

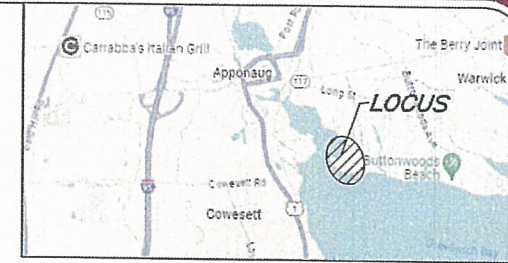
REFERENCES:

- 1) CEDAR TREE PARK PLAT FOR: COLWELL & FITZPATRICK BY: RICHARD A. SANDERS DATE: APRIL, 1911 SCALE: 1"=80'

NAD83 (2011)(2010.00)

General Notes

- 1) LOCATION MAP IMAGE TAKEN FROM GOOGLE MAPS.
- 2) PER WARWICK GIS THE SUBJECT PARCEL LIES WITHIN ZONE A-7 AND A-10 ZONING DISTRICT.
- 3) GRANDVIEW DRIVE IS A 30' WIDE PUBLIC RIGHT-OF-WAY.
- 4) ALL CORNER OFFSETS ARE FROM THE EXISTING FOUNDATION.
- 5) BY GRAPHIC SCALING ONLY, SUBJECT AREA LIES IN ZONE X AREA DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS DELINEATED ON FIRM MAP FLOOD INSURANCE MAP KENT COUNTY, RHODE ISLAND (ALL JURISDICTIONS) PANEL 129 OF 251 TOWN OF WARWICK NUMBER 445409 PANEL 129 SUFFIX J MAP NUMBER 4400300129J MAP DATED OCTOBER 2, 2015.
- 6) ZONING LINE TRACED FROM CITY OF WARWICK GIS.



Location Map Not To Scale

Belong: ASSESSORS PLAT NO. 367 LOT NO. 31
PROPOSED ADDITION PLAN
 280 Grand View Drive
 Warwick, Rhode Island
 Raymond & Tiffany Welch

NO.	REVISION	DATE	BY
1	Initial Foundation Dimensions Proposed Addition Footprint/Date	1.11.24	

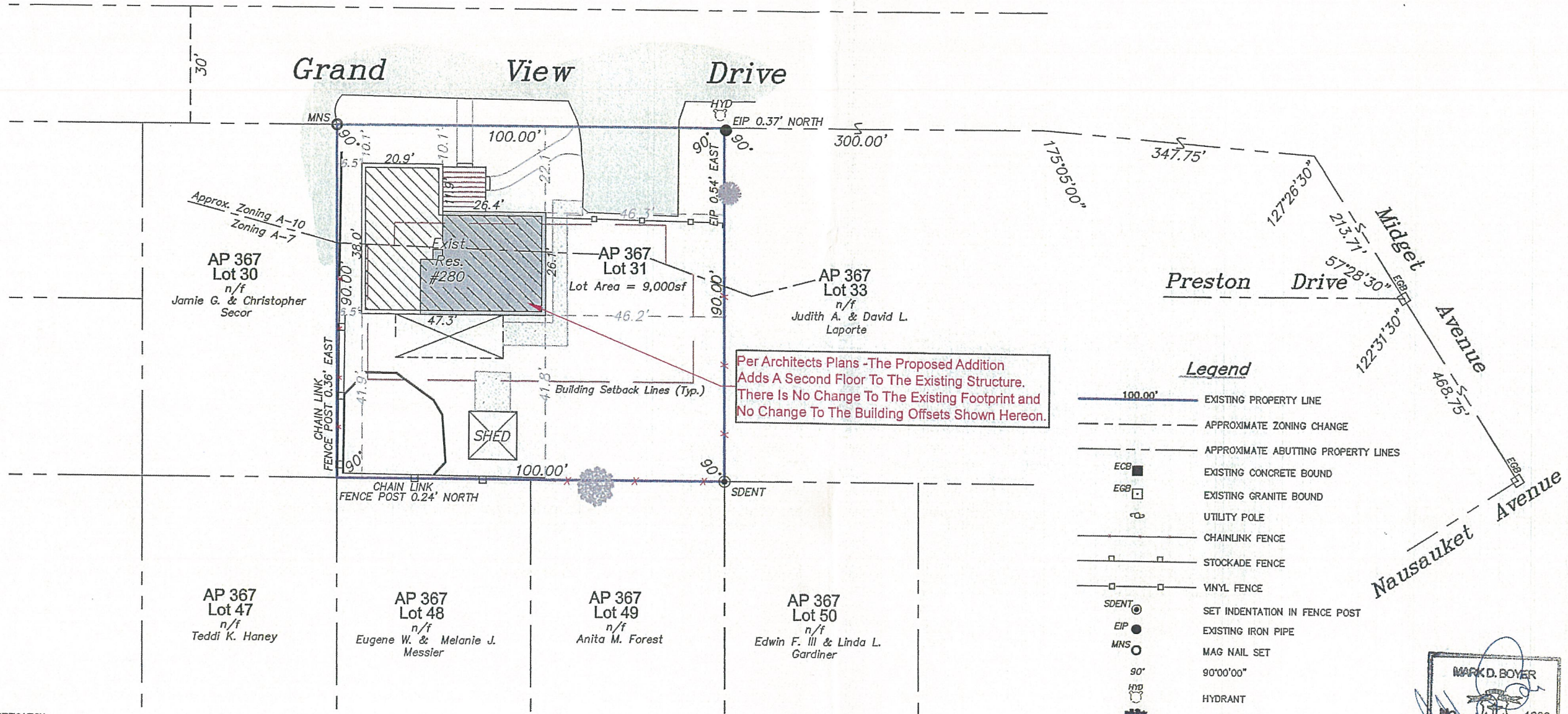
Checked By: MDB
 Scale: 1"= 20'

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BOYER ASSOCIATES
 1071 MAIN STREET
 WEST WARWICK, RI 02893
 TEL: (401)821-8872 FAX: (401)826-1993

Sheet **1**
 of **1** sheets

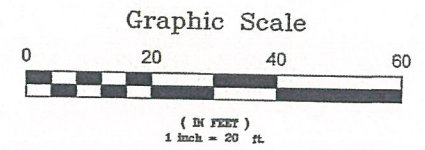
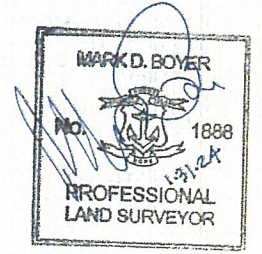
Pet. # 109165-280 Grand View Dr.



Per Architects Plans -The Proposed Addition Adds A Second Floor To The Existing Structure. There Is No Change To The Existing Footprint and No Change To The Building Offsets Shown Hereon.

Legend

- 100.00' EXISTING PROPERTY LINE
- APPROXIMATE ZONING CHANGE
- APPROXIMATE ABUTTING PROPERTY LINES
- ECB ■ EXISTING CONCRETE BOUND
- EGB □ EXISTING GRANITE BOUND
- UTILITY POLE
- CHAINLINK FENCE
- STOCKADE FENCE
- VINYL FENCE
- SDENT ○ SET INDENTATION IN FENCE POST
- EIP ● EXISTING IRON PIPE
- MNS ○ MAG NAIL SET
- 90' 90°00'00"
- HYD ○ HYDRANT
- MAPLE TREE
- PROPOSED SECOND STORY ADDITION



Street Index
 Grand View Drive
 Midget Avenue
 Nausauket Avenue

CERTIFICATION

This survey has been conducted and the plan has been prepared pursuant to 435-RICR-00-00-1.9 of the Rules and Regulations adopted by the Rhode Island State Board of Registration for Professional Land Surveyors on November 25, 2015 as follows:

TYPE OF BOUNDARY SURVEY:	MEASUREMENT SPECIFICATION:
Limited Content Boundary Survey	I
Building Location Survey	I
OTHER TYPE OF SURVEY	
Data Accumulation Plan	III

The purpose for the conduct of this survey and for the preparation of the plan is to delineate the physical location of the deeded boundary lines and existing structure for a zoning application for the City of Warwick.

