



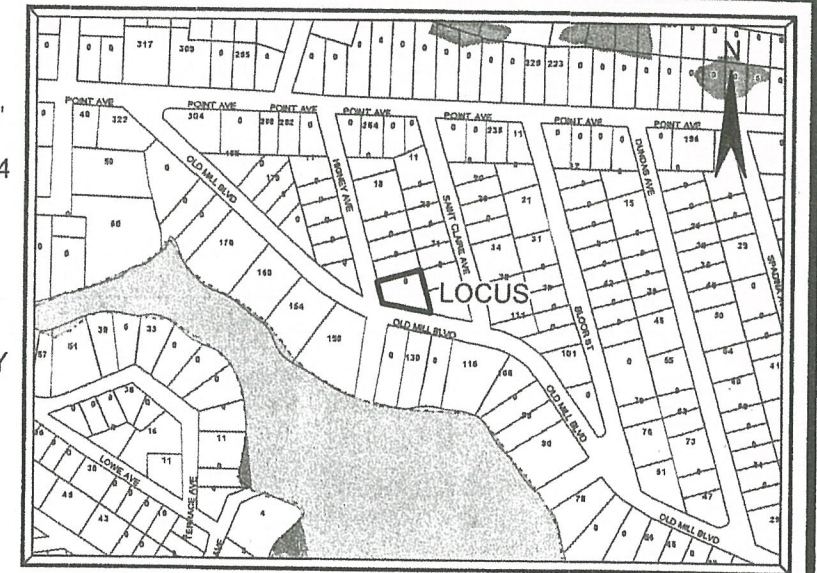
HIGNEY AVENUE
(40' PUBLIC)

NOTE:

1. FEMA ZONE AE 12 / MAP:44003C0153H / DATED: 09-18-2013.

REFERENCE:

1. DEED BK. 10006 PG. 269
2. RECORD LOT 152 ON "SHAWOMET SHORES, SUBDIVISION NO. 3, WARWICK, R.I. BELONGING TO THE FERRIER LAND CO., PROVIDENCE, R.I., BY WATER E. FRENCH, ENG'R, JUNE 1920" P.C. 274

