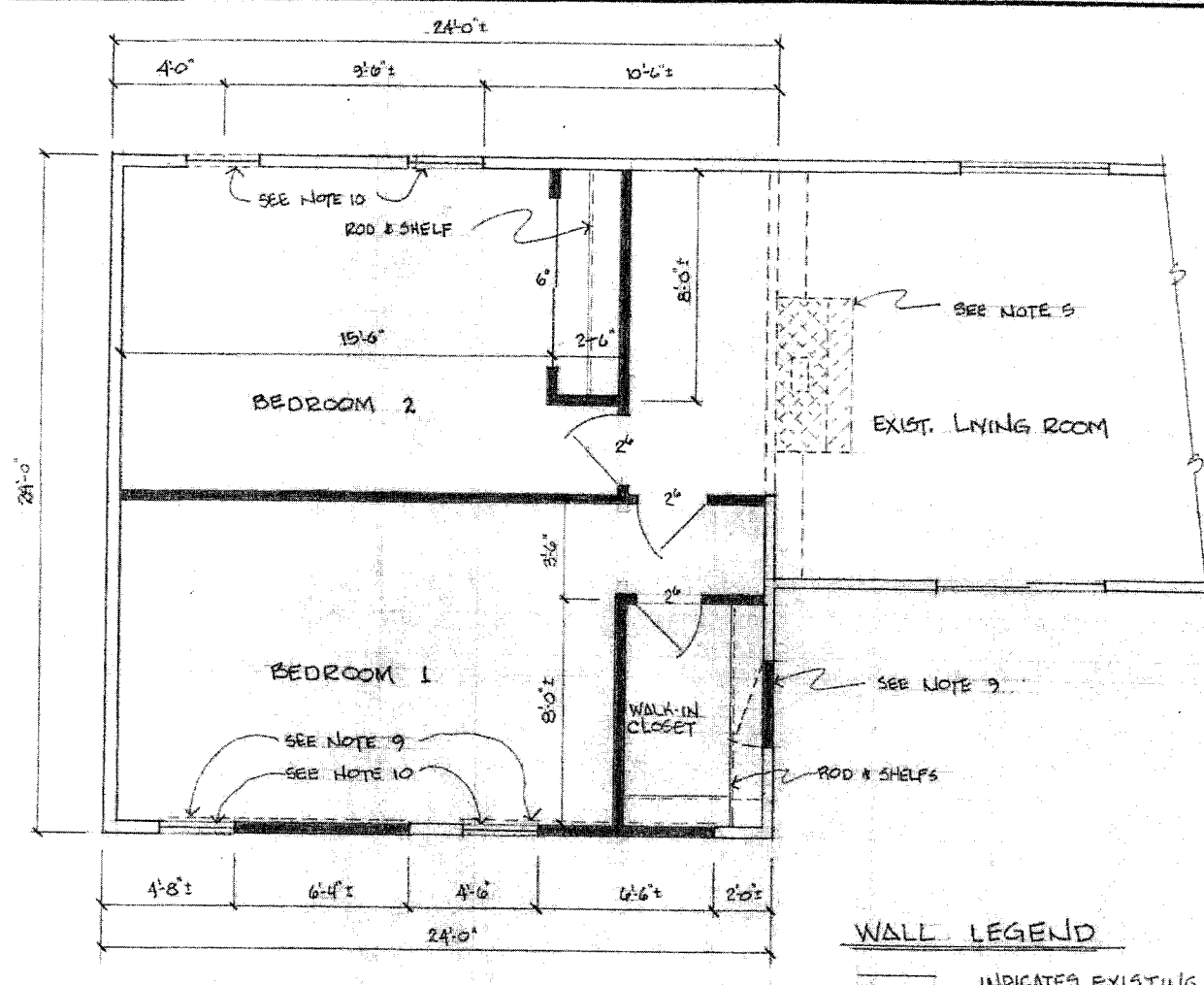


ZB # 10912 - 24 Emery Ct.



SURVEY OF LAND
IN
WARWICK R.I.
SCALE: 1" = 20' JANUARY, 1981
PREPARED FOR: DAN THOMPSON

SCITUATE SURVEYS INC.
ROCKY HILL ROAD
SCITUATE, R.I.



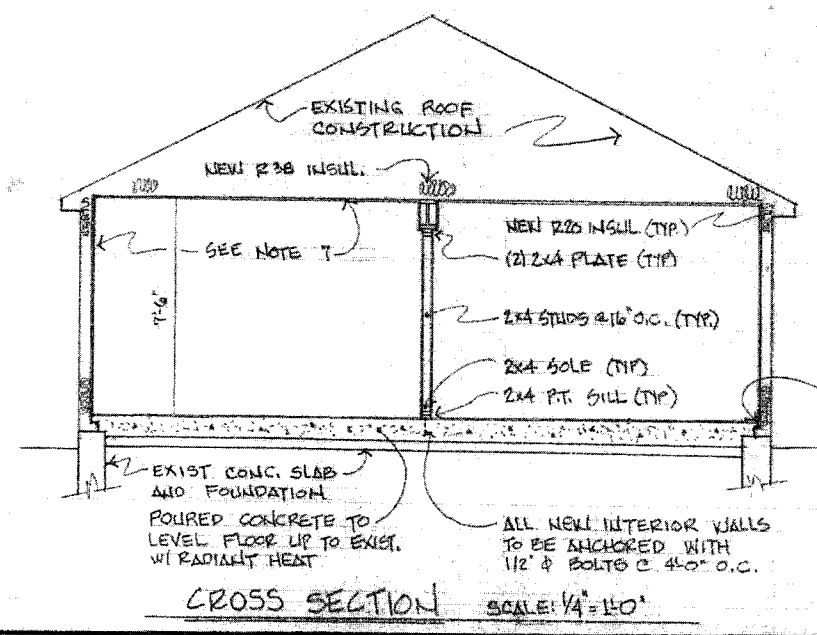
RENOVATED GARAGE PLAN
SCALE: 1/4" = 1'-0"