By: *[Signature]*
 Mark D. Boyer #1888
 Boyer Associates C.O.A. # A317

Zoning District	MINIMUM AREA	FRONTAGE	BUILDING SETBACKS
A-7	7,000 SQ. FT.	70 FEET	FRONT YARD 25 FEET SIDE YARD 8 FEET REAR YARD 20 FEET
A-10	10,000 SQ. FT.	100 FEET	FRONT YARD 25 FEET SIDE YARD 15 FEET REAR YARD 20 FEET

ALL ZONING DATA SHOWN HEREON MUST BE VERIFIED BY THE BUILDING/ZONING OFFICIAL

Welch Residence

Residential Addition

280 Grand View Drive

Warwick, RI 02886



¹ R503.1.1 BUILDING ENVELOPE EXCEPTION 2:
THE FOLLOWING ALTERATIONS NEED NOT COMPLY WITH THE REQUIREMENTS FOR NEW CONSTRUCTION PROVIDED THE ENERGY USE OF THE BUILDING IS NOT INCREASED: EXISTING CEILING, WALL OR FLOOR CAVITIES EXPOSED DURING CONSTRUCTION PROVIDED THAT THESE CAVITIES ARE FILLED WITH INSULATION.

² R402.2.1 CEILINGS WITH ATTIC SPACES.
WHEN SECTION R402.1.1 WOULD REQUIRE R-38 IN THE CEILING, INSTALLING R-30 OVER 100 PERCENT OF THE CEILING AREA REQUIRING INSULATION SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-38 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-30 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. SIMILARLY, R-38 SHALL BE DEEMED TO SATISFY THE REQUIREMENT FOR R-49 WHEREVER THE FULL HEIGHT OF UNCOMPRESSED R-38 INSULATION EXTENDS OVER THE WALL TOP PLATE AT THE EAVES. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.3 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.4.

³ R402.2.2 CEILINGS WITHOUT ATTIC SPACES.
WHERE SECTION R402.1.1 WOULD REQUIRE INSULATION LEVELS ABOVE R-30 AND THE DESIGN OF THE ROOF/CEILING ASSEMBLY DOES NOT ALLOW SUFFICIENT SPACE FOR THE REQUIRED INSULATION, THE MINIMUM REQUIRED INSULATION FOR SUCH ROOF/CEILING ASSEMBLIES SHALL BE R-30. THIS REDUCTION OF INSULATION FROM THE REQUIREMENTS OF SECTION R402.1.1 SHALL BE LIMITED TO 500 SQUARE FEET (46 M²) OR 20 PERCENT OF THE TOTAL INSULATED CEILING AREA, WHICHEVER IS LESS. THIS REDUCTION SHALL NOT APPLY TO THE U-FACTOR ALTERNATIVE APPROACH IN SECTION R402.1.3 AND THE TOTAL UA ALTERNATIVE IN SECTION R402.1.4.

⁴ TABLE R402.1.2 BASEMENT R-VALUE
"15/19" MEANS R-15 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME OR R-19 CAVITY INSULATION AT THE INTERIOR OF THE BASEMENT WALL. "15/19" SHALL BE PERMITTED TO BE MET WITH R-13 CAVITY INSULATION ON THE INTERIOR OF THE BASEMENT WALL PLUS R-5 CONTINUOUS INSULATION ON THE INTERIOR OR EXTERIOR OF THE HOME

G.C. TO VERIFY WITH CODE OFFICIAL TO CONFIRM ADDITIONAL ENERGY CODE COMPLIANCE REQUIREMENTS



DENNIS COLWELL
ARCHITECTS

132 CENTRAL STREET, SUITE 203, FOXBOROUGH, MA 02035
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IECC TABLE 402.1.2 INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT**

ASSEMBLY	REQUIREMENT	ACTUAL
WOOD FRAME CAVITY WALL ¹	R=20	R=21
WOOD FRAME FLOOR ¹	R=30	R=30
WOOD FRAME CEILING ^{1 2 3}	R=49	R=49
WINDOWS	U=0.300	U≤0.300
DOORS	U=0.300	U≤0.300
BASEMENT WALLS	15/19 ⁴	15/19 ⁴

Table with multiple columns listing abbreviations and their corresponding full names, such as 'AC' for 'AIR CONDITIONING' and 'ADN' for 'ADDITION'.

ABBREVIATIONS, SYMBOLS LEGEND, MATERIALS LEGEND, and WALLS LEGEND. Includes symbols for column line, wall/partition type, room name, door designation, window types, elevation reference, and materials like masonry, gravel, concrete, CMU, brick, masonry, insulation, steel, rough lumber, plywood, and finished wood.

GENERAL FOUNDATION & CONCRETE NOTES, GENERAL FRAMING NOTES, and GENERAL STRUCTURAL STEEL NOTES. Detailed construction specifications for foundations, framing, and steel structures.

GENERAL CONSTRUCTION NOTES. A series of 14 numbered notes providing additional construction details and requirements for the building project.

DRAWING LIST table containing drawing titles, scales, and issuance dates. Includes drawings for Cover, Demolition Plan, First Floor Plan, Second Floor Plan, Roof Plan, and various Elevation and Section drawings.

DRAWING LIST and PARTITION TYPE NOTE. Includes vertical and horizontal sections of exterior walls, interior walls, and bathroom walls, showing construction details like framing, insulation, and finishes.

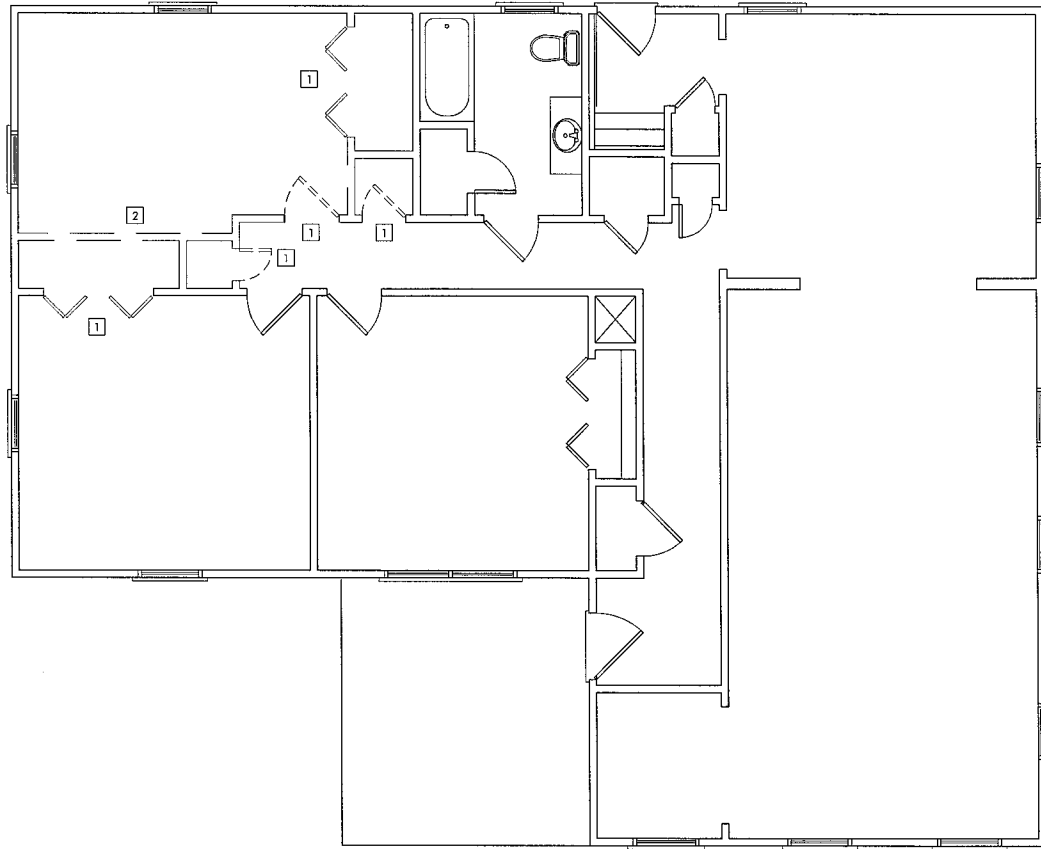
PARTITION TYPES, DIMENSIONING NOTE, and PERMITTING & LOCAL REQUIREMENTS. Section describing different partition types, dimensioning standards, and compliance with local building codes.

PROJECT INFORMATION, DENNIS COLWELL ARCHITECTS logo and address, ISSUE/DATE stamps (02.17.2023), and the drawing number G1.0.