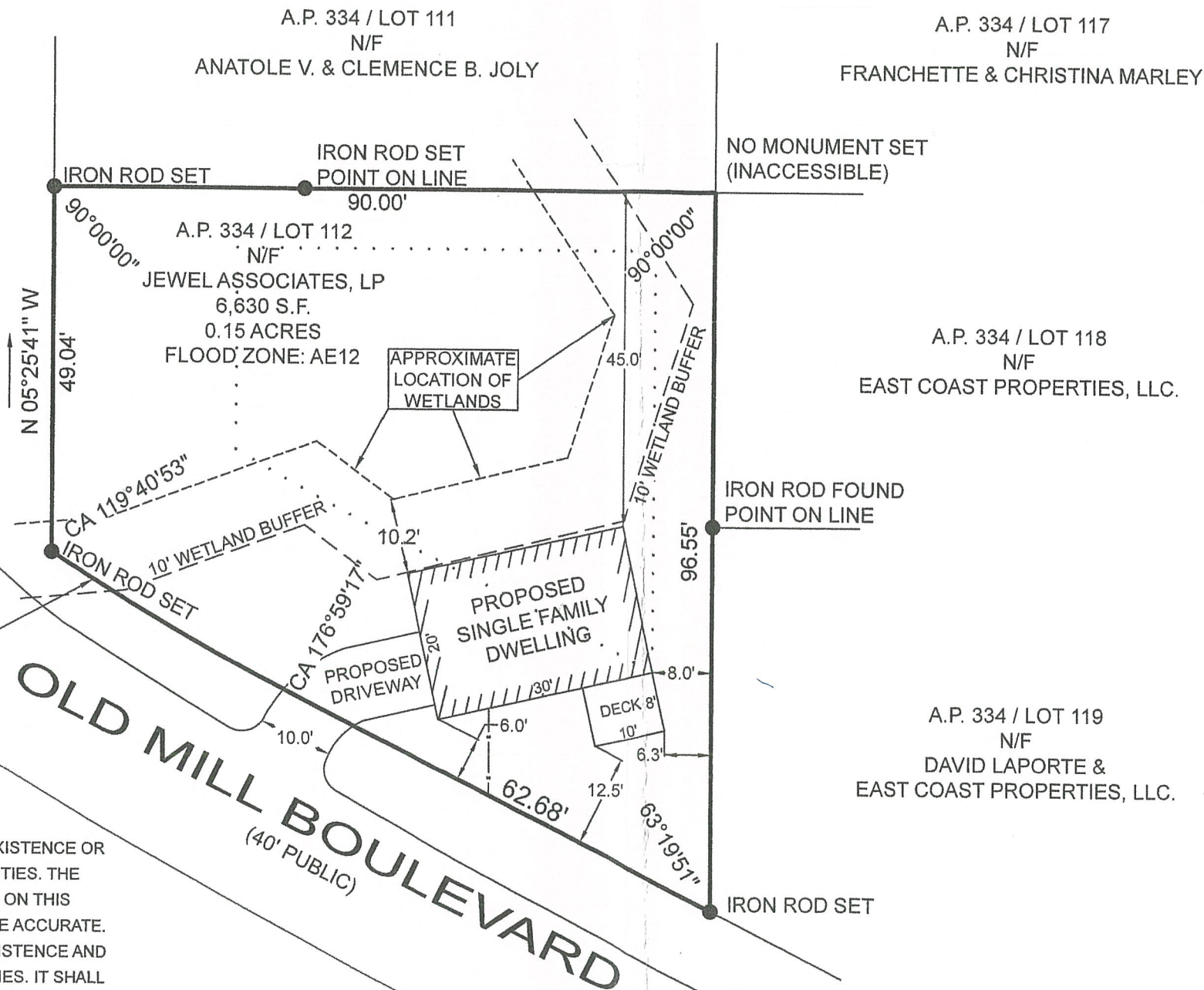


LOCUS MAP
NOT TO SCALE

ZONING DISTRICT A-40
USING REQUIREMENTS FROM:

ZONING DISTRICT A-7

MINIMUM LOT AREA: 7,000 S.F.
MINIMUM LOT FRONTAGE: 70 FT.
MINIMUM SETBACKS: FRONT: 25 FT.
SIDE: 8 FT.
REAR: 20 FT.
MAXIMUM STRUCTURE HEIGHT: 35 FT.
MINIMUM LANDSCAPE: 10%



$\Delta=6^{\circ}01'25''$
 $R=372.30'$
 $L=39.14'$
 $Ch=39.12'$

OLD MILL BOULEVARD
(40' PUBLIC)

DIMENSIONAL CONFORMANCE SURVEY

A.P. 334 / LOT 112
HIGNEY AVENUE
WARWICK, R.I. 02888
SCALE: 1"=20' DATE: MAY 17, 2023

PREPARED FOR:
HARRINGTON REALTY, LLC.
132 OLD RIVER ROAD, SUITE 103, LINCOLN, R.I. 02865
PHONE: (401) 722-3600

PREPARED BY:
OCEAN STATE PLANNERS, INC.
1255 OAKLAWN AVENUE, CRANSTON, R.I. 02920
PHONE: (401) 463-9696 info@osplanners.com

JOB NO. 10373 / DWG. NO. 10373 - DC - (ZTDS)

GRAPHIC SCALE: 1" = 20'



THIS PLAN DOES NOT GUARANTEE THE EXISTENCE OR NON-EXISTENCE OF UNDERGROUND UTILITIES. THE LOCATION OF EXISTING UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND MAY NOT BE ACCURATE. THE CONTRACTOR SHALL VERIFY THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITIES. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO NOTIFY "DIGSAFE" AT 1-888-344-7233.

