

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS

MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE

SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED

DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF

SURVEYED PARCEL

INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE

TYPE OF BOUNDARY SURVEY:

LIMITED CONTENT BOUNDARY SURVEY

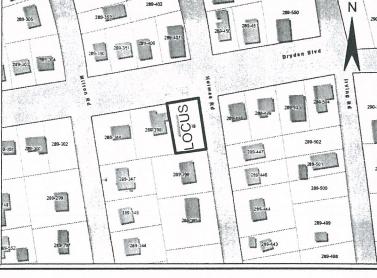
MEASUREMENT SPECIFICATION:

CLASS I

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION

OF THE PLAN IS AS FOLLOWS: TO ESTABLISH AND STAKE RECORD BOUNDARY

LINES. IN ORDER TO CONSTRUCT AN ADDITION TO THE EXISTING DWELLING



LOCUS MAP

NOT TO SCALE

ZONING DISTRICT A-7

MINIMUM LOT AREA: 7,000 S.F. MINIMUM LOT FRONTAGE: 70 FT. MINIMUM SETBACKS: FRONT: 25 FT.

SIDE: 8 FT. REAR: 20 FT

MAXIMUM STRUCTURE HEIGHT: 35 FT. MINIMUM LANDSCAPE: 10%

> A.P. 289 / LOT 399 88 DRYDEN BOULEVARD WARWICK, R.I. 02889

88 DRYDEN BOULEVARD WARWICK, R.I. 02889

9 BENJAMIN STREET, WARWICK, R.I. 02818 PHONE: (401) 884-2220

GRAPHIC SCALE: 1" = 10'

0 10 20 30

SITE PLAN

SCALE: 1"=10' DATE: APRIL 20, 2023

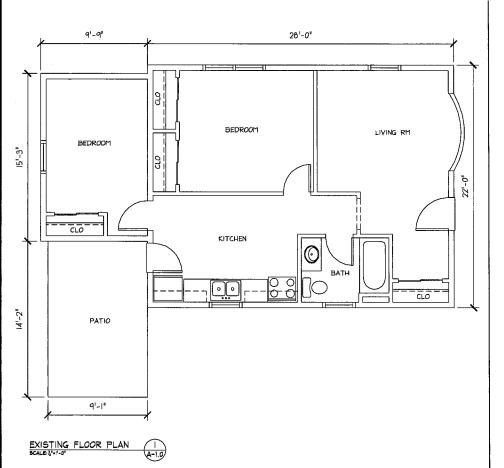
PREPARED FOR:

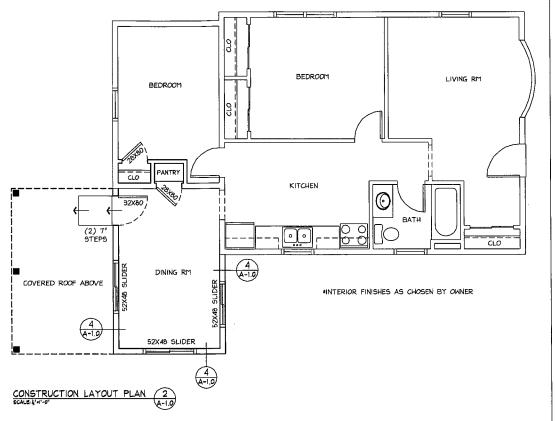
MELISSA GAMAGE

PREPARED BY:

LAND PLANNERS

JOB NO. 2310 / DWG. NO. LPI 2310 - (ZTDS)





GENERAL NOTES FOR ALL CONSTRUCTION: (NOTES TO BE APPLIED AS NEEDED/REQUIRED PER PROJECT)

- G.C. (General Contractor) IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS & WORK PRIOR TO CONSTRUCTION & SHALL REPORT ANY DISCREPANCIES TO THE OWNER & DESIGNER IMMEDIATELY.
- 2. ALL ENGINEERED LUMBER TO BE DESIGNED & ENGINEERED BY OTHERS. ENGINEERED DESIGNS TO BE SUBMITTED FOR APPROVAL/PERMITTING

DESIGN DATA:

DESIGN LOADS: (MIN.)

ROOF (SNOW) = 30psf L.L. @ 115% DURATION, 17psf D.L. = 47psf TOTAL LOAD. FLOOR = 40psf L.L., 20psf D.L. = 60psf TOTAL LOAD. WALL = 20psf TOTAL LOAD.

