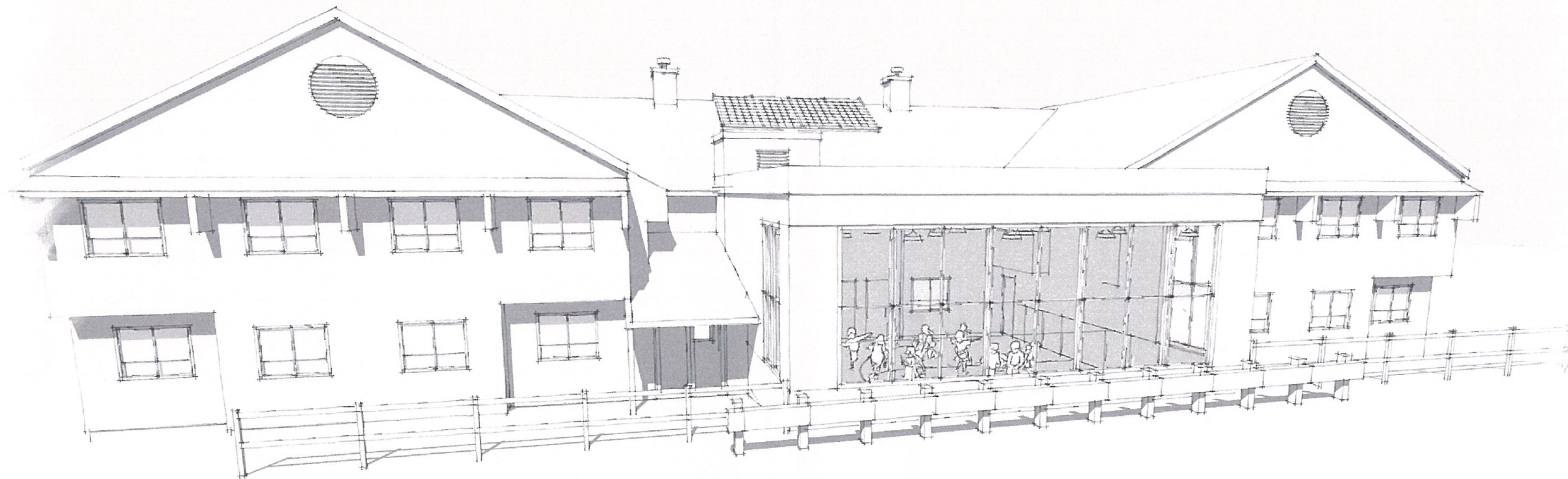




# SARGENT CENTER GYMNASIUM ADDITION



OWNER  
  
**THE SARGENT CENTER**  
 800 QUAKER LANE  
 WARWICK, RHODE ISLAND

ARCHITECT  
  
**NewPort Architecture, LLC.**  
 P.O. Box #1142  
 38 Ledge Road  
 Newport, RI 02840  
 Phone: 401.846.0776  
 WWW.NPTARCH.COM

STRUCTURAL ENGINEER  
  
**STONE FLEET**  
 STRUCTURAL ENGINEERS  
 22 PARSONAGE ST. #163  
 PROVIDENCE, RHODE ISLAND

MEP ENGINEER  
  
**ENGINEERING DESIGN SERVICES**  
 INCORPORATED  
 141 INDUSTRIAL DRIVE  
 P.O. BOX 986  
 SLATERSVILLE, RI. 02876  
 TEL: 401-765-7659

DRAWING LIST:

COVER SHEET  
 ARCHITECTURAL

A0.0 GENERAL NOTES  
 A0.1 CODE REVIEW  
 SP.1 SITE PLAN

D1.0 DEMO FIRST FLOOR  
 D1.1 DEMO SECOND FLOOR  
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 A1.1 FIRST FLOOR PLAN  
 A1.2 SECOND FLOOR PLAN  
 A1.3 ROOF PLAN  
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 A6.0 REFLECTED CEILING PLAN  
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STRUCTURAL

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 S0.01 PLAN NOTES AND SYMBOLS  
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 S0.09 GRID DIMENSIONS  
 S1.00 FOUNDATION FRAMING PLAN  
 S1.01 LEVEL 1 FRAMING PLAN  
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 S2.00 BUILDING ELEVATIONS  
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 M1.0 MECHANICAL FIRST FLOOR PLAN  
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 E0.1 ELEC. SCHEDULES, NOTES, & LEGEND  
 E0.2 ELEC. NOTES, LEGENDS, & RISER DIAGRAM  
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 E1.4 ELEC. ROOF PLAN  
 E2.0 SCHEDULES BRANCH CIRCUIT PANEL BOARD  
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 E2.2 DETAILS  
 E3.0 SPECIFICATIONS  
 E3.1 SPECIFICATIONS  
 E3.2 SPECIFICATIONS

Zoning Board of Review Submission  
 June 9, 2023

| NO | DATE | REVISIONS | PHASE         | DESIGN DEVELOPMENT<br>NOT FOR CONSTRUCTION |
|----|------|-----------|---------------|--|
|    |      |           | STATUS        | 50%  |
|    |      |           | ISSUE DATE    | 5/5/2023                                   |
|    |      |           | PROJECT NO. : | 2301                                       |
|    |      |           | DESCRIPTION:  |  |

Newport Architecture, LLC  
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 NEWPORT, RI 02840  
 401.846.0776  
 nptarch.com

THE SARGENT CENTER  
 WARWICK, RHODE ISLAND

SHEET: SP1 OF:

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10 to 10917 - 800 Quaker Lane

- REFERENCES:**
1. RECORD PLAT FILED IN LAND EVIDENCE BOOK 489, PAGE 4077/FILE 2, DRAWER 1, CARD 81-1442, "PERIMETER & TOPOGRAPHICAL SURVEY FOR COMMUNITY HOUSING SERVICES, INC., WARWICK, R.I., LOT 9 ON A.P. 227... BY N.M. VERDE... OCT., 1980... 1"=20'..."
  2. CONDOMINIUM BOOK 2, PAGE 141, "RECORD SURVEY MAP FOR WESTGATE CONDOMINIUM... WARWICK, RHODE ISLAND... BY CAPUTO AND WICK LTD., OCTOBER, 1981..."
  3. CONDOMINIUM PLAT 769, "A CONDOMINIUM PLAT OF SPENCER HILL CONDOMINIUMS-PHASE 1,2,3... WARWICK, RHODE ISLAND... PREPARED FOR F. PAOLINO HOMES, INC... PREPARED BY OCEAN STATE PLANNERS, INC., JUNE 01, 1998... SCALE 1"=80'..."
  4. STATE HIGHWAY PLAT #1825
  5. LAND EVIDENCE BOOK 2430, PAGE 277 & 283 (DEED)
  6. LAND EVIDENCE BOOK 397, PAGE 1046 (SENIOR DEED)
  7. LAND EVIDENCE BOOK 7491, PAGE 262 ZONING DECISION

**PARCEL OWNER**  
 SARGENT REHABILITATION CENTER  
 229 WATERMAN STREET  
 PROVIDENCE, RI 02906

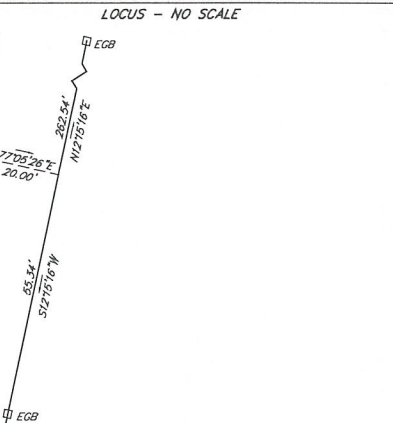
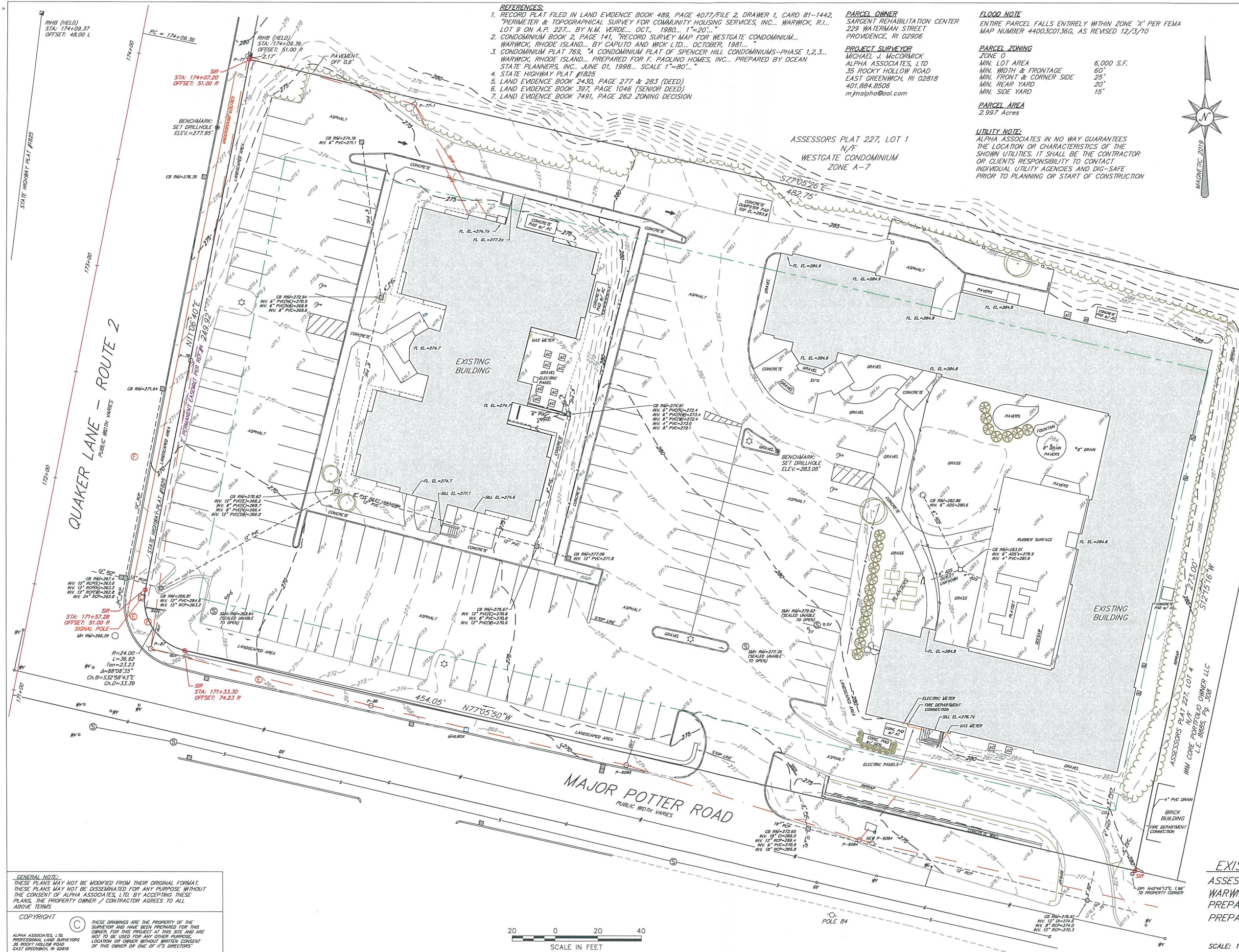
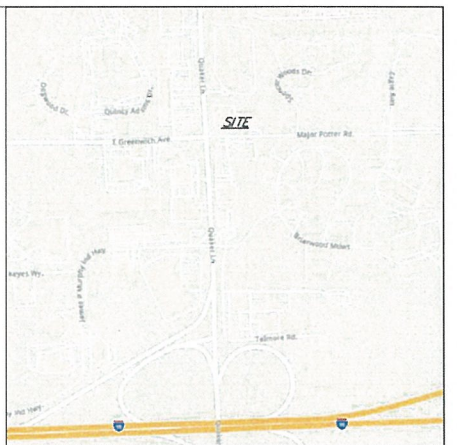
**PROJECT SURVEYOR**  
 MICHAEL J. McCORMICK  
 ALPHA ASSOCIATES, LTD  
 35 ROCKY HOLLOW ROAD  
 EAST GREENWICH, RI 02818  
 401.884.8506  
 mjmalph@aol.com

**FLOOD NOTE**  
 ENTIRE PARCEL FALLS ENTIRELY WITHIN ZONE 'X' PER FEMA MAP NUMBER 44003C0136G, AS REVISED 12/3/10

**PARCEL ZONING**  
 ZONE O  
 MIN. LOT AREA 6,000 S.F.  
 MIN. WIDTH & FRONTAGE 60'  
 MIN. FRONT & CORNER SIDE 25'  
 MIN. REAR YARD 20'  
 MIN. SIDE YARD 15'

**PARCEL AREA**  
 2.997 Acres

**UTILITY NOTE:**  
 ALPHA ASSOCIATES IN NO WAY GUARANTEES THE LOCATION OR CHARACTERISTICS OF THE SHOWN UTILITIES. IT SHALL BE THE CONTRACTOR OR CLIENTS RESPONSIBILITY TO CONTACT INDIVIDUAL UTILITY AGENCIES AND DIG-SAFE PRIOR TO PLANNING OR START OF CONSTRUCTION



- LEGEND**
- EXISTING HEDGE
  - EXISTING ASPHALT
  - EXISTING ASPHALT BERM
  - EXISTING WOOD RAIL FENCE
  - EXISTING ALUMINUM FENCE
  - EXISTING CHAINLINK FENCE
  - EXISTING WIRE FENCE
  - EXISTING CONCRETE CURB
  - EXISTING OVERHEAD WIRES
  - EXISTING CONTOUR
  - ZONING SETBACK LINE
  - EXISTING DRAINAGE PIPE
  - WATER LINE
  - GAS LINE
  - SEWER LINE
  - 2" PERMANENT EASEMENT
  - EXISTING UTILITY POLE
  - EXISTING LIGHT POLE
  - EXISTING IRON PIPE
  - EXISTING GRANITE BOUND
  - EXISTING RHODE ISLAND HIGHWAY BOUND
  - SET IRON ROD W/ CAP
  - CATCH BASIN
  - SEWER MANHOLE/VALVE
  - ELECTRIC/FIBER OPTIC MANHOLE
  - WATER GATE
  - HYDRANT
  - CLEANOUT
  - SPOT GRADE
  - EXISTING TREE/SHRUB



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED TO 435-RICR-00-00-1.9 RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATION FOR PROFESSIONAL LAND SURVEYORS ON NOVEMBER 25, 2015, AS FOLLOWS:

TYPE OF SURVEY: MEASUREMENT SPECIFICATION:  
 COMPREHENSIVE BOUNDARY SURVEY CLASS I  
 DATA ACCUMULATION SURVEY CLASS III

THE PURPOSE FOR THE CONDUCT OF THE SURVEY IS SHOW THE EXISTING CONDITIONS OF LOT 9.

