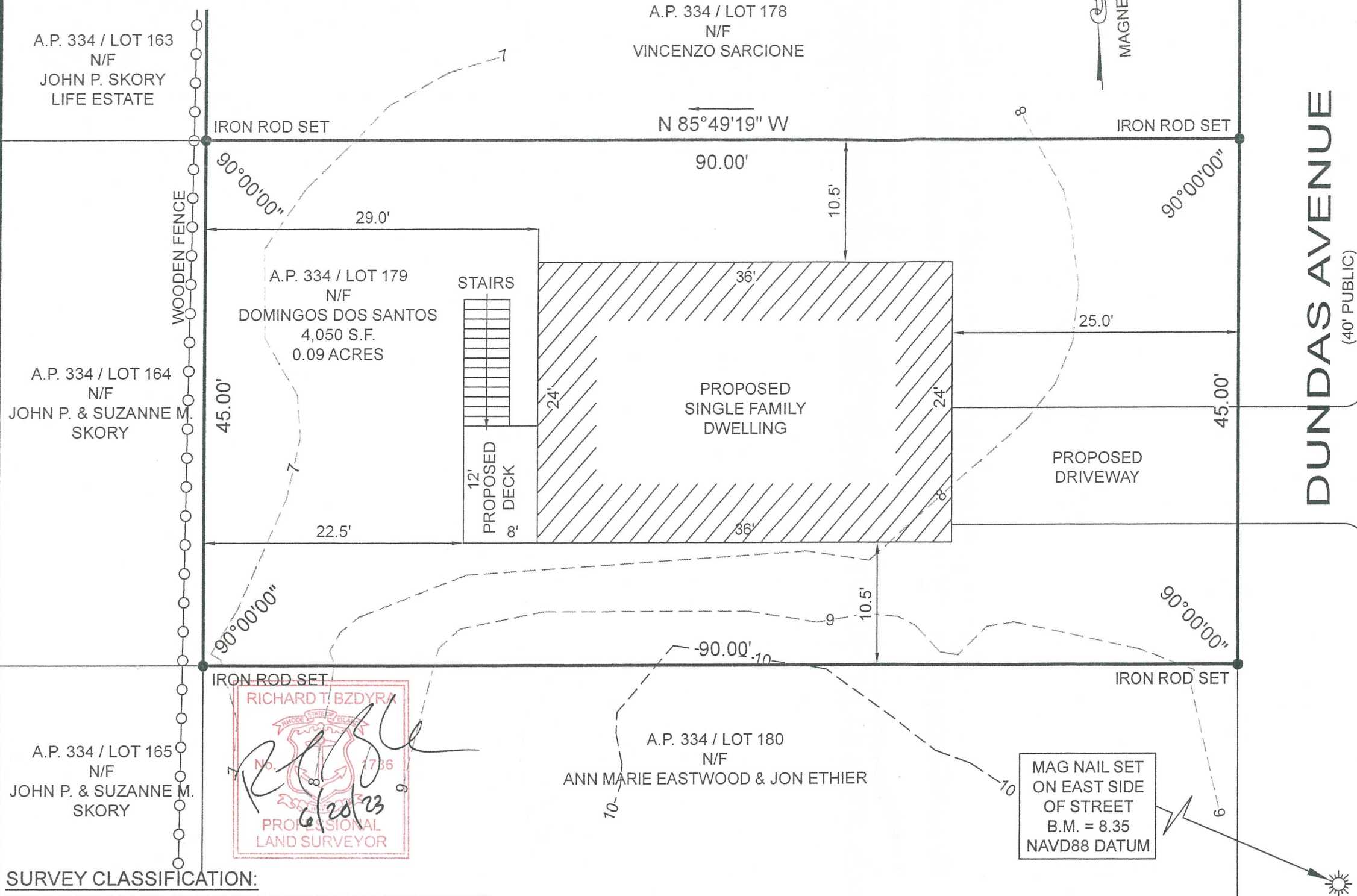


REFERENCE:

- DEED BK. 4847 PG. 188
- RECORD LOT 89 ON "SHAWOMET PARK, WARWICK, R.I. BELONGING TO THE STERLING REALTY CO. MARCH, 1909 WALTER J. GRADY, ENGINEER, PROVIDENCE, R.I. SCALE 50 FEET PER INCH" P.C. 199

