

DATE	
REVISION	
NO.	06/09/2023
SUBMITTAL TO CITY OF WARWICK	

SECTION 302 TABLE 2B DIMENSIONAL REGULATIONS - A.P. 274 LOT 229
ZONING DISTRICT: GENERAL BUSINESS (GB) (NONRESIDENTIAL USE)

REQUIREMENT	EXISTING	PROPOSED
MINIMUM LANDSCAPED OPEN SPACE (1) 10%	±30%	±30%

ZONING FOOTNOTES:
(1) LOT 229 IS EXISTING NON CONFORMING FOR MINIMUM SITE INTERIOR LANDSCAPE REQUIREMENT AND THE LANDSCAPE BUFFER REQUIREMENT LISTED IN SUBSECTIONS 505.6.B AND 505.6.A RESPECTIVELY. THE EXISTING BUILDING FOOTPRINT AND PARKING LAYOUT WILL REMAIN THE SAME.

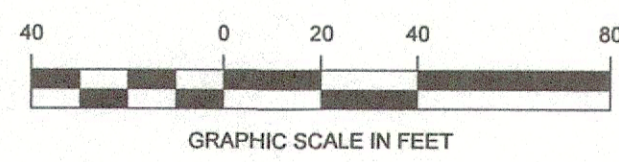
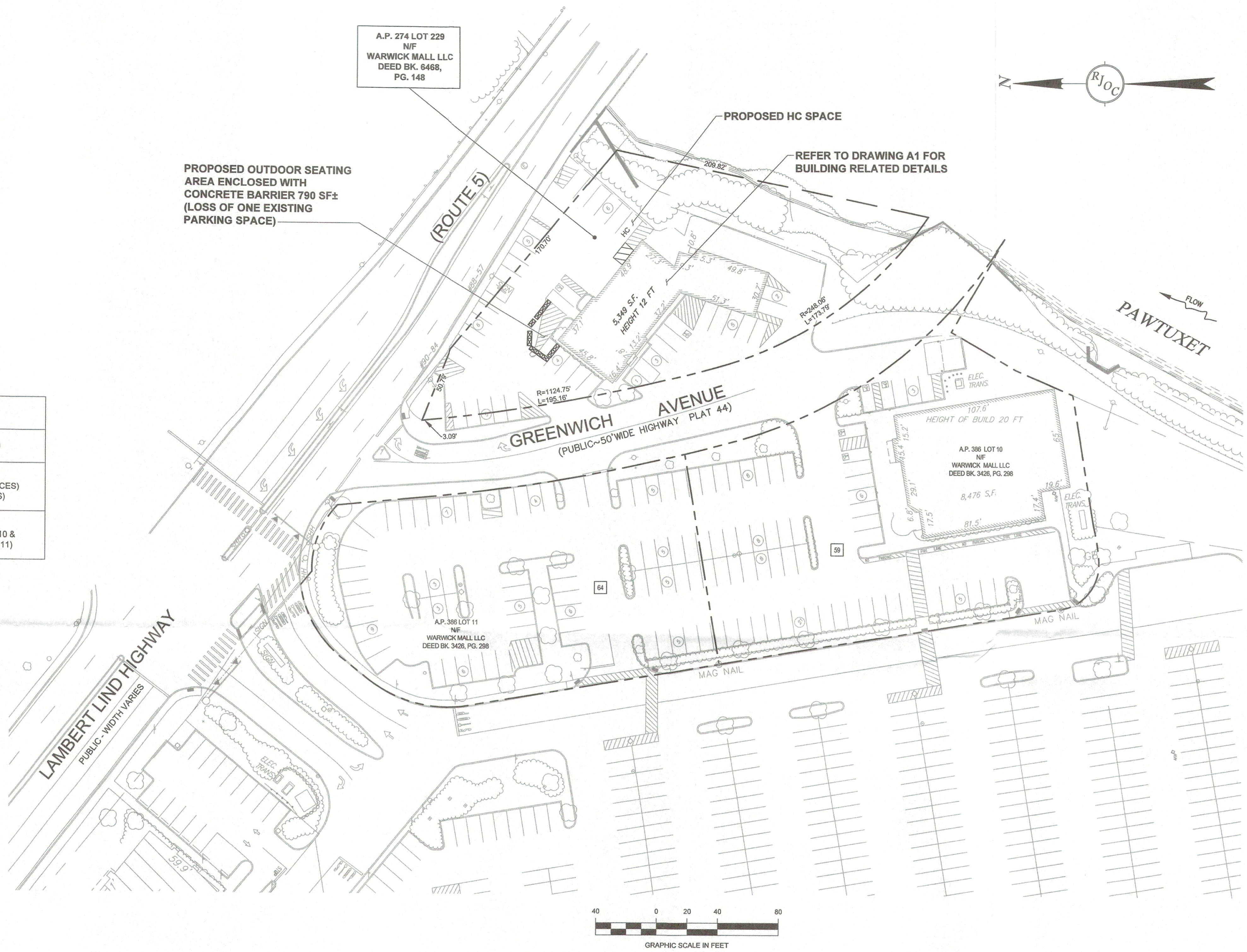
PARKING SUMMARY

