. Base of footings shall extend down to undisturbed virgin soil which has been compacted to 95 percent proctor density. All excavation shall be to a level below existing demolition debris. Board form all footings as required by soil conditions.

For basement walls, excavate area indicated on construction documents, allowing an additional 18" minimum clearance around the perimeter of foundation walls for proper drainage and waterproofing assembly.

At slab: compact sub-grade under slabs to a minimum 95% density. Compact backfill areas not under slabs or foundation to a minimum 90% ASTM D-689. Sub-base directly under concrete slabs on grade shall be a minimum of four inches of compacted granular fill.

02510 - Utility Services - Install necessary utility services, such as electricity, water, gas and oil, sanitary sewerage and support structures for power and communications. Coordinate requirements with local utility providers. All utility locations shall be coordinated and determined with Spring Green prior to installation.

02621 - Foundation Drainage - Install a minimum 4" slotted drain pipe with a positive outflow around exterior basement wall footings, imbedded in a loose fill gravel, minimum 12" deep. Slotted drain pipe should be wrapped with an appropriate geo-technical fabric to prevent silt buildup. Install other drains necessary for positive site drainage.

02700 - Final Grading - Keep exterior finished grade a minimum of 12" below top of foundation elevation by backfilling with appropriate soils. Provide swales with positive outfall and slope grade away from building to allow water to drain away from the building foundation. Do not backfill against foundation until project is completely framed and roof structure is in place.

02751 - Concrete Pads and Walks - Provide light duty paving at automobile parking areas consisting of a 4" thick slab on sub-grade compacted to 98 percent density with 3000 psi concrete. Consult site plan for additional information. Expansion joints shall be installed as in standard concrete practices. Control joints shall be installed at pre-determined locations no later than 12 hours after installation.

02900 - Landscaping - by owner

## THERMAL & MOISTURE PROTECTION

General - Contractor shall review construction documents and provide labor and materials pertaining to thermal and moisture protection work as required in said documents and as specified herein, while complying with all applicable building codes.

07100 - Waterproofing & Dampproofing - All joints and penetrations in walls, floors, and roofs shall be made watertight using approved methods and materials. Waterproofing and dampproofing recommendations contained herein are minimum.

Slab Foundations - Install a minimum (6 mil) polyethylene vapor barrier under all slabs, directly underneath concrete. Lap joints not less than 12 inches and tape and seal in accordance with manufacturers guidelines.

Basement Walls - Install necessary waterproofing material system to exterior basement walls and foundation surfaces, from a point 12" below the lowest slab to not less than 6" above finish grade. Install as recommended by manufacturers guidelines. Install a minimum 4" slotted drain pipe with a positive outflow around exterior basement wall footings, imbedded in a loose fill gravel, minimum 12" deep. Slotted drain pipe should be wrapped with an appropriate geo-technical fabric to prevent silt buildup. Install other drains necessary for positive site drainage.

07200 - Insulation - Effective R values shall be in accordance with local and state energy codes. Floor, walls and ceilings insulation shall be constructed with closed cell spray foam insulation. All plumbing chases in interior and exterior walls shall be insulated with insulation for sound attenuation.

Exterior Walls - Wall insulation shall be 5 1/2" fiberglass batts with vapor retarder with a min. R value of R-21 at 2x6 walls.

Floors - Between basement and first floor, 9 1/2" fiberglass batts with a min. R value of 30

Ceilings - Attic insulation shall be 12" fiberglass batts with vapor retarder with a min. R value of 38 if energy trusses are used. R-49 if no energy trusses are used.

7320 - Roofing - Provide and install roof system in accordance with all applicable building codes and manufacturers guidelines.

07250 - Felt - On all roof surfaces install a minimum 15# asphalt impregnated roofing felt. Overlap felt a minimum of 4" vertically and 12" horizontally. Continue felt 6" up all vertical surfaces and 4" over gutter and valley metal. Fasten all edges with large headed galvanized nails on 6" centers.

07310 - Asphalt Shingles - Provide 30 year Certainteed asphalt architectural shingles over one layer of 15# felt. Shingle Color to be selected by owner.

07460 - Exterior Siding - Provide and install exterior vinyl siding in accordance with applicable building codes and manufacturers guidelines.

Exterior Siding - Install 30 year warranty horizontal vinyl siding over Tyvek polyethylene vapor barrier between the sheathing and siding at exterior walls. Provide all necessary starter strips, drip cap, corner detailing, etc. required by manufacturer and as stated in construction documents.

Finishes: Color to be selected by owner

Siding: vinyl clapboard siding

07620 - Flashing and Sheet Metal - Install appropriate flashing at all joints of chimneys, dormers, walls, vent pipes and other connection points to prevent the infiltration of water. Flashing shall be assembled of 26 gauge minimum galvanized, corrosion resistant sheet metal. Valleys shall be wrapped with 20" wide galvanized flashing and extend 10" in each direction from center-line of valley. Use 4" wide x 4" high x 10' long galvanized flashing between wall siding and roof surfaces and step flashing between masonry and roof surfaces.

If copper is used, install 16 ounce hard copper.

07720 - Roof Accessories

Vents - Proper roof ventilation requires a minimum 1 sq inch of vent area for every 2.08 square feet of attic floor area. Provide a minimum of 144 square inches of free air ventilation for every 3000 square feet of attic floor area. 50% of the roof ventilation should be located adjacent to the roof peak with the other 50% located in the soffit area under the eaves to provide natural convection throughout the attic area. Check ventilation requirements with roof system manufacturer.

Ridge Vents - Install ridge vents at top of ridge for the removal of heated attic air. See construction documents for location.

Gutters and Downspouts - Install 5" wide aluminum gutters and 2x3" downspouts. Attach with straps and/or fasteners.

Termite Shield - At pier and perimeter foundations, install continuous flashing on all sides and top surface to prevent sub-terrain termites from penetrating the wood structure.

07920 - Caulking and Sealants - Use a 50 year warranty silicon based caulk at high expansion/compression areas, such as around chimneys, tile, ceramic, and around enamel and pre-fabricated tubs and showers. For exterior windows, door frames, interior trim, woodwork and other paintable surfaces use a clear Latex based caulk. Color shall match wood stain or paint.

## DOORS & WINDOWS

General - Contractor shall review construction documents and provide labor and materials pertaining to the doors and windows as required in said documents and as specified herein, while complying with all applicable building codes. In all sleeping areas provide an operable egress standard window or door directly to exterior.

08000 - Doors:

Exterior Doors - All exterior doors shall be solid core, insulated steel and swing inside with weather-tight thresholds. Install weather-stripping around all doors. All doors to be selected by owner. Contractor to provide allowances.

08640 - Sliding glass Doors - Andersen 400 series, insulated glass door with weather-tight thresholds. Door hardware to be selected by owner.

08210 - Interior Doors - Interior doors shall be pre-hung split-jamb units, including casing on both sides of the door. Casing shall be poplar wood as shown on drawings for paint finish or as selected by owner.

Type: Solid Core  
Style: Standard  
Type: Raised Panel  
Material: Molded wood fiber  
Specify: Jeld-Wen series or as selected by owner

08370 - Thresholds - Provide and install thresholds and appropriate door sweeps at exterior doors.

08710 - Door Hardware - Finish hardware shall include keyed deadbolt locksets at all exterior doors. Interior doors shall be a combination of privacy and passage locks. All hardware to be furnished and installed by contractor.

08500 - 08630 - Windows

Confirm that openings are compliant with all applicable building codes concerning egress, lighting and ventilation requirements. Temper all glass located within 2'-0" from exterior doors, all glass in doors and above tub enclosures. Provide and install necessary windows and appropriate hardware to operate and lock windows. Bedroom windows shall comply with Code requirements for emergency escape with appropriate egress hardware. Minimum net clear opening shall be per code, minimum net clear width shall be 20", minimum net clear height shall be 24" and sill height shall not exceed 24" above floor. All windows are to be by Andersen 400 series. Color: White

Screens - Exterior frames shall be a white finish with joints welded and sanded smooth. Wire mesh shall be fiberglass. Screens will be installed for easy removal as recommended by manufacturer's guidelines.

## FINISHES

General - Contractor shall review construction documents and provide labor and materials pertaining to the finishes as required in said documents and as specified herein, while complying with all applicable building codes.

All interior finishes are to be selected by owner. Contractor to provide square foot allowances in base for each finish as determined by owner.

09250 - Gypsum Wallboard - Gypsum board must be held firmly against the framing while fastening to avoid later movement of gypsum board on the shank of the nails or screws.

Nails or Screws: Nails and screws shall be a minimum 3/8" and a maximum of 1/2" from edges and ends of wallboard and the heads shall be seated slightly below the surface without breaking the paper. Nails shall be spaced not to exceed 7" on ceilings or 8" on sidewalls. Head diameter shall be a nominal 1/4" with the length 1 1/2" to penetrate a minimum of 7/8" into nailing member. Nails shall meet the minimum requirements of ASTM C514 and may include coated, etched treated or annular ring shanks to improve withdrawal resistance. Drywall screws shall meet the minimum requirements of ASTM C1002. Bugle-shaped heads shall be 0.315" in nominal diameter and contain a No. 2 Phillips driving recess. Type "W" screws are designed for easier fastening in wood.

Joints: At gypsum wallboard joints install a 2" strong, cross threaded tape with a cross tensile strength of 45 lbs per lineal inch. Press a strong, good quality tape firmly onto sheathing joints and around openings, imbedded in joint cement. At corners and angles, install metal corner beads as specified by manufacturer. If corners are rounded, install corner reinforcement as required. Spread gypsum wallboard mud at all tape joints, corner beads, nails and screw penetrations and where a smooth surface is needed. Apply second coat of wallboard mud after a minimum 24 hours. After drying (minimum 48 hours), sand all joints and other areas to a smooth consistent surface.

Interior Walls: Sheath walls and ceilings with 1/2" imperial gypsum wallboard, either vertically with long edges parallel to framing, or horizontally with long edges at right angles to framing members. All walls shall have a smooth plaster finish.

Ceilings: Apply a single layer of 1/2" imperial gypsum wallboard across the supports and fasten with nails or screws. Offset joints between layers at least 10". Nails are spaced 6" on center (OC) with 1 1/4" heads. Screws are spaced 8" on center (OC). Ceiling finish shall be smooth plaster.

Water Resistant Gypsum Wallboard: Around showers, tubs, whirlpools, or as required by applicable building codes, install 1/2" water resistant gypsum board.

09300 - 09400 - Tile and Granite

Tile and Granite shall be appropriate grade and finish in accordance with applicable building codes and owner requirements. Contractor shall properly clean all surfaces to be covered and install appropriate underlayment per manufacturers recommendations. Installation should be carried out with a slow setting cement adhesive, well mixed per manufacturer recommendations. Grouting of control joints can be executed either with cement based grout or with resin based organic materials.

Floors: Contractor shall properly clean all surfaces to be covered and install appropriate underlayment per manufacturers recommendations.

06550 - Wood Flooring: Install a single layer of 15 lb felt vapor barrier between sub-floor decking and hardwood floors. Along walls and permanent objects, install a 1" quarter round molding to conceal expansion area.

Wood flooring shall be tongue and groove construction and true square edged for a flat smooth surface. Wood flooring can be fastened with appropriate nails, staples or glue. Check specific manufacturer's recommendations.

Hardwood Flooring to be specified by owner.

09900 - Paints and Coating: Prepare each surface to receive scheduled work as set forth below. If mildew is evident, the mildew must be removed and surface treated to inhibit further mildew growth.

Interior Walls: All nail heads shall be set below the surface and finished smooth. Joints should be taped and covered with a suitable drywall joint compound. Sand the spackled nail heads and joint compound smooth and dust well before priming. Interior walls shall receive a primer coat and two coats of paint. All Paint to be Benjamin Moore.

Interior Wood: Wood surfaces shall be sanded smooth before finish is applied. Putty areas with a wood based filler where nails or other defects appear in the surface.

Paint: Prime wood surfaces including faces, edges and ends before installation. After installation, apply at least one coat of wood primer and two coats of finish paint.

Exterior Wood: Pre-prime the backside, edges and ends of lumber and siding prior to construction. When staining, pre-prime with the same product as specified for the final coat. Sand and putty wood surface smooth before finish is applied.

Paint: Prime wood surfaces including faces, edges and ends before installation. After installation, apply at least one coat of wood primer and two coats of finish paint.

09950 - Wall Finishes: Walls shall be clean and free of defects such as cracks or unfinished joints prior to installation of wall finishes. If mildew is evident, mildew must be removed and surface properly treated to inhibit further mildew growth

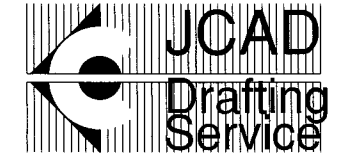
## EQUIPMENT

General - Contractor shall review construction documents and provide labor and materials pertaining to the equipment as required in said documents and as specified herein, while complying with all applicable building codes.

11452 - Appliances - Furnish and install all electrical appliances specified by Spring Green and as shown on construction documents, including all venting and supply requirements per manufacturers recommendations.

11455 - Interior Cabinetry - Furnish and install all pre-fabricated cabinetry as specified by Spring Green and as schematically shown on construction drawings. Actual kitchen cabinet layout is to be designed by others.

