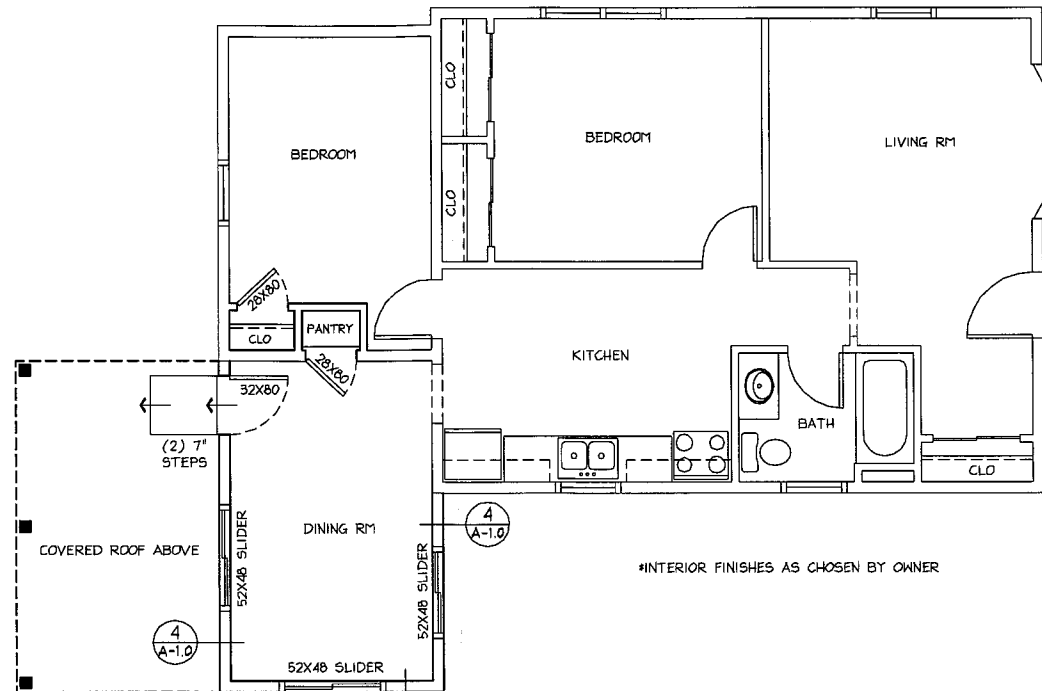


EXISTING FLOOR PLAN  
SCALE: 1/4"=1'-0"  
1 A-1.0



CONSTRUCTION LAYOUT PLAN  
SCALE: 1/4"=1'-0"  
2 A-1.0

**GENERAL NOTES FOR ALL CONSTRUCTION:**  
(NOTES TO BE APPLIED AS NEEDED/REQUIRED PER PROJECT)

- G.C. (General Contractor) IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS & WORK PRIOR TO CONSTRUCTION & SHALL REPORT ANY DISCREPANCIES TO THE OWNER & DESIGNER IMMEDIATELY.
- ALL ENGINEERED LUMBER TO BE DESIGNED & ENGINEERED BY OTHERS. ENGINEERED DESIGNS TO BE SUBMITTED FOR APPROVAL/PERMITTING

**DESIGN DATA:**

**DESIGN LOADS: (MIN.)**

ROOF (SNOW) = 30psf L.L. @ 115% DURATION, 17psf D.L. = 47psf TOTAL LOAD.  
FLOOR = 40psf L.L., 20psf D.L. = 60psf TOTAL LOAD.  
WALL = 20psf TOTAL LOAD.

- PLYWOOD TO BE STANDARD PSI 'SOFTWOOD PLYWOOD/CONSTRUCTION & INDUSTRIAL'. ALL SHEATHING SHALL BE SECURED TO FRAMING IN ACCORDANCE TO THE LATEST EDITION OF THE INTERNATIONAL RESIDENTIAL BUILDING CODE. REFER TO TABLE R602.3(1) & TABLE R602.3(2).
- FLOOR, ROOF & STAIR LUMBER TO HAVE E=1,400,000; Fb=1,200 PSI (MIN.) ROOF SHEATHING TO BE C-D/INT-APA WITH EXTERIOR GLUE WALL SHEATHING TO BE C-D/INT-APA WITH EXTERIOR GLUE PLYWOOD T&G SUBFLOORING TO BE C-D/INT-APA WITH EXTERIOR GLUE
- BUILDING PAPER TO BE ASPHALT SATURATED FELT, 15 LB. TYPE NON-PERFORATED, AS PER ASTM D226

**CONCRETE:**

- CONCRETE TO BE 3,000 PSI IN 28 DAYS.