LOT NUMBER	USE AND GROSS FLOOR AREA	SPACE REQUIREMENT	EXISTING	PROPOSED
LOT 229	RESTAURANT (1) = 4,500 SF ± OUTDOOR SEATING (1) = 790 SF ± OFFICE (2) = 720 SF ±	56 SPACES	40 SPACES* (38 REGULAR SPACES) (2 ADA SPACES)	39 SPACES* (36 REGULAR SPACES) (3 ADA SPACES)
LOT 10 & LOT 11	RESTAURANT (1) = 8,500 SF ±	85 SPACES	123 SPACES (59 SPACES LOT 10 & 64 SPACES LOT 11)	123 SPACES (59 SPACES LOT 10 & 64 SPACES LOT 11)

*18 SPACES ENCRACH ONTO THE ROADWAY - EXISTING NON CONFORMANCE

TOTAL SPACES REQUIRED FOR LOTS 10, 11 AND 229: 141 SPACES (SUM OF PARKING REQUIREMENTS FOR LOTS 10, 11 AND 229)
TOTAL SPACES PROVIDED FOR LOTS 10, 11 AND 229: 162 SPACES (SUM OF SPACES ON LOT 10, 11 AND 229)
TOTAL SURPLUS SPACES: 21 SPACES (DIFFERENCE OF PROVIDED AND REQUIRED SPACES FOR LOTS 10, 11 AND 229)

PARKING FOOTNOTES:
(1) RESTAURANT: 1 SPACE/100 SF GFA (GROSS FLOOR AREA)
(2) OFFICE: 1 SPACE/300 SF GFA (GROSS FLOOR AREA)



LEGEND & ABBREVIATIONS

HC	PROPOSED ADA ACCESSIBLE SPACE	---	LOCUS PROPERTY LINE
N/F	NOW OR FORMERLY	---	ASSESSORS LINE
A.P.	ASSESSOR PLAT	---	STATE HIGHWAY LINE
S.F.	SQUARE FEET	---	EASEMENT LINE
AC.	ACRES	---	GUARD RAIL
BIT.	BITUMINOUS	---	CHAIN LINK FENCE
CONC.	CONCRETE	---	IRON RAIL FENCE
C.L.F.	CHAIN LINK FENCE	---	STONE WALL
(FND)	FOUND	---	CONCRETE WALLS
GB	GRANITE BOUND	---	
CB	CONCRETE BOUND	---	

NOTES:
1) THE PURPOSE OF THE PLAN IS TO DEPICT THE DISTRIBUTION OF PARKING AREAS BASED ON THE USES WITHIN THE EXISTING BUILDINGS AND THE PROPOSED OUTDOOR SEATING AREA.
2) HORIZONTAL DATUM: RHODE ISLAND STATE PLANE - NAD 83
3) THE EXISTING CONDITIONS DEPICTED ON THIS PLAN IS BASED UPON A PLAN PREPARED BY GAROFALO & ASSOCIATES INC. ENTITLED "EXISTING CONDITIONS PLAN FOR A.P. 386, LOTS 10 & 11 AND A.P. 274 LOT 229 SITUATED ON LAMBERT LAND HIGHWAY WARWICK, RI" DATED 05/09/2023