Counter-Tops: Furnish and install all counter tops as specified by Spring Green. Counter surfaces shall be glued onto 3/4" plywood or appropriate substrate as recommended by manufacturer. All colors to be selected by owner.



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No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

## SPECIFICATIONS

Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC
<b>A-002</b>	
Scale	1/4" = 1'-0"

## GENERAL NOTES

General - Contractor shall review construction documents and provide labor and materials pertaining to concrete and foundations as required in said documents and as specified herein, while complying with all applicable building codes.

03050 - Concrete Specifications - All concrete work shall be designed on the basis of "Strength Design" in accordance with ACI 318 "Building Code Requirements for Reinforced Concrete." Concrete work shall be proportioned in accordance with ACI 301 "Specifications for Structural Concrete" and ACI 211.1 "Recommended Practice for Selecting Proportions for Normal Weight Concrete". Concrete slabs and foundations shall be constructed of a minimum 3000 psi concrete, 28 day test, with a 4" minimum to 6" maximum slump maximum, air-entrained to 5 - 8%. No additional water shall be added to concrete after slump test is recorded. Concrete should be a mix of high grade Portland cement, clean sand or granular fill and washed gravel or crushed stone as coarse aggregate per ACI 530. Maximum aggregate size shall be 3/4". All aggregates shall conform to ASTM C33. Gravel should be well graded and not exceed 1 1/2" in size.

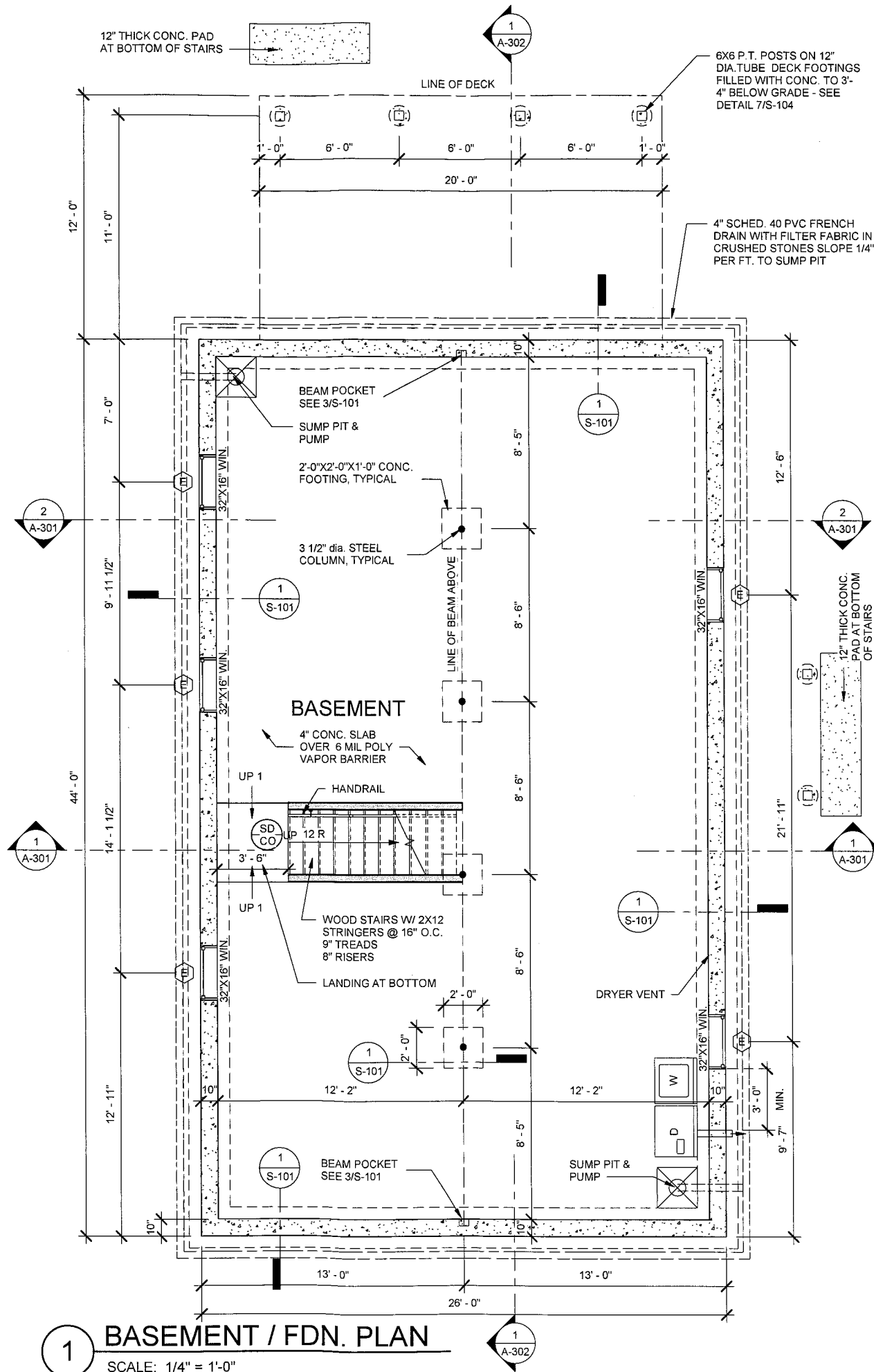
03100 - Reinforcing Steel - Reinforcing steel (rebar) shall be minimum ASTM A615, grade 60. All reinforcement splices shall be as follows: #5 bars 25" minimum. All rebar (reinforcing steel) shall be located 3" clear from bottom and side of footing and 2" clear from top. All reinforcement splices shall be in accordance with ACI 318 for "Strength Design." All reinforcement steel shall be accurately placed, rigidly supported, and firmly tied in place with bar supports and spacers in accordance with ACI 301 and ACI 318.

03100 - Anchor Bolts - Provide 5/8" diameter x 12" long anchor bolts with 3"x3"x1/4" plate washers in poured concrete walls at 32" on center (OC) maximum, 12" from corners and on each side of exterior doors.

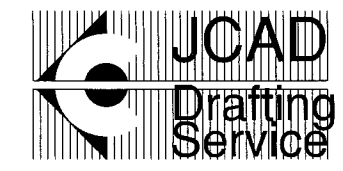
03300 - Footings - Center all footings on walls. All footings shall rest on undisturbed virgin soil with minimum soil bearing allowable of 3000 psf, tested for 95 percent compaction, or 3/4" stone compacted in 12" lifts to 95 percent density if fill is required. Footings at building perimeter shall be a minimum of 4'-0" below grade and constructed of 3000 psi concrete. Provide #4 rebar (reinforcing steel) corner bars at all corners and intersections of footings, beams and walls. Each side should overlap 2'-0", with a 90 degree bend. Footings shall bear on undisturbed soil and kept free from ground water.

03300 - Slabs - Concrete floor slabs shall be constructed of 3000 psi concrete, 3" and 4" thick and reinforced with 10 gauge w1.4xw1.4 welded-wire mesh continuous where noted. Place slabs over well-compacted granular fill compacted in 12 inch lifts to 95 percent density per AASHTO T-180 Proctor, and a 6 mil polyethylene vapor barrier. Construction or control joints shall be provided in slabs on grade so that the maximum area between joints shall be 400 sq. ft. and the length of that area is not more than twice the width. Provide smooth steel trowel finish for all interior slab areas. Provide broom finish texture for all exterior slabs.

03300 - Poured Concrete Foundation Walls - Poured walls shall be constructed of 3000 psi concrete with 2 #5 rebar (reinforcing steel) at top and mid-height of wall. Thickness of walls shall be a minimum of 10" thick.



**1 BASEMENT / FDN. PLAN**  
SCALE: 1/4" = 1'-0"



100 MAYFLOWER DRIVE  
SEEKONK, MA 02771  
TEL 508-336-7147 FAX 508-336-9105

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3. DESIGNER OF THESE PLANS SHALL NOT BE HELD LIABLE FOR ANY DEVIATION AND/OR MODIFICATIONS TO DRAWINGS BY THE OWNER AND/OR HIS CONTRACTOR AND/OR SUB-CONTRACTORS.

No.	Description	Date

**NEW HOME FOR  
43 LANE 1  
WARWICK, RI**

**BASEMENT / FDN.  
PLAN**

Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC

**A-101**

Scale As indicated

## DOOR SCHEDULE

Mark	Width	Height	Fire Rating	Comments
101	3' - 0"	6' - 8"		METAL INSULATED ENTRY DOOR
102	6' - 0 5/8"	6' - 10"		TEMPERED GLASS SLIDING DOOR
103	2' - 6"	6' - 8"		
104	2' - 6"	6' - 8"		
105	2' - 6"	6' - 8"		
106	2' - 6"	6' - 8"		
107	1' - 6"	6' - 8"		
108	2' - 6"	6' - 8"		
109	2' - 6"	6' - 8"		
110	4' - 0"	6' - 8"		DOUBLE DOORS
111	4' - 0"	6' - 8"		DOUBLE DOORS
112	5' - 0"	6' - 8"		DOUBLE DOORS

### WALL LEGEND

NEW WALLS:

EXTERIOR WALLS:

VINYL SIDING AS SELECTED OVER AIR INFILTRATION BARRIER OVER 1/2" CDX PLYWOOD ON 2X6 WOOD STUDS @ 16" O.C. W/ 5 1/2" INSULATION = R-21 MIN. 1/2" GYPSUM BOARD

INTERIOR WALLS:

1/2" GYPSUM BOARD ON 2X4 WOOD STUDS @ 16" O.C.

### HEADER SCHEDULE

NO.	PLIES	SIZE	NO. JACK STUDS
H-1	2	2X6 SPF #2	1
H-2	2	2X8 SPF #2	2
H-3	2	2X10 SPF #2	2
H-4	2	1 3/4" X 9 1/2" LVL	2

### MECHANICAL VENTILATION:

PER I.R.C. SECTION M1507

⊗ BATHROOM EXHAUST FAN AND LIGHT - 50 CFM

⊕ KITCHEN RANGE EXHAUST FAN - 100 CFM

NOTES:

- WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM (IF PROVIDED) SHALL BE DESIGNED IN ACCORDANCE WITH I.R.C. SECTIONS M1507.3.1 THROUGH M1507.3.3
- EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL NOT BE RECIRCULATED WITHIN THE RESIDENCE AND SHALL BE EXHAUSTED DIRECTLY TO THE OUTDOORS. EXHAUST AIR FROM BATHROOMS AND TOILET ROOMS SHALL NOT DISCHARGE INTO THE ATTIC, CRAWL SPACE OR OTHER AREAS INSIDE THE BUILDING.

### SMOKE ALARM SYMBOLS LEGEND

⊙ SMOKE DETECTOR HARD WIRED AND INTERCONNECTED

⊙/⊙ COMBINATION SMOKE AND CARBON MONOXIDE DETECTOR HARD WIRED AND INTERCONNECTED

INSTALL SMOKE ALARM DEVICES PER R.I. UNIFORM FIRE SAFETY CODE REGULATIONS

NOTE:

1. Contractor shall furnish all labor and materials to install the following finishes and fixtures as specified by Spring Green:

- All interior flooring, wall and ceiling finishes and trim.
- All kitchen and bath cabinets and countertops.
- All plumbing fixtures and faucets.
- All lighting fixtures

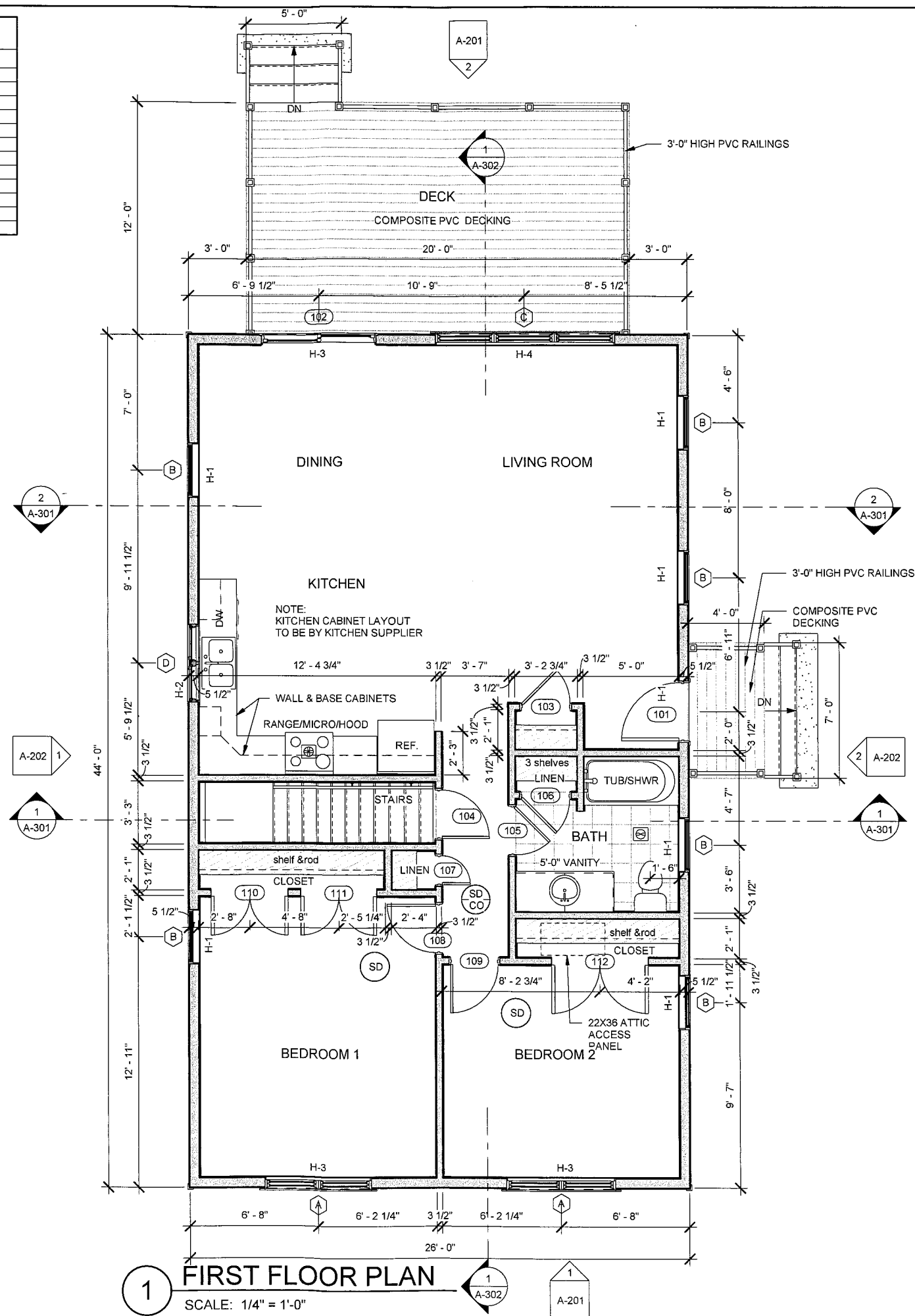
### SPECIALTIES

General - Contractor shall review construction documents and provide labor and materials pertaining to the specialties as required in said documents and as specified herein, while complying with all applicable building codes.