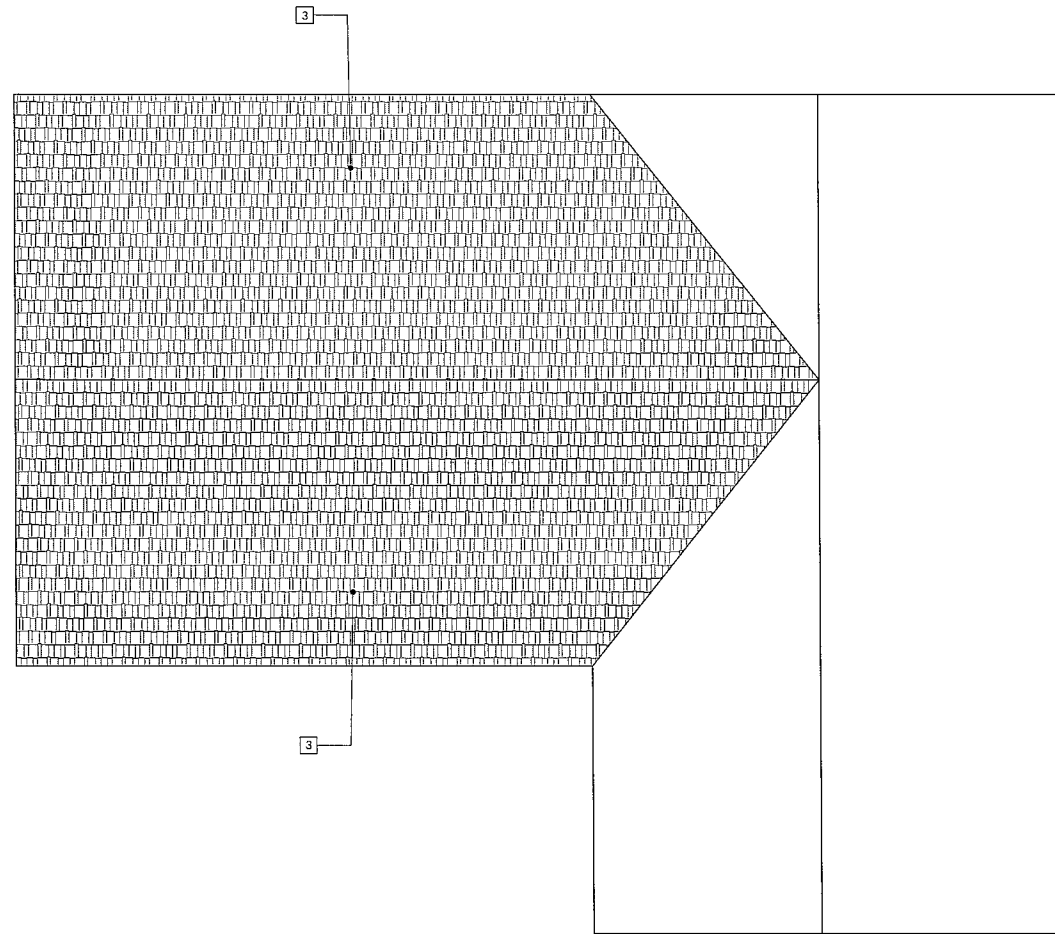
PROJECT:
 GRAND VIEW DRIVE ADDITION
 RAYMOND WELCH
 280 GRAN D'VIEW DRIVE
 WARWICK, RI 02886

PROJECT NUMBER: 22086

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FIRST FLOOR DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"



ROOF DEMOLITION PLAN
 SCALE: 1/4" = 1'-0"

DEMOLITION PLAN NOTES - GENERAL

(NOTES ARE NOT KEYED ON DRAWINGS)

- G.1 THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS IN THE FIELD, AND PROMPTLY NOTIFY THE ARCHITECT IN WRITING OF ANY AND ALL DISCREPANCIES OR UNFORESEEN CONDITIONS.
- G.2 ALL EXISTING CONSTRUCTION SHOWN AS DASHED AND NOTED SHALL BE DEMOLISHED AND REMOVED COMPLETELY INCLUDING ALL ASSOCIATED ANCHORS, FASTENERS, HANGERS, PIPING, CONDUIT, DUCTWORK ETC. UNLESS NOTED OTHERWISE.
- G.3 CONTRACTOR MUST PROTECT, BRACE, AND TEMPORARILY SUPPORT ADJACENT SURFACES AS REQUIRED TO ALLOW FOR DEMOLITION WITHOUT CAUSING DAMAGE TO REMAINING STRUCTURE.
- G.4 ALL WALLS, FLOORS, AND CEILING THAT ARE SCHEDULED TO REMAIN AND ARE AFFECTED BY DEMOLITION WORK SHALL BE PATCHED AND FINISHED AS REQUIRED TO MATCH EXISTING. ALL REPAIR WORK SHALL BE APPROVED BY ARCHITECT AND OWNER.
- G.5 PRIOR TO STARTING SELECTIVE DEMOLITION WORK, COORDINATE WITH NEW CONSTRUCTION TO EVALUATE ANY POTENTIAL CONFLICTS. NOTIFY ARCHITECT OF CONFLICT PRIOR TO STARTING DEMOLITION.
- G.6 CONTRACTOR SHALL PROTECT ALL REQUIRED MEANS OF EGRESS THROUGHOUT ENTIRE CONSTRUCTION PERIOD.
- G.7 ALL REMOVALS SHALL BE DEEMED THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE NOTED.

DEMOLITION GENERAL NOTES

DEMOLITION PLAN NOTES - SPECIFIC

(NOTES ARE KEYED ON DRAWINGS)

- 1 REMOVE EXISTING DOOR ASSEMBLY AS SHOWN, INCLUSIVE OF FRAME & HARDWARE.
- 2 REMOVE EXISTING WALL
- 3 REMOVE EXISTING ROOF STRUCTURE

DEMOLITION KEYED NOTES

STAMP:



ISSUE:	DATE:
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DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: BDR CHECKED BY: DMC

DRAWING TITLE:
 DEMOLITION PLANS

DRAWING NUMBER:

D1.0

DOOR SCHEDULE

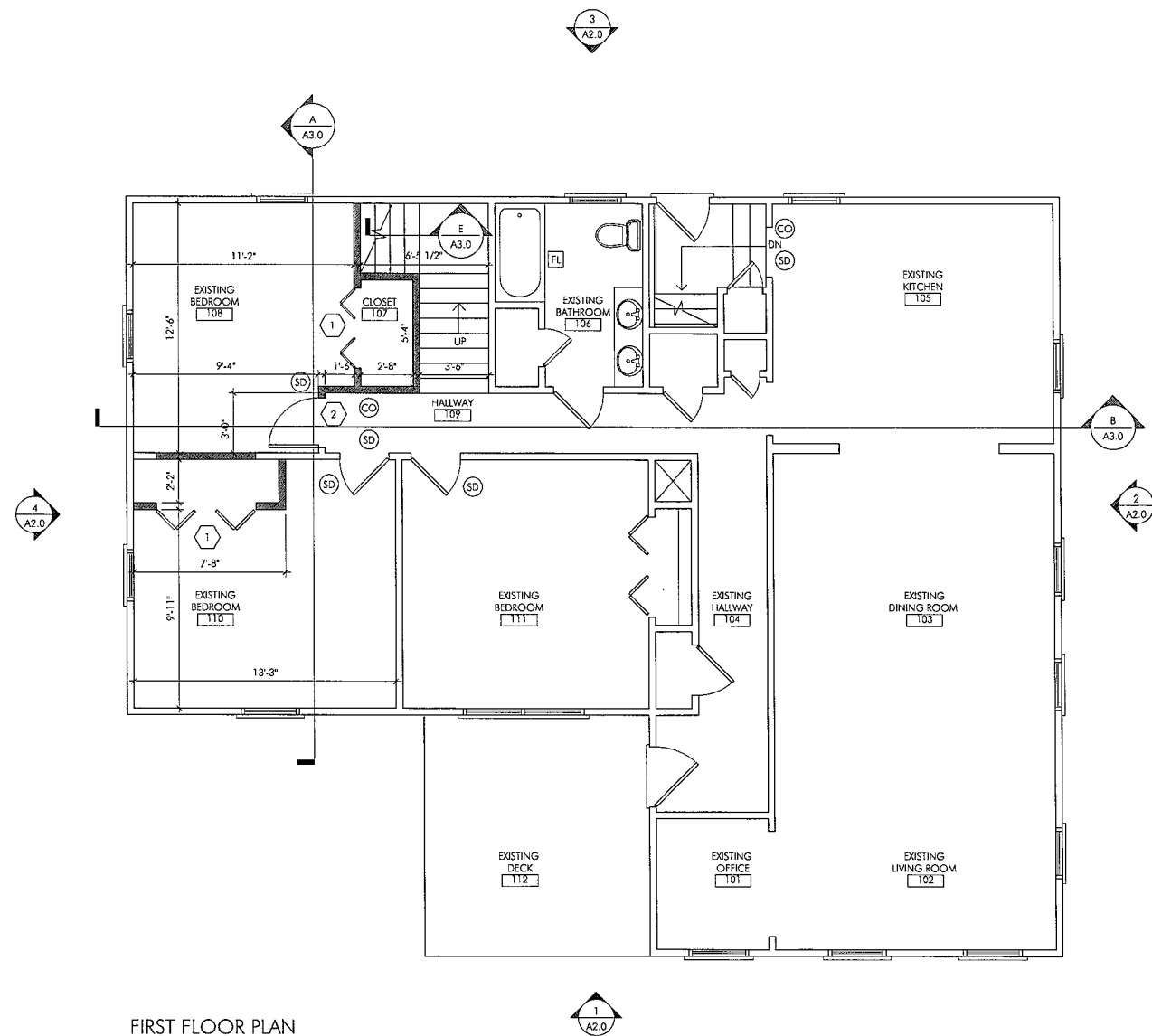
I.D.	QT.*	DIMENSION	ROUGH OPENING*	MANUFACTURER	MATERIAL	DESCRIPTION	LOCATION
1	4	5'-0"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	BI-FOLD DOOR	VARIOUS
2	5	2'-6"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	INTERIOR DOORS	VARIOUS
3	2	2'-6"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	BARN DOOR	BEDROOM
4	1	2'-0"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	CLOSET DOOR	BEDROOM
5	1	3'-0"X6'-8"	AS VERIFIED BY G.C.	AS SELECTED BY G.C.	WOOD	BI-FOLD DOOR	BATHROOM