WALL LEGEND

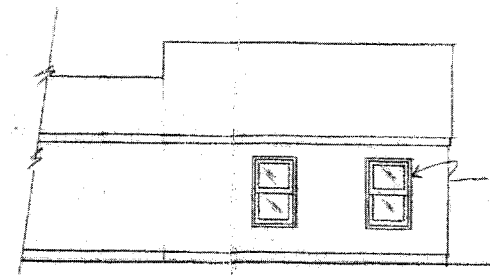
- INDICATES EXISTING WALLS TO REMAIN
- - - - - INDICATES EXISTING WALLS THAT ARE TO BE REMOVED
- ▬ INDICATES NEW WALL CONSTRUCTION TO MATCH EXISTING AS MUCH AS POSSIBLE

GENERAL NOTES

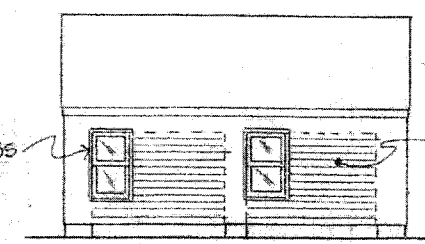
- 1) ALL EXISTING CONDITIONS TO BE VERIFIED BY THE CONTRACTOR.
- 2) THE CONTRACTOR SHALL CONFIRM ALL DIMENSIONS AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES, AMBIGUITIES OR INCONSISTANCIES PRIOR TO PROCEEDING WITH THE WORK.
- 3) ALL MATERIAL AND WORKMANSHIP TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "STATE OF RHODE ISLAND BUILDING CODES FOR ONE AND TWO FAMILY DWELLINGS" AS RECOGNIZED BY THE CITY OF WARWICK AND THE STATE OF R.I.
- 4) ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED WITH PRESERVATIVE.
- 5) THE EXISTING CHIMNEY/FIREPLACE CONSTRUCTION AND THE ADJOINING WALL AND BOOKSHELVES TO BE REMOVED AS SHOWN. FLOOR AND ROOF TO BE PATCHED IN TO MATCH EXIST. CONSTRUCTION.
- 6) THE NEW FLOOR CONSTRUCTION IN THE EXISTING GARAGE TO BE POURED CONCRETE WITH RADIANT HEAT AND FLUSH WITH EXISTING LIVING ROOM FLOOR. THE EXIST. CONCRETE FOUNDATION AND SLAB TO BE PREPARED AND ADDED TO, AS REQUIRED, FOR THE NEW FLOOR SLAB. THE EXISTING WOOD STUDS SHOULD ALSO BE PREPARED/FLASH AS REQUIRED FOR NEW CONCRETE FLOOR.
- 7) THE EXISTING GARAGE WALLS AND ROOF TO BE INSULATED AS REQUIRED BY CODE, WITH R20 IN THE WALLS AND R30 IN THE CEILING.
- 8) BOX IN EXISTING BEAM WITH MATCHING CONSTRUCTION.
- 9) THE TWO OVERHEAD DOORS AND ONE PERSONNEL DOOR AND THEIR HARDWARE ARE TO BE REMOVED AND TO BE REPLACED WITH MATCHING WALL CONSTRUCTION AS SHOWN.
- 10) THE FOUR NEW BEDROOM WINDOWS ADDED ARE TO BE EGRESS SIZE. THE FRONT TWO WINDOWS TO LINE UP WITH THE EXISTING LEFT JAMB OF THE OVERHEAD DOORS AS SHOWN. THE REAR TWO WINDOWS WILL LINE UP AS SHOWN, WITH ONE USING AN EXISTING WINDOW (THAT IS TO BE REMOVED) JAMB AND THE OTHER BEING CUT INTO A NEW OPENING.
- 11) ALL NEW INTERIOR AND EXTERIOR FINISHES TO MATCH EXISTING FINISHES UNLESS OTHERWISE DIRECTED, BY THE OWNER.



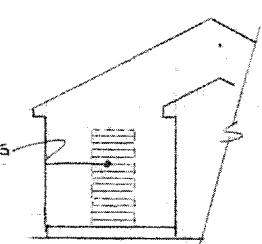
CROSS SECTION SCALE: 1/4" = 1'-0"



REAR ELEVATION



FRONT ELEVATION



RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"

| | | |
|---|---------------------|----------------------------------|
| PROPOSED RENOVATIONS FOR RON STEVENS | | |
| SCALE: NOTED | APPROVED BY: | DRAWN BY: SP |
| DATE: 5/1/23 | | REVISED: |
| 24 EMORY COURT WARWICK, R.I. | | |
| RENOVATED GARAGE PLAN CROSS SECTION | NOTES ELEVATIONS | DRAWING NUMBER ONE ONE |