10800 - Bathroom Accessories - Contractor shall furnish and install all toilet paper rolls, towel bars and soap dispensers, mirrors, etc. in all baths as specified by Spring Green.

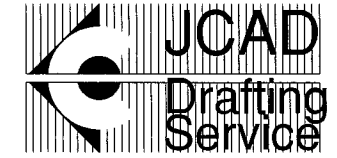
10820 - Tub and Shower Doors - Contractor to furnish and install shower doors. Doors shall be constructed of tempered safety glass with all exposed edges polished and rounded. Swinging doors shall have vinyl seal at both the latch jamb and hinge jamb side of door. All doors to be selected owner.

10916 - Closet Specialties - Contractor shall furnish and install all closet shelving as indicated on construction documents for all closets, storage areas and pantries. All shelving shall be as specified by Spring Green.



## FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



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SEEKONK, MA 02771  
TEL 508-336-7147 FAX 508-336-9105

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No.	Description	Date

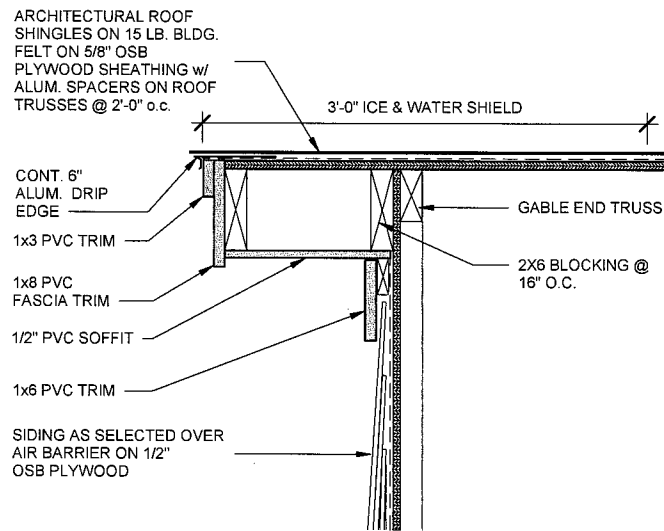
NEW HOME FOR  
43 LANE 1  
WARWICK, RI

## FIRST FLOOR PLAN

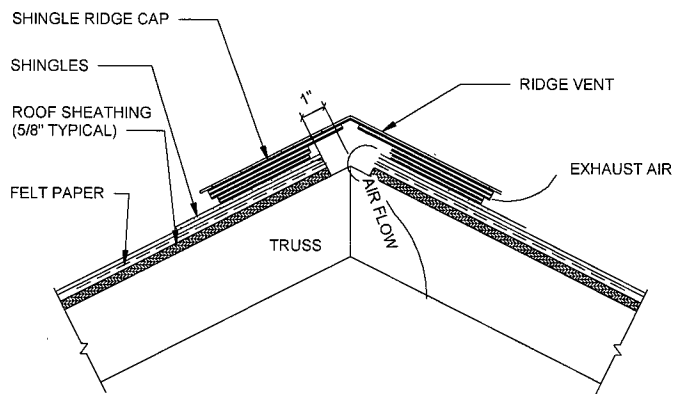
Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC

# A-102

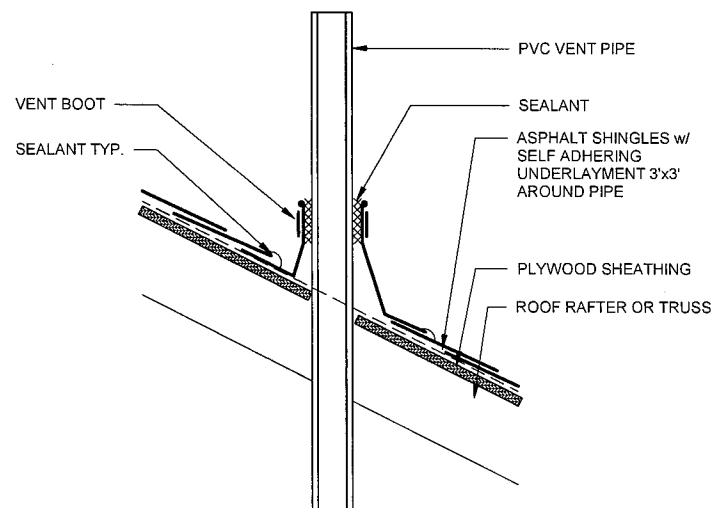
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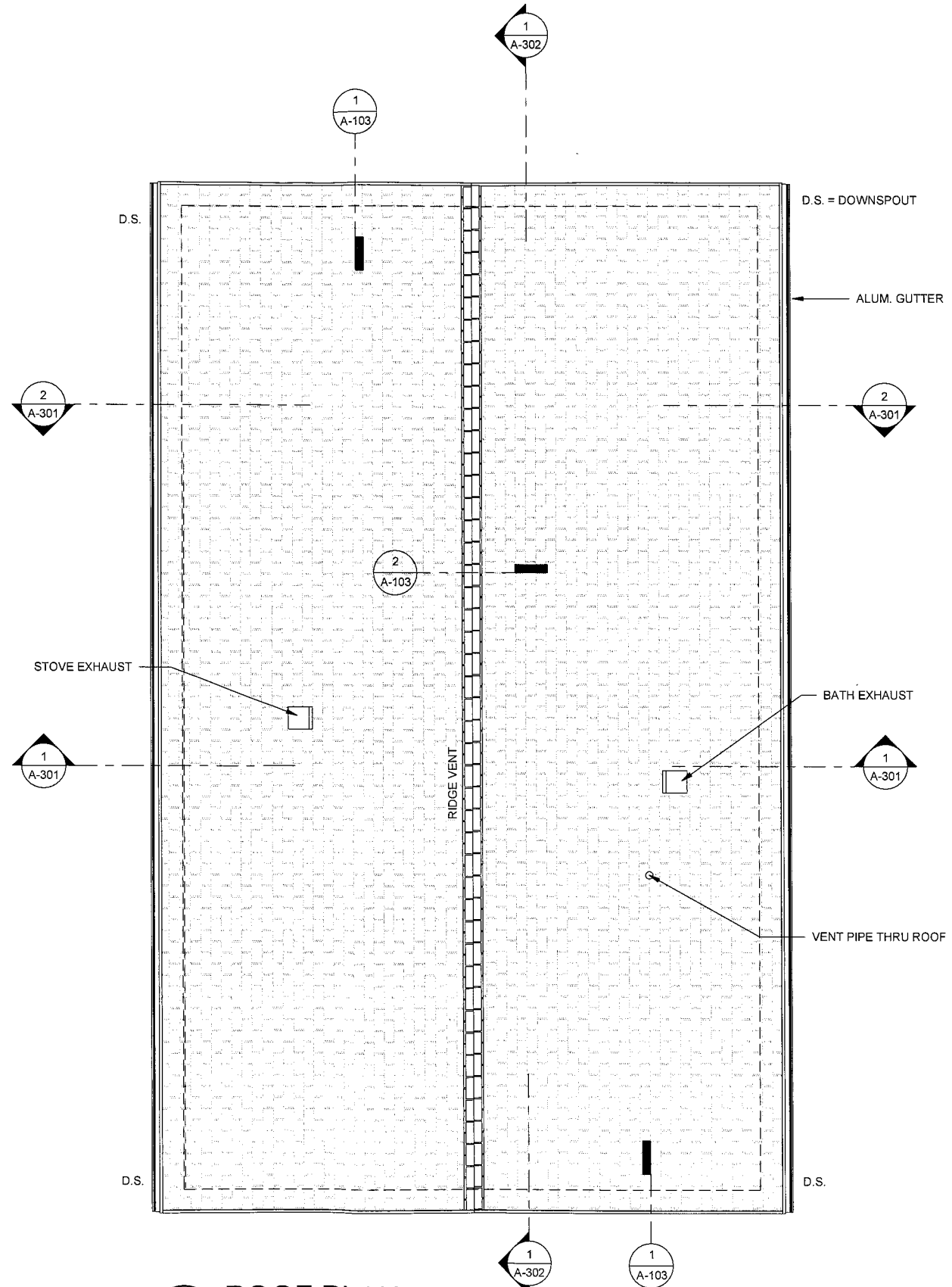
**1** DETAIL - GABLE END RAKE  
SCALE: 1 1/2" = 1'-0"



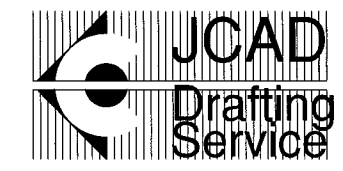
**2** DETAIL - RIDGE VENT  
SCALE: 1 1/2" = 1'-0"



**4** DETAIL - VENT PIPE FLASHING  
SCALE: 1 1/2" = 1'-0"



**5** ROOF PLAN  
SCALE: 1/4" = 1'-0"



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No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