*ALL QUANTITIES TO BE VERIFIED BY G.C. BEFORE ORDERING
 *ALL ROUGH OPENINGS TO BE VERIFIED IN FIELD BEFORE ORDERING
 *FIRE RATED DOOR B-LABEL 90 MINUTES

WINDOW SCHEDULE

I.D.	QT.	MODEL#	ROUGH OPENING	MANUFACTURER	MATERIAL	DESCRIPTION	LOCATION	PATTERN
A	3	2442	2'-6" X 4'-5 1/2"	HARVEY	VINYL	DOUBLE HUNG	VARIOUS	AS SELECTED BY OWNER
B	1	3042-2	6' 2 1/2" X 4'-5 1/2"	HARVEY	VINYL	MULLED DOUBLE HUNG	VARIOUS	AS SELECTED BY OWNER

*ALL QUANTITIES TO BE VERIFIED BY G.C. BEFORE ORDERING
 *ALL ROUGH OPENINGS TO BE VERIFIED IN FIELD BEFORE ORDERING



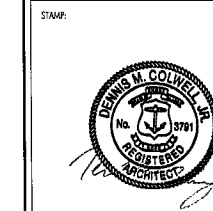
FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

- (CO) CARBON MONOXIDE DETECTOR
- (SD) SMOKE DETECTOR (PHOTO ELECTRIC)
- (HD) 135 DEG RATE OF RISE HEAT DETECTOR
- (FL) FAN LIGHT

PROJECT:
 GRAND VIEW DRIVE ADDITION
 RAYMOND WELCH
 280 GRAN DVIEW DRIVE
 WARWICK, RI 02886

PROJECT NUMBER: 22086



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DRAWING TITLE: FLOOR PLANS

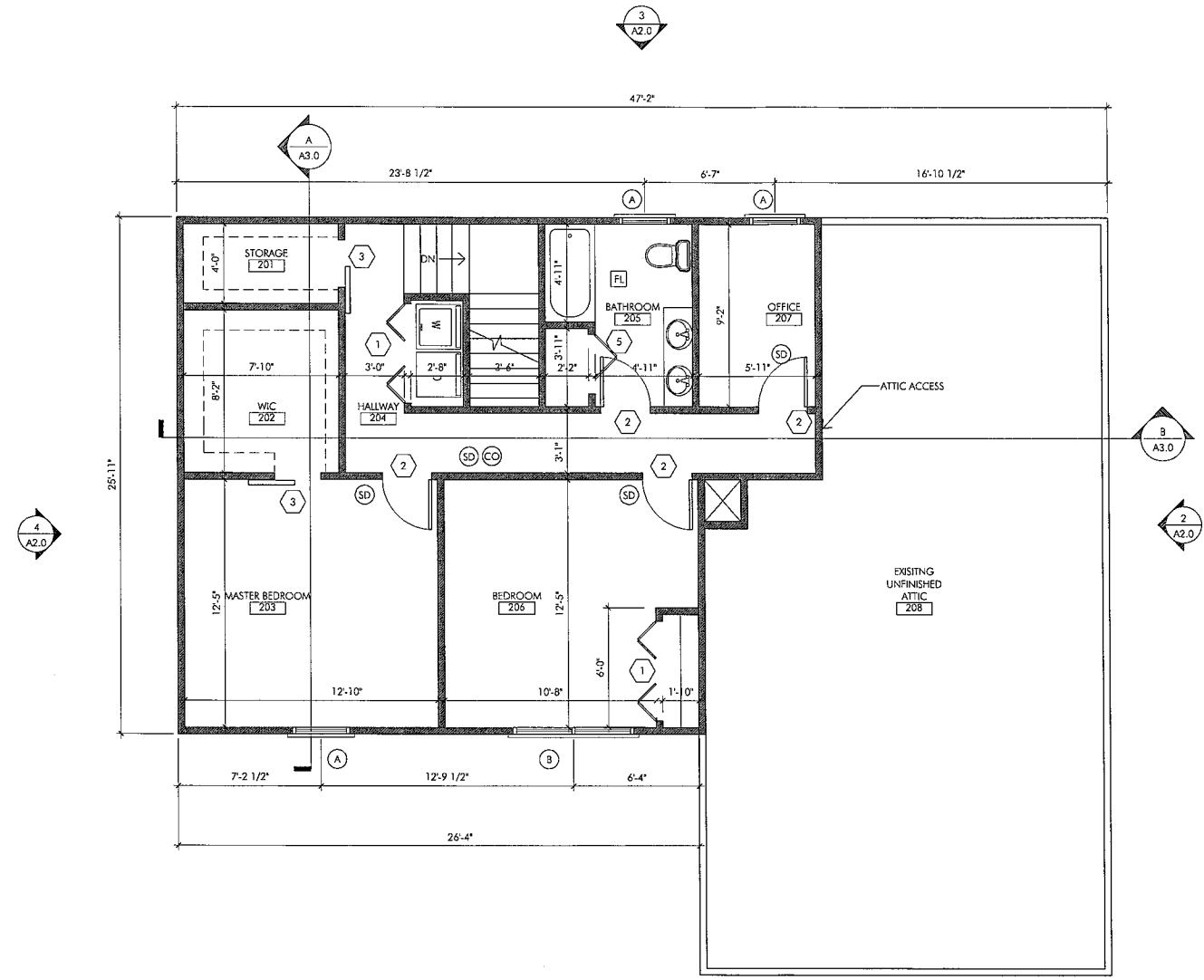
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A1.0

PROJECT:
 GRAND VIEW DRIVE ADDITION
 RAYMOND WELCH
 280 GRAN DVIEW DRIVE
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PROJECT NUMBER: 22056

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

- CO CARBON MONOXIDE DETECTOR
- SD SMOKE DETECTOR (PHOTO ELECTRIC)
- HD 135 DEG RATE OF RISE HEAT DETECTOR
- FL FAN LIGHT