SURVEY CLASSIFICATION:

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

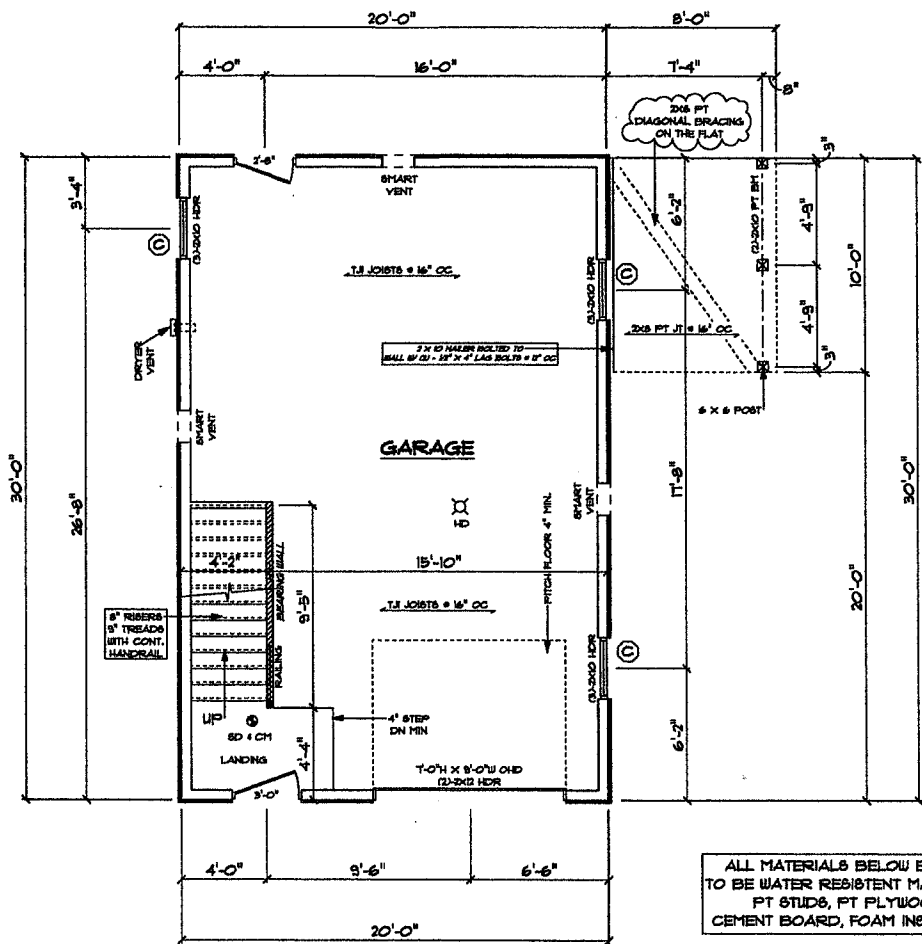
TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
LIMITED CONTENT BOUNDARY SURVEY	CLASS I
DATA ACCUMULATION SURVEY	CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY AND FOR THE PREPARATION OF THE PLAN IS AS FOLLOWS:
TO ESTABLISH AND STAKE RECORD BOUNDARY LINES.

BY: _____ DATE: _____
RICHARD T. BZDYRA, PLS; LICENSE #1786; COA # LS-A60

THE FOLLOWING TYPES OF EVIDENCE WERE USED TO CONSTRUCT THIS SURVEY: RECORDED FOUND MONUMENTS IF ANY, NON-RECORDED MONUMENTS, LINES OF POSSESSION, AND OTHER EVIDENCE RELATIVE TO THE DEED OR PLAT. THE BOUNDARY SOLUTION IS THE COMPILATION OF INFORMATION TO DETERMINE THE MOST PROBABLE LOCATION OF THE SURVEYED PARCEL.