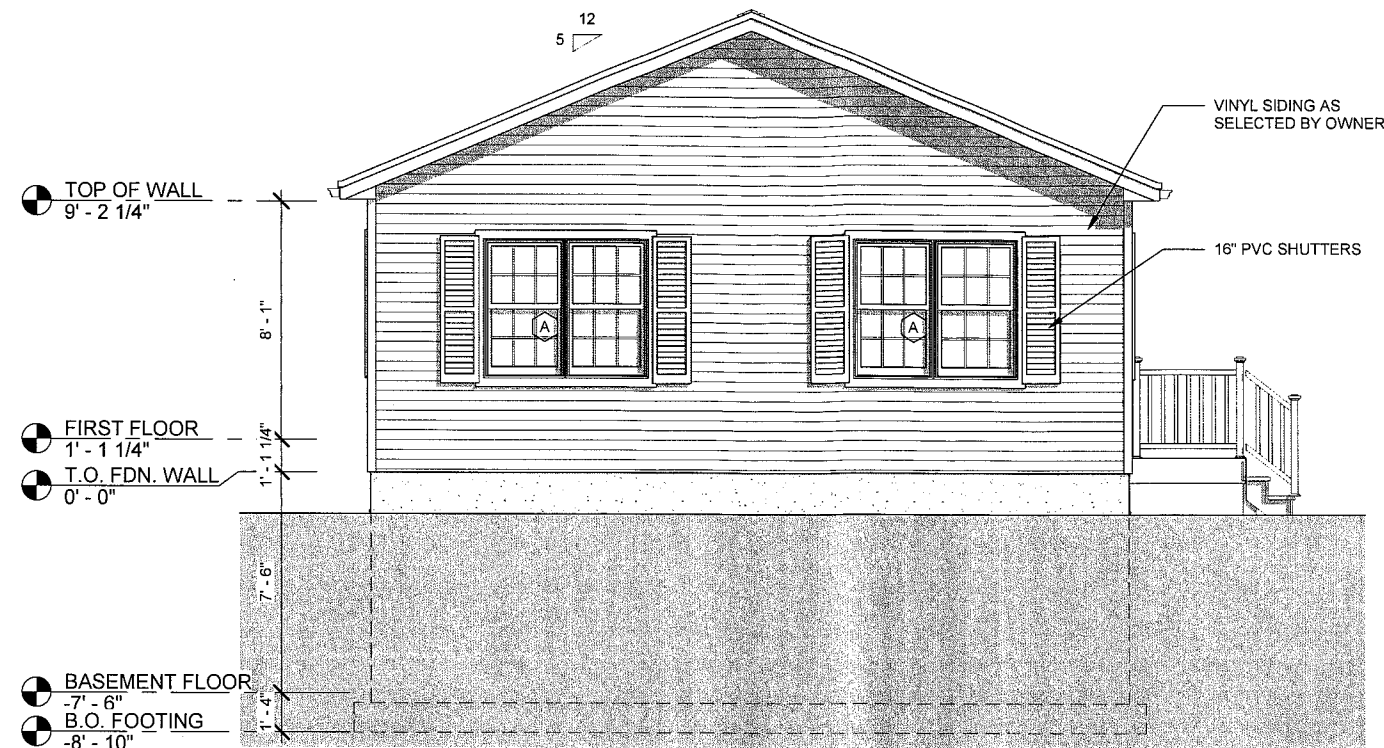
**ROOF PLAN**

Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC

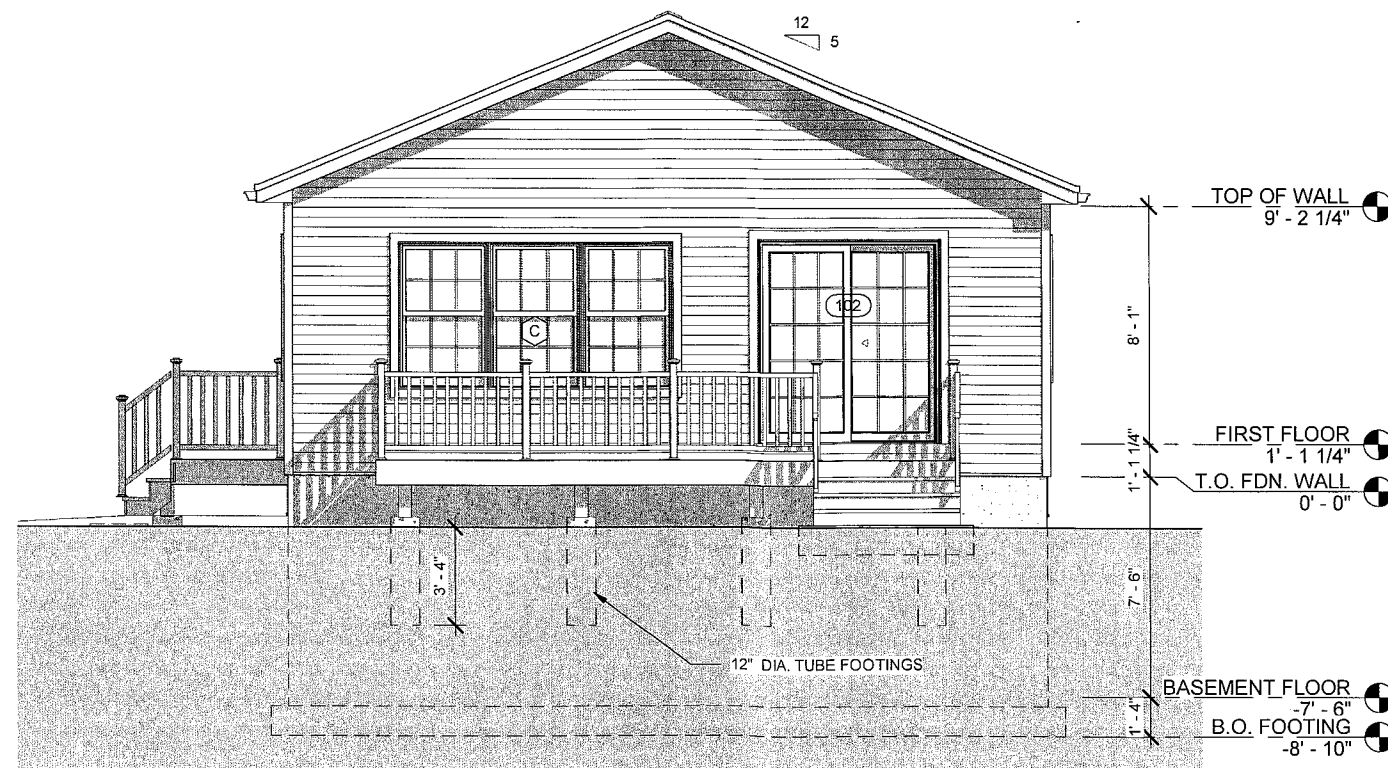
**A-103**

Scale As indicated

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**1** Front Elevation  
SCALE: 1/4" = 1'-0"



**2** Rear Elevation  
SCALE: 1/4" = 1'-0"

No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

**EXTERIOR  
ELEVATIONS**

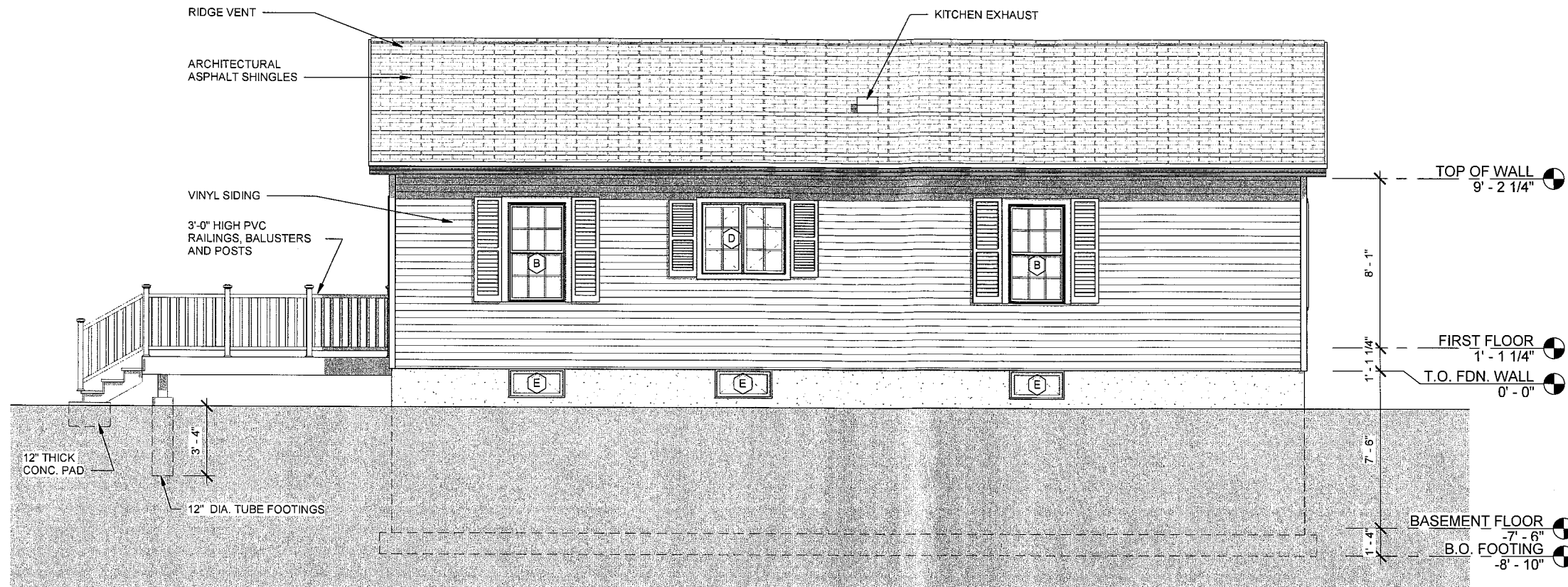
Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC

**A-201**

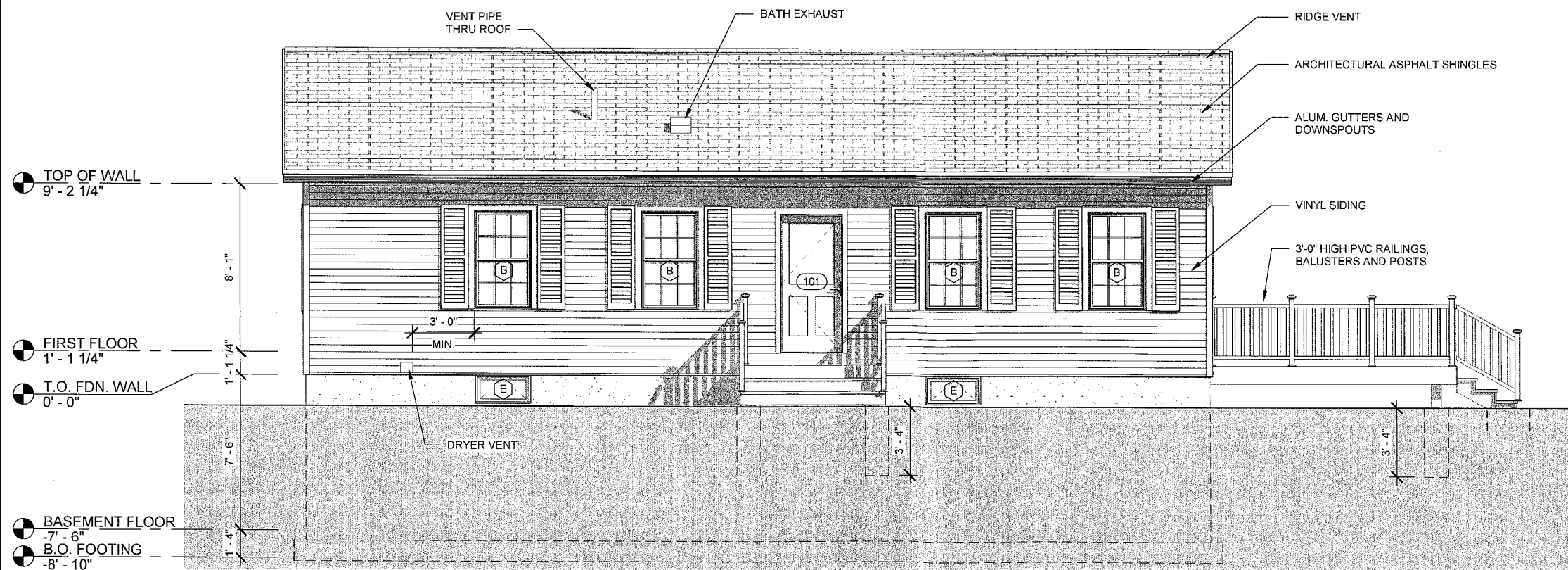
Scale	1/4" = 1'-0"
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**1** Left Elevation  
SCALE: 1/4" = 1'-0"



**2** Right Elevation  
SCALE: 1/4" = 1'-0"

No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

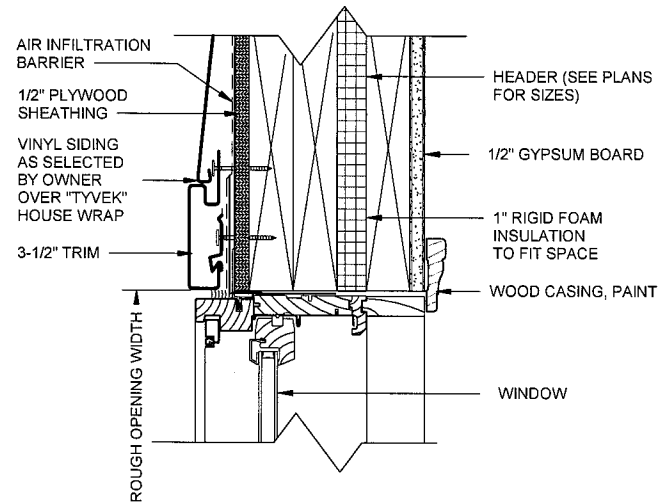
**EXTERIOR  
ELEVATIONS**

Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC

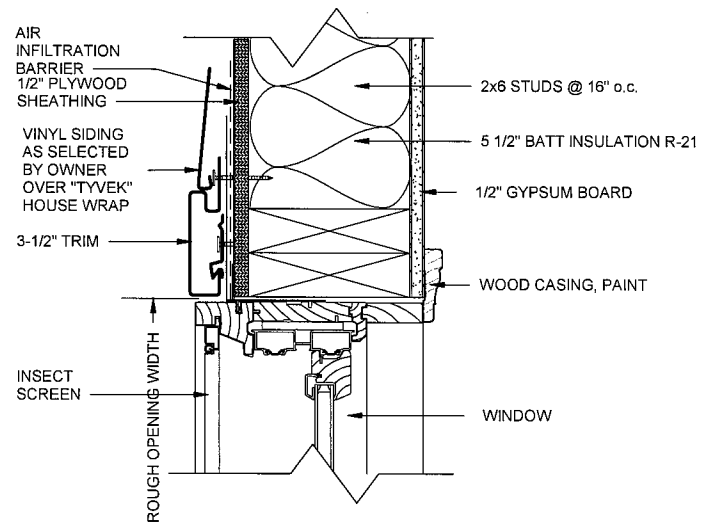
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Scale	1/4" = 1'-0"
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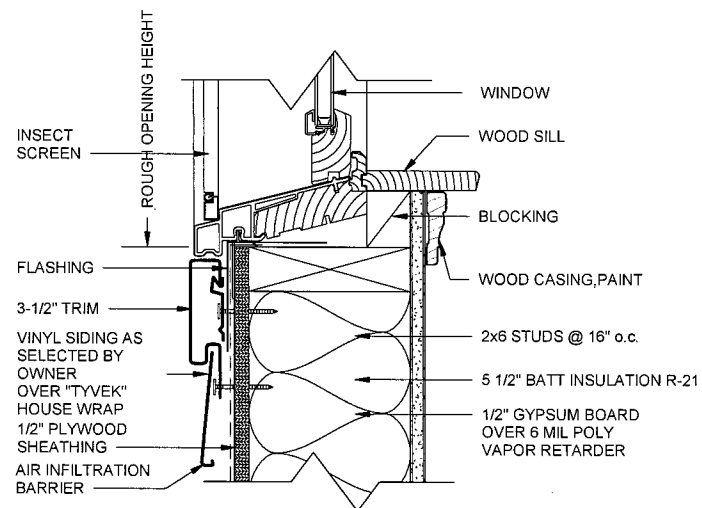