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 FLOOR PLANS

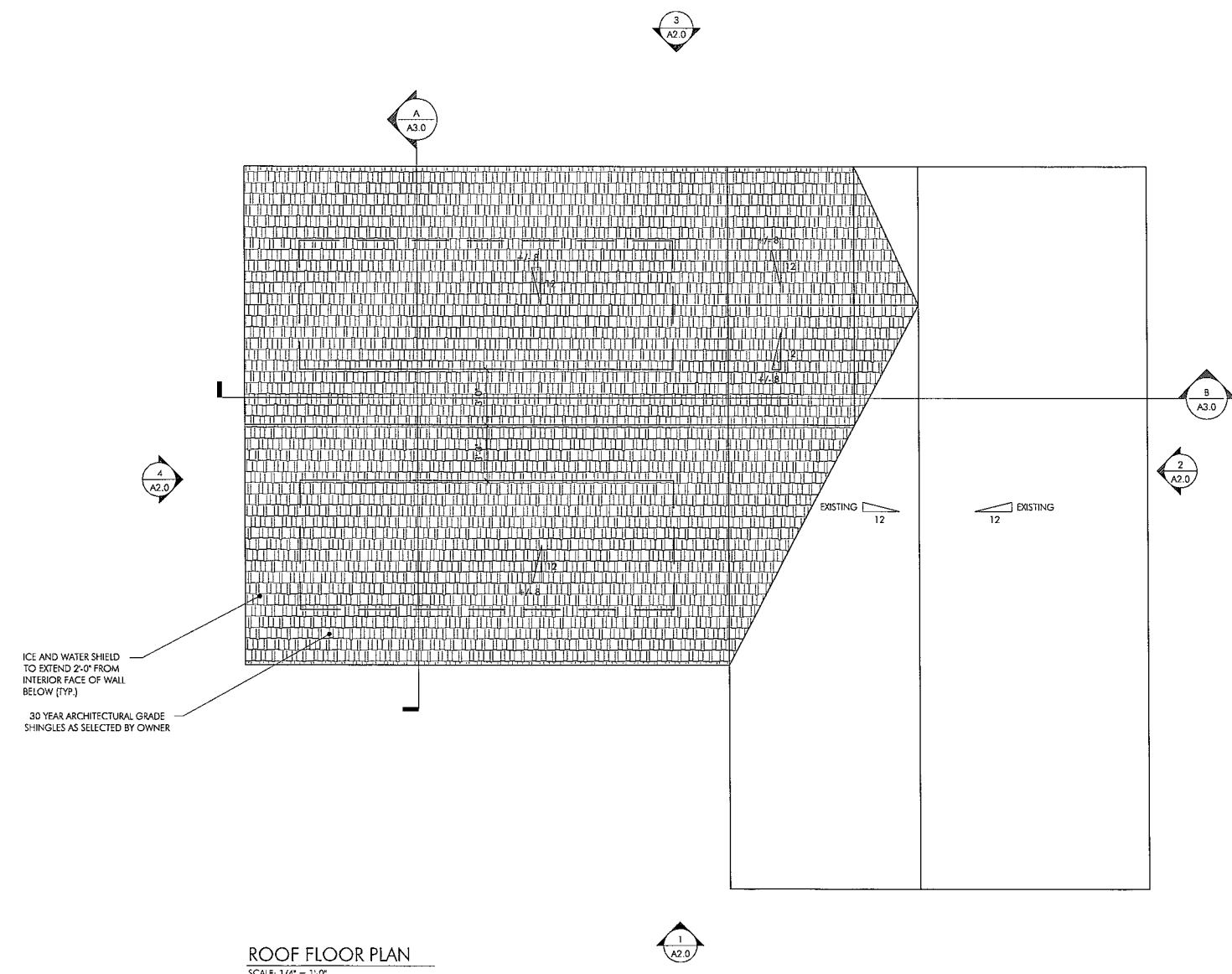
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 280 GRAND VIEW DRIVE
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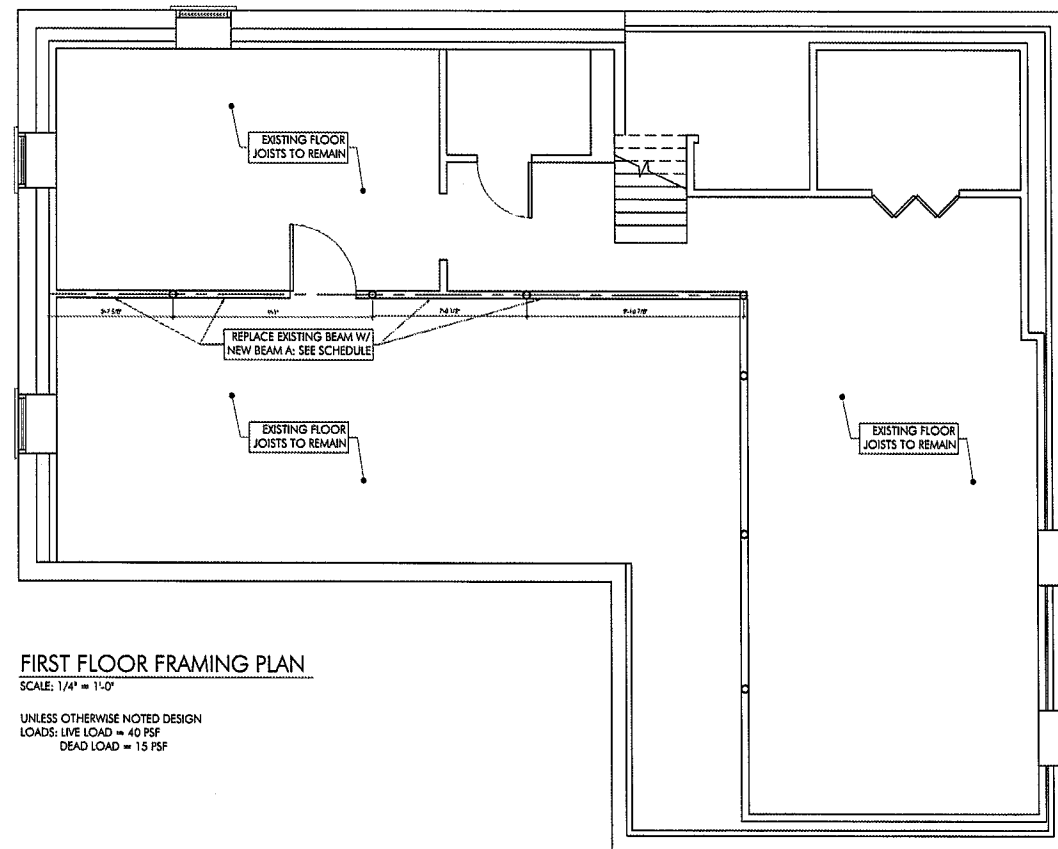
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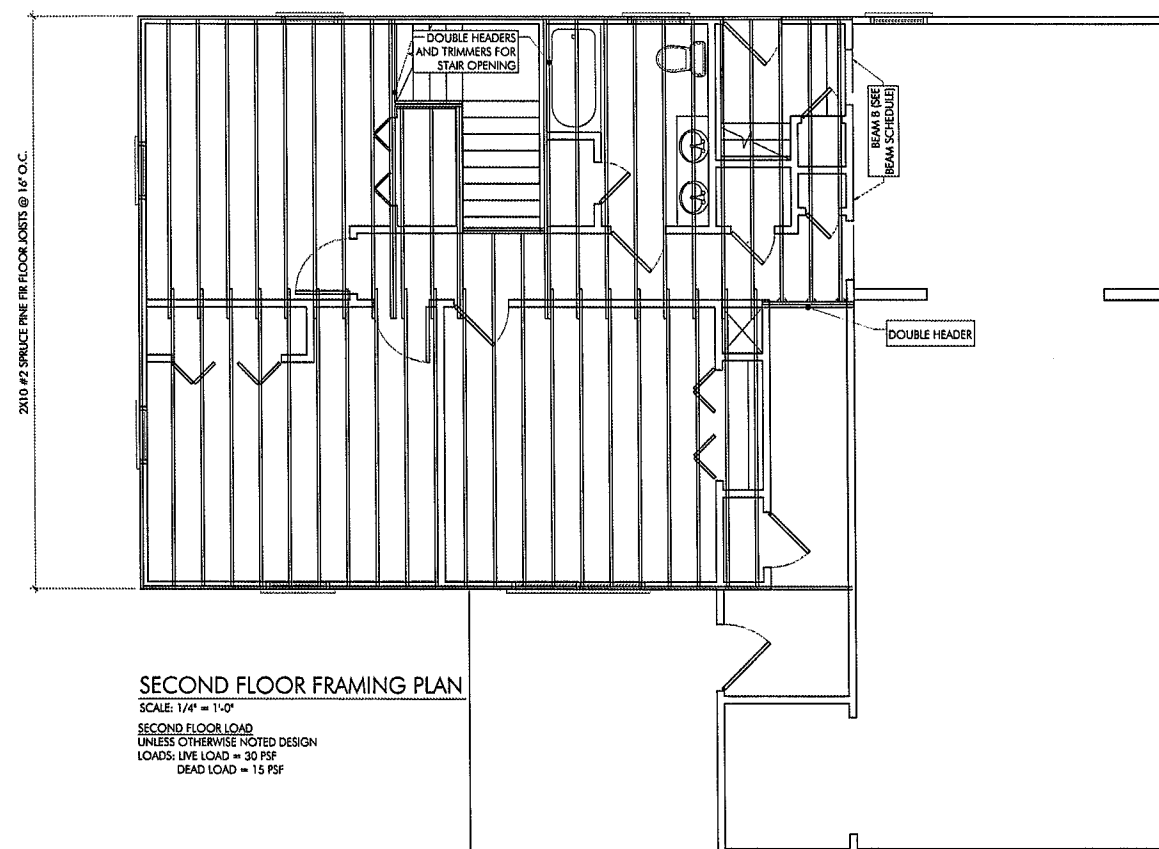
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 FLOOR PLANS