26 # 10915 - OLD MILL BLVD



FIRST FLOOR PLAN 1/4"=1'-0"

2x6 STUDS @ 16" OC
AT ALL EXTERIOR WALLS
UNLESS OTHERWISE NOTED

FLOOD ZONE NOTES

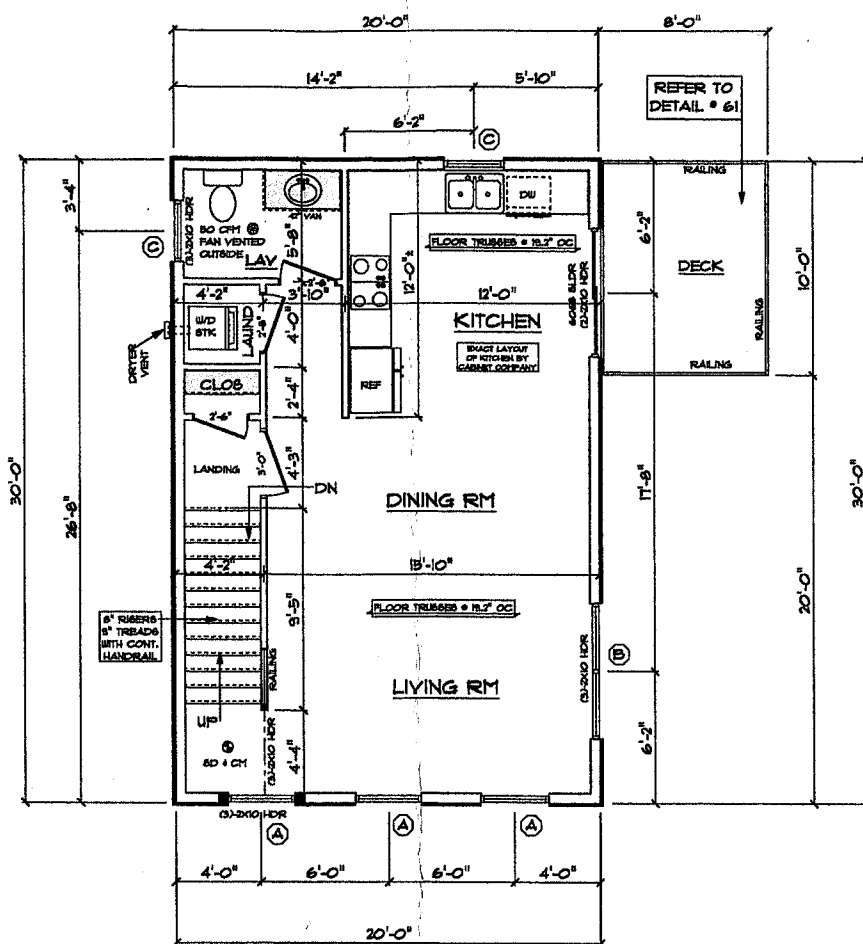
HOUSE: 20 X 30 = 600 SQ. FT. AREA
REQUIRED: 600 SQ FT X 1 = 600 SQ IN FLOOD VENTILATION

USE: (3) 8" X 16" SMART VENT MODEL UNITS
ROUGH OPENING: 8 1/4" X 16 3/8" UNIT DIMEN.: 8" X 16"
8" X 16" VENT IS CERTIFIED FOR 200 SQ FT
OF ENCLOSED AREA FOR FLOOD

TOTALS: 3 X 200 SQ FT = 600 SQ FT OF VENT FLOOD

INSTALL: BOTTOM OF VENT MAX 1'-0"
FROM FINISHED GRADE. SEE
SIDE ELEVATION FOR DETAILS.