**FRAMING:**

- ALL DECKING SHALL BE PRESSURE TREATED LUMBER. ALL EXT. STAIR STRINGERS TO BE 2x12's. UNLESS NOTED OTHERWISE. ALL EXTERIOR STRUCTURAL MEMBERS SHALL BE PRESSURE TREATED LUMBER. SUBSTITUTE MATERIAL FOR FINISHED DECKING TO BE COMPOSITE LUMBER, T.B.D. BY OWNER.
- 2x LEDGER TO BE SECURED TO RIM JOIST WITH 1/2" DIA. LAG BOLTS @ 2'-0" O.C. (STAGGERED), Fw = 1,400 psi; D.F. (S.S) OR AS SPECIFIED.
- USE 6x6 P.T. PSL POST WITH GALV. 'SIMPSON' BASE & CAPS.
- PROVIDE 'SIMPSON' JOIST HANGERS AS REQUIRED.

**SPECIFICATIONS:**

**GUTTERS & CONDUCTORS**

- .032 COLORED ALUMINUM SEAMLESS GUTTERS TO BE 4"x6".
- .032 COLORED ALUMINUM CONDUCTORS (DOWN SPOUTS) TO BE 3"x4" W/ RIVETED CONNECTIONS.



**AVANTGARDE  
DESIGN GROUP**

CAD DRAFTING & DESIGN  
50 DUNNELL LANE, BOX 11  
PAWTUCKET, RI 02880  
TEL: (401) 305-5400  
E-MAIL: eric@avantgardedesign.com

**REVISION**

No.	DESCRIPTION	DATE

Project:

**Dining Room Addition  
For**

**Melissa Gamage  
Residence**

**Map/Lot: # 289/399**

**88 Dryden Blvd.  
Warwick ~ R.I.**

Title:

**EXISTING,  
CONSTRUCTION,  
DIMENSIONAL,  
ROOF LAYOUT PLAN,  
NOTES & DETAILS**

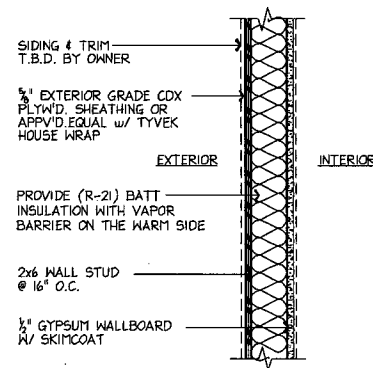
**Issued For PERMITTING**

February 18, 2023

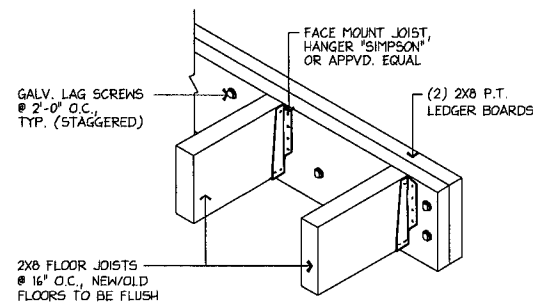
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Chk. By: S.R.	Date: 01/15/23
Drwn By: S.R.	Proj. #:

**A**

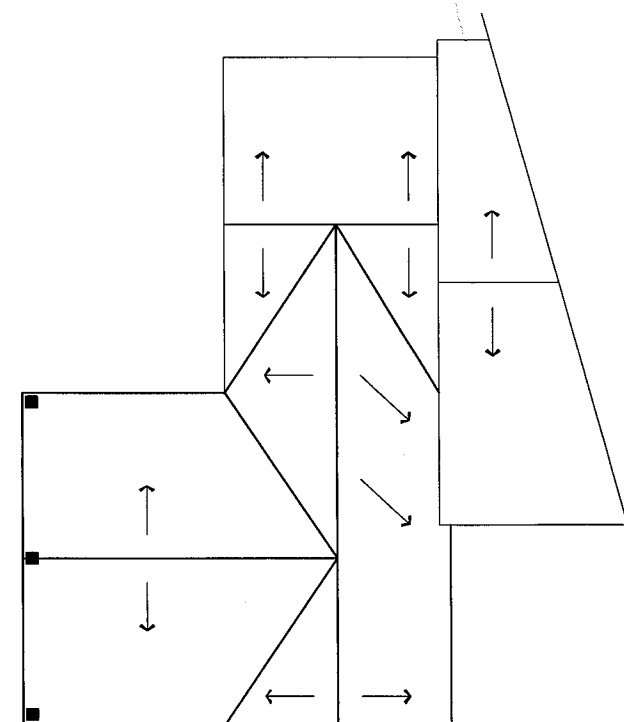
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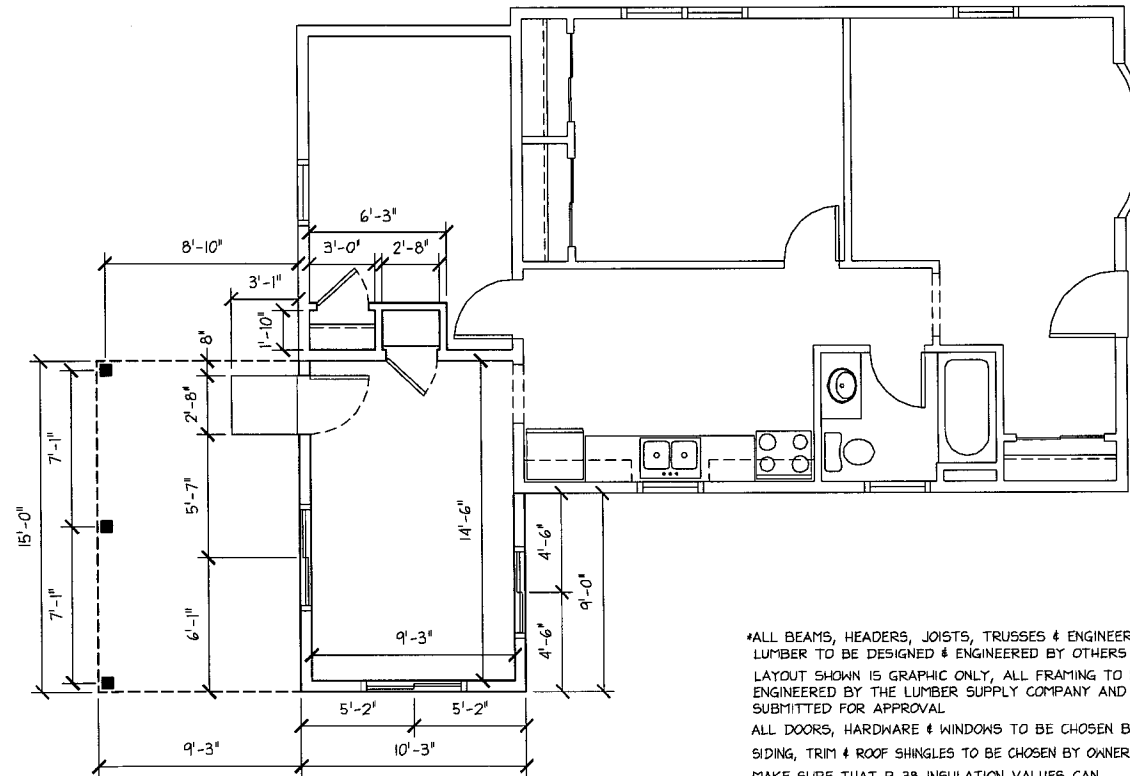
EXTERIOR WALL TYPE (HOUSE)  
SCALE: N.T.S.  
4 A-1.0



DETAIL @ JOISTS/LEDGER CONNECTION  
SCALE: N.T.S.  
6 A-1.0



ROOF LAYOUT PLAN  
SCALE: 1/4"=1'-0"  
5 A-1.0



DIMENSIONAL LAYOUT PLAN  
SCALE: 1/4"=1'-0"  
3 A-1.0

\*ALL BEAMS, HEADERS, JOISTS, TRUSSES & ENGINEERED LUMBER TO BE DESIGNED & ENGINEERED BY OTHERS LAYOUT SHOWN IS GRAPHIC ONLY. ALL FRAMING TO BE ENGINEERED BY THE LUMBER SUPPLY COMPANY AND SUBMITTED FOR APPROVAL. ALL DOORS, HARDWARE & WINDOWS TO BE CHOSEN BY OWNER SIDING, TRIM & ROOF SHINGLES TO BE CHOSEN BY OWNER MAKE SURE THAT R-38 INSULATION VALUES CAN BE ACHIEVED IN ROOF RAFTERS



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REVISION

No.	DESCRIPTION	DATE

Project:

Dining Room Addition  
For  
**Melissa Gamage**  
Residence  
Map/Lot: # 289/399

88 Dryden Blvd.  
Warwick - R.I.

Title:

EXTERIOR  
ELEVATIONS,  
BUILDING SECTIONS,  
FRAMING PLANS  
& DETAILS

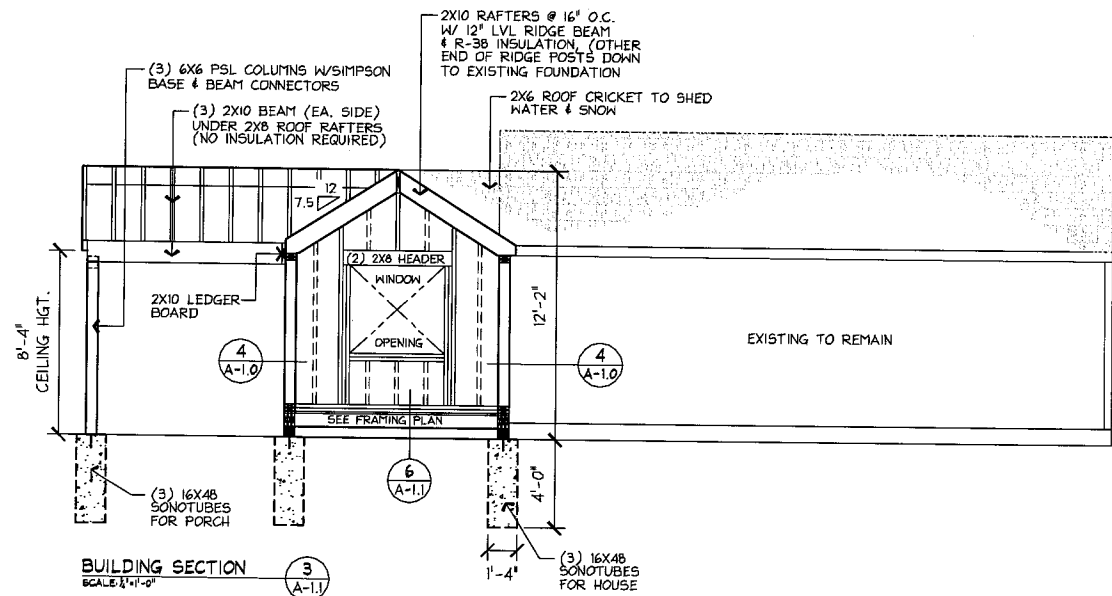
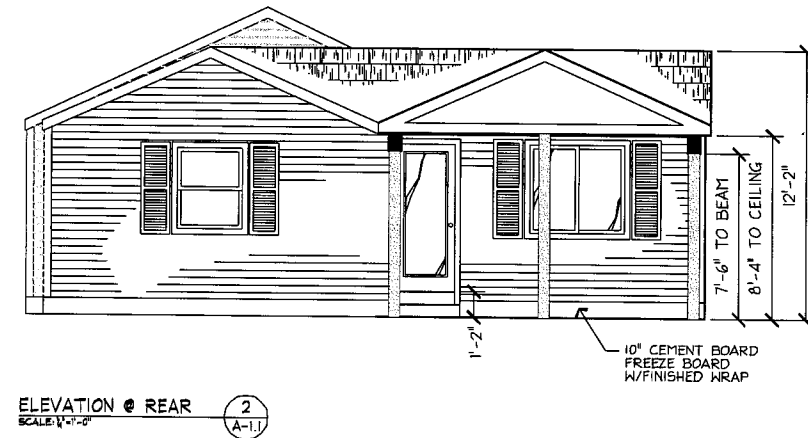
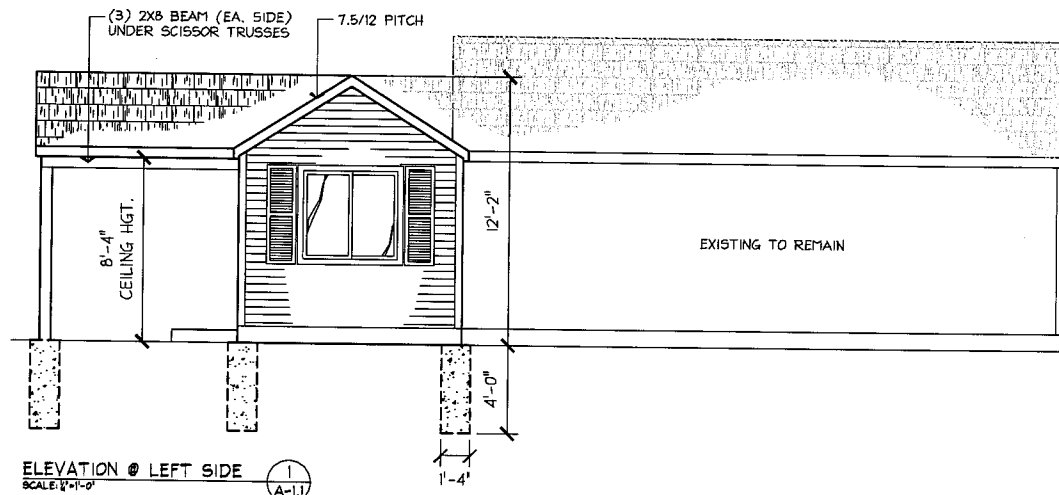
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Dsgn By: S.R.	Scale: 1/4"=1'-0"
Chk. By: S.R.	Date: 01/15/23
Drwn By: S.R.	Proj. #:

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1.1



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MAKE SURE THAT R-38 INSULATION VALUES CAN BE ACHIEVED IN ROOF RAFTERS