NOTE:

LOT IS LOCATED IN FLOOD ZONE AE 12, PER FEMA MAP #44003C0153H, EFFECTIVE ON 09/18/2013



LOCUS MAP
NOT TO SCALE

ZONING DISTRICT A-40
USING ZONING REQUIREMENTS FROM
ZONING DISTRICT A-7

- MINIMUM LOT AREA: 7,000 S.F.
- MINIMUM LOT FRONTAGE: 70 FT.
- MINIMUM SETBACKS: FRONT: 25 FT.
- SIDE: 8 FT.
- REAR: 20 FT.
- MAXIMUM STRUCTURE HEIGHT: 35 FT.
- MINIMUM LANDSCAPE: 10%

28# 10910 - Dundas Ave

DIMENSIONAL CONFORMANCE SURVEY

A.P. 334 / LOT 179
DUNDAS AVENUE
WARWICK, R.I. 02889
SCALE: 1"=10' DATE: JUNE 20, 2024

PREPARED FOR:
HARRINGTON REALTY, LLC.
132 OLD RIVER ROAD, LINCOLN, R.I. 02865
PHONE: (401) 722-3600
PREPARED BY:

OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 10261 / DWG. NO. 10261 - DC - (AJB)

GRAPHIC SCALE: 1" = 10'

SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

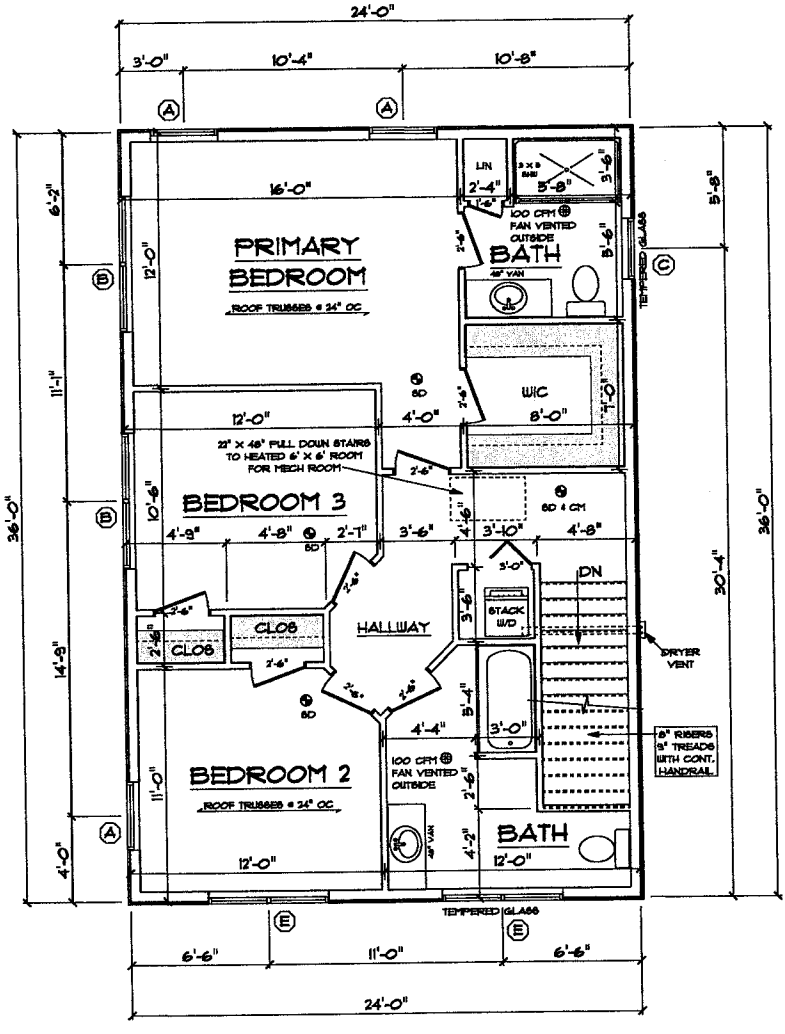
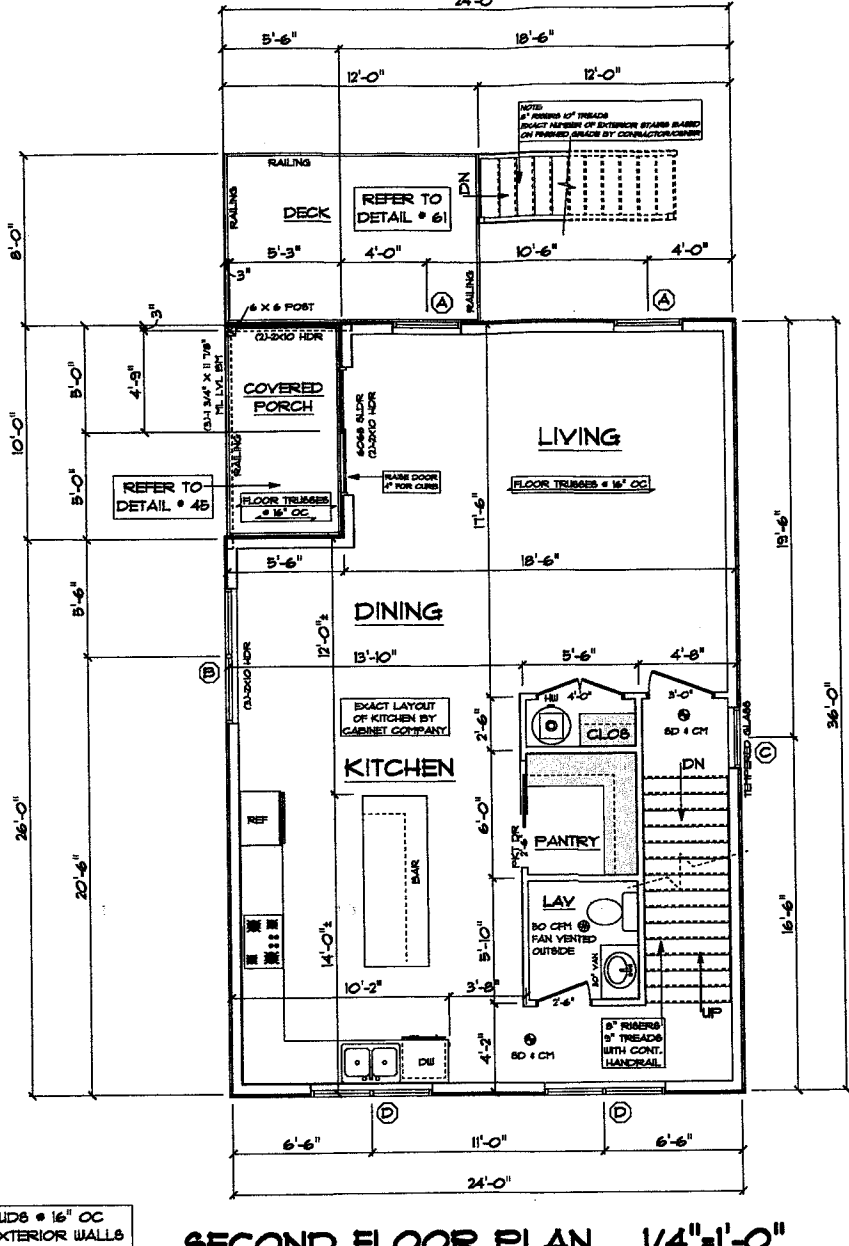
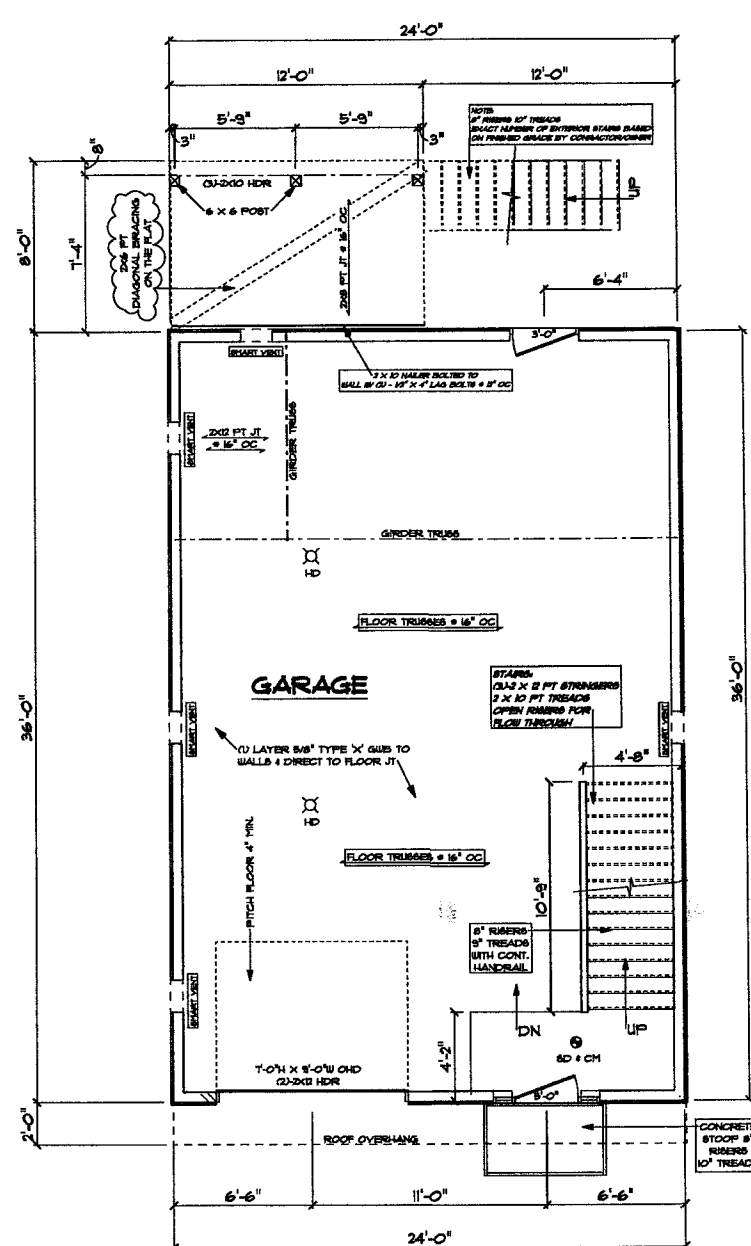
TYPE OF BOUNDARY SURVEY: LIMITED CONTENT BOUNDARY SURVEY DATA ACCUMULATION SURVEY
MEASUREMENT SPECIFICATION: CLASS I CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