BY: MICHAEL J. McCORMICK PLS 1972  
 RI CDA LS-A101

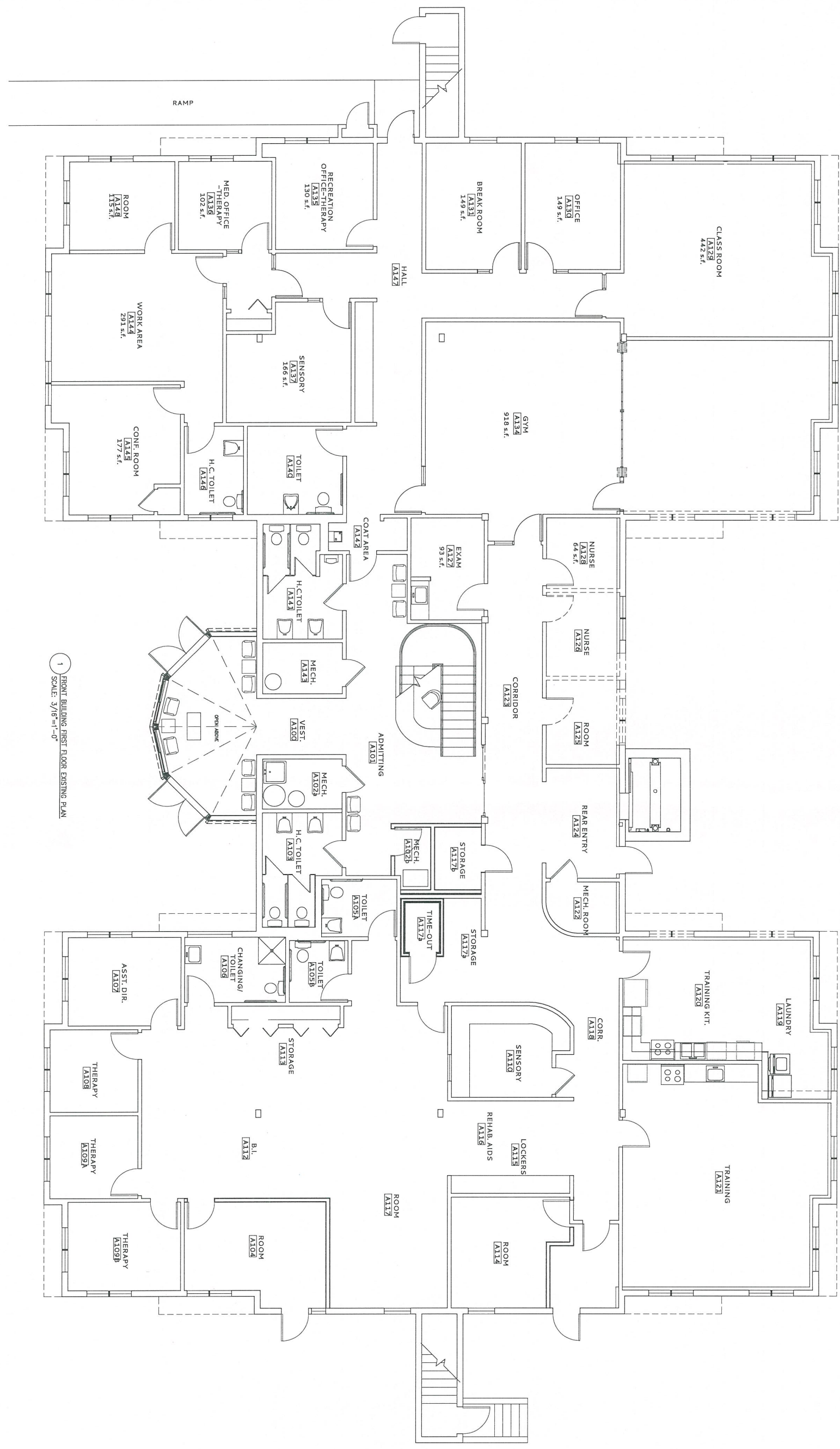
**EXISTING CONDITIONS PLAN**  
 ASSESSORS PLAT 227, LOT 9  
 WARWICK, RHODE ISLAND  
 PREPARED FOR: SARGENT REHABILITATION CENTER  
 PREPARED BY: ALPHA ASSOCIATES, LTD.  
 35 ROCKY HOLLOW ROAD  
 EAST GREENWICH, RI 02818  
 SCALE: 1"=20' MAY, 2023 SHEET 1 OF 1

**GENERAL NOTE:**  
 THESE PLANS MAY NOT BE MODIFIED FROM THEIR ORIGINAL FORMAT. THESE PLANS MAY NOT BE DISSEMINATED FOR ANY PURPOSE WITHOUT THE CONSENT OF ALPHA ASSOCIATES, LTD. BY ACCEPTING THESE PLANS, THE PROPERTY OWNER / CONTRACTOR AGREES TO ALL ABOVE TERMS

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ALPHA ASSOCIATES, LTD.  
 PROFESSIONAL LAND SURVEYORS  
 35 ROCKY HOLLOW ROAD  
 EAST GREENWICH, RI 02818





1 FRONT BUILDING FIRST FLOOR EXISTING PLAN  
 SCALE: 3/16"=1'-0"

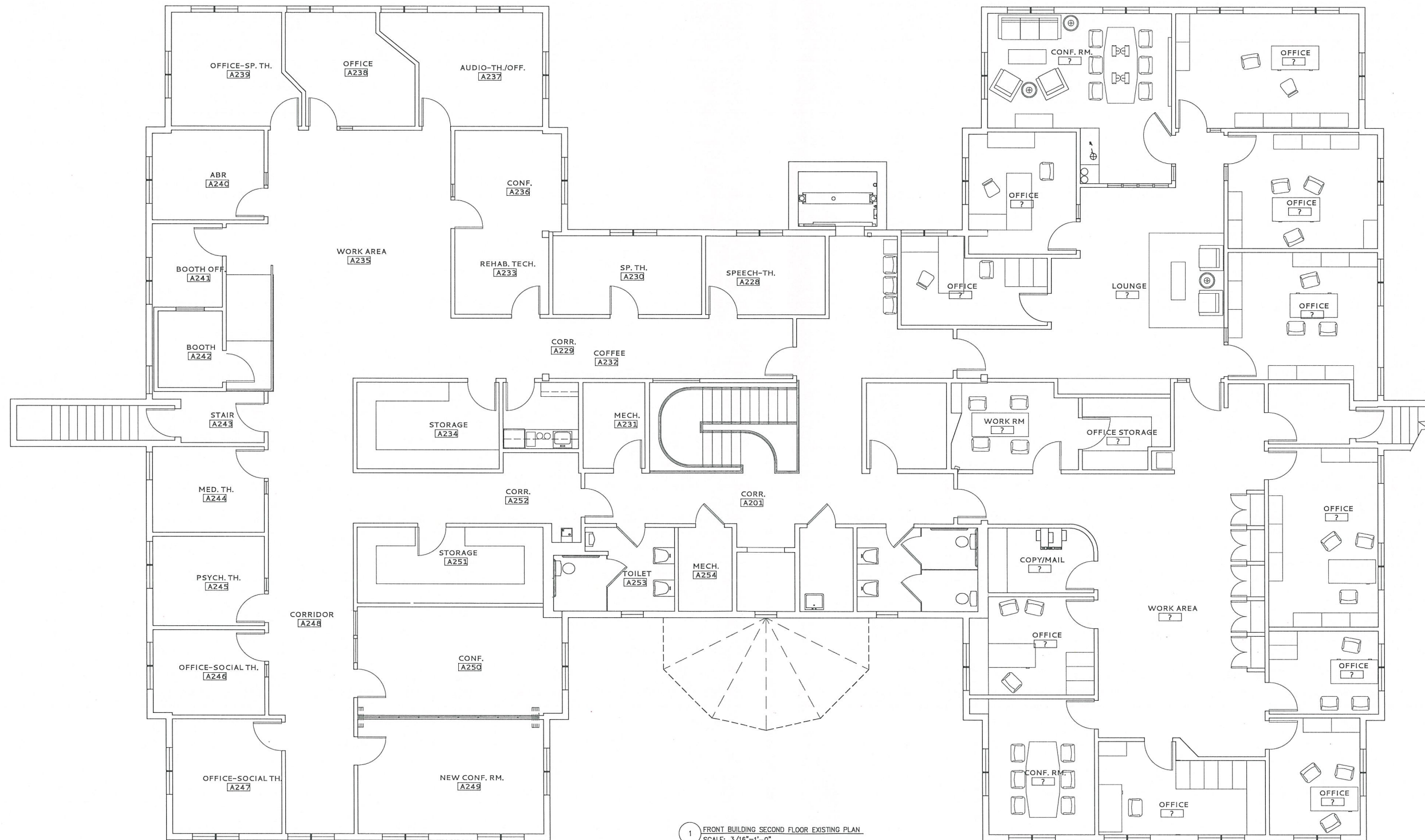
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PHASE DESIGN DEVELOPMENT  
 STATUS NOT FOR CONSTRUCTION  
 ISSUE DATE 4/7/2023  
 PROJECT NO. : 2301  
 DESCRIPTION:



NewPort Architecture, LLC  
 P. O. BOX 1142, 38 LEDGE ROAD  
 NEWPORT, RI 02840  
 401.846.0776  
 nptarch.com

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 Friday, April 7, 2023 3:26:25 PM



1 FRONT BUILDING SECOND FLOOR EXISTING PLAN  
 SCALE: 3/16"=1'-0"

| NO | DATE | REVISIONS |
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SHEET: OF:  
 EX2

**CODE DATA FRONT BUILDING**

**I. BUILDING AREA**

|              |                     |
|--------------|---------------------|
| FIRST FLOOR  | 8,888 SQ FT         |
| SECOND FLOOR | 9,150 SQ FT         |
| <b>TOTAL</b> | <b>18,036 SQ FT</b> |

TWO (2) STORY BUILDING WITH MAXIMUM FLOOR AREA OF 9,000 SQ FT

**II. BUILDING CODE DATA**

|                                  |   |      |
|----------------------------------|---|------|
| RHODE ISLAND STATE BUILDING CODE |   |      |
| SBC-01                           | INTERNATIONAL BUILDING CODE (IBC)             | 2012 |
| SBC-03                           | INTERNATIONAL PLUMBING CODE (IPC)             | 2012 |
| SBC-04                           | INTERNATIONAL MECHANICAL CODE (IMC)           | 2012 |
| SBC-08                           | INTERNATIONAL ENERGY CONSERVATION CODE (IECC) | 2012 |

ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES ICC A117.1-2009

- III. FIRE PROTECTION**
- FIRE ALARM SYSTEM  
RI UNIFORM FIRE CODE 13.7 & 13.8 & NFPA 72 RI LIFE SAFETY CODE REQUIRES A FIRE ALARM SYSTEM PER NFPA 72
  - FIRE EXTINGUISHER  
NFPA 10 (TO BE SIZED AND LOCATED) PER NFPA 10

**IV. OCCUPANCY & CONSTRUCTION TYPES**

BUILDING OCCUPANCY: BUSINESS B (IBC SECTION 304)

|                      |                           |               |             |
|----------------------|---------------------------|---------------|-------------|
| IBC 2012 (OCCUPANCY) | BUSINESS (FRONT BUILDING) | (BLDG. AREAS) | 9,000 SQ FT |
|----------------------|---------------------------|---------------|-------------|

**ALLOWABLE AREA (TABLE 503) AND HEIGHT**

|                   |  |
|-------------------|--|
| CONSTRUCTION TYPE | VS (IBC 2012)                                  |
| NUMBER OF STORIES | 2 ALLOWED WE HAVE 2 STORIES EXISTING           |
| ALLOWABLE HEIGHT  | 40' ALLOWED WE HAVE 30' EXISTING               |
| ALLOWABLE AREA    | 9,000 S.F. ALLOWED WE HAVE 8,660 S.F. EXISTING |