ALL MATERIALS BELOW EL. 13.0
TO BE WATER RESISTANT MATERIALS
PT STUDS, PT PLYWOOD,
CEMENT BOARD, FOAM INSULATION



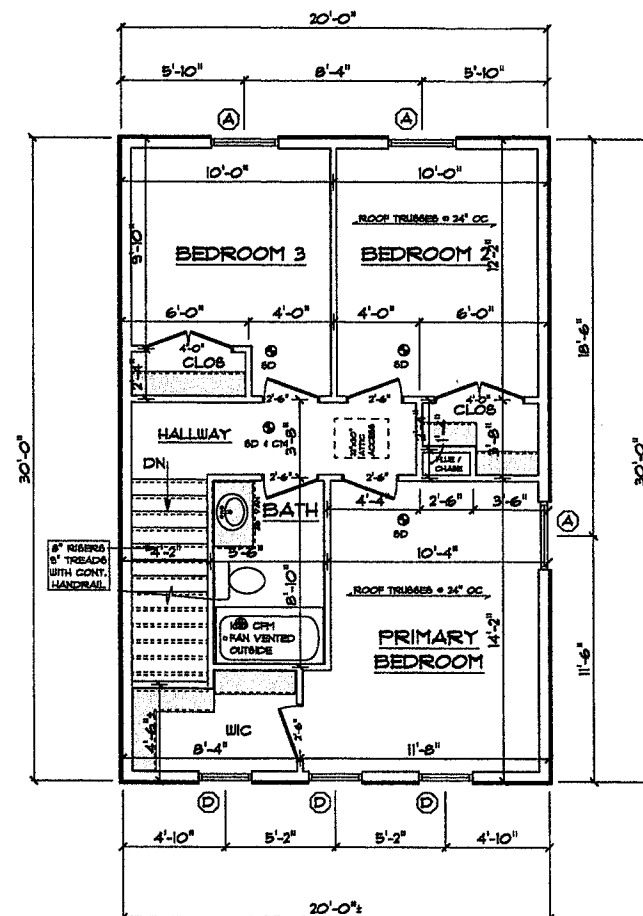
SECOND FLOOR PLAN 1/4"=1'-0"

2x6 STUDS @ 16" OC
AT ALL EXTERIOR WALLS
UNLESS OTHERWISE NOTED

• POINT LOAD FROM ABOVE
PROVIDE THE FOLLOWING:
(1) SOLID BLOCKING BETWEEN BEAM
(OR SILL) AND PLYWOOD SUBFLOOR
(2) A MINIMUM OF THREE STUDS IN
A BEARING WALL AS BEAM JACKS

LEGEND:

- SOLID BEARING TO FOUNDATION
- SD SMOKE DETECTOR
- SD + CH SMOKE DETECTOR + CARBON MONOXIDE
- HW HOT WATER
- HU HEATING UNIT/ BOILER
- 30 or 100 CFM FAN VENTED TO OUTSIDE
- Ⓐ WINDOW UNIT NUMBER
- ⓧ HD HEAT DETECTOR (GARAGE)



THIRD FLOOR PLAN 1/4"=1'-0"

2x6 STUDS @ 16" OC
AT ALL EXTERIOR WALLS
UNLESS OTHERWISE NOTED

WINDOW SCHEDULE

MANUFACTURER: ANDERSEN WINDOWS 400 SERIES MIN. U-FACTOR .39

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SQ FT	CLR. OPN.	DESIGN PRESSURE
A	5'-0" x 4'-0"	DH	3	15.0	5.75	30
B	5'-0" x 4'-0"	DN TRP	1	15.0	5.75	30
C	5'-1" x 4'-0"	DN TRP	1	20.7	5.75	30
D	5'-0" x 4'-0"	DH	2	30.0	5.75	30
E	5'-0" x 4'-0"	DH	2	30.0	5.75	30
F	5'-0" x 4'-0"	CL	1	4.0	N/A	30

DOOR SCHEDULE

UNIT	ROUGH OPENING	TYPE	QTY	AREA / SQ FT	CLR. OPN.	DESIGN PRESSURE
1	6'-0" x 2'-0"	FR	1	12.0	6.75	30

DESIGN PRESSURE

WIND ZONE: 100 MPH
WIND EXPOSURE: 30'-0"
HEIGHT (FACED): 4'-0"
PRESSURE ZONE: 4-1

THESE DRAWINGS ARE IN ACCORDANCE WITH THE FOLLOWING DESIGN CRITERIA.