BY: *[Signature]* DATE: *6/20/23*
RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.





FLOOD ZONE NOTES

HOUSE: 24 X 36 = 864 SQ FT AREA
REQUIRED: 864 SQ FT X 1 = 864 SQ IN OF FLOOD VENTILATION

USE: (5) 8" X 16" SMART VENT MODEL UNITS
ROUGH OPENING: 8 1/4" X 16 3/8" UNIT DIMEN: 8" X 16"
8" X 16" VENT IS CERTIFIED FOR 200 SQ FT OF ENCLOSED AREA FOR FLOOD

TOTALS: 5 X 200 SQ FT = 1000 SQ FT OF VENT FLOOD

INSTALL: BOTTOM OF VENT MAX 1'-0" FROM FINISHED GRADE (SEE SIDE ELEVATION FOR DETAIL)

SEE SMART VENT SPECIFICATIONS

PRELIMINARY PLANS ONLY FOR ZONING AND PRICING ONLY

2x6 STUDS @ 16" OC AT ALL EXTERIOR WALLS UNLESS OTHERWISE NOTED.

POINT LOAD FROM ABOVE: PROVIDE THE FOLLOWING: (1) SOLID BLOCKING BETWEEN BEAM FOR SILL AND PLYWOOD SUBFLOOR (2) A MINIMUM OF THREE STUDS IN A BEARING WALL-AD BRANT JACKS

- LEGEND:**
- SOLID BEARING TO FOUNDATION
 - ⊙ SO SMOKE DETECTOR
 - ⊙ SO + CH SMOKE DETECTOR & CARBON MONOXIDE
 - HU HOT WATER
 - HU HEATING UNIT/ BOILER
 - ⊙ SO or 100 CFM FAN VENTED TO OUTSIDE
 - ⊙ WINDOW UNIT NUMBER
 - ⊙ HD HEAT DETECTOR (GARAGE)

