

PAUL DEPETRILLO
CHAIRMAN



FRANK J. PICOZZI
MAYOR

RECEIVED
WARWICK ZONING BOARD OF REVIEW

MAY 05 2023

CITY OF WARWICK
ZONING BOARD OF REVIEW
WARWICK, RHODE ISLAND 02886
(401) 921-9534

RECEIVED
WARWICK ZONING BOARD OF REVIEW

APR 07 2023

PETITION # 10902

Date 5-5 20 23

The undersigned hereby applies to the Warwick Zoning Board of Review for the following:

- SPECIAL USE PERMIT DIMENSIONAL VARIANCE
- USE VARIANCE APPEAL
- AMENDMENT TO A PREVIOUSLY GRANTED RESOLUTION

Applicant: Fred Parker Address: 43 Blackstone Ave.

Owner: Fred Parker Address: "

Lessee: _____ Address: _____

1. Ownership Tenure

DATE OF PURCHASE of the above stated property by the CURRENT OWNER:

08/28/2009

Will ownership of said property be transferred by the CURRENT OWNER TO THE APPLICANT for developmental purposes? No

2. Street Address of Premises 43 Blackstone Ave. Warwick, R.I.

3. Assessor's Plat & Lot 382 68 491
Plat No. Lot No.

4. Dimensions of lot 175'00 200'+/- Area 35,000 Sq. Ft.
Frontage Depth Square Feet

5. Zoning District in which premises is located A-40

6. DEVELOPMENTAL STATUS AND PROPOSAL

Are there any buildings on the premises at present? Yes

If YES, how many buildings? 2 + A SHED

Identify the size, height and use of each building:

- (1) Main House - 40'w x 58'L x 34'H
- (2) Detached Garage - 40'w x 40'L x 24'H
- (3) Shed - 9'w x 9'L x 11'H

**Note: Use additional sheet (s) of paper, if necessary.

7. Present use of premises: Residential
 Proposed use of premises: Residential

8. Total number of RESIDENTIAL UNITS 1 at main house + 1 apt over garage
 Total number of COMMERCIAL UNITS —

9. Have plans for the proposed construction activities/change of use for any existing and proposed building (s) been submitted to the Warwick Building Official?

Yes () No (✓) Does not apply ()

If yes, has a building permit been refused? Yes () No ()

10. Type of Sewer System - Public _____ Private ✓
 Septic _____ Cesspool _____ Sewers _____

11. Is the subject property located in a flood zone? No
 If so, what flood zone? _____

12. Is the subject property located in a Historic District? No
 If so, have you received approval from the Historic District Commission? _____

13. Does your application required Planning Board approval? No
 If so, have you applied and received approval from the Planning Board _____

14. SPECIAL USE PERMIT

A. State existing use of premises _____

B. Proposed use of the property in detail _____

C. LIST precise ARTICLE (S) and SECTION (S) of the ZONING ORDINANCE which authorize consideration of the SPECIAL USE PERMIT described in above.

D. Describe how the granting of the SPECIAL USE PERMIT will meet the requirements of the Zoning Ordinance per Section 906.3 (C)

15. VARIANCES -- (USE OR DIMENSIONAL)

A. State existing use of premises Residential single family

B. Proposed use of the property in detail Construct 4 car 42'x25' garage with gym/exercise space above + attach to main house. Construct addition w/16'x22' port cochere on East side yard.

C. List precise ARTICLE (S) and SECTION (S) of the ZONING ORDINANCE which authorize consideration of the VARIANCE described in above.

Table 2 Dimensional regulations
Side - 30' required → 17' requested at port cochere.
Lot Area 40,000 SF Req. → 35,000 SF Requested.

D. Identify grounds for the proposed VARIANCE. As required in Section 906.3 (A) and 906.3 (B) of the Zoning Ordinance.

906.3 A
906.3 B

16. APPEALS

A. Appeal of the Building Official (Attach a copy of any denial, notification, violation or correspondence relating to appeal).

1. Date of denial/issuance of permit or date of alleged error in enforcement of Ordinance. _____, 20_____

2. Basis of Appeal (Cite applicable provisions of the Ordinance).

B. Appeal to the Warwick Zoning Board of Appeals from an action of the Warwick Planning Board. (Note: Attach all copies of correspondence, plans and the written decision pertaining to the appeal, including any transcript, audiotapes, constituting the record upon which the action appealed was taken, per Section 906.4 (A) of the Ordinance.

Basis for Appeal (Cite applicable Ordinance provisions)

I/We the UNDERSIGNED, swear that all information provided in this APPLICATION is to the best of MY/OUR knowledge complete and correct in every detail.