- RISC - 2 - 2011
- WIND DESIGN: ZONE 1 (100 MPH)
- LOAD DESIGN: 40 PSF LIVING AREA LOADS
30 PSF SLEEPING AREA LOADS
20 PSF DEAD LOADS
20 PSF ATTIC LOADS
40 PSF EXTERIOR DECK LOADS
30 PSF SNOW LOADS
- FROST DEPTH: MINIMUM 3'-6" DEEP
- CLIMATE ZONE: 5
- CONSTRUCTION TYPE: 2B
- BUILDING HEIGHT: (MEASURED 30'-0")
MEASURED FROM TOP OF FOUNDATION TO RIDGE
- ALL INSULATION IN EXTERIOR WALLS ARE BASED ON THE MINIMUMS AS PER THE PREScriptive METHOD OF TABLE N1022S OF THE ENERGY CONSERVATION CODES.

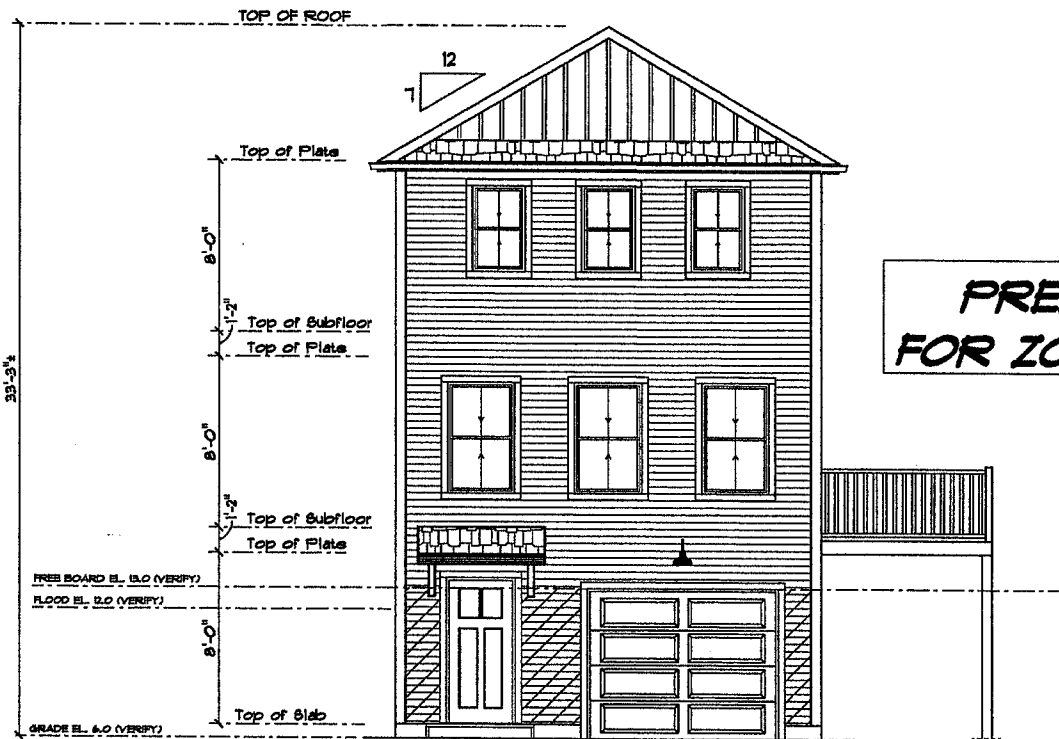
CUSTOM 3-STORY
PREPARED FOR:
HARRINGTON REALTY
AP 394 LOT 12 HIGNEY AVENUE
WARWICK, RHODE ISLAND

CONSTRUCTION PLANS ARE DRAFTED FOR SINGLE-USE ONLY.
DLR DIMENSIONS, INC. DOES NOT PERMIT THE USE OF PLANS THAT HAVE BEEN TAMPERED WITH BY OUTSIDE PARTIES.