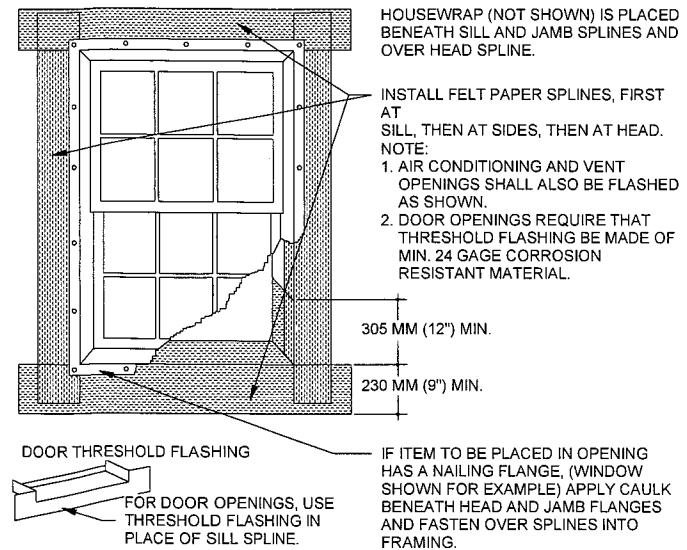
**3** **DETAIL - WINDOW HEAD**  
SCALE: 3" = 1'-0"



**4** **DETAIL - WINDOW JAMB**  
SCALE: 3" = 1'-0"



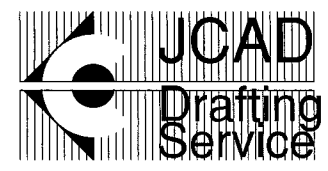
**5** **DETAIL - WINDOW SILL**  
SCALE: 3" = 1'-0"



**6** **DETAIL - WINDOW SILL**  
SCALE: 1/4" = 1'-0"

WINDOW SCHEDULE						
TYPE MARK	COUNT	TYPE	WINDOW FUNCTION	INDIVIDUAL WINDOW SIZE		COMMENTS
				WIDTH	HEIGHT	
A	2	TW2846-2	DOUBLE-HUNG	2' - 9 5/8"	4' - 8 7/8"	DOUBLE MULLED UNITS
B	6	TW2846	DOUBLE-HUNG	2' - 9 5/8"	4' - 8 7/8"	
C	1	CUDH3232-3	DOUBLE-HUNG	3' - 1 3/8"	5' - 0"	TRIPLE MULLED UNITS
D	1	C235	CASEMENT	4' - 0"	3' - 4 13/16"	
E	5	32" x 16" Basement	AWNING	2' - 8"	1' - 4"	

Note:  
1. ALL WINDOW SIZES SHOWN ON SCHEDULE ARE BASED ON ANDERSEN WINDOWS 400 SERIES.  
2. G.C. TO VERIFY ALL ROUGH OPENING DIMENSIONS PRIOR TO FRAMING ALL WINDOW OPENINGS.



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No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

**WINDOW DETAILS**

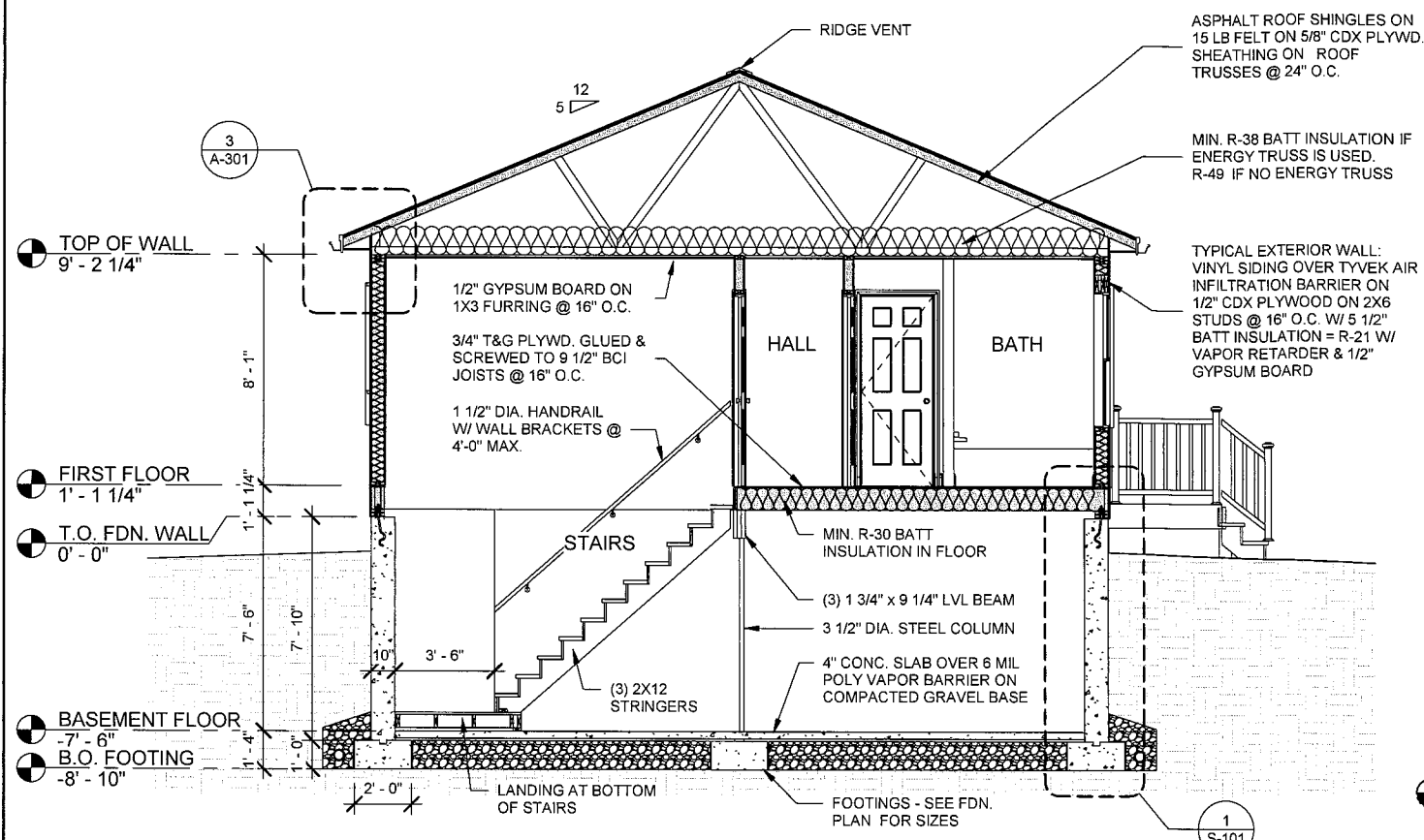
Project number 2017-42  
Date SEPTEMBER 12, 2018  
Drawn by JC  
Checked by JC

**A-203**

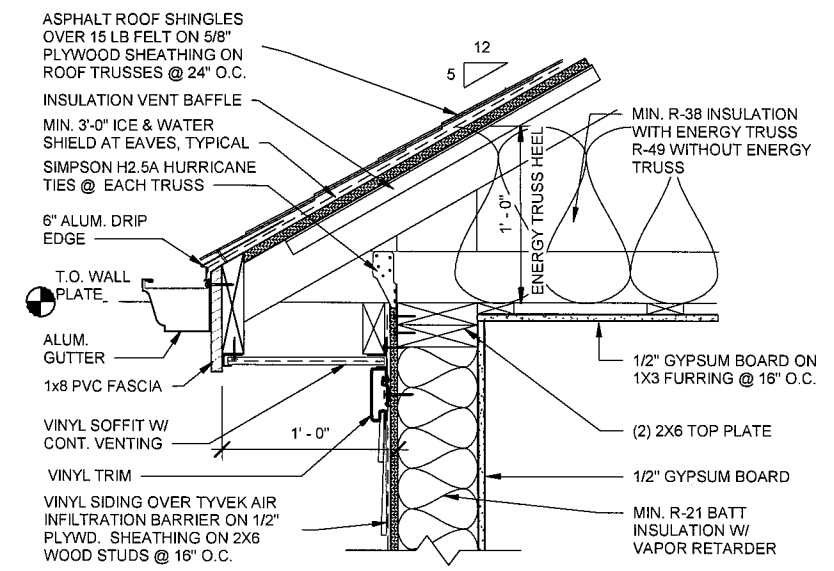
Scale As indicated

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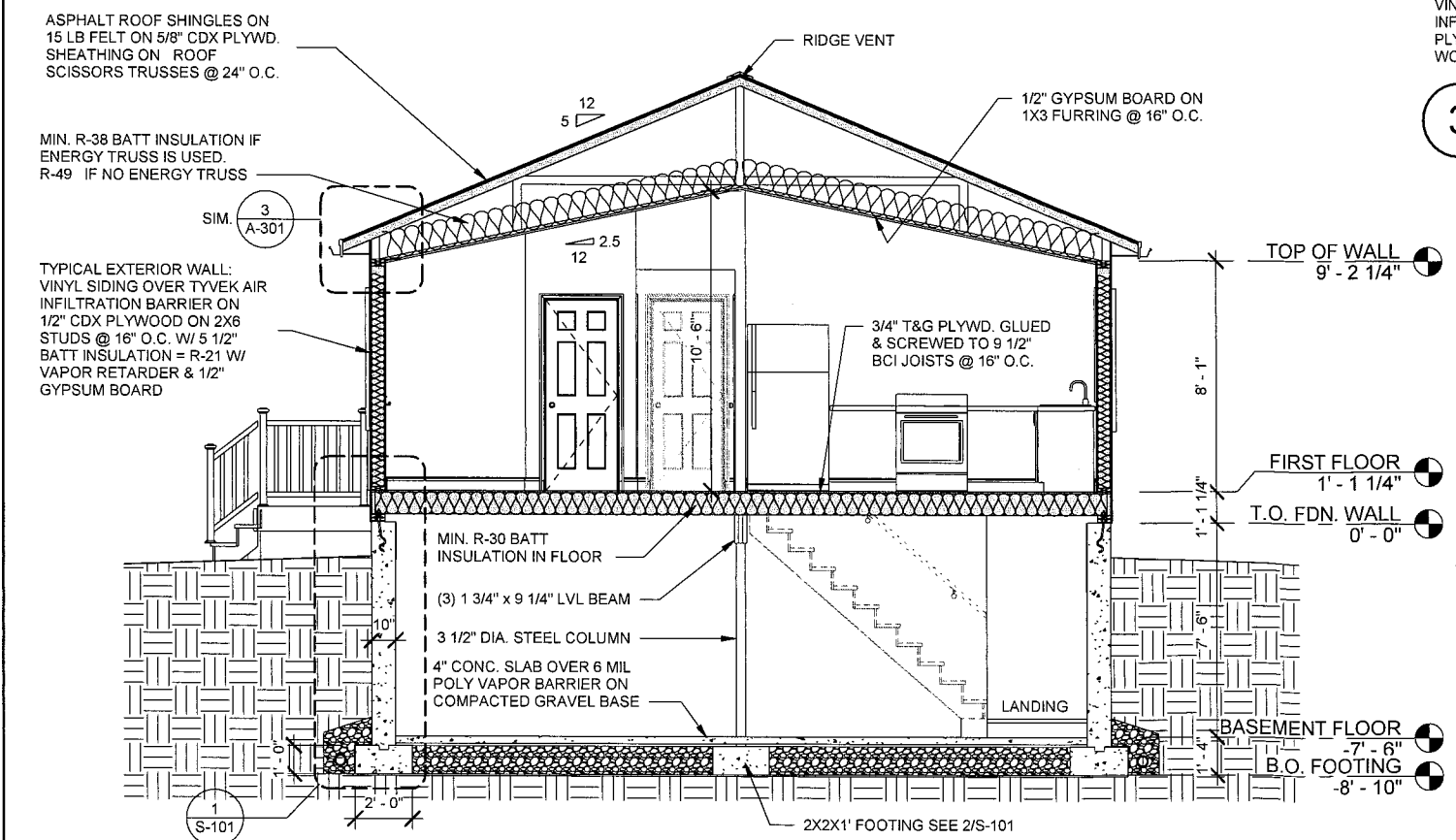
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**1** CROSS SECTION  
SCALE: 1/4" = 1'-0"