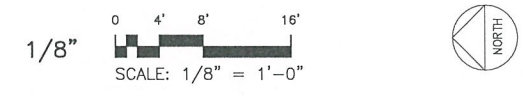
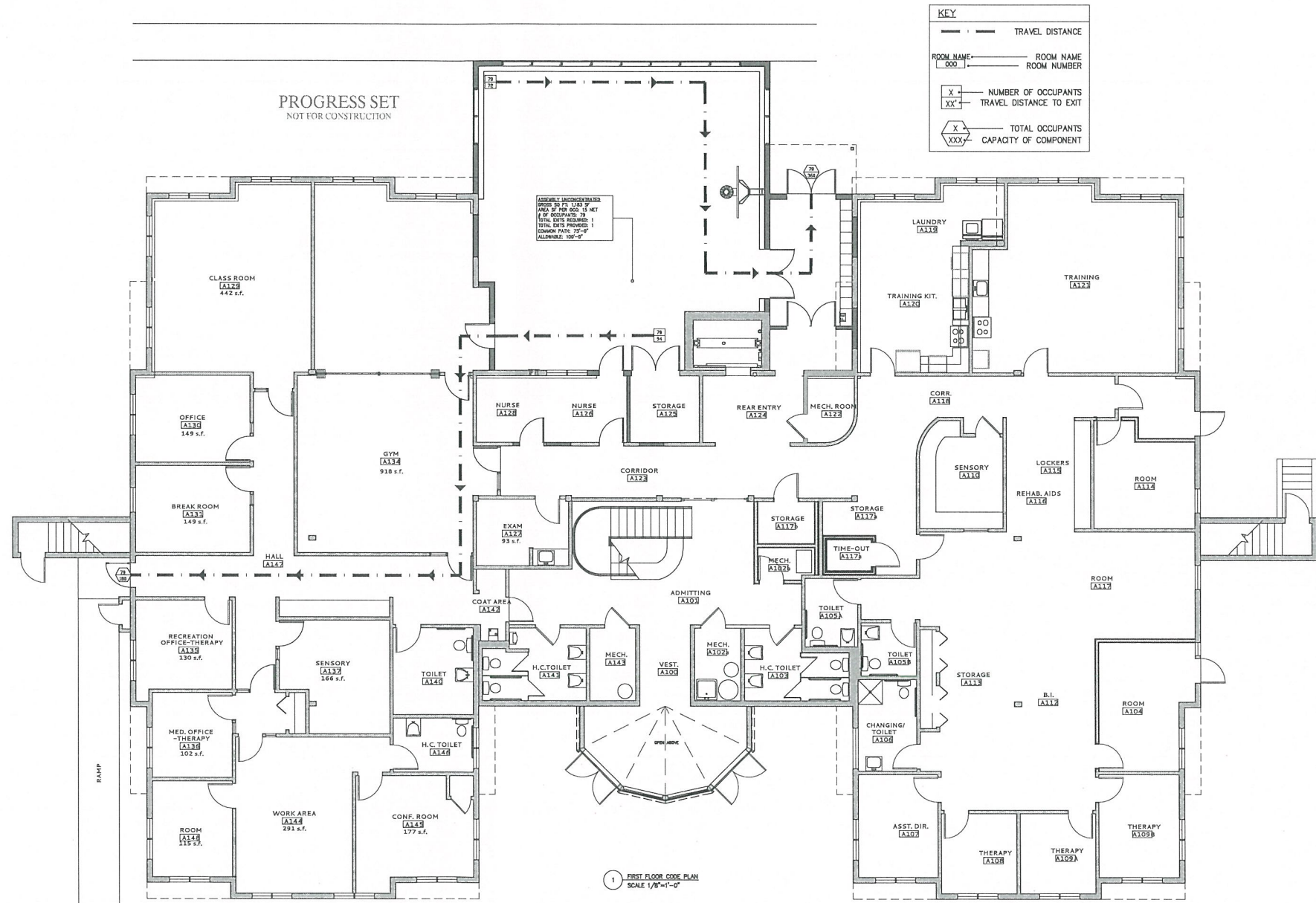
THESE CONSTRUCTION TYPES EQUATE TO THE FOLLOWING FIRE RATINGS.

| STRUCTURAL ELEMENT  | RATING IN HOURS                |                    |                 |
|---|--------------------------------|--------------------|-----------------|
|   | NFPA 101 TABLE 12.1.6 NFPA 220 | IBC 2012 TABLE 601 | PROPOSED RATING |
| 1. EXTERIOR BEARING WALLS                                       |                                | 5h                 |                 |
| SUPPORTING MORE THAN ONE FLOOR, COLUMNS, OR OTHER BEARING WALLS | 0                              | 0                  | 0               |
| SUPPORTING ONE FLOOR ONLY                                       | 0                              | 0                  | 0               |
| SUPPORTING A ROOF ONLY  | 0                              | 0                  | 0               |
| 2. INTERIOR BEARING WALLS                                       |                                |                    |                 |
| SUPPORTING MORE THAN ONE FLOOR, COLUMNS, OR OTHER BEARING WALLS | 0                              | 0                  | 0               |
| SUPPORTING ONE FLOOR ONLY                                       | 0                              | 0                  | 0               |
| SUPPORTING A ROOF ONLY  | 0                              | 0                  | 0               |
| 3. COLUMNS  |                                |                    |                 |
| SUPPORTING MORE THAN ONE FLOOR, COLUMNS, OR OTHER BEARING WALLS | 0                              | 0                  | 0               |
| SUPPORTING ONE FLOOR ONLY                                       | 0                              | 0                  | 0               |
| SUPPORTING A ROOF ONLY  | 0                              | 0                  | 0               |
| 4. BEAMS, GIRDERS, TRUSSES, AND ARCHES                          |                                |                    |                 |
| SUPPORTING MORE THAN ONE FLOOR, COLUMNS, OR OTHER BEARING WALLS | 0                              | 0                  | 0               |
| SUPPORTING ONE FLOOR ONLY                                       | 0                              | 0                  | 0               |
| SUPPORTING A ROOF ONLY  | 0                              | 0                  | 0               |
| 5. FLOOR-CEILING CONSTRUCTION                                   |                                |                    |                 |
| 6. ROOF-CEILING CONSTRUCTION                                    | 0                              | 0                  | 0               |
| 7. EXTERIOR NONBEARING WALLS                                    | 0                              | 0                  | 0               |
| 8. INTERIOR NONBEARING WALLS                                    | 0                              | 0                  | 0               |
| 9. SHAFT ENCLOSURES (707.4)                                     | 2                              | 2                  | 2               |

- V. EGRESS REQUIREMENTS (NO SPRINKLER SYSTEM)**
- LENGTH OF TRAVEL
    - B BUSINESS IBC 2012 200 LF
    - NFPA 101 200 LF
  - MAXIMUM LENGTH OF TRAVEL ALLOWED = 200 LF
  - COMMON PATH
    - B BUSINESS IBC 2012 100 LF > 30 OCCUPANTS 75 LF < 30 OCCUPANTS
    - NFPA 101 100 LF > 30 OCCUPANTS 75 LF < 30 OCCUPANTS
  - DEAD END
    - B BUSINESS 20 LF PER IBC 2009
    - 20 LF PER NFPA 101
  - MEANS OF EGRESS
    - NUMBER AND WIDTH REQUIRED
    - DOOR WIDTH IBC 2012 0.2"/PERSON FIRST FLOOR
    - NFPA 0.2"/PERSON
    - TOTAL EXITS REQUIRED, IBC TABLE 1021.1 2 EXIT
    - EGRESS WIDTHS REQUIRED, (MORE STRINGENT OF ABOVE)
    - TOTAL WIDTH REQUIRED FOR DOORS = 30.6

**VI. BUILDING ENVELOPE REQUIREMENTS PER (IECC) CLIMATE ZONE 12a**

| ELEMENT  | CONDITION / VALUE |
|--|-------------------|
| SKYLIGHTS (U-FACTOR)                                     | NA                |
| SLAB OR BELOW-GRADE WALL (R-VALUE)                       | R-10              |
| SLAB FOUNDATION  | R-3               |
| WINDOWS & GLASS DOORS                                    | 35 U-FACTOR       |
| ROOF ASSEMBLIES (R-VALUE)                                |                   |
| ALL WOOD JOIST/TRUSS (INSULATION BETWEEN FRAMING)        |                   |
| FLOORS OVER OUTDOOR AIR OR UNCONDITIONED SPACE (R-VALUE) |                   |
| ALL-WOOD JOIST TRUSS                                     |                   |
| ABOVE-GRADE WALLS (R-VALUE)                              |                   |
| FRAMED   |                   |
| R-VALUE CAVITY   |                   |
| CMU > 8" IN  |                   |
| R-VALUE CAVITY   |                   |



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 NEWPORT, RI 02840  
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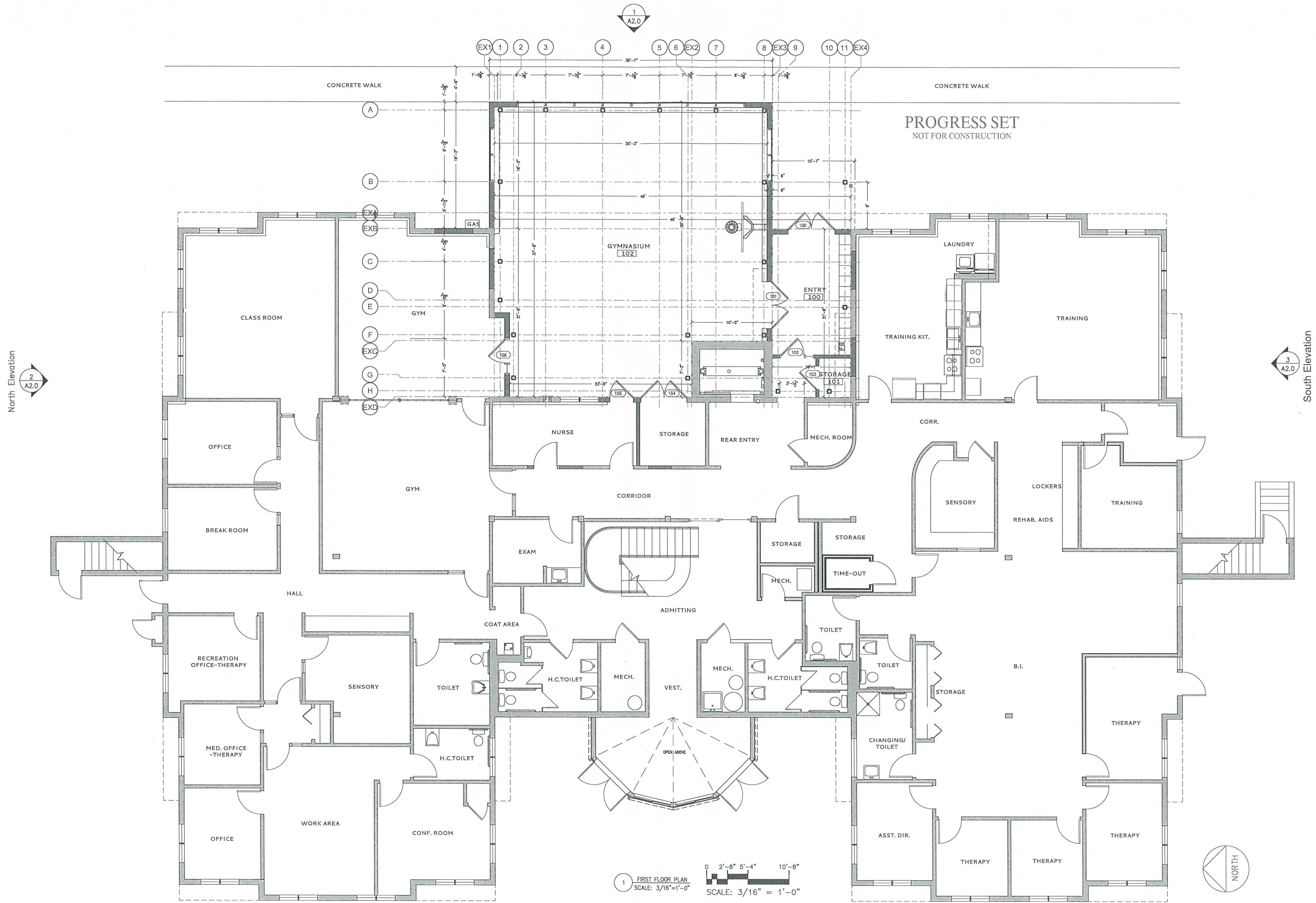


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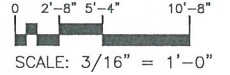
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1 FIRST FLOOR PLAN  
 SCALE: 3/16" = 1'-0"



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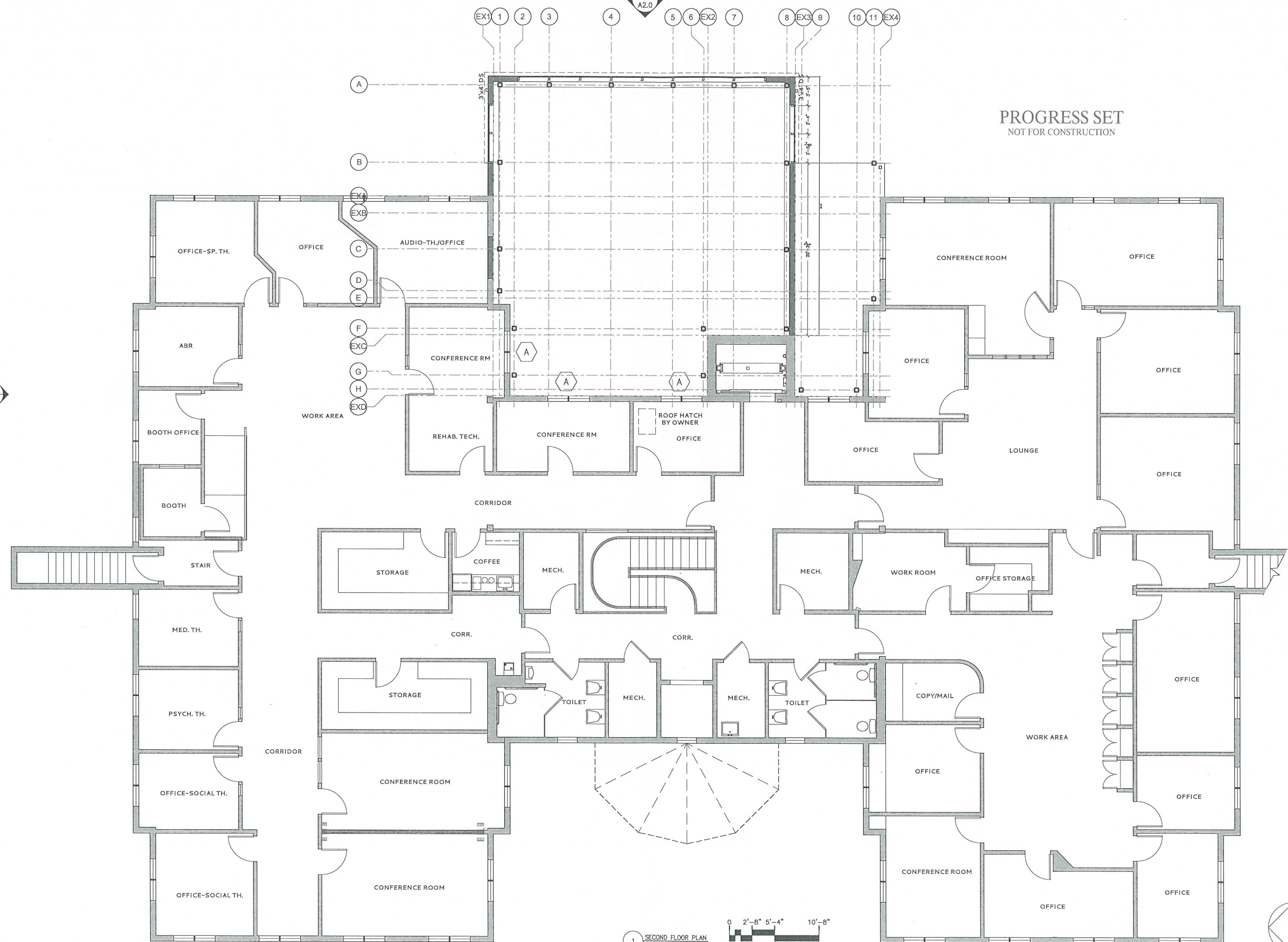
East Elevation