PREPARED BY:
RJO'CONNELL & ASSOCIATES, INC.
CIVIL ENGINEERS, SURVEYORS & LAND PLANNERS
80 MONTVALE AVENUE, SUITE 201 STONEHAM, MA 02180
PHONE: 781.279.0180 RJOCONNELL.COM

PREPARED FOR:
WARWICK MALL
WM
for everyone

PROJECT NAME:
CORK & RYE RESTAURANT EXPANSION

WARWICK, RI
MICHAEL JOHN NOVAK
No. 14736
PROFESSIONAL ENGINEER
CIVIL

DESIGNED BY: RWS/MJN
DRAWN BY: WJH/CMM
REVIEWED BY: MJN
SCALE: 1" = 40'
DATE: 06/09/2023
DRAWING NAME:

SITE PLAN

DRAWING NUMBER: **C-1**
PROJECT NUMBER: 23016

Drawing name: G:\rjoc\warwick\warwick_mall\cork & rye\warwick23016_C-1_Site Plan.dwg
Jun 06, 2023 - 14:56pm

28 # 10914 - 255 Lambert Lind Hwy

BUILDING CODE ANALYSIS:

BUILDING CODE : SBC -1 RHODE ISLAND STATE BUILDING CODE /IBC 2015
 PLUMBING CODE : SBC -3 RHODE ISLAND STATE PLUMBING CODE 2019 /IBC 2015
 MECHANICAL CODE : SBC -4 RHODE ISLAND STATE MECHANICAL CODE 2019 /IMC 2015
 ELECTRICAL CODE : SBC -5 RHODE ISLAND STATE ELECTRICAL CODE 2019 /NEC 2017
 ENERGY CODE : SBC -8 RHODE ISLAND STATE ENERGY CONSERVATION CODE 2019 /IEC 2015
 STATE REHABILITATION CODE : SRC 1 - 2002
 ACCESSIBILITY : ADAAG /A117.1
 BUILDING USE OR OCCUPANCY :
 BUILDING USE GROUP **EXISTING MIXED USE - A2 / B**

TYPES OF CONSTRUCTION & CLASSIFICATION (TABLE 601)

BUILDING CONSTRUCTION.....SB
 FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS.....0 HR
 FIRE ENCLOSURE OF EXITS - 1 - STORY BUILDING.....N/A
 INTERIOR BEARING WALLS / COLUMNS.....0 HR
 FLOOR CONSTRUCTION.....0 HR
 ROOF CONSTRUCTION.....0 HR
 TENANT SEPARATION WALL.....2 HR

MEANS OF EGRESS:

OCCUPANT LOAD DOORS - 2' / OCG
 NEW BAR AREA / FOOD PREPARATION S.F. = 32 OCCUPANTS

EXIT REQUIREMENTS:

EXITS REQUIRED = 2
 EXITS PROVIDED = 2

EGRESS WIDTH REQUIREMENTS:

WIDTH REQUIRED = 68"
 WIDTH PROVIDED = 101"
 MAXIMUM LENGTH OF COMMON PATH OF TRAVEL = 200' (UNSPRINKLERED)
 COMMON PATH OF TRAVEL DISTANCE = 30'

FIRE PROTECTION SYSTEM:

WET SPRINKLER SYSTEM: NONE
 FIRE ALARM SYSTEM: EXISTING TO REMAIN

CHANGE IN USE CRITERIA

EXISTING BUILDING - MIXED USE ; ASSEMBLY / BUSINESS / BAKERY
 PROPOSED USE - MIXED USE ASSEMBLY (A-2), BAKERY (F-1)
 EXISTING TENANT AREA USE CLASSIFICATION - BUSINESS
 PROPOSED TENANT AREA USE CLASSIFICATION - A-2 ASSEMBLY / RESTAURANT
 MAX. TOTAL BUILDING S.F. ALLOWED (UNSPRINKLERED) - 6000 S.F. (TABLE 508.2)
 (BASED ON A-2 OCCUPANCY)
 PROPOSED S.F. 5349 S.F. (EXISTING, NO INCREASE) - COMPLIANT
 TENANT SEPARATION (TABLE 508.4)
 A-2/BAKERY = 2 HR

BUILDING AREA SUMMARY

EXISTING BAKERY..... 572 SF
 PROPOSED RESTAURANT OFFICE AREA..... 722 SF
 COMMON AREA UTILITY ROOM..... 140 SF
 PROPOSED BAR AREA 1331 SF
 EXISTING RESTAURANT AREA..... 2584 SF
TOTAL BUILDING AREA..... 5349 SF

LIFE SAFETY PLAN

SCALE : 1/4" = 1'-0"

FIRE CODE ANALYSIS:

FIRE CODE : RHODE ISLAND FIRE SAFETY CODE 2019 /NFPA 1 (2018)
 RHODE ISLAND LIFE SAFETY CODE /NFPA 101 (2018)
 RISRC - 1 REHABILITATION BUILDING AND FIRE CODE FOR BUILDING AND STRUCTURES.

TYPES OF CONSTRUCTION & CLASSIFICATION

BUILDING CONSTRUCTION.....V(000)
 FIRE RESISTANCE RATING OF STRUCTURAL ELEMENTS.....0 HR
 FIRE ENCLOSURE OF EXITS - 1 - STORY BUILDING.....N/A
 INTERIOR BEARING WALLS / COLUMNS.....0 HR
 FLOOR CONSTRUCTION.....0 HR
 ROOF CONSTRUCTION.....0 HR
 TENANT SEPARATION WALL.....1 HR

CURRENT OCCUPANCY CLASSIFICATION OF EXISTING SPACE - B (MERCANTILE)

PROPOSED RESTAURANT OCCUPANCY - (A-2) ASSEMBLY
RESTAURANT SEATING - 30 CHAIRS / OCCUPANTS
FOOD PREPARATION = 384 SQ. FT. / 200 = 2 OCCUPANTS

MEANS OF EGRESS:

OCCUPANT LOAD = 32

EXIT REQUIREMENTS:

EXITS REQUIRED = 2
 EXITS PROVIDED = 2

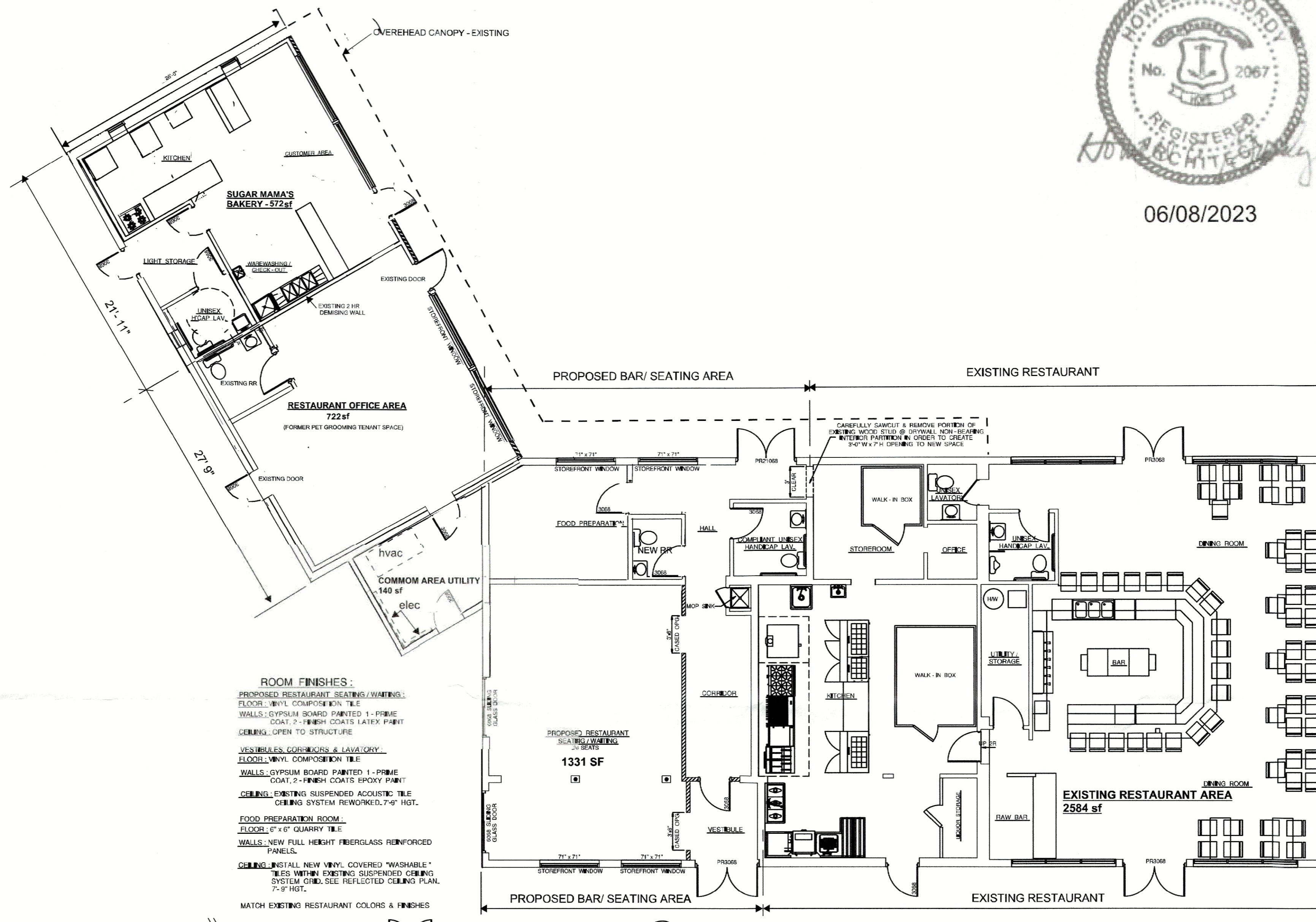
EGRESS WIDTH REQUIREMENTS:

WIDTH REQUIRED = 68"
 WIDTH PROVIDED = 68"
 MAXIMUM LENGTH OF COMMON PATH OF TRAVEL = 30' (I.B.C. 2015, SECTION 1029.8)
 MAXIMUM TRAVEL DISTANCE TO AN EXIT = 200' (I.B.C. 2015, SECTION 1029.7)