Respectfully submitted,

(Owner Signature) *



(Address) 43 Blackstone Ave., Warwick, RI

(Phone) 401-474-3725

EMAIL: freddy.p24@verizon.net

Respectfully submitted,

(Applicant Signature) *



(Address) Same

(Phone) Same

EMAIL Same

Attorney:

Name: _____

Address: _____

Phone: _____

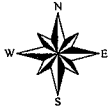
EMAIL _____

*PLEASE BE ADVISED THAT THE STREET NUMBER MUST APPEAR ON ANY EXISTING STRUCTURE

amy.e.cota@warwickri.com

THIS APPLICATION MUST BE REVIEWED FOR COMPLETENESS BY THE BUILDING OFFICIAL PRIOR TO BEING SUBMITTED TO THE ZONING BOARD. PLEASE BE SURE TO REVIEW REQUIREMENTS CAREFULLY.

*****PLEASE NOTE A CLASS I SURVEY IS REQUIRED*****



Warwick, RI

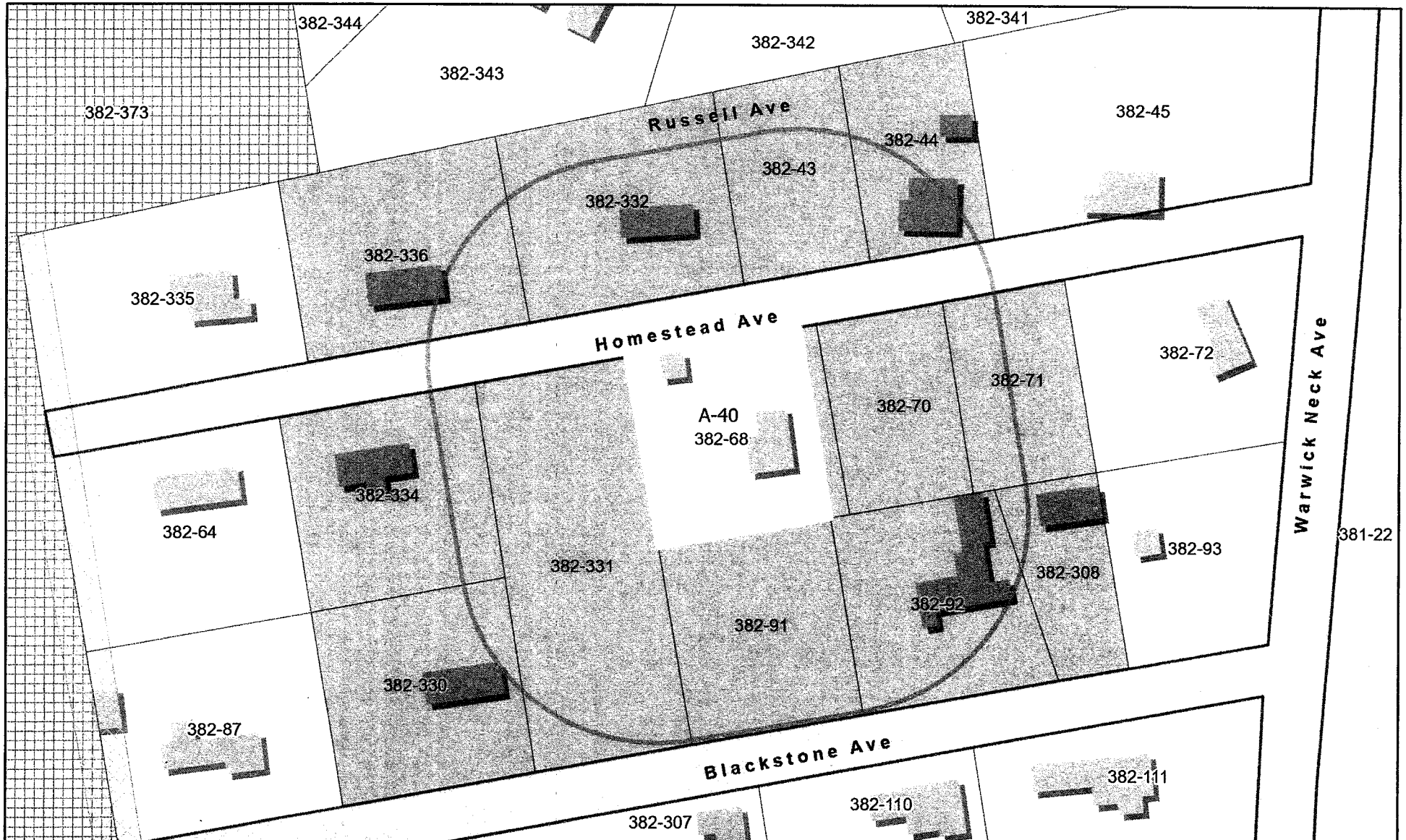


May 8, 2023

1 inch = 140 Feet

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0 140 281 422



Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.