1  
A2.0

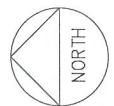
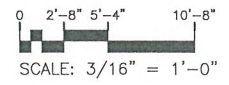
PROGRESS SET  
NOT FOR CONSTRUCTION

North Elevation  
2  
A2.0

South Elevation  
3  
A2.0



1 SECOND FLOOR PLAN  
SCALE: 3/16" = 1'-0"



| NO | DATE | REVISIONS |
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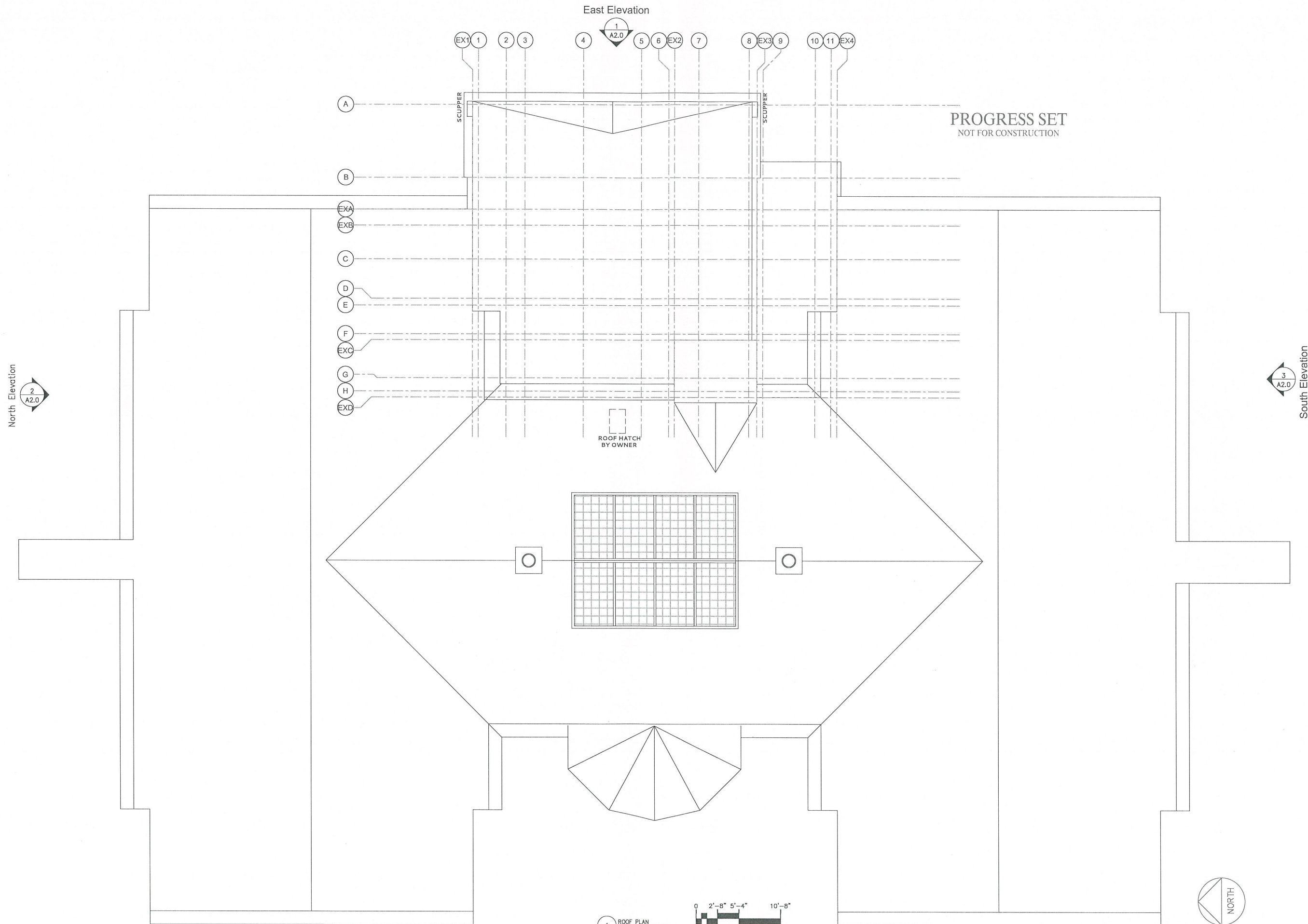
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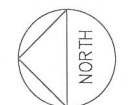
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1 ROOF PLAN  
 SCALE: 3/16"=1'-0"

0 2'-8" 5'-4" 10'-8"  
 SCALE: 3/16" = 1'-0"



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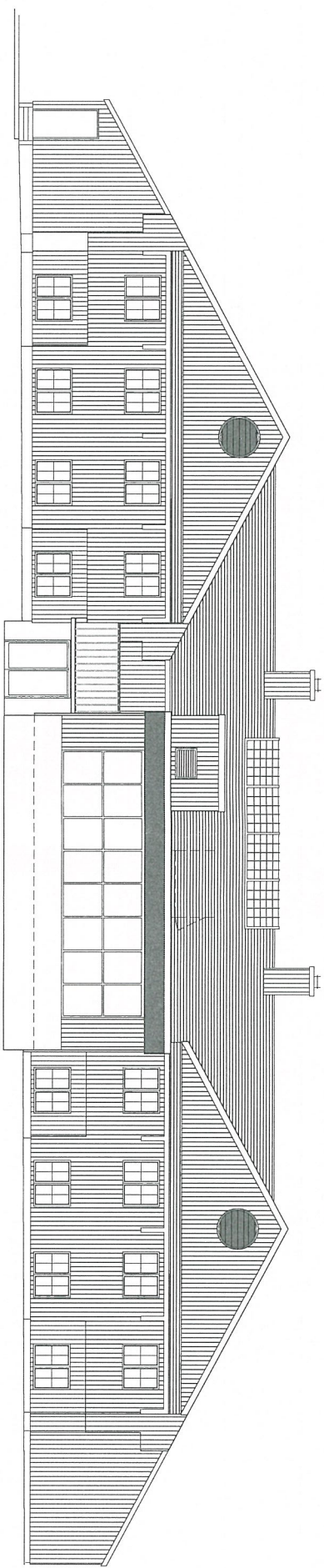
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 nparch.com



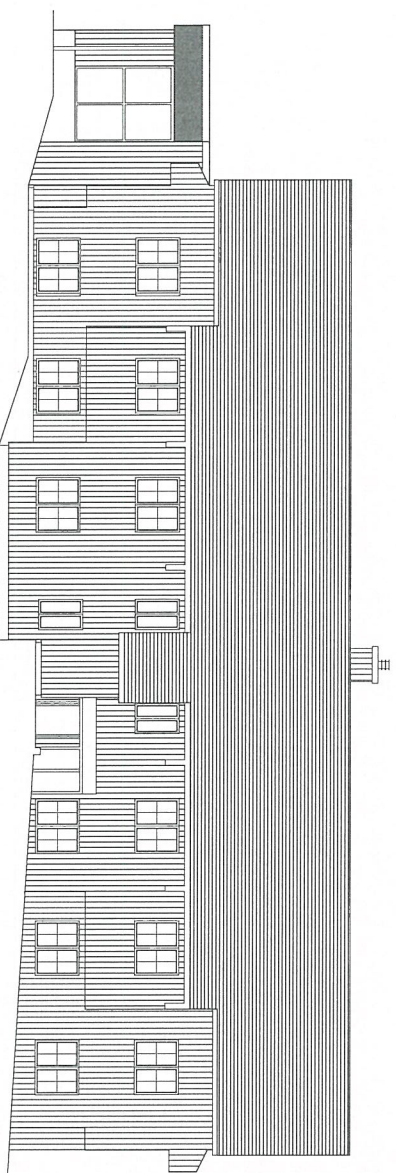




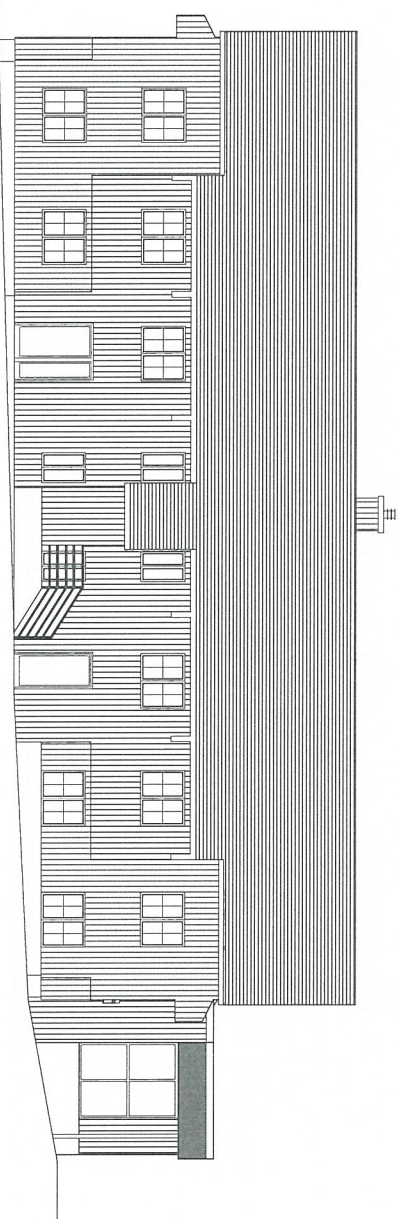
1 EAST ELEVATION  
SCALE: 1/8"=1'-0"