**3** DETAIL @ ROOF EDGE  
SCALE: 1 1/2" = 1'-0"



**2** CROSS SECTION 2  
SCALE: 1/4" = 1'-0"

No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

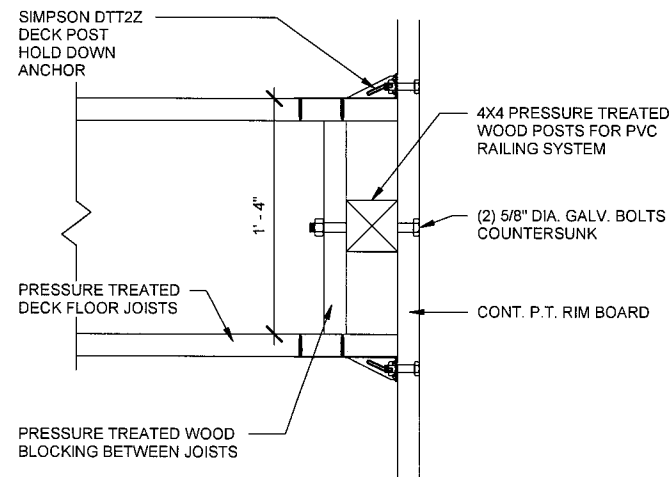
**CROSS SECTIONS**

Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC
<b>A-301</b>	
Scale	As indicated

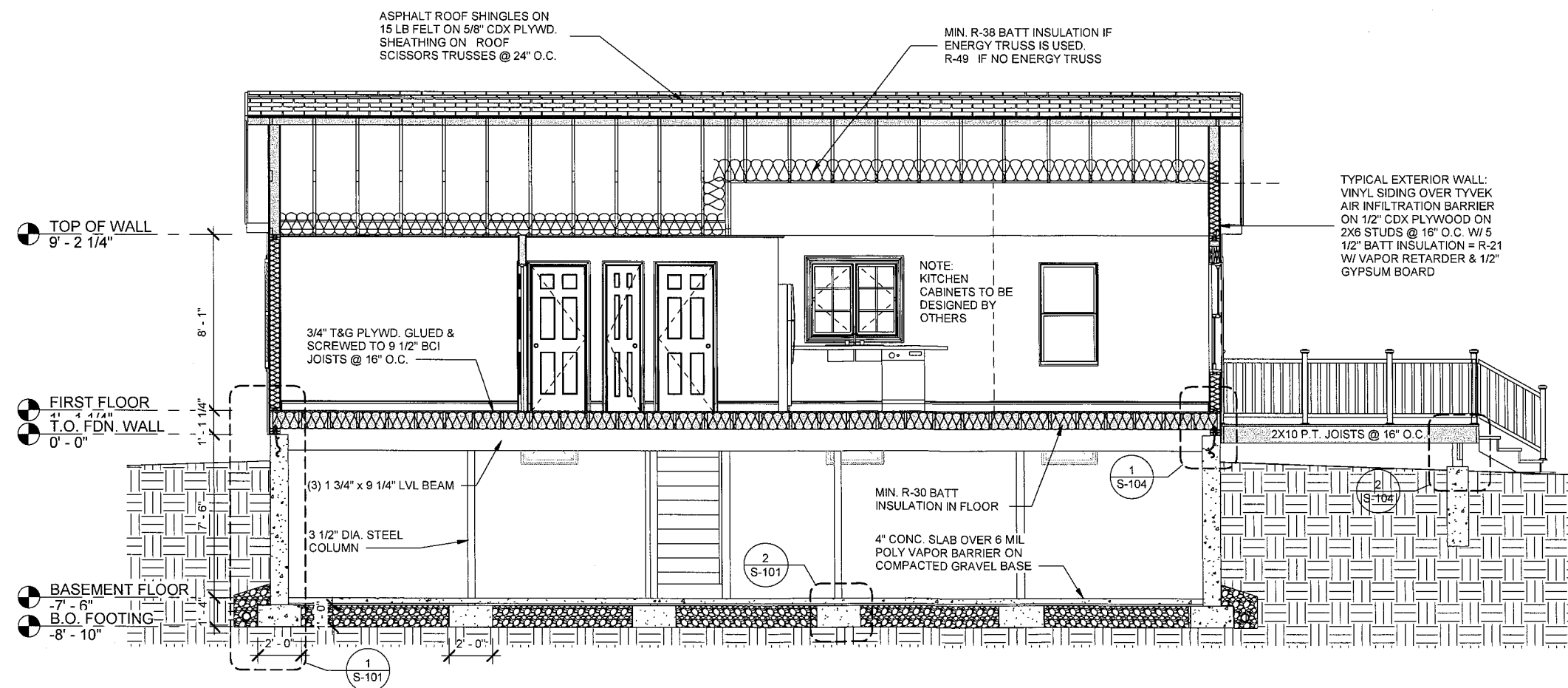


**DECK NOTES:**

- DECK SHALL BE CONSTRUCTED ACCORDING TO REQUIREMENTS OF THE 213 EDITION OF THE RHODE ISLAND RESIDENTIAL CODE.
- DECK FRAMING: EXTERIOR GRADE #1 SOUTHERN YELLOW PINE PRESSURE TREATED LUMBER SHALL BE USED FOR EXTERIOR DECKS. PROVIDE AND INSTALL GALVANIZED BOLTS AND JOIST HANGERS TO CONNECT FLOOR JOISTS TO THE MAIN STRUCTURE AS INDICATED ON DRAWINGS.
- ALL SCREWS, BOLTS, AND NAILS SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL HARDWARE (JOIST HANGERS, CAST-IN-PLACE POST ANCHORS, ETC.) SHALL BE GALVANIZED OR SHALL BE STAINLESS STEEL.
- FLASHING SHALL BE CORROSION RESISTANT METAL OF MINIMUM 0.019 INCH THICKNESS.
- DECKS SHALL NOT BE USED OR OCCUPIED UNTIL FINAL INSPECTION AND APPROVAL IS OBTAINED.
- RAILING SYSTEM IS TO BE INSTALLED PER MANUFACTURE'S INSTALLATION INSTRUCTIONS.
- CUT ENDS OF POSTS SHALL BE FIELD TREATED WITH AN APPROVED PRESERVATIVE SUCH AS COPPER NAPHTHENATE.
- ALL FOOTINGS SHALL BE CAST-IN-PLACE CONCRETE WITH A SOIL BEARING CAPACITY OF MINIMUM 3000 PSI COMPRESSIVE STRENGTH.
- 36" HIGH MINIMUM GUARDS ARE REQUIRED AT ALL AREAS WHERE THE DECK FLOOR IS GREATER THAN 30" ABOVE GRADE AT ANY POINT.
- GUARD POST SPACING SHALL NOT EXCEED 6'-0".
- REQUIRED GUARDS AND HANDRAILS AT STAIRS SHALL RANGE FROM 34" TO 36" VERTICALLY ABOVE THE STAIR NOSINGS.
- HANDRAIL ENDS, AT THE TOP AND BOTTOM, SHALL TERMINATE INTO A POST OR BE RETURNED TO A WALL.
- UNLESS NOTED, THE DECK/PORCH FLOOR SHALL BE WITHIN 8" MAX. OF THE TOP OF THE DOOR THRESHOLD.
- LIVE LOAD DEFLECTION:  
JOISTS & BEAMS = L/360  
GUARDS = L/240
- DESIGN LOADS:  
FLOOR LIVE LOAD = 40 P.S.F.  
DEAD LOAD = 10 P.S.F.
- GUARDS SHALL BE DESIGNED FOR A 200 LB. CONCENTRATED LOAD PLACED ALONG THE TOP RAIL IN ANY DIRECTION, AT ANY POINT.
- DECKING: PROVIDE AND INSTALL AZEK COMPOSITE DECK BOARDS. SIZE: 1" X 5 1/2" COLOR TO BE SELECTED BY OWNER. INSTALL DECKING SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND PER CODE. INSTALL DECKING WITH TIGER CLAW TC-P HIDDEN DECK FASTENERS WITH 316 STAINLESS STEEL SCREW FASTENERS.
- RAILINGS: PROVIDE AND INSTALL AZEK PREMIER RAIL SYSTEM COMPLETE WITH 4X4 POSTS WITH CAPS AND BASE, TOP AND BOTTOM RAILINGS AND 1.25 X 1.25 AZEK BALUSTERS. COLOR-WHITE. INSTALL RAILING SYSTEM PER MANUFACTURER'S INSTRUCTIONS AND PER CODE. ALL RAILINGS SHALL BE CONSTRUCTED SO AS TO PREVENT PASSAGE OF A 4" SPHERE. ALL RAILINGS SHALL BE MINIMUM 36" HIGH FROM DECK SURFACE. STAIRS - HEIGHTS OF TREADS, LENGTHS OF RISERS AND OVERALL WIDTH OF STAIRS SHALL COMPLY WITH APPLICABLE BUILDING CODES.
- EXTERIOR STAIR TREADS SHALL BE CONSTRUCTED OF 1" X 5 1/2" AZEK DECK BOARDS. RISERS SHALL BE CONSTRUCTED OF 3/4" AZEK TRIM BOARD. STRUCTURAL STAIR STRINGERS SHALL BE CONSTRUCTED OF PRESSURE TREATED 2x12 @ 12" O.C. PROVIDE AND INSTALL DETAILING AS SHOWN IN CONSTRUCTION DOCUMENTS.



**3** **DETAIL - DECK RAIL POST CONNECTION**  
SCALE: 1 1/2" = 1'-0"



**1** **CROSS SECTION 3**  
SCALE: 1/4" = 1'-0"

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No.	Description	Date

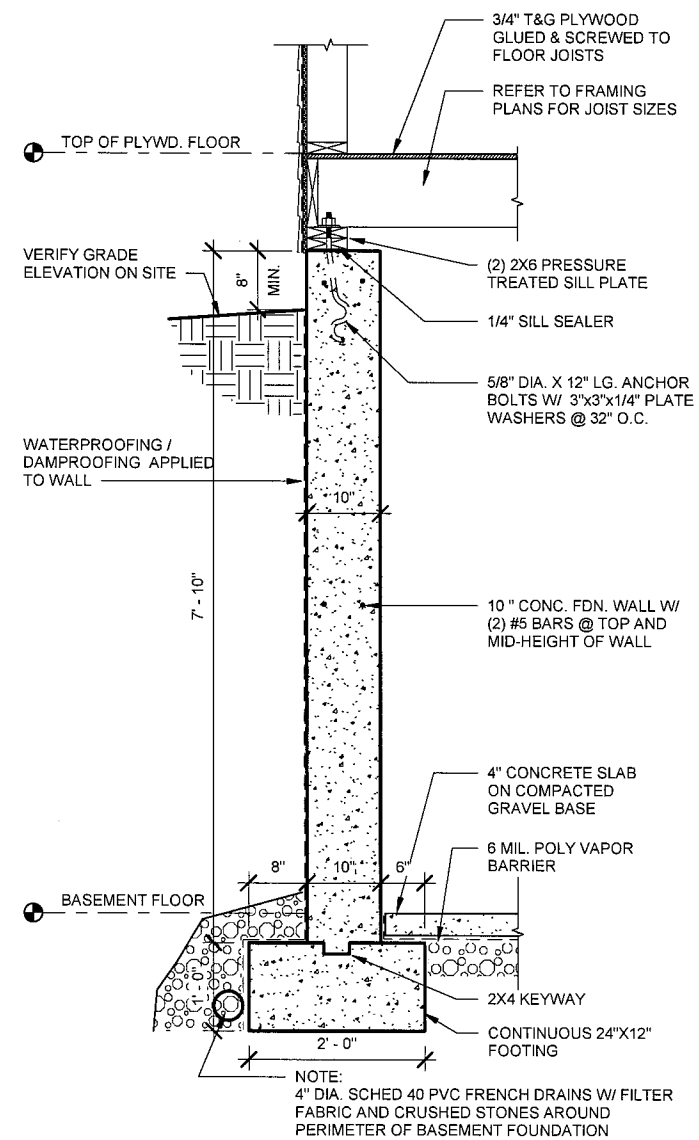
**NEW HOME FOR  
43 LANE 1  
WARWICK, RI**

**CROSS  
SECTIONS**

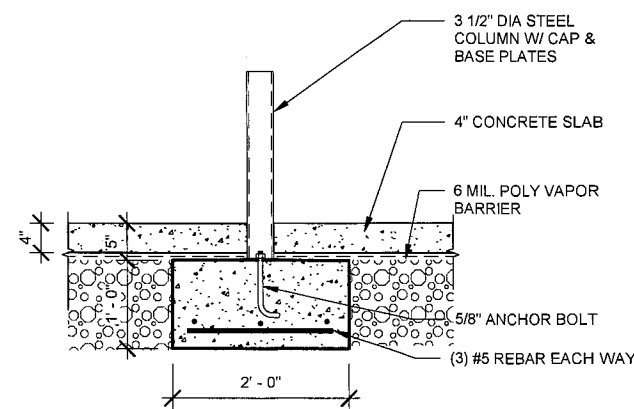
Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC

**A-302**  
Scale As indicated

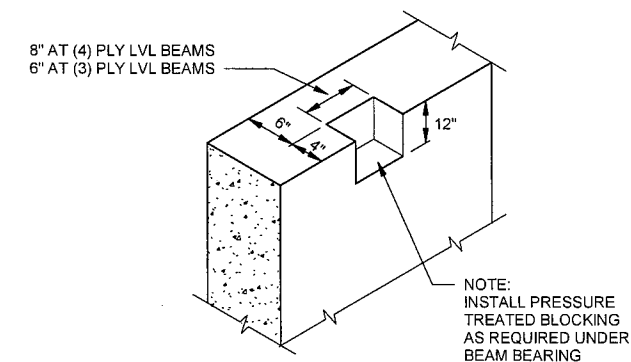
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**1** **DETAIL - TYPICAL FOUNDATION**  
SCALE: 3/4" = 1'-0"