WINDOW SCHEDULE

TYPICAL HEADERS: 2" X 10" TYPICAL HEADER HEIGHT: 6'-0"

ALL LETTERS APPLICABLE FOR HEADERS, JOISTS, AND BEAMS TO BE 100# SPRUCE NO. 2 JOIST/HEADER. LOADS FOR FLOOR JOISTS, RAFTERS, HEADERS AND BEAMS ARE BASED ON THE FOLLOWING: (1) FLOOR JOISTS LIVING AREAS: 40 PSF LIVE LOAD, 20 PSF DEAD LOAD; (2) FLOOR JOISTS SLEEPING AREAS: 30 PSF LIVE LOAD, 20 PSF DEAD LOAD.

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL AREA	NET AREA	DESIGN PRESSURE
A	3'-0" X 6'-0"	DN	1	18.0	18.0	30
B	6'-0" X 6'-0"	DN	1	36.0	36.0	30
C	2'-0" X 3'-0"	DN	1	6.0	6.0	30
D	2'-0" X 3'-0"	DN	1	6.0	6.0	30
E	2'-0" X 2'-0"	PN	1	4.0	4.0	30
F	2'-0" X 2'-0"	PN	1	4.0	4.0	30
G	2'-0" X 2'-0"	PN	1	4.0	4.0	30
H	2'-0" X 2'-0"	PN	1	4.0	4.0	30
I	2'-0" X 2'-0"	PN	1	4.0	4.0	30

DOOR SCHEDULE

TYPICAL HEADERS: 2" X 10" TYPICAL HEADER HEIGHT: 6'-0"

INTERIOR AND EXTERIOR DOOR KEYS ARE NOTED ON PLANS. INTERIOR AND EXTERIOR DOOR KEYS ARE NOTED ON PLANS. INTERIOR AND EXTERIOR DOOR KEYS ARE NOTED ON PLANS. INTERIOR AND EXTERIOR DOOR KEYS ARE NOTED ON PLANS.

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SILL AREA	NET AREA	DESIGN PRESSURE
A	3'-0" X 6'-0"	DN	1	18.0	18.0	30

DESIGN PRESSURE

WIND ZONE: 100 MPH
WIND EXPOSURE: B
HEIGHT FROM GRADE: 30'-0"
PRESSURE ZONE: 4.1 B

THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.

- RISIC - 2 - 2011
- WIND DESIGN: ZONE 1 100 MPH
- LOAD DESIGN: 40 PSF LIVING AREA LOADS, 30 PSF SLEEPING AREA LOADS, 20 PSF DEAD LOADS, 80 PSF EXTERIOR DECK LOADS, 30 PSF SNOW LOADS
- FROST DEPTH: MINIMUM 3'-6" DEEP
- CLIMATE ZONE: B
- CONSTRUCTION TYPE: B3
- BUILDING HEIGHT: (MAXIMUM 35'-0") MEASURED FROM TOP OF FOUNDATION TO RIDGE
- ALL INSULATION IN EXTERIOR WALLS ARE BASED ON THE MINIMUMS AS PER THE PRESCRIPTIVE METHOD OF TABLE N1001.2 OF THE ENERGY CONSERVATION CODES.

24 X 36 3-STORY COLONIAL

PREPARED FOR:
HARRINGTON REALTY

LOT 178 DUNDAS AVENUE
WARWICK, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY. DLR DIMENSIONS, INC. DOES NOT WARRANT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES.