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

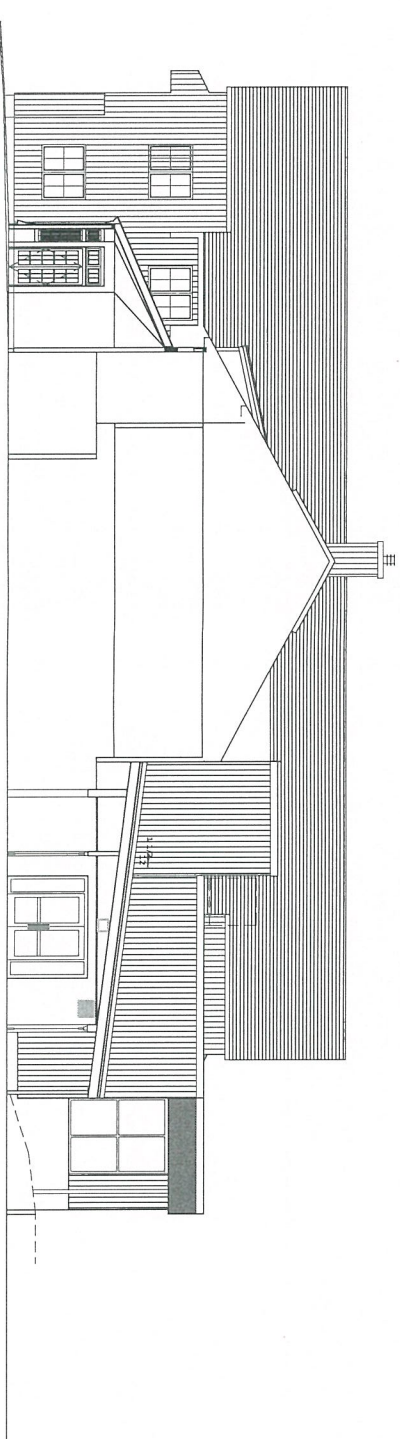
PROGRESS SET  
NOT FOR CONSTRUCTION



2 NORTH ELEVATION  
SCALE: 1/8"=1'-0"



3 SOUTH ELEVATION  
SCALE: 1/8"=1'-0"

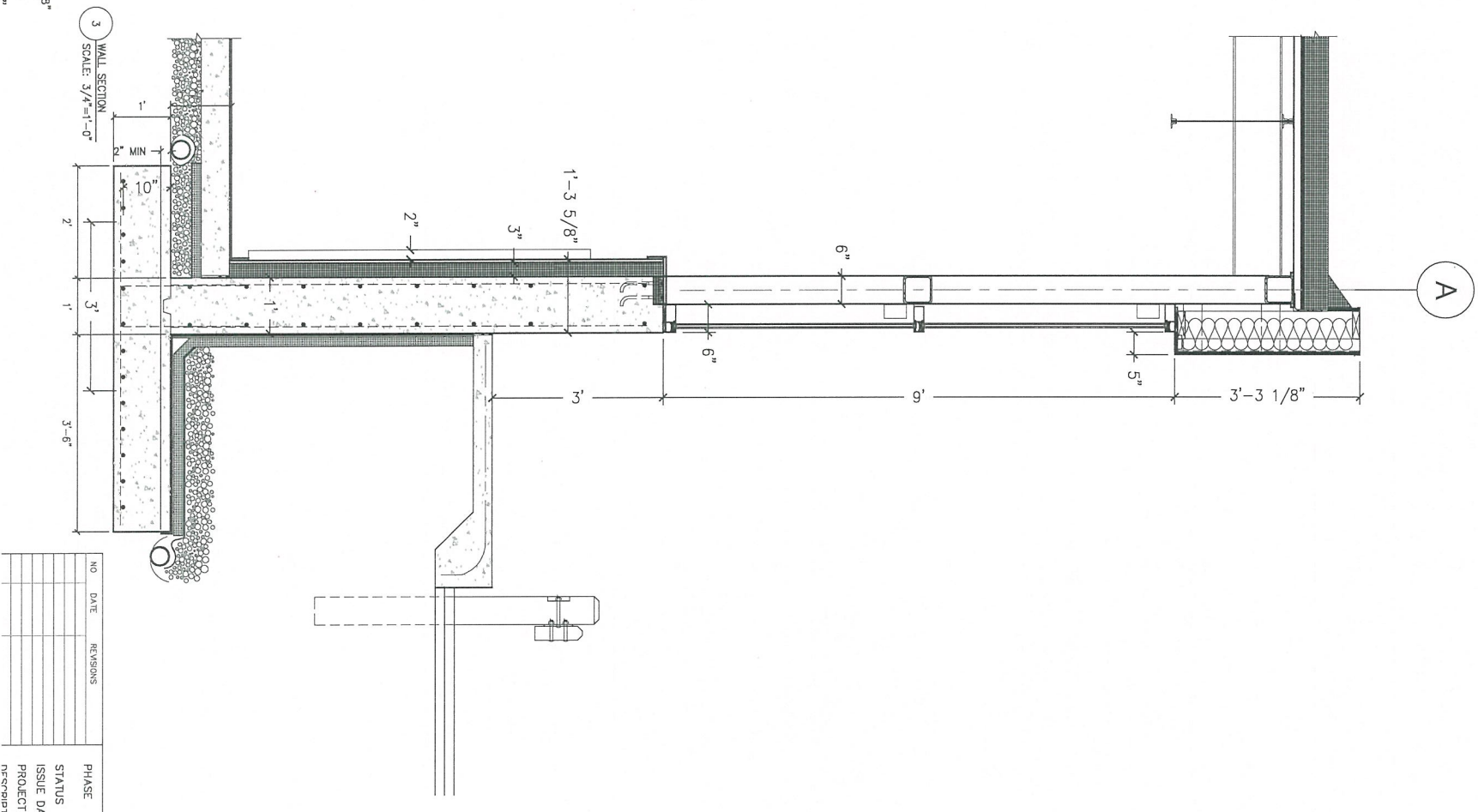
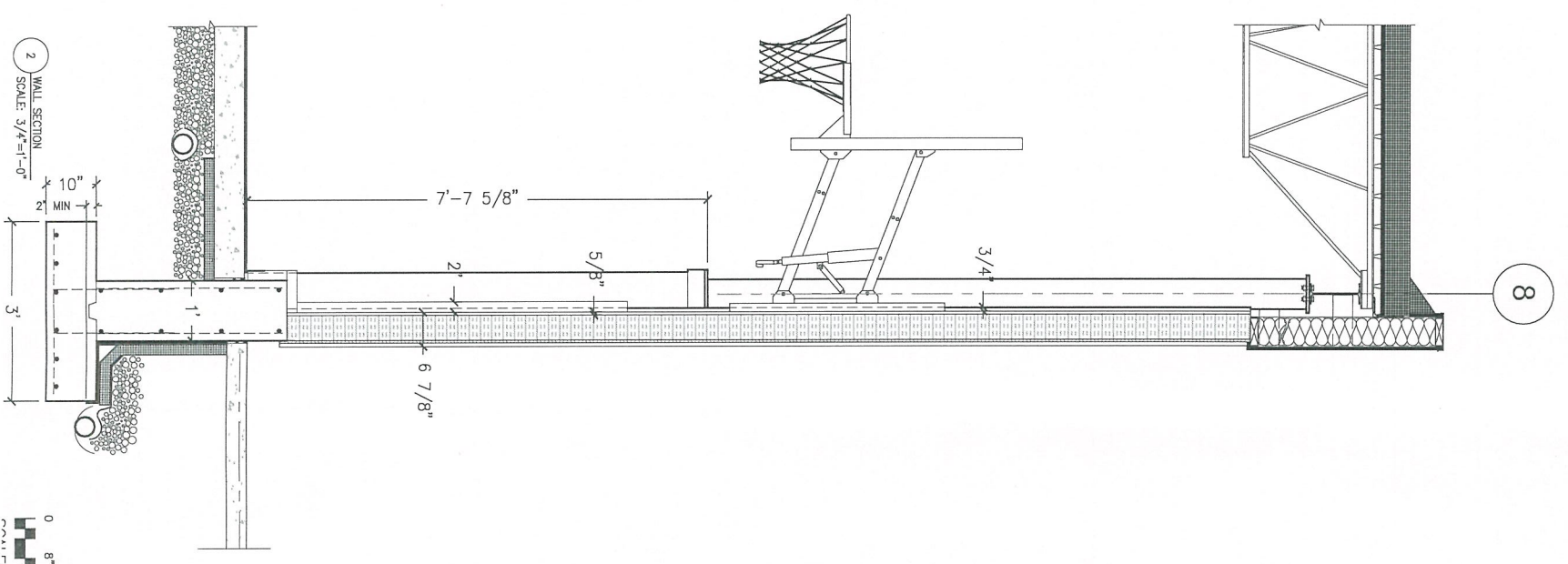
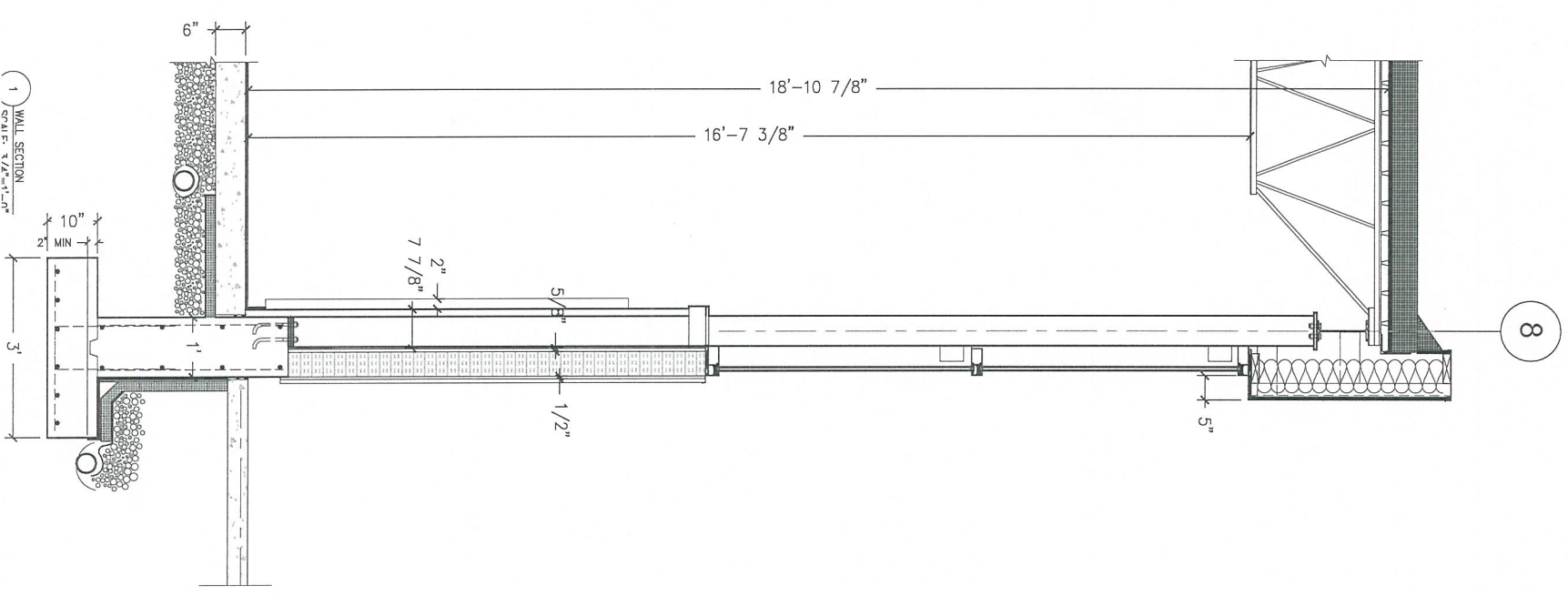


4 SOUTH ELEVATION / SECTION  
SCALE: 1/8"=1'-0"

0 4' 8' 16'  
SCALE: 1/8" = 1'-0"

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 STATUS NOT FOR CONSTRUCTION  
 ISSUE DATE 5/5/2023  
 PROJECT NO. : 2301  
 DESCRIPTION:



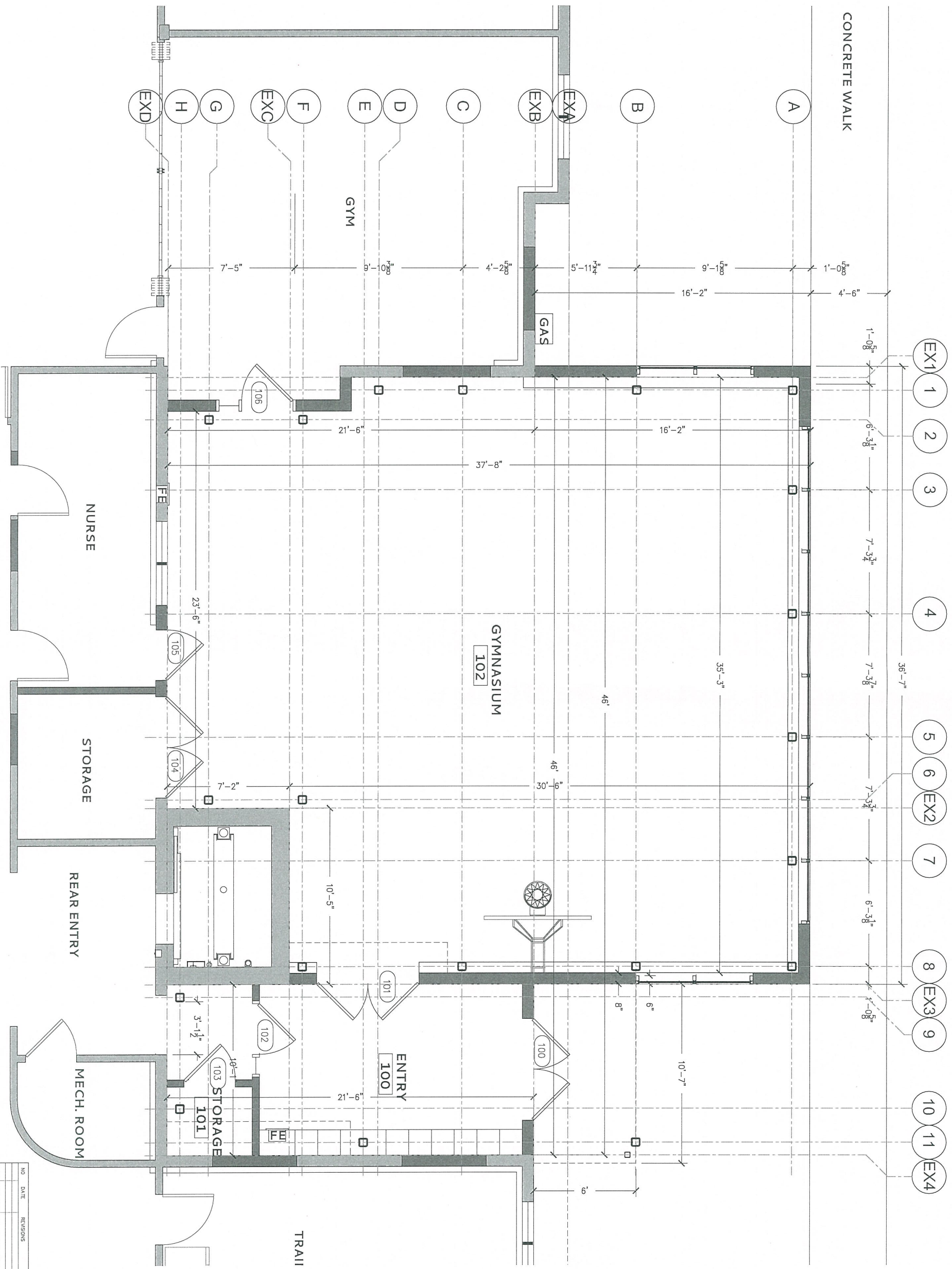
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PHASE: DESIGN DEVELOPMENT  
 STATUS: NOT FOR CONSTRUCTION  
 ISSUE DATE: 5/5/2023  
 PROJECT NO.: 2301

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 OF: 1  
 A3.0



NewPort Architecture, LLC  
 P. O. BOX 1142, 38 LEDGE ROAD  
 NEWPORT, RI 02840  
 401.846.0776  
 nptarch.com



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PHASE DESIGN DEVELOPMENT  
 STATUS NOT FOR CONSTRUCTION  
 ISSUE DATE 5/5/2023  
 PROJECT NO. 2301  
 RECORDS/ITAL.