**2** **DETAIL @ INTERIOR FOOTING**  
SCALE: 3/4" = 1'-0"



**3** **DETAIL @ BEAM POCKET**  
SCALE: 3/4" = 1'-0"

No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

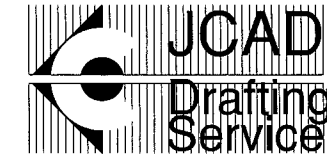
**FOUNDATION  
DETAILS**

Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC

**S-101**

Scale	3/4" = 1'-0"
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100 MAYFLOWER DRIVE  
SEEKONK, MA 02771  
TEL 508-336-7147 FAX 508-336-9105

1. ALL CONSTRUCTION SHALL CONFORM TO ALL CODES AND REGULATIONS HAVING JURISDICTION OVER THE PROJECT INCLUDING BUT NOT LIMITED TO THE 2013 STATE OF RHODE ISLAND ONE AND TWO FAMILY DWELLING CODE.
2. BECAUSE THERE WILL BE NO PROJECT SUPERVISION BY THE DESIGNER, IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND OWNER TO INSURE COMPLIANCE WITH ALL CODES AND MODIFY THE SPECIFICATIONS AS NEEDED TO COMPLY WITH SUCH CODES.
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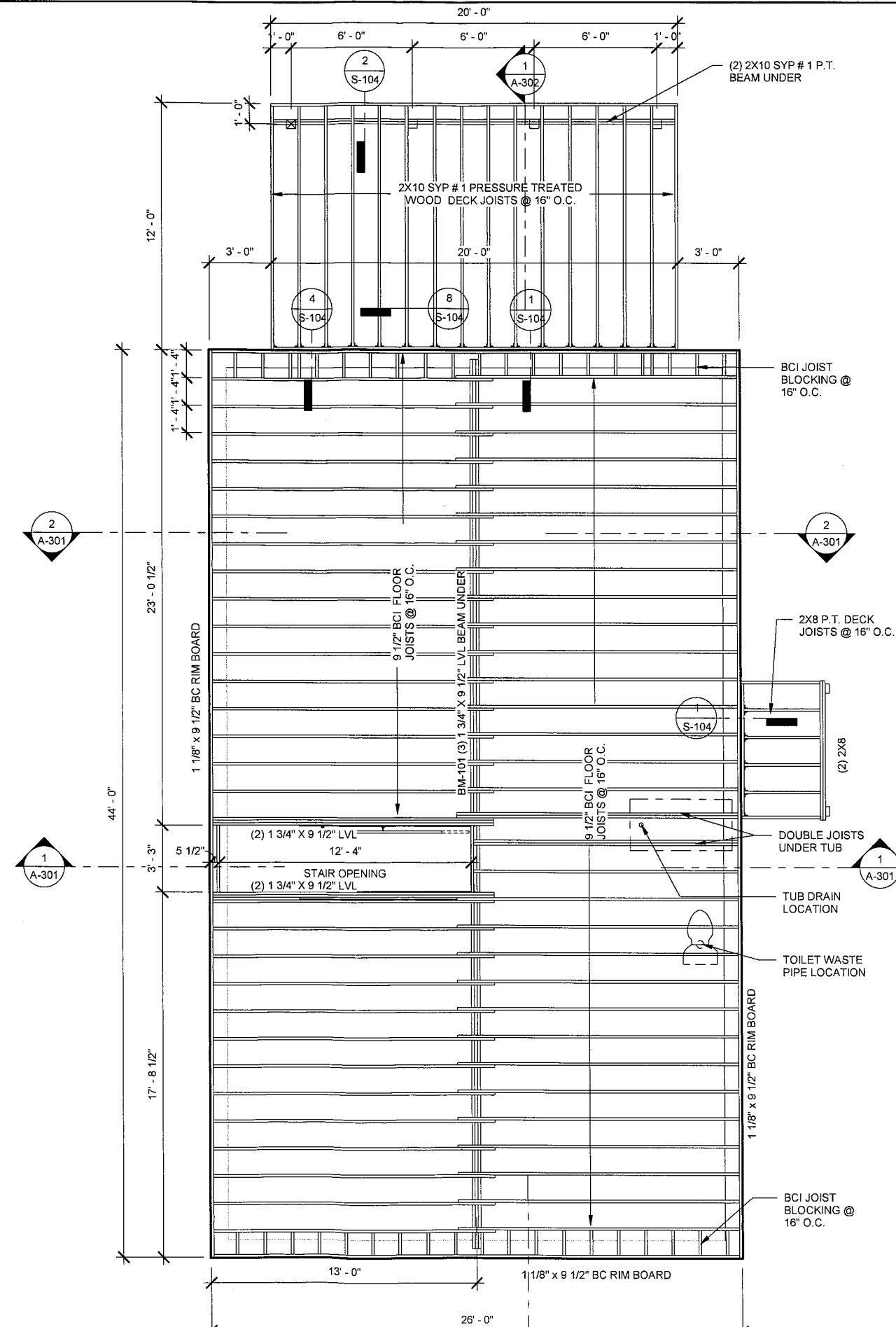
### STRUCTURAL NOTES:

CODE:  
Building is designed using the 2013 R.I. One and Two Family Dwelling Code

- DESIGN LOADS:
1. Elevated Floor Loads:
    - Living Areas:.....40 psf
    - Sleeping Areas:.....30 psf
    - Decks:.....40 psf
  2. Roof Loads
    - Snow Live Load:.....30 psf
  3. Basic Wind Speed .....100 mph

### GENERAL NOTES: STRUCTURAL LUMBER AND LVL'S

1. All material and workmanship shall be in accordance with the latest edition of the "Timber Construction Standards" of the American Institute of Timber Construction and the "National Design Specification for Stress-grade Lumber and its Fastenings" of the National Forest Products Association.
2. The minimum grades and design values required for structural lumber shall be:
  - Studs:
    - SPF No. 2 or Better
    - Fb (rep) = 650 psi E= 1,200,00 psi
  - Joists, Rafters and Headers:
    - SPF No. 2 or Better
    - Fb (rep) = 650 psi E= 1,200,00 psi
3. All exterior walls shall be constructed with 2x6 studs @ 16" o.c. unless noted otherwise.
4. All interior walls shall be constructed with 2x4 studs @ 16" o.c. unless noted otherwise.
5. All multiple member beams and headers shall be supported on not less than an equal number of studs at each end, unless noted otherwise.
6. Wood posts made with three or more 2x4 or 2x6 wood studs shall be nailed together with 16d nails. Nail spacing shall be in 2 rows, spaced 8" o.c. and every other nail in each row shall be on the opposite side in a staggered pattern.
7. All exterior wall openings shall have not less than one jack stud and one full height stud at each side of opening and shall also comply with Girder and Header span table R502.5(1) of the 2013 R.I. One and Two Family Dwelling Code.
8. All roof trusses shall be connected to top plate of walls with galvanized Hurricane ties as indicated on drawings using Simpson Strong-Tie products as indicated.
9. Flush framing shall be supported by galvanized joist hangers designed for the full capacity of the supported member.
10. All wood in contact with concrete or masonry shall be pressure treated with preservative.
11. Exterior wall sheathing shall be minimum 15/32" APA structural 1 rated sheathing or exterior grade. Sheathing shall be nailed with 10d nails not less than 6" o.c. at all panel edges parallel to framing and 6" o.c. in field.
12. Floor Sheathing shall be 3/4" tongue and groove APA structural 1 Advantech rated sheathing exposure 1.
13. Roof Sheathing shall be minimum 5/8" APA structural 1 rated ZIP sheathing system exposure 1 or exterior grade. sheathing shall be nailed with 8d ring shank nails not less than 6" o.c. on all supported panel edges, clips shall be used at all unsupported edges. Nail to intermediate members at 6" o.c.
14. LVL (Versa-Lam) shall be by BOISE or equal.
15. LVL (Versa-Lam) shall have the following minimum properties:
  - Fb = 3000 psi, Ft = 2250 psi, Fc = 850 psi
  - Fc = 3000 psi, Fv = 290 psi, E = 2,000,000 psi
16. LVL beams shall be parallel laminated veneer timber utilizing 1/10" or 1/8" thickness Douglas Fir or Southern Pine veneer glued in a continuous process with all grain parallel with the length of the member.
17. LVL's shall be free of finger joints, scarf joints or mechanical connections for the full length of the member.
18. Adhesive used shall be waterproof, meeting the requirements of ASTM D-2559-76.



**1 FLOOR FRAMING PLAN**  
SCALE: 1/4" = 1'-0"

No.	Description	Date

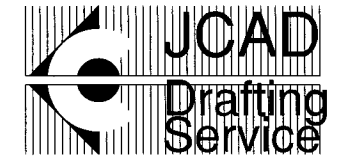
**NEW HOME FOR  
43 LANE 1  
WARWICK, RI**

**FLOOR FRAMING  
PLAN**

Project number 2017-42  
Date SEPTEMBER 12, 2018  
Drawn by JC  
Checked by JC

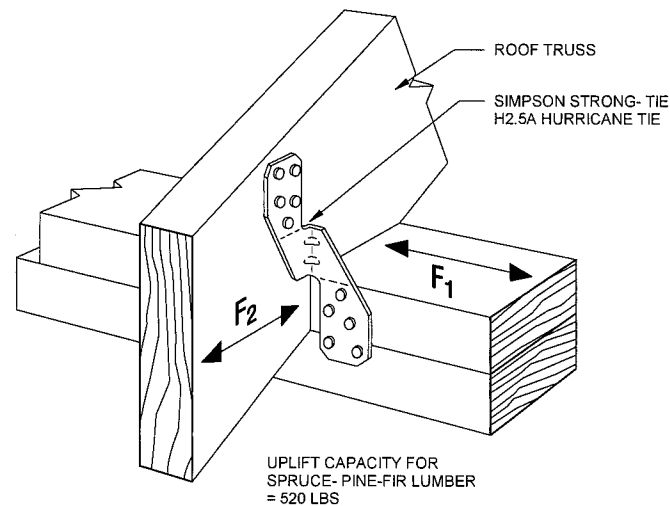
**S-102**

Scale 1/4" = 1'-0"



100 MAYFLOWER DRIVE  
SEEKONK, MA 02771  
TEL 508-336-7147 FAX 508-336-9105

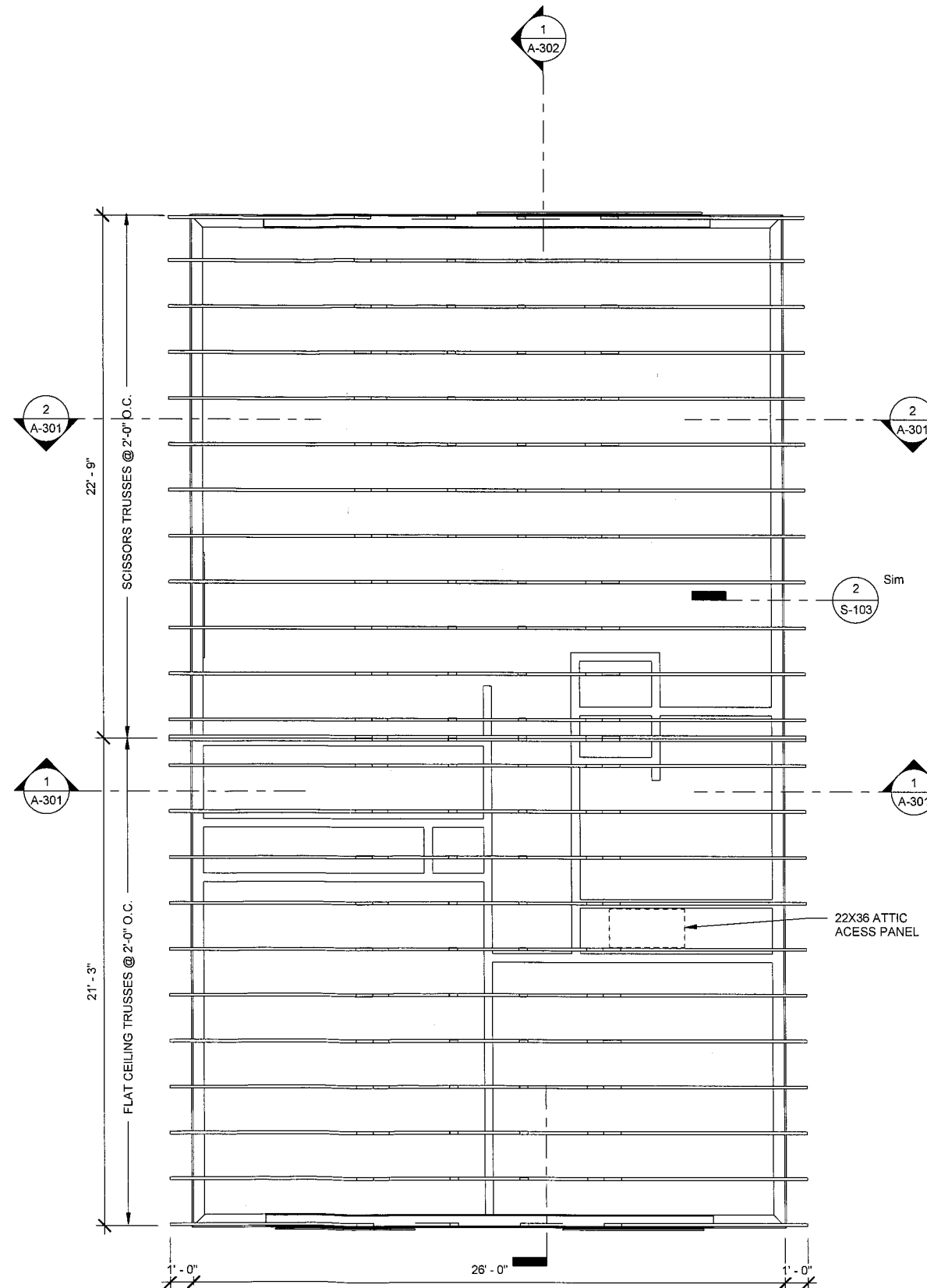
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**2** DETAIL @ H2.5A HURRICANE TIES  
SCALE: 1 1/2" = 1'-0"

**ROOF TRUSS NOTES:**

1. ROOF TRUSS FRAMING PLAN IS SHOWN AND PRESENTED AS A SCHEMATIC ONLY FOR DESIGN CLARIFICATION. ACTUAL ROOF TRUSS WEB DESIGNS AND LAYOUTS SHALL BE DEVELOPED BY THE TRUSS MANUFACTURER.
2. ROOF TRUSS DESIGN SHALL BE BY A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF RHODE ISLAND.
3. INSTALL AND REINFORCE TRUSSES PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.