DRAWING NUMBER:
A1.2

BEAM SCHEDULE					
I.D.	QT.	DIMENSION	LOCATION	MATERIAL	MANUFACTURER
A	1	(4)1.75 X 9.5	BASEMENT BEAM	2.0E-2900 - APA EWS LVL STRESS CLASSES	BOISE CASCADE
B	1	(2)1.75 X 9.5	2ND FLOOR	2.0E-2900 - APA EWS LVL STRESS CLASSES	BOISE CASCADE



FIRST FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 40 PSF
 DEAD LOAD = 15 PSF




SECOND FLOOR FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 SECOND FLOOR LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 30 PSF
 DEAD LOAD = 15 PSF

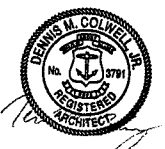
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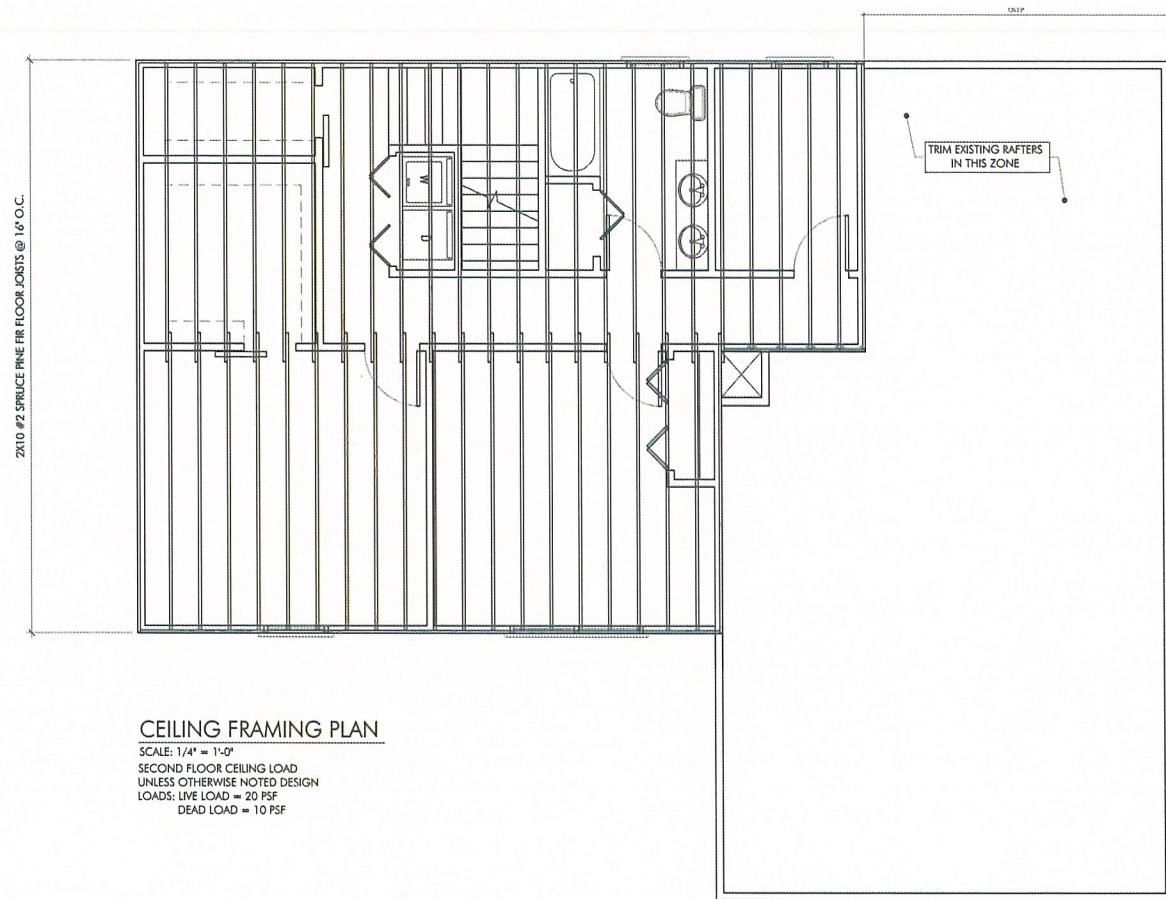
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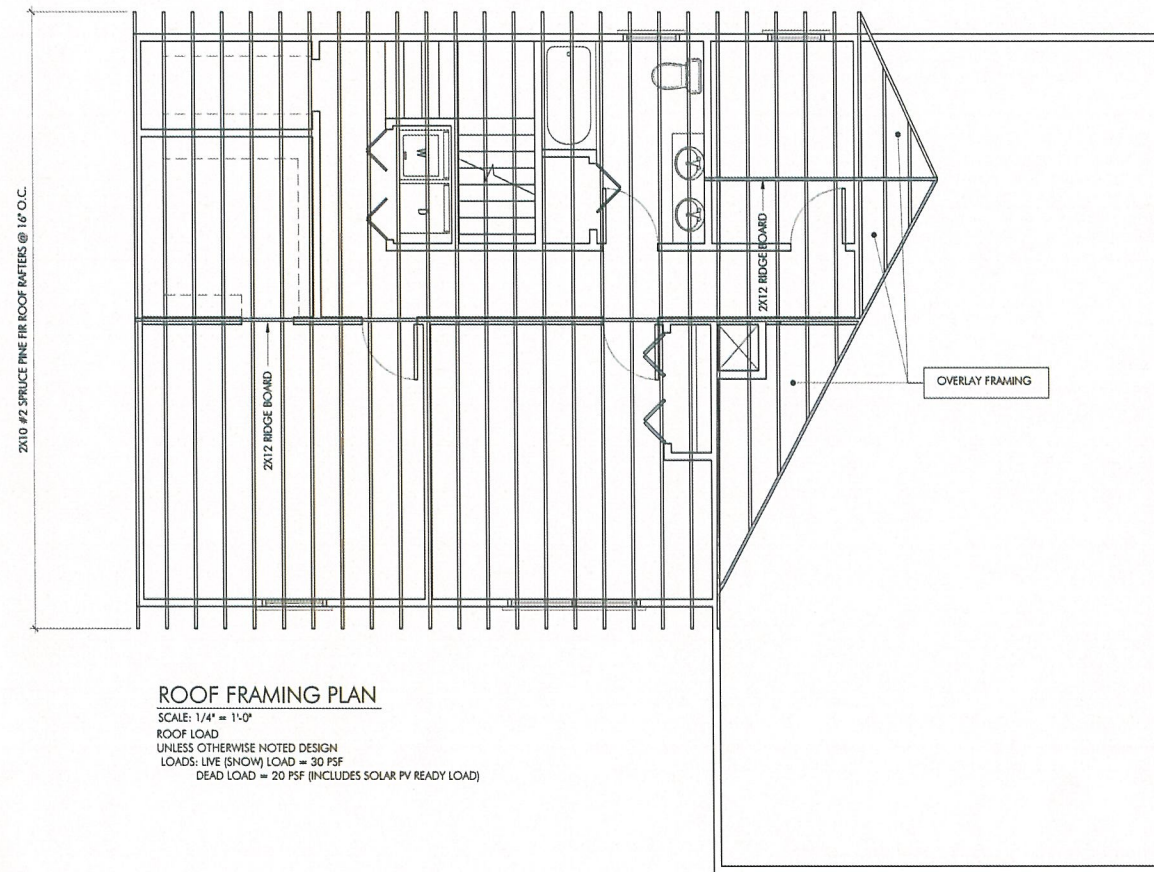
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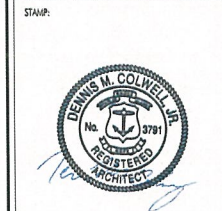
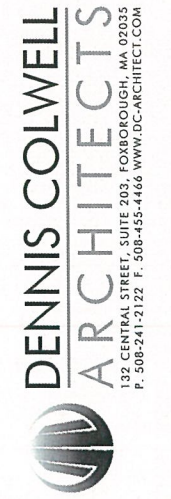
CEILING FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 SECOND FLOOR CEILING LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE LOAD = 20 PSF
 DEAD LOAD = 10 PSF



ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"
 ROOF LOAD
 UNLESS OTHERWISE NOTED DESIGN
 LOADS: LIVE (SNOW) LOAD = 30 PSF
 DEAD LOAD = 20 PSF (INCLUDES SOLAR PV READY LOAD)

PROJECT:
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 WARWICK, RI 02886

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 FRAMING PLAN

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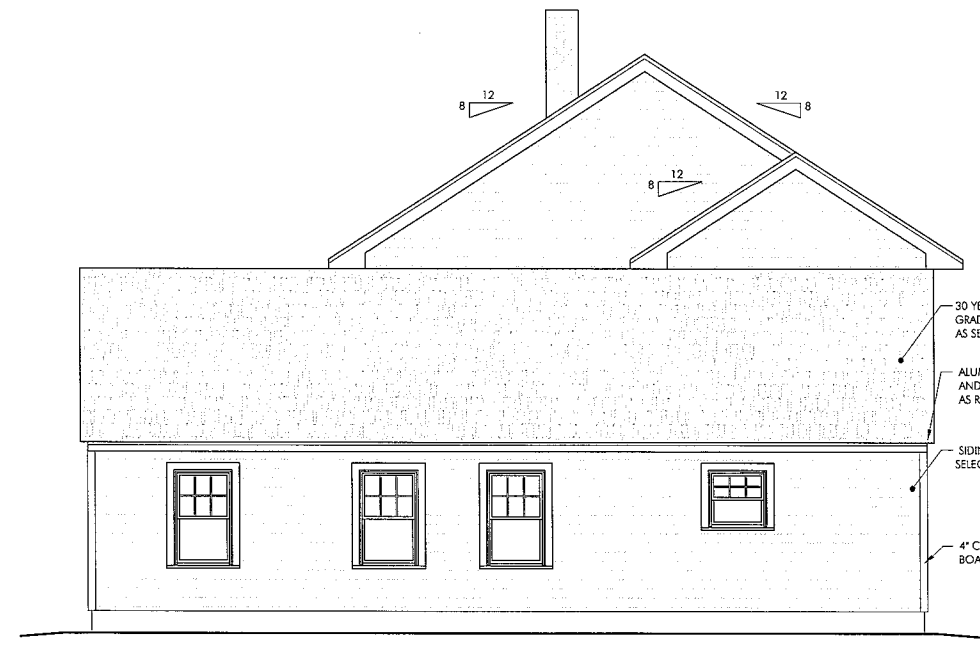
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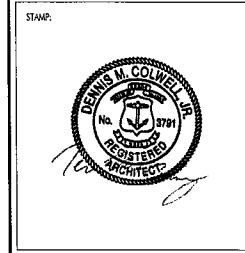

30 YEAR ARCHITECTURAL
 GRADE ASPHALT SHINGLES
 AS SELECTED BY G.C.
 ALUMINUM GUTTERS
 AND DOWNSPOUTS
 AS REQUIRED
 SIDING AS
 SELECTED BY G.C.
 4" CORNER
 BOARDS

1 FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



30 YEAR ARCHITECTURAL
 GRADE ASPHALT SHINGLES
 AS SELECTED BY G.C.
 ALUMINUM GUTTERS
 AND DOWNSPOUTS
 AS REQUIRED
 SIDING AS
 SELECTED BY G.C.
 4" CORNER
 BOARDS

2 RIGHT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"



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 BUILDING ELEVATIONS

DRAWING NUMBER:

A2.0

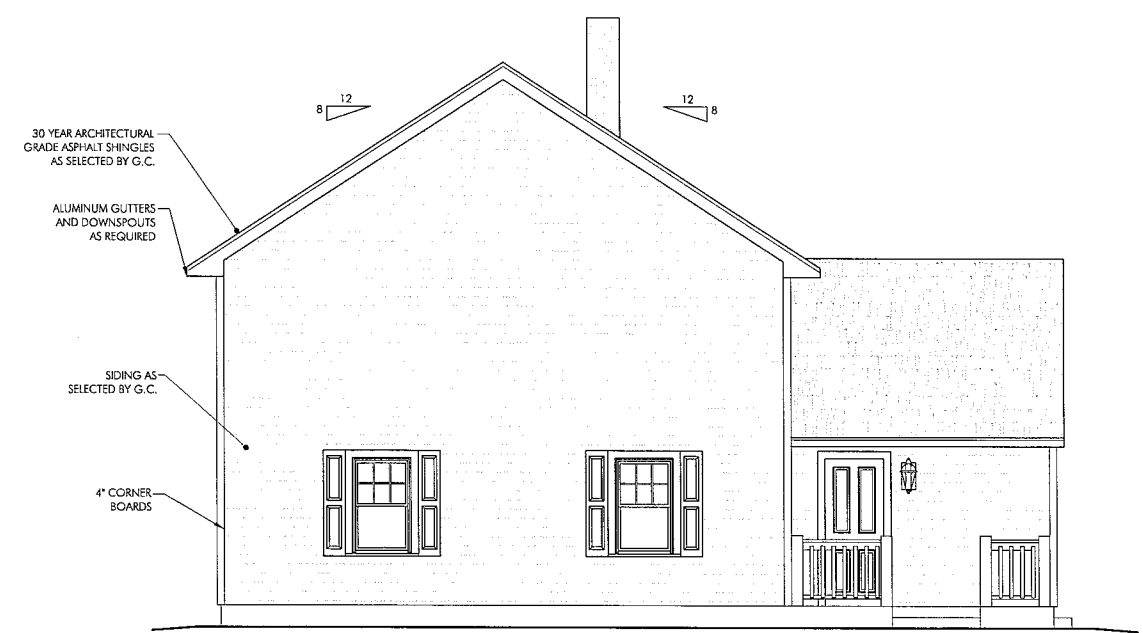
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3 REAR ELEVATION
 SCALE: 1/4" = 1'-0"




4 LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

30 YEAR ARCHITECTURAL
 GRADE ASPHALT SHINGLES
 AS SELECTED BY G.C.
 ALUMINUM GUTTERS
 AND DOWNSPOUTS
 AS REQUIRED
 SIDING AS
 SELECTED BY G.C.
 4" CORNER
 BOARDS

30 YEAR ARCHITECTURAL
 GRADE ASPHALT SHINGLES
 AS SELECTED BY G.C.
 ALUMINUM GUTTERS
 AND DOWNSPOUTS
 AS REQUIRED
 SIDING AS
 SELECTED BY G.C.
 4" CORNER
 BOARDS

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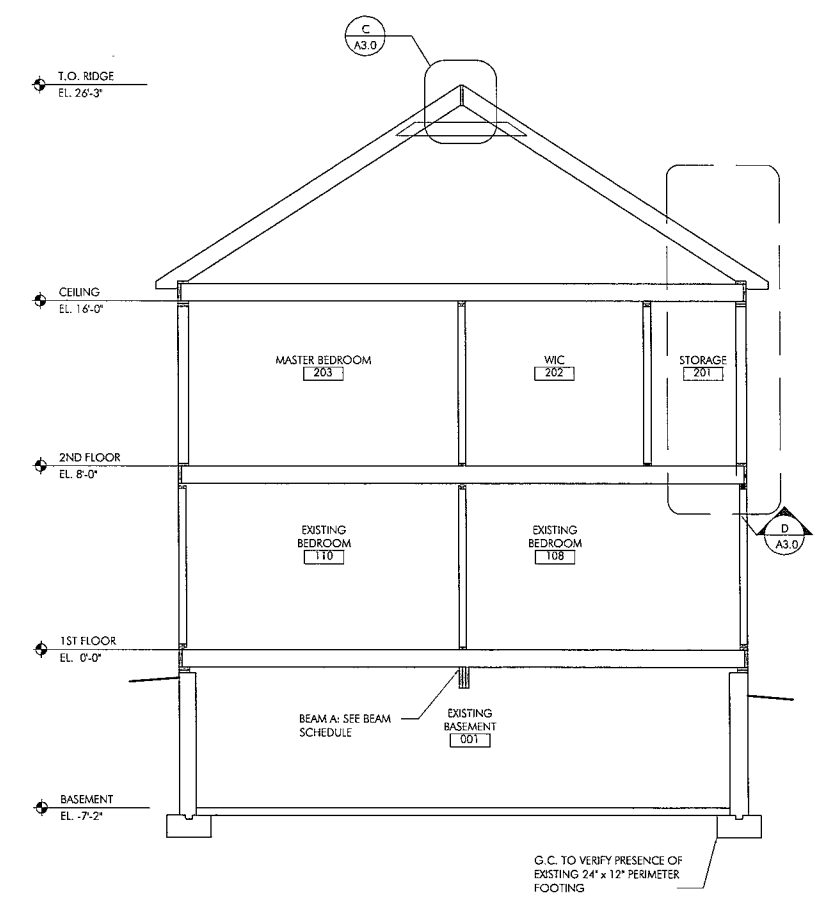
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 BUILDING ELEVATIONS