200 foot Abutters List Report

Warwick, RI
May 08, 2023

Subject Property:

Parcel Number: 382-0068
CAMA Number: 382-0068-0000
Property Address: 43 BLACKSTONE AVE

Mailing Address: PARKER, FRED A JR
BYERS MARY JANE REVOCABLE TRUST
8/28/2009 12:00:00 AM
7129, 0268 425000

Abutters:

Parcel Number: 382-0043
CAMA Number: 382-0043-0000
Property Address: HOMESTEAD AVE

Mailing Address: DOHERTY, EVAN W & ANN E T/E
CORRENTE, ROBERT C & 10/4/2021
12:00:00 AM
9972, 0268 873000

Parcel Number: 382-0044
CAMA Number: 382-0044-0000
Property Address: 51 HOMESTEAD AVE

Mailing Address: DOHERTY, EVAN W & ANN E T/E
CORRENTE, ROBERT C & 10/4/2021
12:00:00 AM
9972, 0268 873000

Parcel Number: 382-0069
CAMA Number: 382-0069-0000
Property Address: HOMESTEAD AVE

Mailing Address: CUTLER, ROBERT D CUTLER,
KATHLEEN G
1/1/1900 12:00:00 AM
2458, 0058 0

Parcel Number: 382-0070
CAMA Number: 382-0070-0000
Property Address: BLACKSTONE AVE

Mailing Address: CUTLER, ROBERT D CUTLER,
KATHLEEN G
1/1/1900 12:00:00 AM
2458, 0058 0

Parcel Number: 382-0071
CAMA Number: 382-0071-0000
Property Address: BLACKSTONE AVE

Mailing Address: CUTLER, ROBERT D CUTLER,
KATHLEEN G
1/1/1900 12:00:00 AM
2458, 0058 0

Parcel Number: 382-0091
CAMA Number: 382-0091-0000
Property Address: BLACKSTONE AVE

Mailing Address: PARKER, FRED A JR
BYERS MARY JANE REVOCABLE TRUST
8/28/2009 12:00:00 AM
7129, 0268 425000

Parcel Number: 382-0092
CAMA Number: 382-0092-0000
Property Address: 29 BLACKSTONE AVE

Mailing Address: CUTLER, ROBERT D CUTLER,
KATHLEEN G
1/1/1900 12:00:00 AM
2458, 0058 0

Parcel Number: 382-0308
CAMA Number: 382-0308-0000
Property Address: 21 BLACKSTONE AVE

Mailing Address: DZYACKY, SUSAN B
1/1/1900 12:00:00 AM
0000, 0000 0

Parcel Number: 382-0330
CAMA Number: 382-0330-0000
Property Address: 77 BLACKSTONE AVE

Mailing Address: NELSON, ROBERT A NELSON, LAURIE J
SCOTT, EARLEEN M 5/16/2000 12:00:00
AM
3362, 0092 206000

Parcel Number: 382-0331
CAMA Number: 382-0331-0000
Property Address: HOMESTEAD AVE

Mailing Address: CARROLL JR, WALTER R
1/1/1900 12:00:00 AM
0000, 0000 0



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200 foot Abutters List Report

Warwick, RI
May 08, 2023

Parcel Number: 382-0332
CAMA Number: 382-0332-0000
Property Address: 77 HOMESTEAD AVE

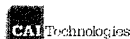
Mailing Address: SUITA, THOMAS DYER, FRANCES
FLAMAND, MELANIE J 5/8/2003 12:00:00
AM
4581, 0241 340000

Parcel Number: 382-0334
CAMA Number: 382-0334-0000
Property Address: 110 HOMESTEAD AVE

Mailing Address: LANE, BRUCE D & MINDY B T/EÃ
RUSSO, STEPHEN B 6/13/2022 12:00:00
AM
10156, 0211 650000

Parcel Number: 382-0336
CAMA Number: 382-0336-0000
Property Address: 109 HOMESTEAD AVE

Mailing Address: JERMEY, JOHNNY A & TINA M
LAROCHELLE, ANDREW N 4/21/2020
12:00:00 AM
9488, 0192 474900



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5/8/2023

Page 2 of 2