- I. PLYMOOD TO BE STANDARD PSI 'SOFTWOOD PLYWOOD/CONSTRUCTION & INDUSTRIAL'. ALL SHEATHING SHALL BE SECURED TO FRAMING IN ACCORDANCE TO THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE. REFER TO TABLE R602.3(1) & TABLE R602.3(2).
- 2. FLOOR, ROOF ¢ STAIR LUMBER TO HAVE E=1,400,000; fb=1,200 PSI (MIN.) ROOF SHEATHING TO BE C-D/INT-APA WITH EXTERIOR GLUE WALL SHEATHING TO BE C-D/INT-APA WITH EXTERIOR GLUE PLYWOOD T&G SUBFLOORING TO BE C-D/INT-APA WITH EXTERIOR GLUE
- BUILDING PAPER TO BE ASPHALT SATURATED FELT, 15 LB. TYPE NON-PERFORATED, AS PER ASTM D226

CONCRETE:

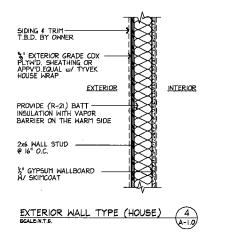
1. CONCRETE TO BE 3,000 PSI IN 28 DAYS.

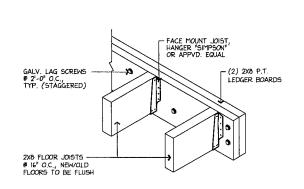
- 1. ALL DECKING SHALL BE PRESSURE TREATED LUMBER. ALL EXT. STAIR STRINGERS TO BE 2x/2's. UNLESS NOTED OTHERWISE. ALL EXTERIOR STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED LUMBER. SUBSTITUTE MATERIAL FOR FINISHED DECKING TO BE COMPOSITE LUMBER, T.B.D. BY OWNER.
- 2. 2x LEDGER TO BE SECURED TO RIM JOIST WITH \S^n DIA. LAG BOLTS @ 2'-0' O.C. (STAGGERED), Fw = 1,400 psi; D.F. (S.S) OR AS SPECIFIED.
- 3. USE 6x6 P.T. PSL POST WITH GALV. "SIMPSON" BASE & CAPS.
- 4. PROVIDE "SIMPSON" JOIST HANGERS AS REQUIRED.

SPECIFICATIONS:

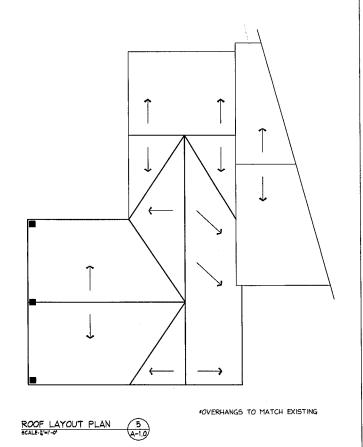
GUTTERS & CONDUCTORS

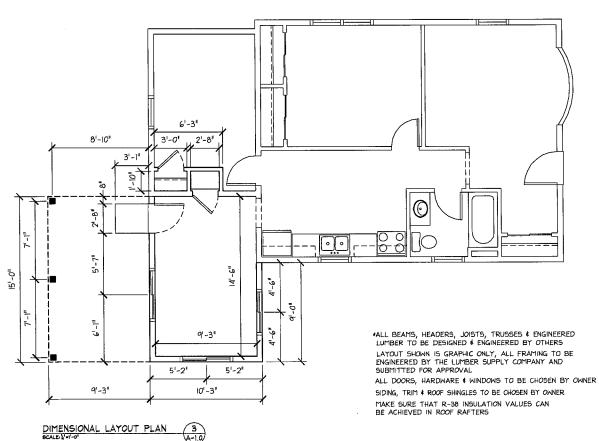
- i. .032 COLORED ALUMINUM SEAMLESS GUTTERS TO BE 4° x6°.
- 2. .032 COLORED ALUMINUM CONDUCTORS (DOWN SPOUTS) TO BE 3"X4" W/ RIVETED CONNECTIONS.





DETAIL # JOISTS/LEDGER CONNECTION 6







AVANTGARDE DESIGN GROUP

CAD DRAFTING & DESIGN 50 Dunnell Lane, Box 11
Pawtucket, RI 02860
TEL: (401) 305-5400
E-Mail: sricci@avantgardedesign.com

REVISION DESCRIPTION DATE

Project:

Dining Room Addition

Melissa Gamage Residence

Map/Lot: # 289/399

88 Dryden Blvd. Warwick ~ R.I.

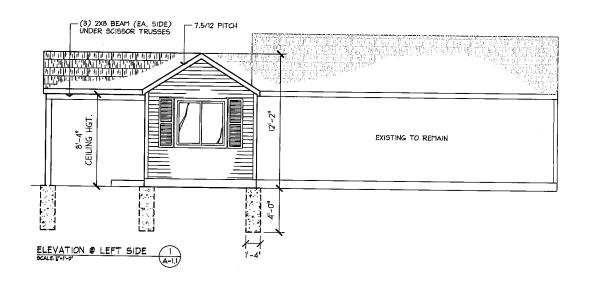
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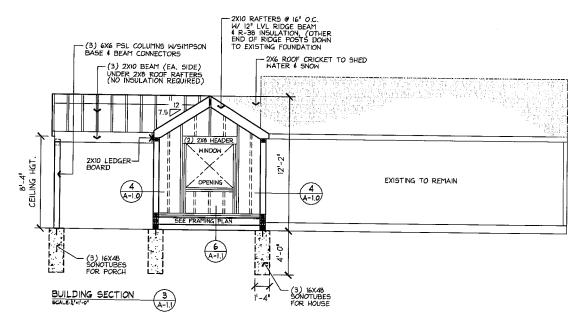
EXISTING, CONSTRUCTION, DIMENSIONAL, ROOF LAYOUT PLAN NOTES & DETAILS

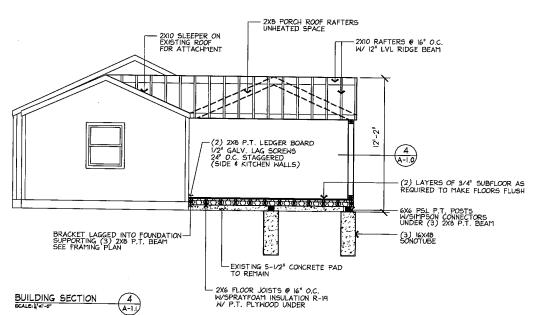
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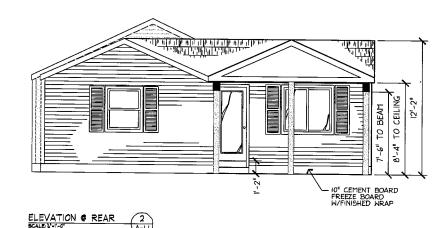
February 18, 2023

Dsgn By: S.R. | Scale: 1/4"=1'-0" Chk. By: 5.R. Date: 01/15/23 Drwn By: 5.R. Proj. #:





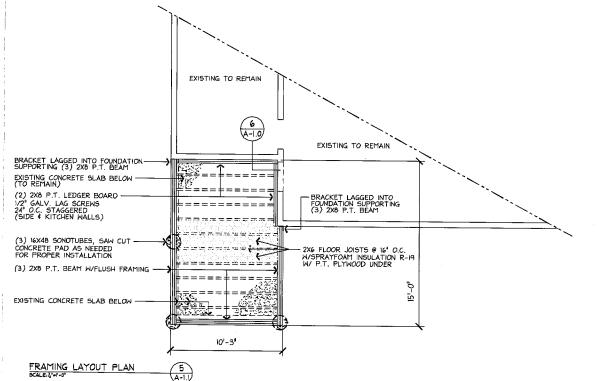




*ALL BEAMS, HEADERS, JOSTS, TRUSSES & ENGINEERED
LUMBER TO BE DESIGNED & ENGINEERED BY OTHERS
LAYOUT SHOWN IS GRAPHIC ONLY, ALL FRAMING TO BE
ENGINEERED BY THE LUMBER SUPPLY COMPANY AND
SUBMITTED FOR APPROVAL
ALL DOORS, HARDWARE & WINDOWS TO BE CHOSEN BY OWNER
SIDNIG, TRIM & ROOF SHINGLES TO BE CHOSEN BY OWNER
MAKE SURE THAT R-36 INSULATION VALUES CAN
BE ACHIEVED IN ROOF RAFTERS

LEXISTING CONCRETE BELOW 3/4" P.T. PLTHOOD

DETAIL • FLOOR SECTION 6
SCALENTS.





AVANTGARDE DESIGN GROUP

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E-Mail: sricci@avantgardedesign.com

REVISION

No.	DESCRIPTION	DATE

Project:

Dining Room Addition

Melissa Gamage Residence Map/Lot: # 289/399

88 Dryden Blvd. Warwick ~ R.I.

Title:

EXTERIOR
ELEVATIONS,
BUILDING SECTIONS,
FRAMING PLANS
\$ DETAILS

Issued For PERMITTING

February 18, 2023

 Dsgn By: S.R.
 Scale: 1/4"=1'-0"

 Chk. By: S.R.
 Date: 01/15/23

 Drwn By: S.R.
 Proj. #:

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