SHEET 01  
 A4.0



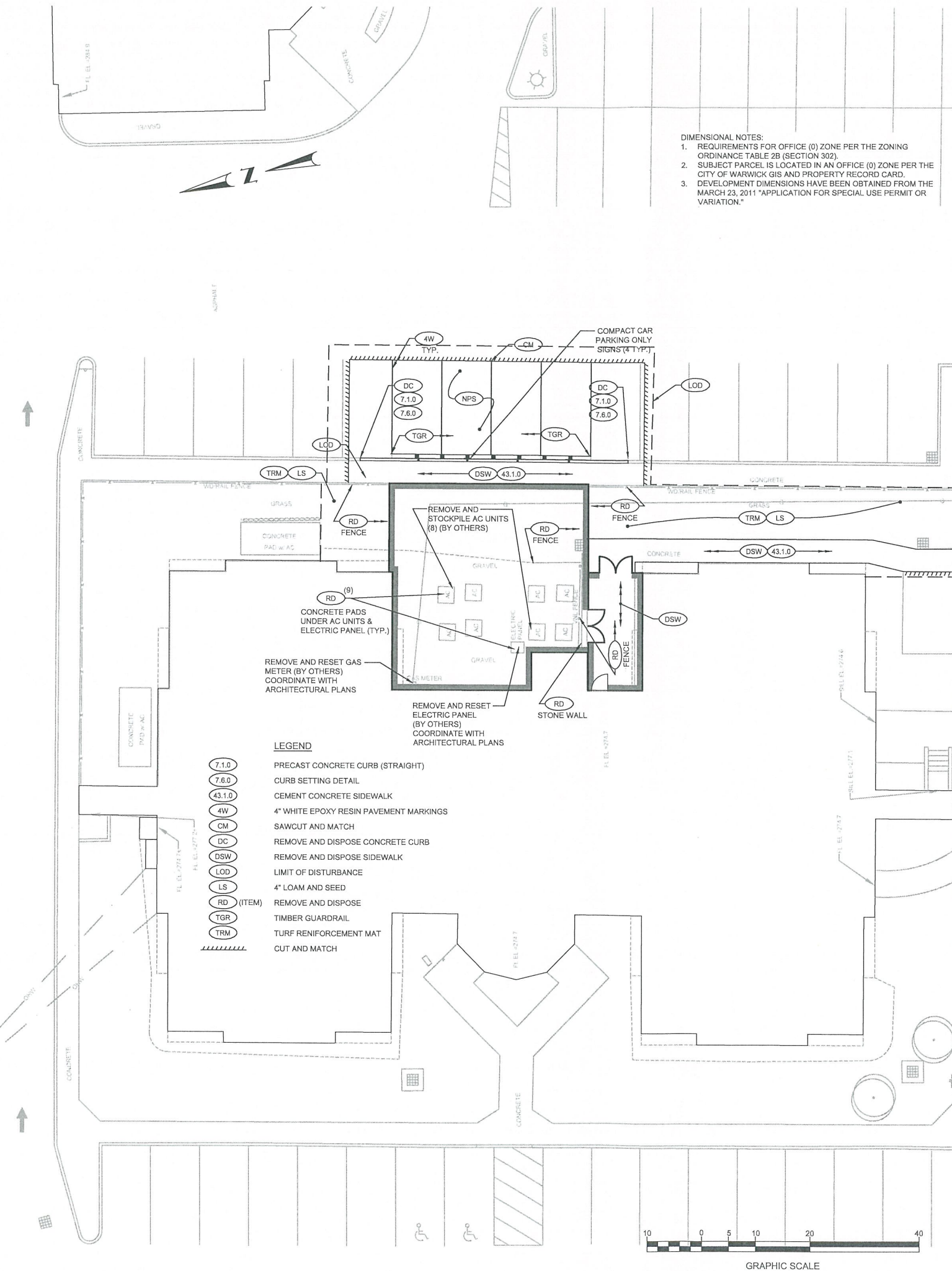
NewPort Architecture, LLC  
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 NEWPORT, RI 02840  
 401.846.0776  
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ASSESSORS PLAT 227, LOT 1  
NF  
WETGATE CONDOMINIUM

CONCRETE  
CAMPSITE PAD  
TOP EL. +28.0



**DIMENSIONAL NOTES:**  
 1. REQUIREMENTS FOR OFFICE (O) ZONE PER THE ZONING ORDINANCE TABLE 2B (SECTION 302).  
 2. SUBJECT PARCEL IS LOCATED IN AN OFFICE (O) ZONE PER THE CITY OF WARWICK GIS AND PROPERTY RECORD CARD.  
 3. DEVELOPMENT DIMENSIONS HAVE BEEN OBTAINED FROM THE MARCH 23, 2011 "APPLICATION FOR SPECIAL USE PERMIT OR VARIATION."

| DIMENSIONAL REGULATIONS        |                        |                                 |
|--------------------------------|------------------------|---------------------------------|
| OFFICE (O)                     |                        |                                 |
|                                | DIMENSIONAL REGULATION | PROPOSED DEVELOPMENT DIMENSIONS |
| MINIMUM LOT AREA               | 6,000 SF               | 131,233 SF (EX.)                |
| MINIMUM LOT WIDTH / FRONTAGE   | 60 SF                  | 274' (EX.)                      |
| MINIMUM FRONT YARD DEPTH       | 25 SF                  | 43.4' (EX.)                     |
| MINIMUM CORNER SIDE YARD DEPTH | 25 SF                  | 31.1± (EX.)                     |
| MINIMUM REAR / SIDE YARD DEPTH | 15 SF                  | 13.5' (EX.)                     |
| MAXIMUM STRUCTURE HEIGHT       | 35 FT                  | 33' (EX.)                       |
| MINIMUM LANDSCAPE OPEN SPACE   | 10%                    | 38.9%±                          |

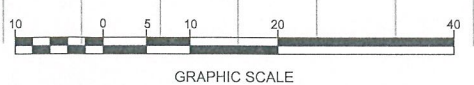
**LEGEND**

|             |  |
|-------------|--|
| (7.1.0)     | PRECAST CONCRETE CURB (STRAIGHT)       |
| (7.6.0)     | CURB SETTING DETAIL                    |
| (43.1.0)    | CEMENT CONCRETE SIDEWALK               |
| (4W)        | 4" WHITE EPOXY RESIN PAVEMENT MARKINGS |
| (CM)        | SAWCUT AND MATCH                       |
| (DC)        | REMOVE AND DISPOSE CONCRETE CURB       |
| (DSW)       | REMOVE AND DISPOSE SIDEWALK            |
| (LOD)       | LIMIT OF DISTURBANCE                   |
| (LS)        | 4" LOAM AND SEED                       |
| (RD (ITEM)) | REMOVE AND DISPOSE                     |
| (TGR)       | TIMBER GUARDRAIL                       |
| (TRM)       | TURF RENFORCEMENT MAT                  |
| (//)        | CUT AND MATCH                          |

**Zoning Section 700**  
Off-street parking and loading

| Office:                            | Office, professional service, laboratory | 1/300 square feet GFA |
|------------------------------------|--|-----------------------|
|                                    | Medical office and clinic                | 1/200 square feet GFA |
| Service:                           | Business and commercial service          | 1/250 square feet GFA |
|                                    | Theater and auditorium                   | 1/4 seats             |
| Institutional:                     | Preschool                                | 1/500 square feet GFA |
|                                    | Primary of junior high school            | 5/classroom           |
|                                    | High school                              | 1/5 Students          |
| Front Building                     |  | Primary               |
| 1st floor                          | 9,198 s.f.                               |                       |
| School (9,198 s.f.)                | 24 students                              | 1/5 4.8               |
| 2nd floor                          | 9,340 s.f.                               |                       |
| Office, Professional Services      | 9,340 s.f.                               | 1/300 31.13           |
| Greenhouse                         | 1,120 s.f.                               | used for school       |
| Business & Commercial              | 1,120 s.f.                               | 0                     |
| Rear Building                      | 20,208 students                          |                       |
| High School                        | 12 students                              | 1/5 2.4               |
| Middle School (two class rooms)    | 24 students                              | 5/class 10            |
| Primary School (three class rooms) | 36 s.f.                                  | 5/class 15            |
| Preschool                          | 687 s.f.                                 | 1/500 1.37            |
| Assembly Building                  | 3,040 s.f.                               |                       |
| Education & Training Center        | 150 seats                                | 1/4 37.5              |
|                                    |  | part of school use    |
| <b>Total Required Parking</b>      |  | <b>102.2</b>          |
| <b>Total Provided Parking</b>      |  | <b>132</b>            |

Note: Per Sargent Rehab Center personnel, building 1 no longer used as open-clinic occupancy and used primarily for classroom use. Previous ZBR application dated March 2011 calculated total required parking as 129.62 with clinic use.

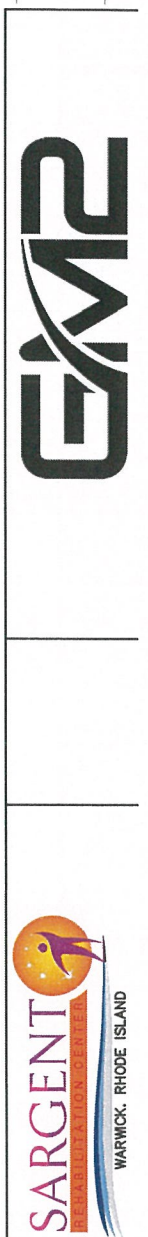


BRETT D NEILAN  
13746  
REGISTERED  
PROFESSIONAL ENGINEER  
CIVIL

| NO | DATE | REVISIONS |
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PHASE DESIGN DEVELOPMENT  
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STATUS 45%  
ISSUE DATE 6/9/2023  
PROJECT NO. : 41094  
DESCRIPTION: GENERAL PLAN

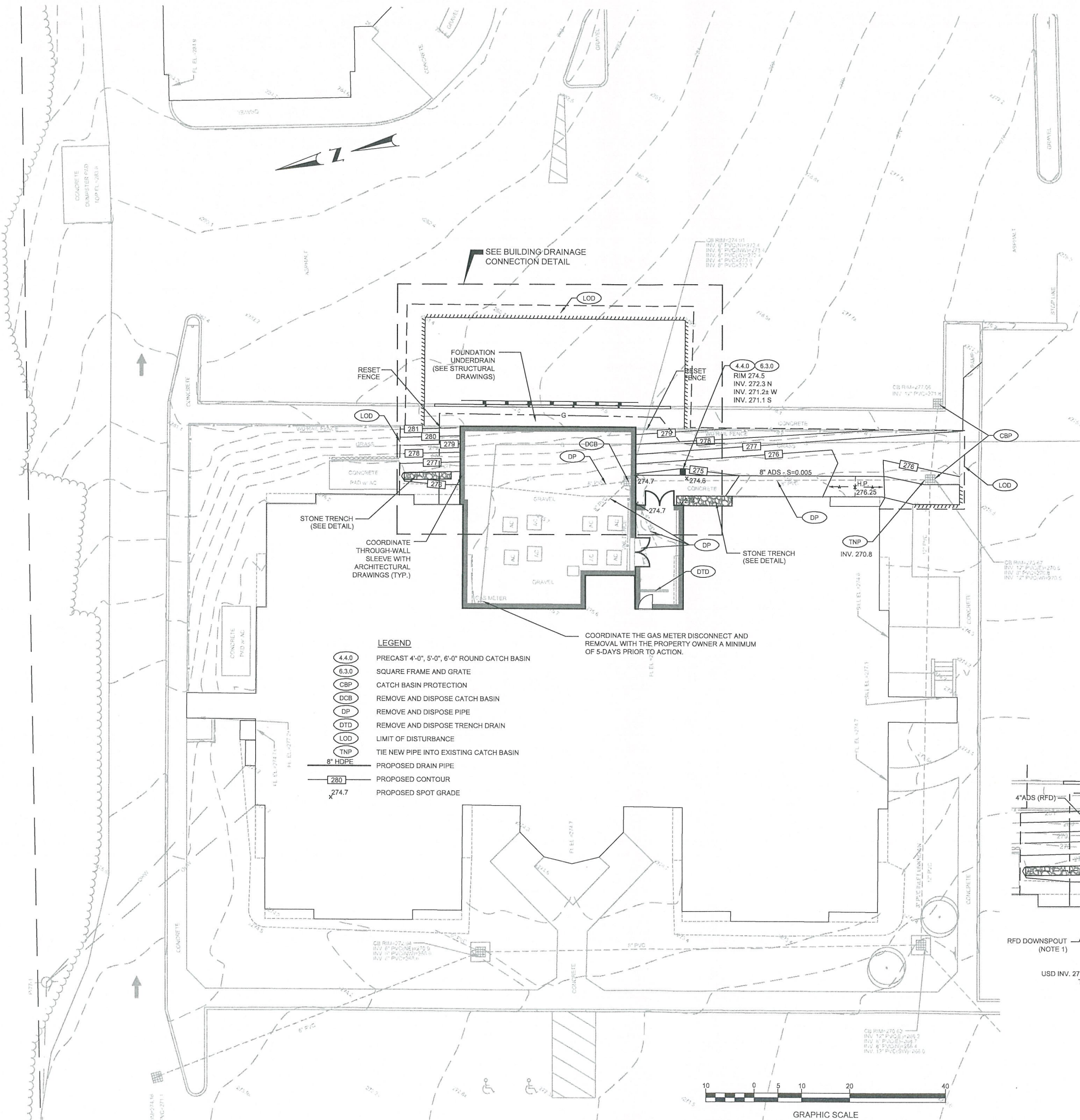
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MAJOR POTTER ROAD  
PUBLIC ROADWAY

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ASSESSORS PLAT 227, LOT 1  
N/F  
WETGATE CONDOMINIUM

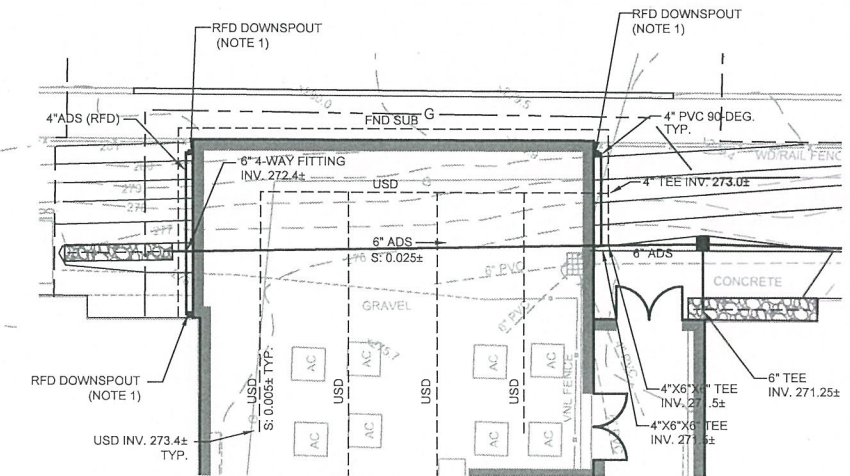


- LEGEND**
- 4.4.0 PRECAST 4'-0", 5'-0", 6'-0" ROUND CATCH BASIN
  - 6.3.0 SQUARE FRAME AND GRATE
  - CBP CATCH BASIN PROTECTION
  - DCB REMOVE AND DISPOSE CATCH BASIN
  - DP REMOVE AND DISPOSE PIPE
  - DTD REMOVE AND DISPOSE TRENCH DRAIN
  - LOD LIMIT OF DISTURBANCE
  - TNP TIE NEW PIPE INTO EXISTING CATCH BASIN
  - 8" HDPE PROPOSED DRAIN PIPE
  - 280 PROPOSED CONTOUR
  - 274.7 PROPOSED SPOT GRADE