EST. 1985
DLR DIMENSIONS
RESIDENTIAL DESIGNERS & CONSULTANTS
DLRDIMENSIONS.COM
401.738.3156

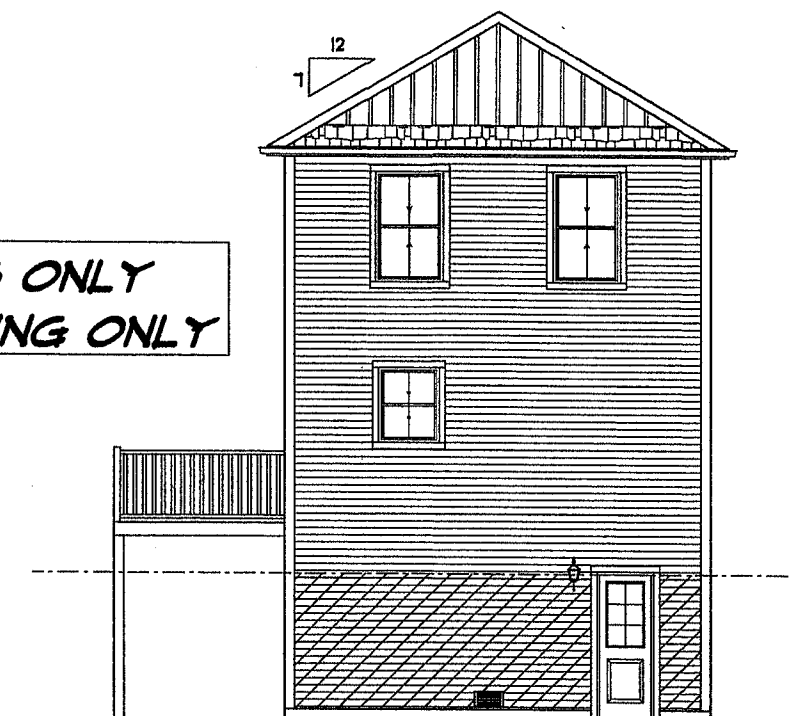
DLR DIMENSIONS, INC. IS NOT LIABLE FOR CHANGES TO THESE DRAWINGS BY THE CONTRACTOR OR ANY OTHER PARTY. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. LOCAL CODES SHALL APPLY AND BE OBSERVED PRIOR TO AND DURING CONSTRUCTION.