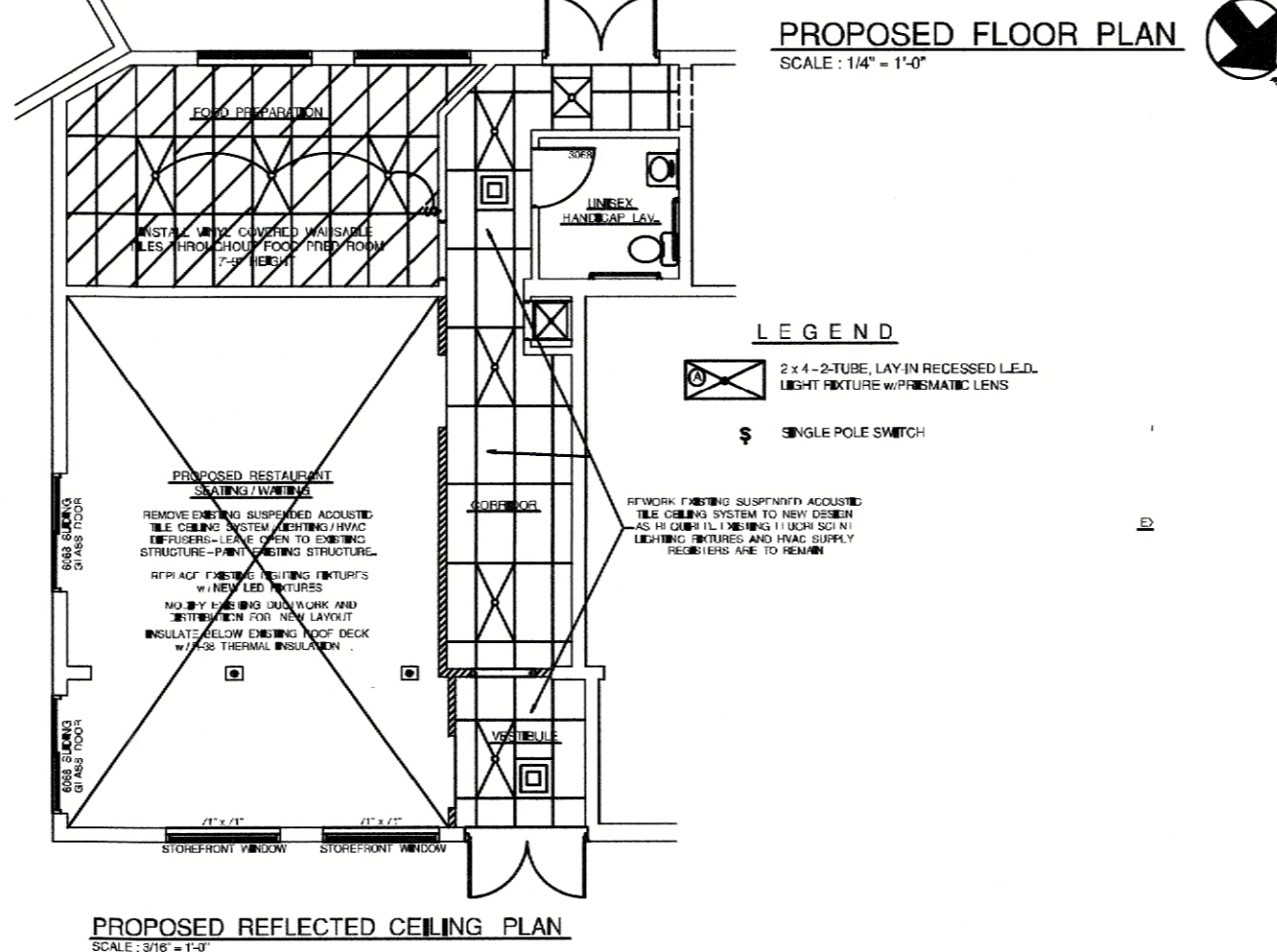
FIRE PROTECTION SYSTEM:

WET SPRINKLER SYSTEM: NONE
 FIRE ALARM SYSTEM: EXISTING TO REMAIN

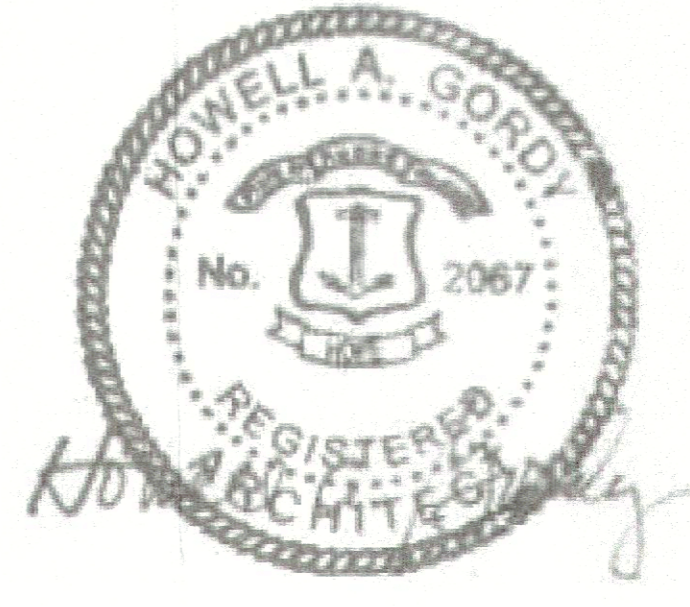
INTERIOR FINISHES - CLASS B / CLASS II



ROOM FINISHES:
 PROPOSED RESTAURANT SEATING / WAITING:
 FLOOR: VINYL COMPOSITION TILE
 WALLS: GYPSUM BOARD PAINTED 1 - PRIME COAT, 2 - FINISH COATS LATEX PAINT
 CEILING: OPEN TO STRUCTURE
 VESTIBULES, COORIDORS & LAVATORY:
 FLOOR: VINYL COMPOSITION TILE
 WALLS: GYPSUM BOARD PAINTED 1 - PRIME COAT, 2 - FINISH COATS LATEX PAINT
 CEILING: EXISTING SUSPENDED ACUSTIC TILE
 CEILING SYSTEM REWORKED, 7'-9" HGT.
 FOOD PREPARATION ROOM:
 FLOOR: 6" x 6" QUARRY TILE
 WALLS: NEW FULL HEIGHT FIBERGLASS REINFORCED PANELS
 CEILING: INSTALL NEW VINYL COVERED "WASHABLE" TILES WITHIN EXISTING SUSPENDED CEILING SYSTEM GRID. SEE REFLECTED CEILING PLAN, 7'-9" HGT.
 MATCH EXISTING RESTAURANT COLORS & FINISHES



NOTES:
 1) FOOD PREPARATION AREA FINISHES SHALL CONFORM TO REGULATIONS OF THE STATE OF RHODE ISLAND DEPARTMENT OF HEALTH.
 2) OWNER SHALL COORDINATE NEW BAR DESIGN AND FINISHES WITH THE CONTRACTOR.
 3) OWNER SHALL COORDINATE NEW KITCHEN EQUIPMENT AND PLUMBING REQUIREMENTS WITH THE CONTRACTOR.

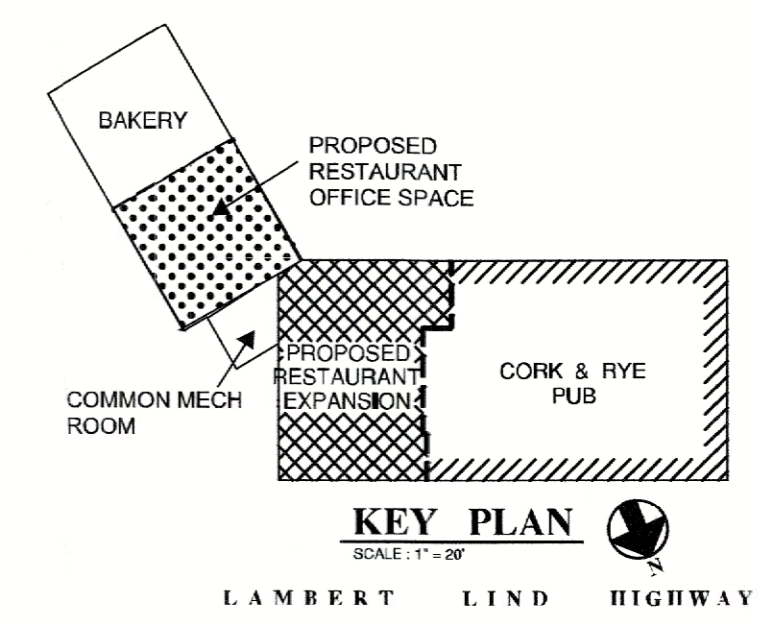


06/08/2023

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SCALE : AS NOTED
 DATE : 06/07/2023
 DRAWN BY : CB
 REVIEWED BY : HG

ISSUED TO ZONING BOARD
 DATE: 06/08/2023
 REVISION NO.



PROPOSED RESTAURANT EXPANSION
 CORK & RYE RESTAURANT & BAR
 255 LAMBERT LIND HIGHWAY
 WARWICK, R.I.

A1