- AMERICANS WITH DISABILITIES ACT NOTES:**
- ALL EXTERIOR IMPROVEMENTS MUST COMPLY WITH THE "AMERICANS WITH DISABILITIES ACT ACCESSIBILITY GUIDELINES (ADAAG)." THE CONTRACTOR SHALL COMPLY WITH THE LATEST ADA STANDARDS FOR ACCESSIBLE DESIGN (<https://www.ada.gov/law-and-regs/design-standards/2010-stds/>)
  - MAXIMUM RUNNING SLOPE ALONG ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 5.0% (0.05 FT/FT) OR LESSER. THE MAXIMUM CROSS SLOPE ACROSS ALL ACCESSIBLE PATHS OF TRAVEL MUST BE 1.5% (0.015 FT/FT).
  - NOTWITHSTANDING THE NOTES LISTED ABOVE, TOWN OR STATE-SPECIFIC STANDARDS MAY BE MORE STRINGENT AND OVERRULE. IT IS THE RESPONSIBILITY OF THE USER OF THIS PLAN SET TO MAINTAIN COMPLIANCE WITH THE CONTROLLING STANDARD.
  - NOTE THAT THE GRADING PLAN VIEWS AND DETAILS CONTAINED WITHIN THIS PLANSET MAY NOT SHOW THE DETAIL NECESSARY TO CONSTRUCT WALKWAYS, RAMPS AND SPACES TO COMPLY WITH THE ABOVE REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE TO PROVIDE THE LEVEL OF CARE NECESSARY TO BE CERTAIN THAT THE CONSTRUCTED PRODUCT MEETS ADA/CONTROLLING STANDARDS. IN THE EVENT OF ANY NON-COMPLIANCE THE CONTRACTOR MUST NOTIFY THE DESIGNER BEFORE CONSTRUCTION FOR ADVICE IN FINDING A RESOLUTION.
  - ANY DISCREPANCIES IDENTIFIED BETWEEN THESE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN ENGINEERS IMMEDIATELY. CONSTRUCTION OF THESE ITEMS SHALL NOT CONTINUE UNTIL AUTHORIZED BY THE ENGINEER OR OWNERS REPRESENTATIVE.

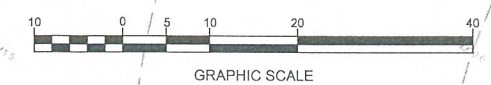
- NATURAL GAS NOTES:**
- THE EXISTING GAS SERVICE IS APPROXIMATE ONLY. THE CONTRACTOR SHALL FIELD VERIFY LOCATION.
  - THE CONTRACTOR SHALL COORDINATE THE NEW GAS SERVICE ALIGNMENT AND THE METER'S LOCATION WITH RI ENERGY AND THE OWNERS REPRESENTATIVE.

- BUILDING DRAINAGE NOTES:**
- THE CONTRACTOR SHALL COORDINATE ALL ROODRAIN (RFD) DOWNSPOUT AND UNDERSLAB DRAIN (USD) LOCATIONS PER THE ARCHITECTURAL PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
  - THE CONTRACTOR SHALL INSTALL FOUNDATION SUBDRAIN (FND SUB) PIPING IN ACCORDANCE WITH THE ARCHITECTURAL AND STRUCTURAL PLANS. DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER.



**BUILDING DRAINAGE CONNECTIONS**

SCALE: 1" = 8'



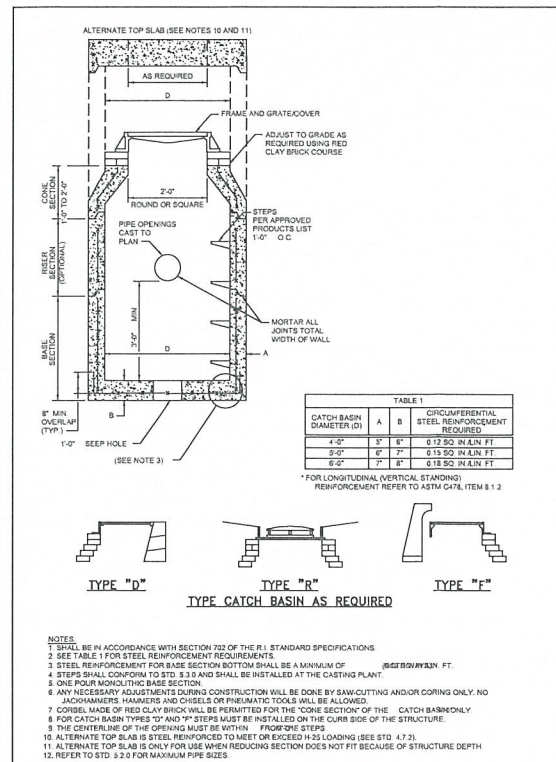
BRETT NEILAN  
13746  
REGISTERED PROFESSIONAL ENGINEER  
CIVIL

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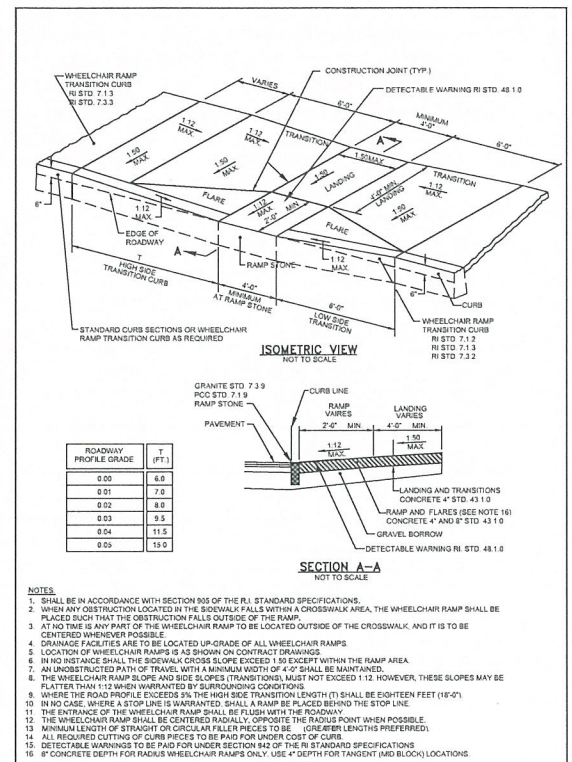
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ISSUE DATE 6/9/2023  
PROJECT NO. : 41094  
REVISIONS, GRADING &



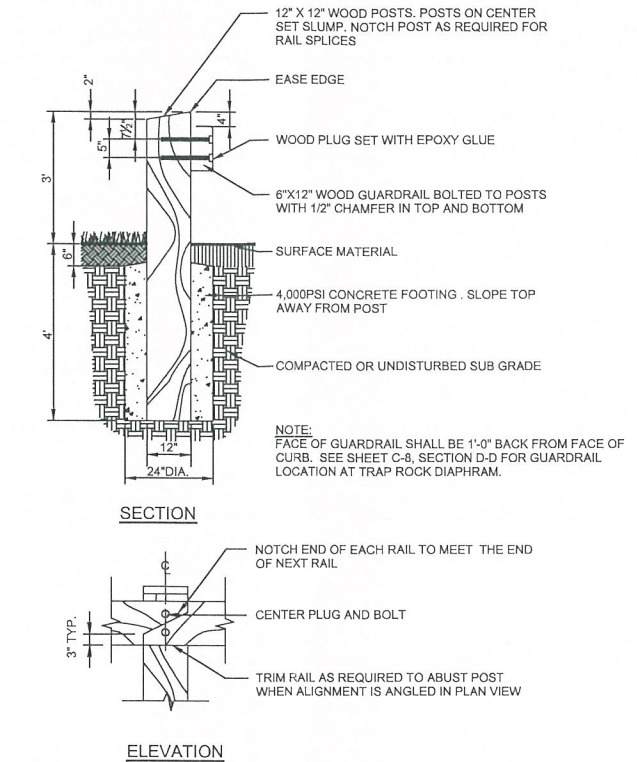
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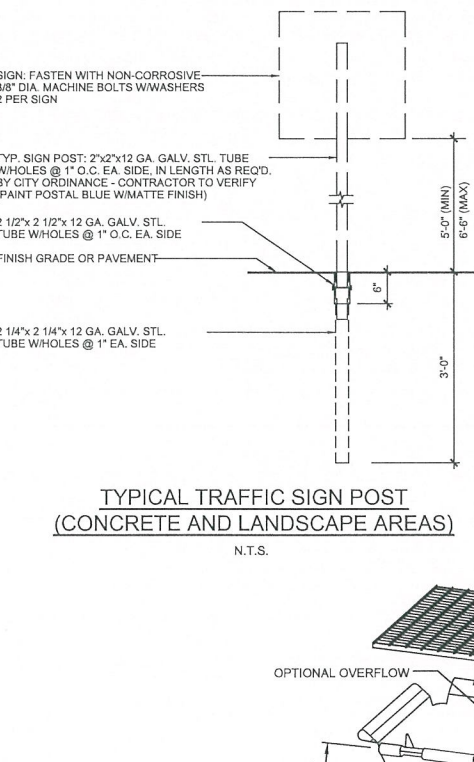
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| PRECAST 4'-0", 5'-0", OR 6'-0" ROUND CATCH BASIN |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.4.0                              |  |         |      |    |     |      |    |     |



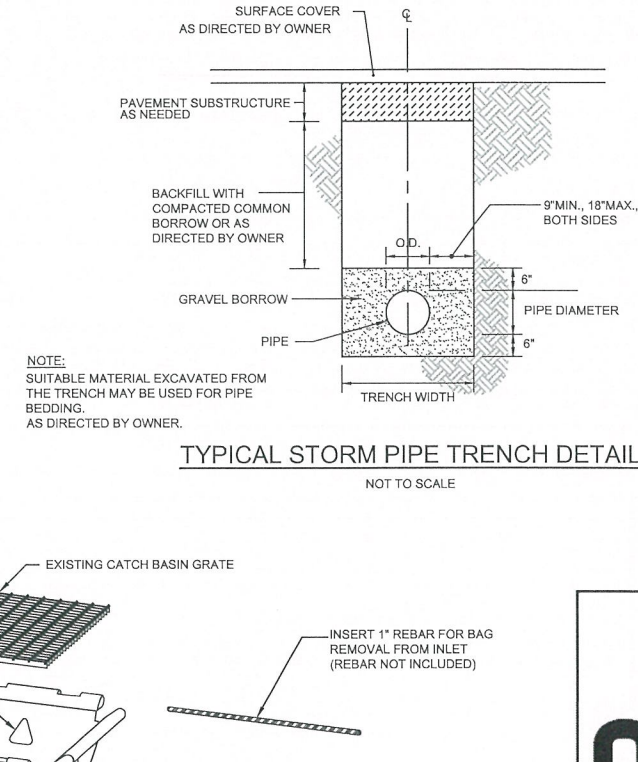
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| WHEELCHAIR RAMP                           |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.0                       |  |         |      |    |     |      |    |     |



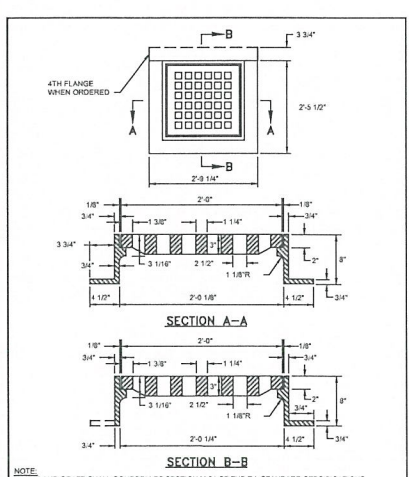
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| WOOD GUARDRAIL                            |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.0                       |  |         |      |    |     |      |    |     |



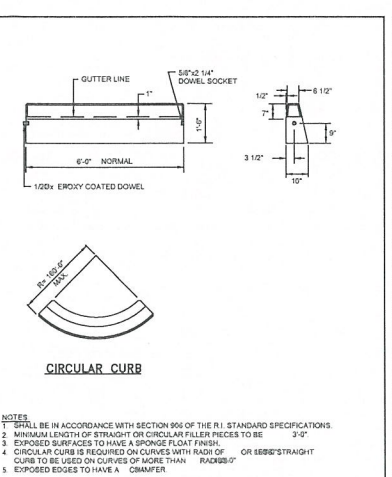
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| TYPICAL TRAFFIC SIGN POST (CONCRETE AND LANDSCAPE AREAS) |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.0                                      |  |         |      |    |     |      |    |     |



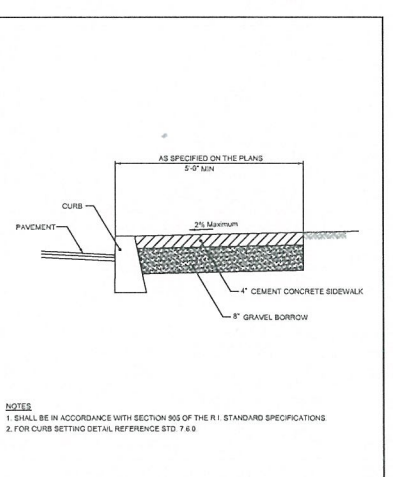
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| TYPICAL STORM PIPE TRENCH DETAIL          |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.0                       |  |         |      |    |     |      |    |     |