DLR DIMENSIONS
RESIDENTIAL DESIGNERS & CONSULTANTS
401.738.3156
DLRDIMENSIONS.COM

SCALE NOTED

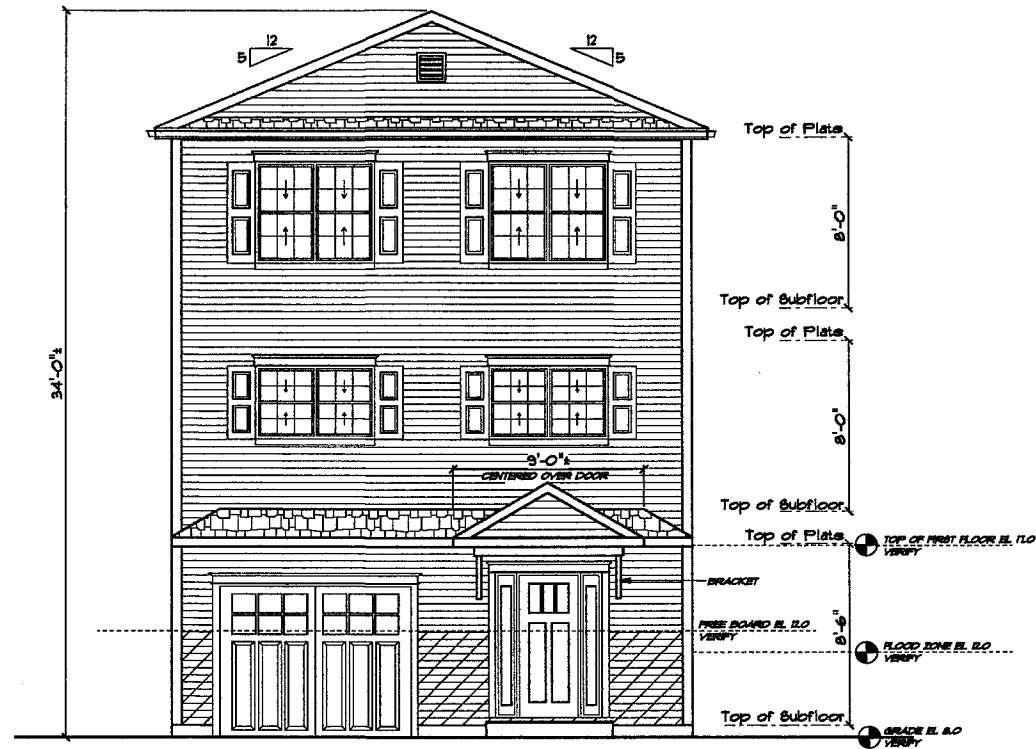
DATE: Thursday, June 9, 2023

APPROVED: DRR

DRAWN BY: DRR

DRAWING NUMBER: 5354-179

1 OF 4

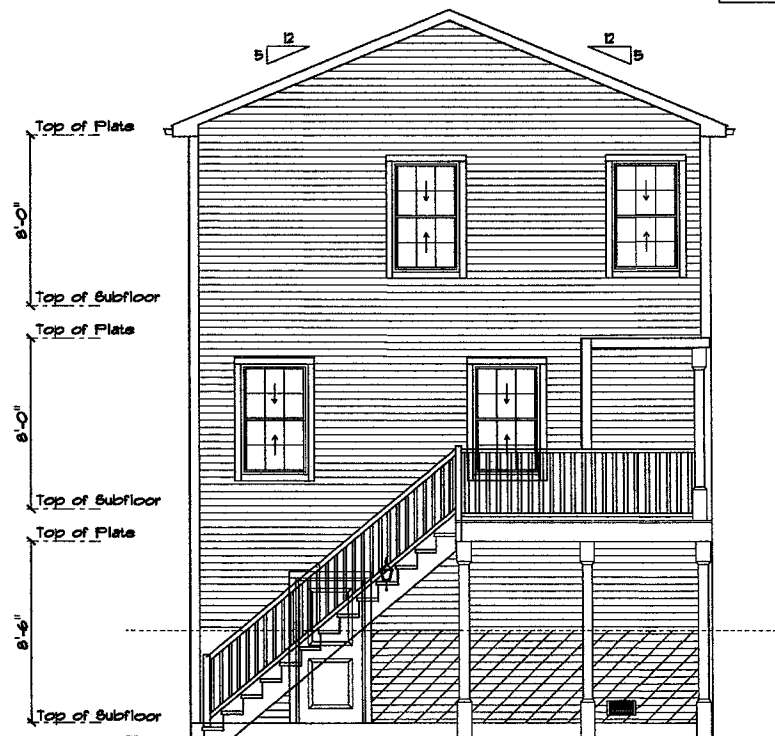


FRONT ELEVATION 1/4"=1'-0"