**1** ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"

No.	Description	Date

NEW HOME FOR  
43 LANE 1  
WARWICK, RI

**ROOF FRAMING PLAN**

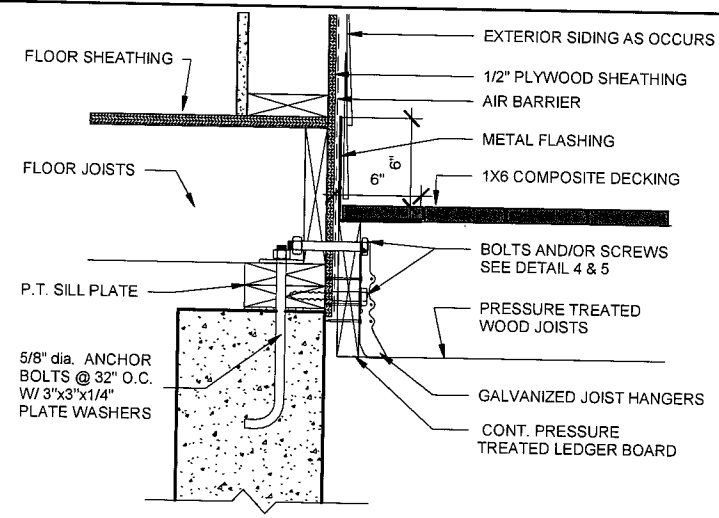
Project number 2017-42  
Date SEPTEMBER 12, 2018  
Drawn by JC  
Checked by JC

**S-103**

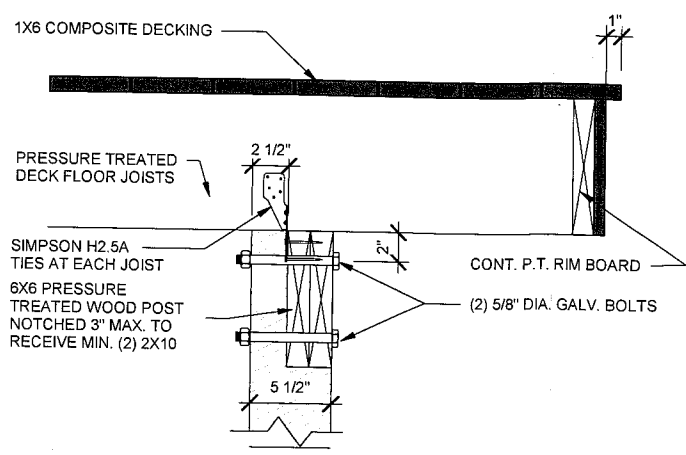
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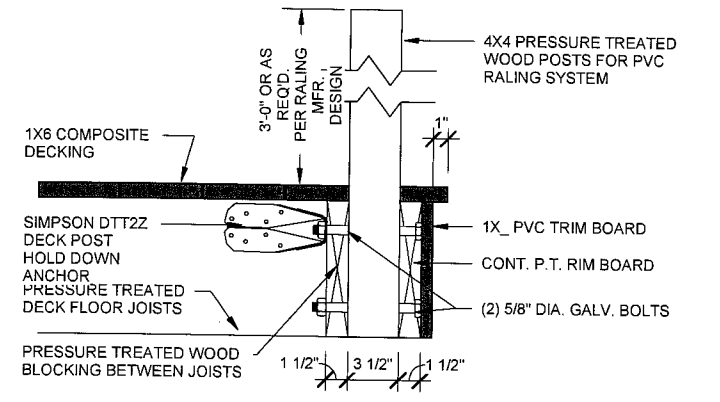




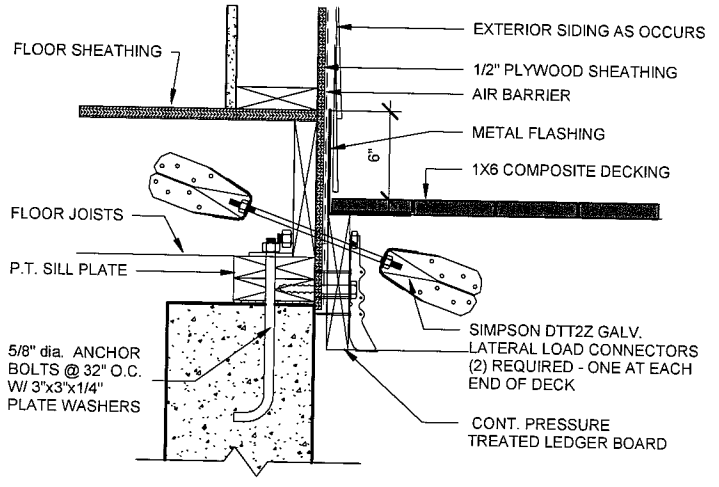
**1** **DETAIL - DECK LEDGER BOARD**  
SCALE: 1 1/2" = 1'-0"



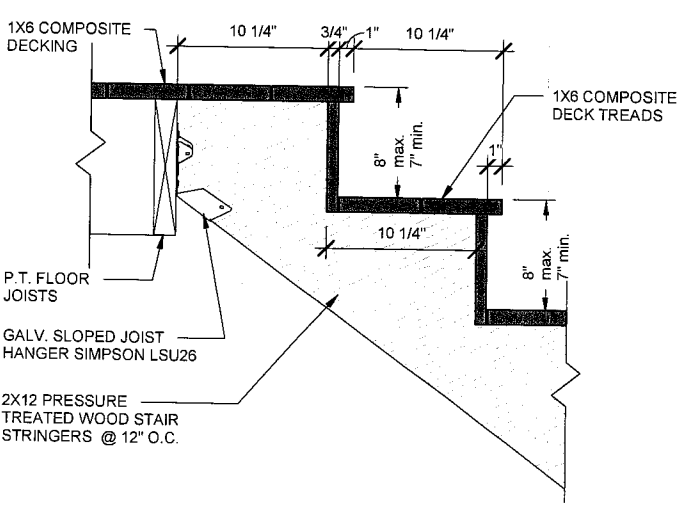
**2** **DETAIL - DECK POST & BEAM**  
SCALE: 1 1/2" = 1'-0"



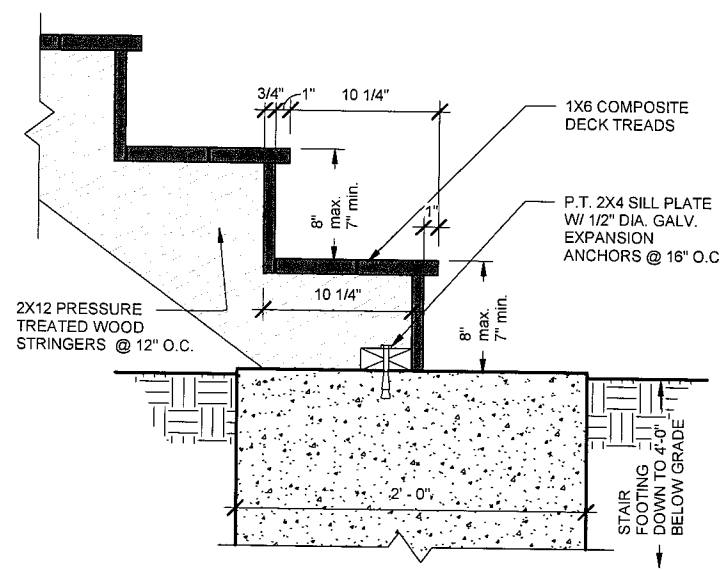
**3** **DETAIL - DECK EDGE @ RAILING POSTS**  
SCALE: 1 1/2" = 1'-0"



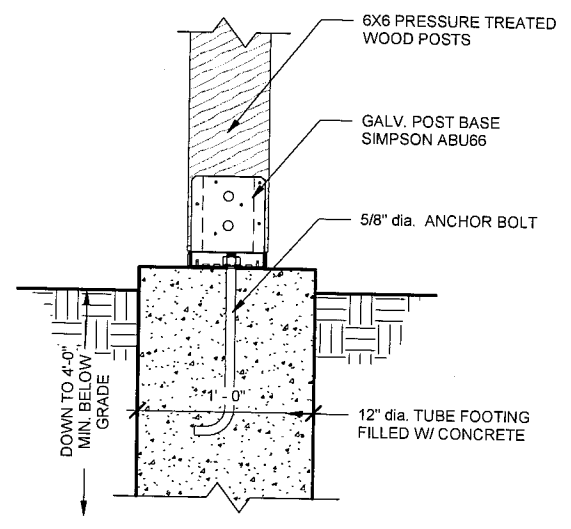
**4** **DETAIL - LATERAL LOAD CONNECTION**  
SCALE: 1 1/2" = 1'-0"



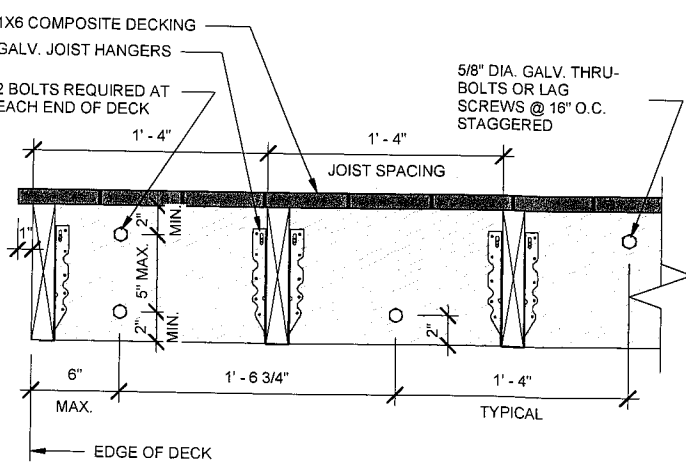
**5** **DETAIL - TOP OF DECK STAIRS**  
SCALE: 1 1/2" = 1'-0"



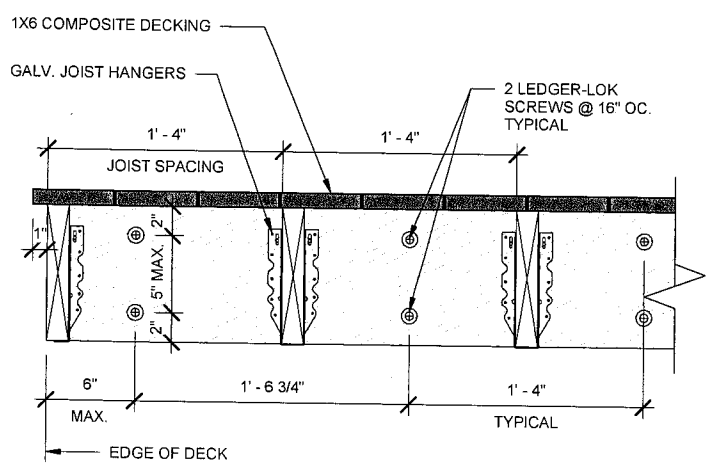
**6** **DETAIL - BOTTOM OF DECK STAIRS**  
SCALE: 1 1/2" = 1'-0"



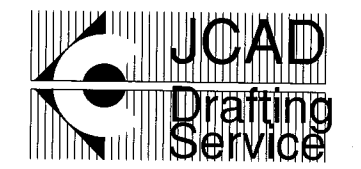
**7** **DETAIL - POST BASE ANCHOR**  
SCALE: 1 1/2" = 1'-0"



**8** **DETAIL - LEDGER BOARD CONNECTION**  
SCALE: 1 1/2" = 1'-0" OPTION 1: LAG OR THRU-BOLT CONNECTION



**9** **DETAIL - LEDGER BOARD CONNECTION**  
SCALE: 1 1/2" = 1'-0" OPTION 2: LEDGER LOK SCREWS CONNECTION



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No.	Description	Date

**NEW HOME FOR  
43 LANE 1  
WARWICK, RI**

**DECK DETAILS**

Project number	2017-42
Date	SEPTEMBER 12, 2018
Drawn by	JC
Checked by	JC

**S-104**

Scale 1 1/2" = 1'-0"