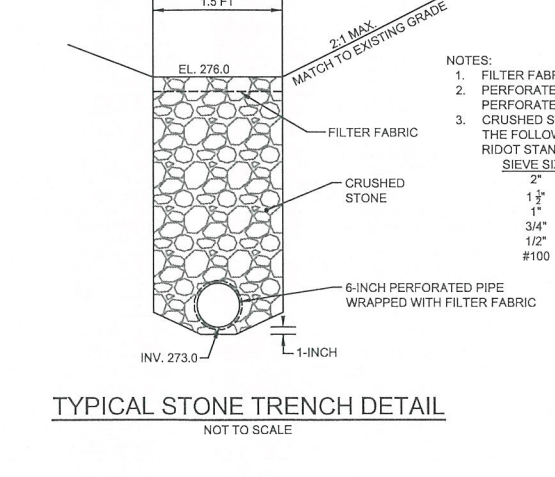
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| SQUARE FRAME AND GRATE                    |  |         |      |    |     |      |    |     |
| R.I. STANDARD 6.3.0                       |  |         |      |    |     |      |    |     |



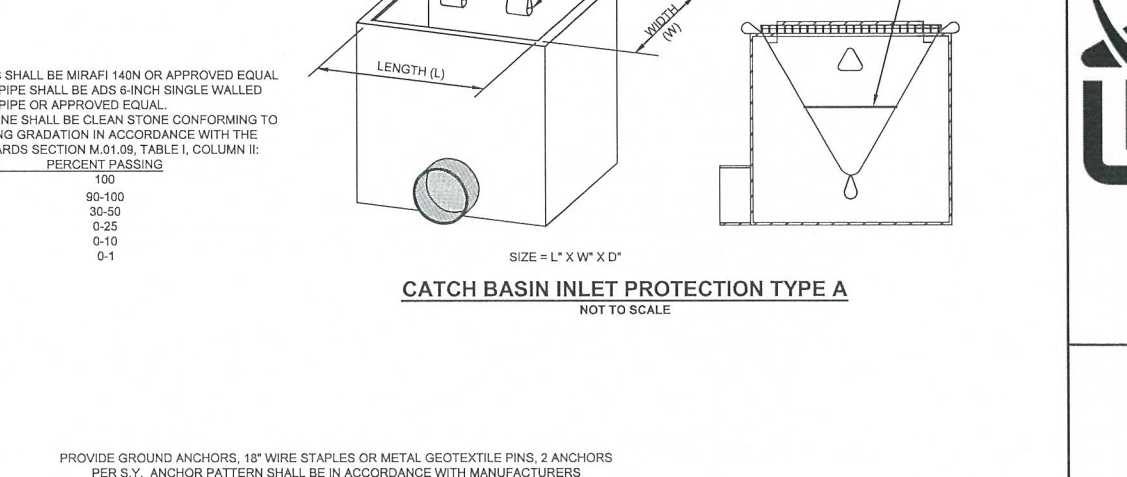
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| PRECAST CONCRETE CURB                     |  |         |      |    |     |      |    |     |
| R.I. STANDARD 7.1.0                       |  |         |      |    |     |      |    |     |



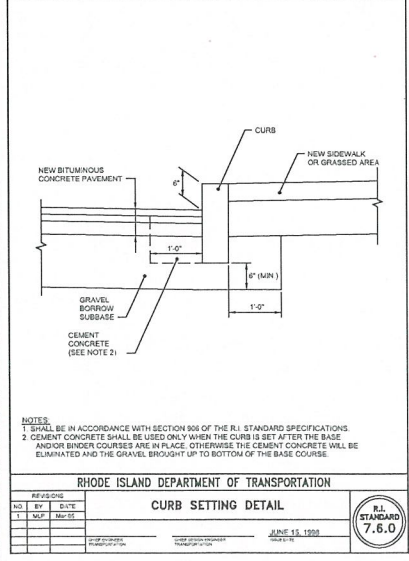
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| CEMENT CONCRETE SIDEWALK                  |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.1.0                     |  |         |      |    |     |      |    |     |



| RHODE ISLAND DEPARTMENT OF TRANSPORTATION |  | REVISED | DATE | BY | CHK | DATE | BY | CHK |
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| TYPICAL STONE TRENCH DETAIL               |  |         |      |    |     |      |    |     |
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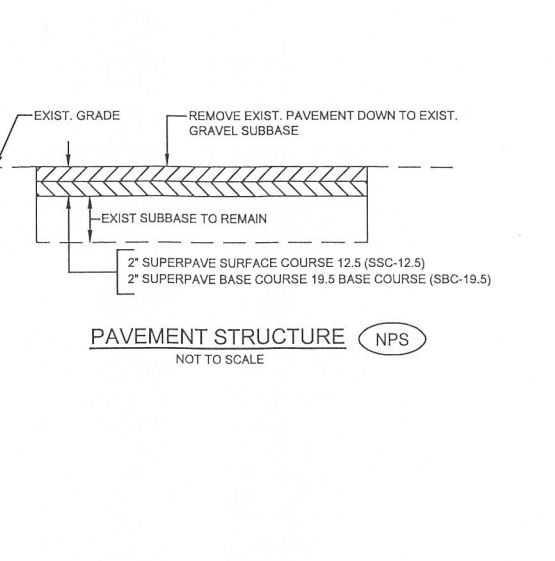
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| CATCH BASIN INLET PROTECTION TYPE A       |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.0                       |  |         |      |    |     |      |    |     |



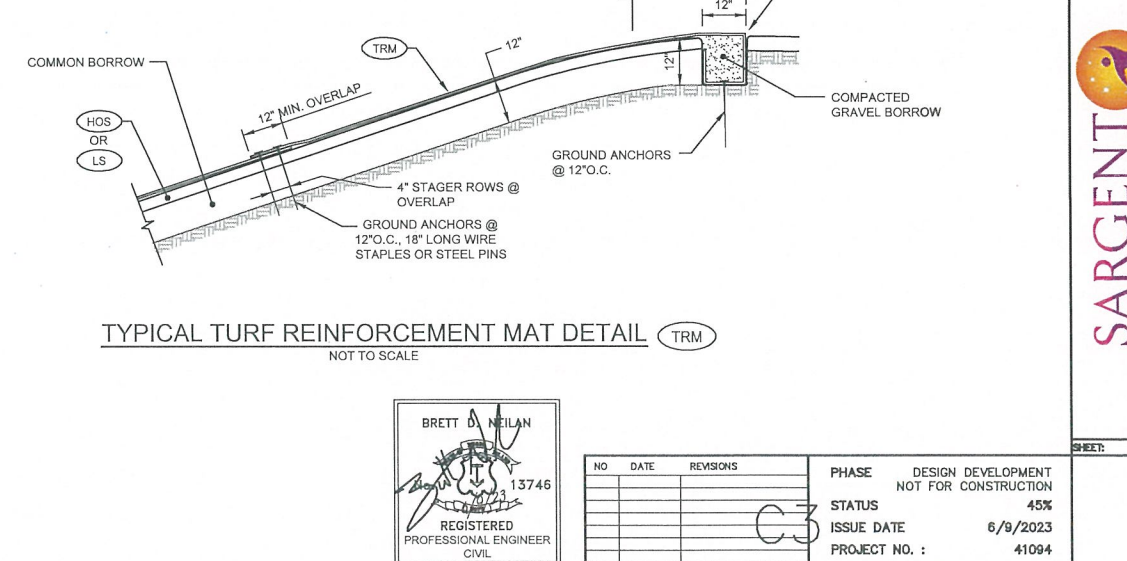
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| CURB SETTING DETAIL                       |  |         |      |    |     |      |    |     |
| R.I. STANDARD 7.6.0                       |  |         |      |    |     |      |    |     |



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|---|--|---------|------|----|-----|------|----|-----|
| PAVEMENT STRUCTURE                        |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.0                       |  |         |      |    |     |      |    |     |



| RHODE ISLAND DEPARTMENT OF TRANSPORTATION |  | REVISED | DATE | BY | CHK | DATE | BY | CHK |
|---|--|---------|------|----|-----|------|----|-----|
| TYPICAL TURF REINFORCEMENT MAT DETAIL     |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.0                       |  |         |      |    |     |      |    |     |



| RHODE ISLAND DEPARTMENT OF TRANSPORTATION |  | REVISED | DATE | BY | CHK | DATE | BY | CHK |
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| TYPICAL TURF REINFORCEMENT MAT DETAIL     |  |         |      |    |     |      |    |     |
| R.I. STANDARD 4.3.0                       |  |         |      |    |     |      |    |     |

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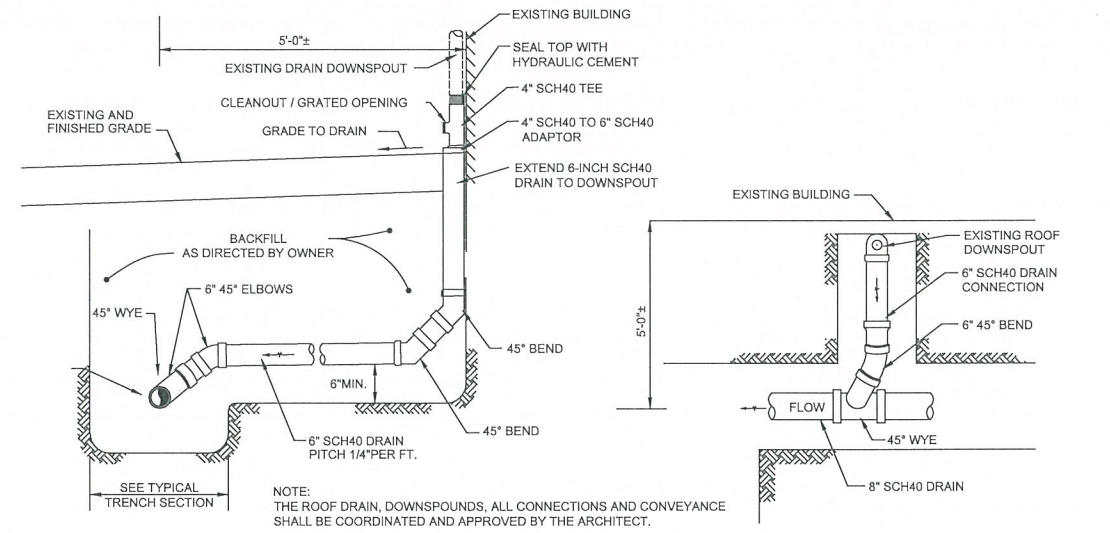
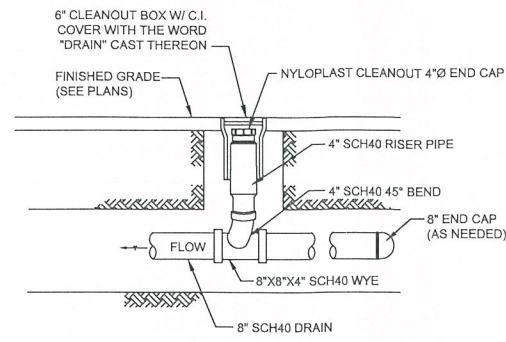
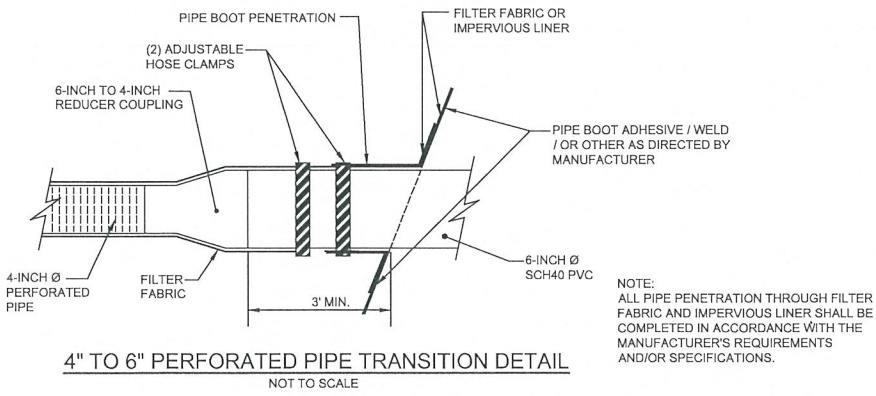
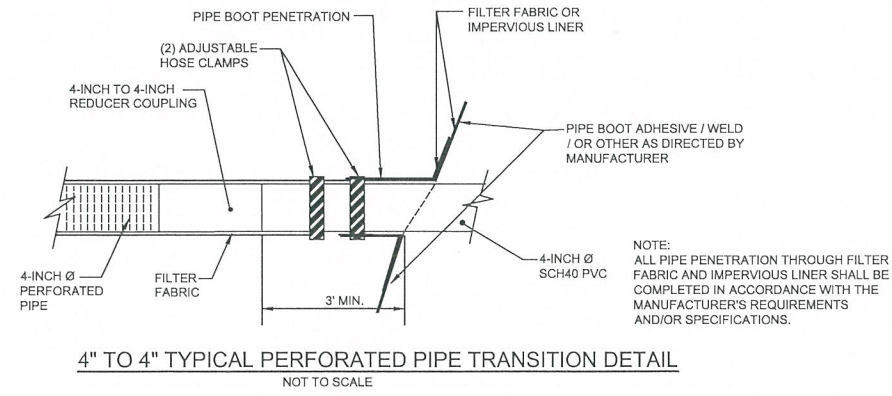
BRETT D. NEILAN  
 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
 13746

| NO | DATE | REVISIONS | PHASE                | DESIGN DEVELOPMENT |
|----|------|-----------|----------------------|--------------------|
|    |      |           | NOT FOR CONSTRUCTION |                    |
|    |      |           | STATUS               | 45%                |
|    |      |           | ISSUE DATE           | 6/9/2023           |
|    |      |           | PROJECT NO. :        | 41094              |
|    |      |           | DESCRIPTION: DETAILS |                    |



SHEET: 01 OF: 01

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 REGISTERED PROFESSIONAL ENGINEER  
 CIVIL  
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| NO | DATE | REVISIONS |
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PHASE DESIGN DEVELOPMENT  
 NOT FOR CONSTRUCTION  
 STATUS 45%  
 ISSUE DATE 6/9/2023  
 PROJECT NO. : 41094  
 DESCRIPTION: DETAILS

SHEET: OF:

C4