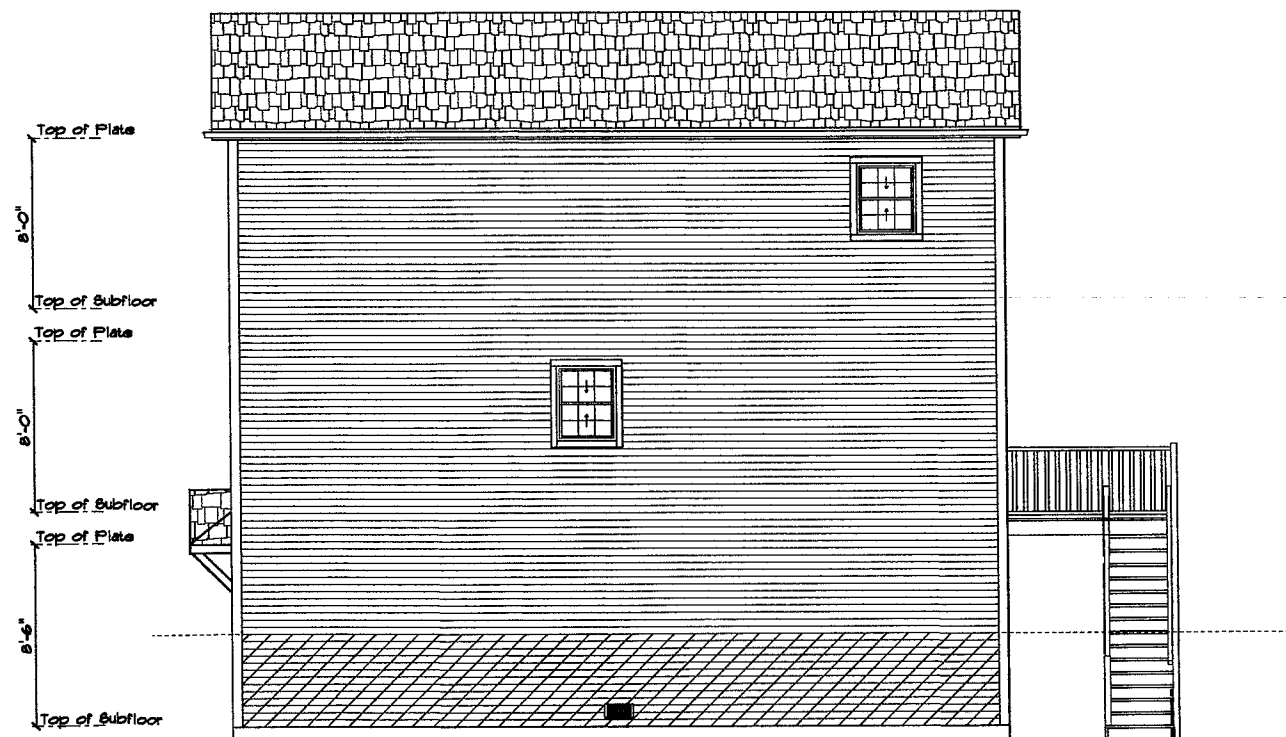


LEFT SIDE ELEVATION 1/4"=1'-0"

**PRELIMINARY PLANS ONLY
FOR ZONING AND PRICING ONLY**



BACK ELEVATION 1/4"=1'-0"



RIGHT SIDE ELEVATION 1/4"=1'-0"

24 X 36 3-STORY COLONIAL

PREPARED FOR:
HARRINGTON REALTY
LOT 178 DUNDAS AVENUE
WARWICK, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY. DLR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES.

EST. 1985
DLR DIMENSIONS
RESIDENTIAL DESIGNERS & CONSULTANTS
401.738.3156
DLRDIMENSIONS.COM

DLR DIMENSIONS, INC. IS NOT A LICENSED ARCHITECT OR ENGINEER. CHANGES TO ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING, AND HVAC CONTRACTORS SHALL BE THE RESPONSIBILITY OF THE CLIENT. ALL WORK SHALL BE IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL REGULATIONS AND ALL APPLICABLE CODES.

SCALE	NOTED
DATE	Thursday, June 8, 2023
APPROVED	DRR
DRAWN BY	DRR
DRAWING NUMBER	5354-179