SCALE NOTED
DATE Wednesday, May 17, 2023
APPROVED DRR
DRAWN BY DRR
DRAWING NUMBER 6169

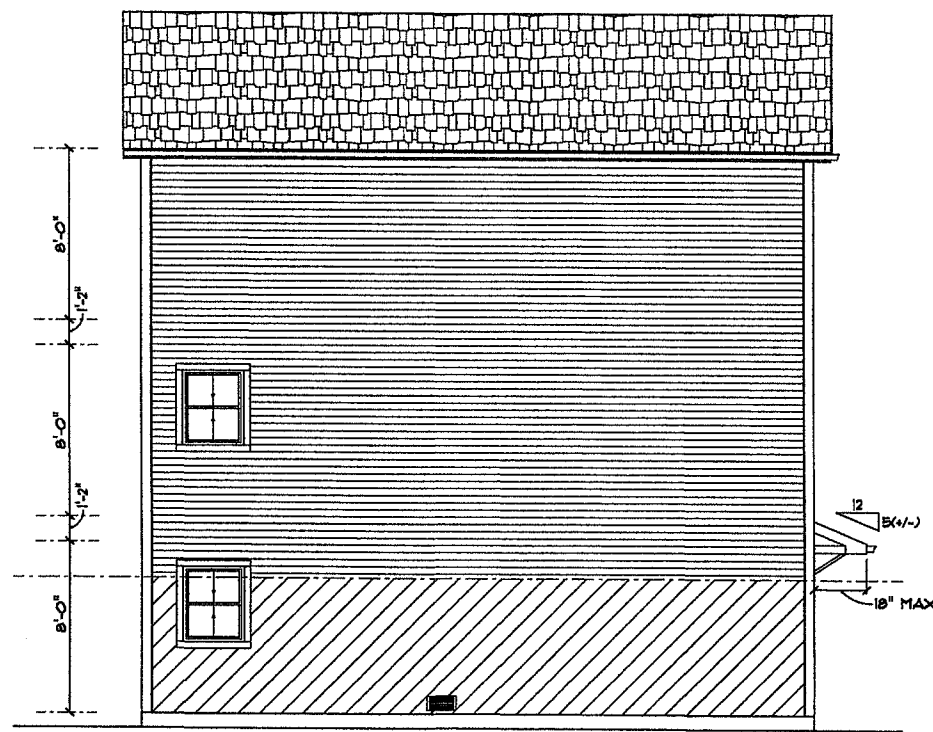


FRONT ELEVATION 1/4"=1'-0"

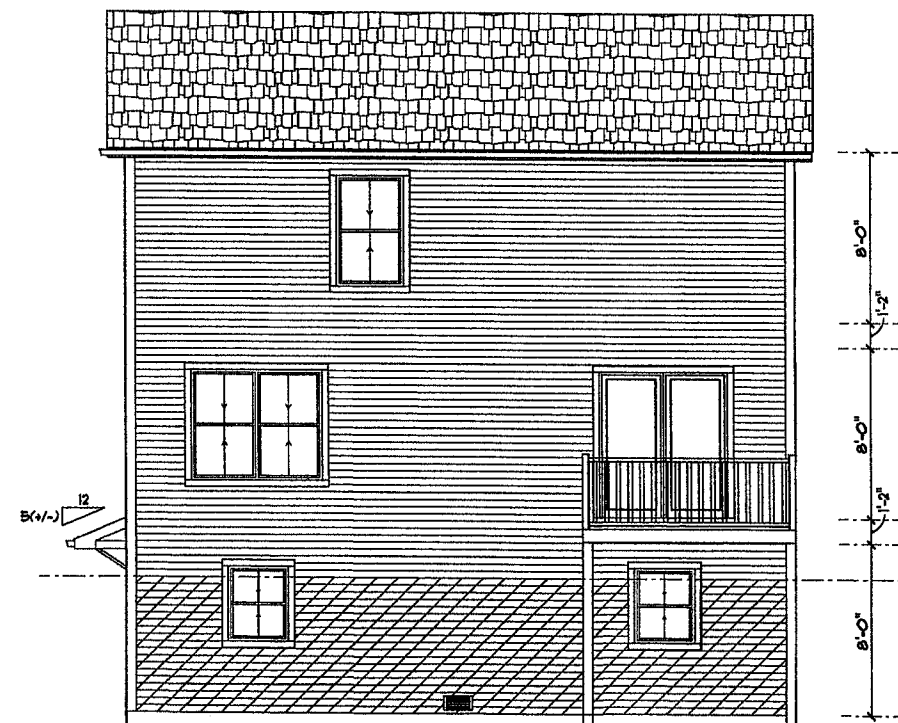
**PRELIMINARY PLANS ONLY
FOR ZONING AND PRICING ONLY**



BACK ELEVATION 1/4"=1'-0"



LEFT SIDE ELEVATION 1/4"=1'-0"



RIGHT SIDE ELEVATION 1/4"=1'-0"

CUSTOM 3-STORY
PREPARED FOR:
HARRINGTON REALTY
401 334 LOT 12 HIGNEY AVENUE
WARWICK, RHODE ISLAND

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EST. 1986
DLR DIMENSIONS
RESIDENTIAL DESIGNERS & CONSULTANTS
401.738.3156
DIRDIMENSIONS.COM

DLR DIMENSIONS, INC. IS NOT LIABLE FOR ANY CHANGES TO MATERIALS, METHODS, OR CONDITIONS OF WORK. ALL DIMENSIONS AND FINISHES SHALL BE IN ACCORDANCE WITH LOCAL CODES AND REGULATIONS DURING CONSTRUCTION.

SCALE	NOTED
DATE	Wednesday, May 17, 2023
APPROVED	DRR
DRAWN BY	DRR
DRAWING NUMBER	6169