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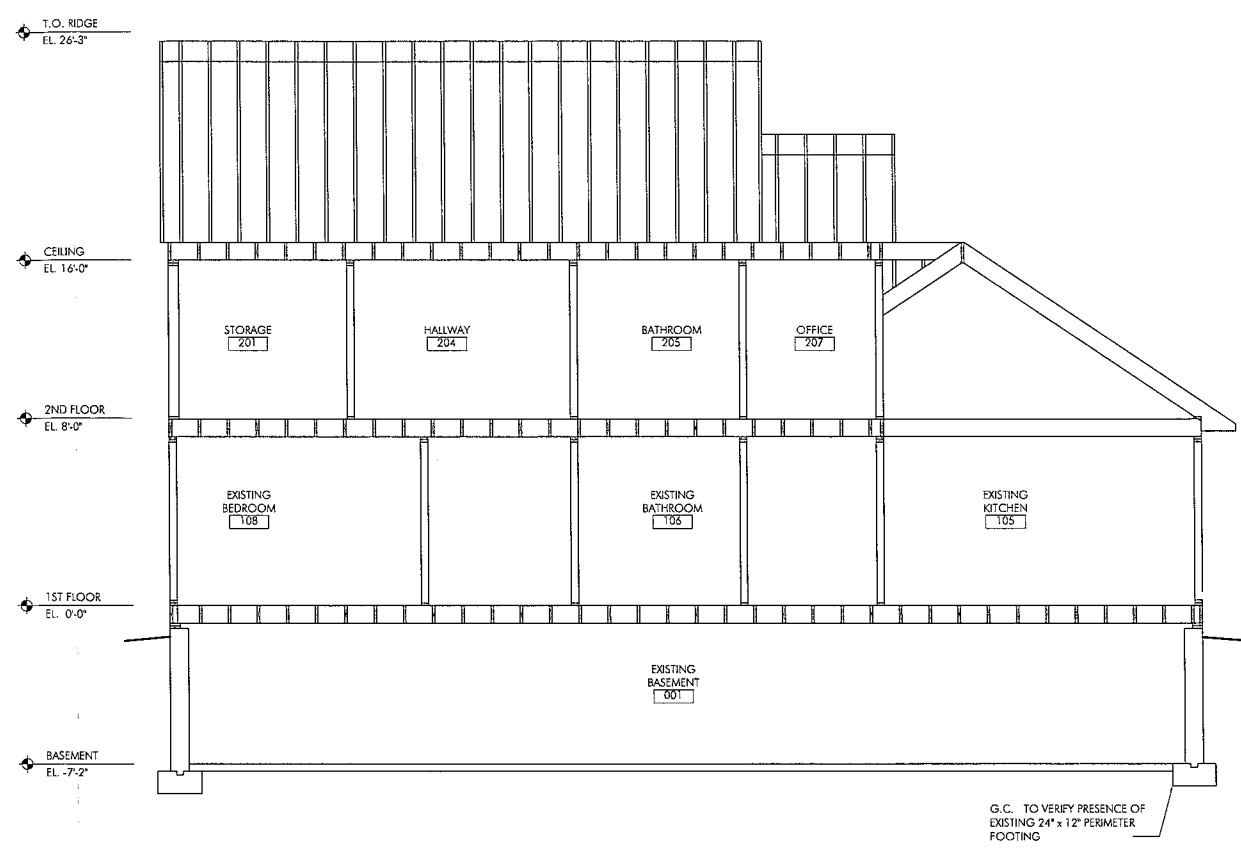
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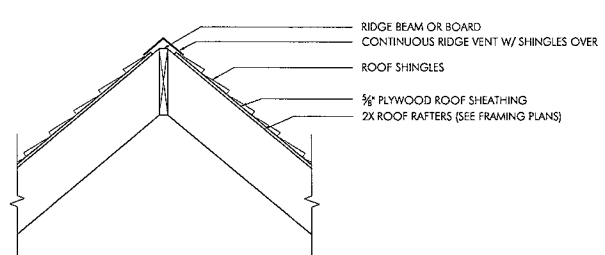
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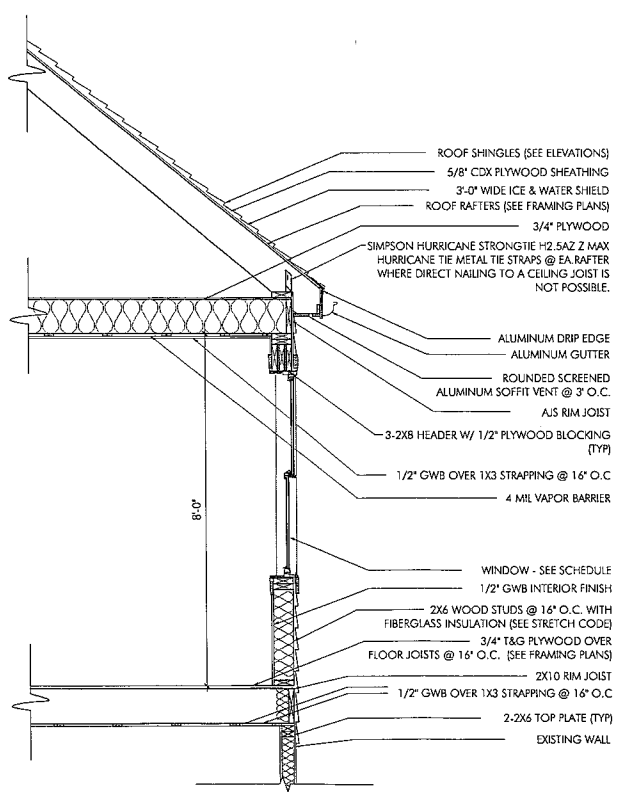
BUILDING SECTION A
 SCALE: 1/4" = 1'-0"



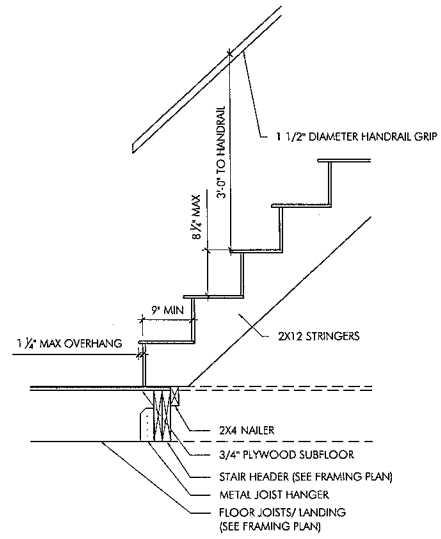
BUILDING SECTION B
 SCALE: 1/4" = 1'-0"



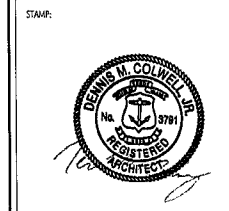
FLUSH RIDGE OR HIP BEAM DETAIL C
 SCALE: 3/4" = 1'-0"



WALL SECTION D
 SCALE: 1/2" = 1'-0"



RESIDENTIAL STAIR DETAIL E
 SCALE: 3/4" = 1'-0"



ISSUE:	DATE:
ISSUE FOR PERMIT	02.17.2023

DRAWING SCALE: 1/4" = 1'-0"

DRAWN BY: BDR CHECKED BY: DMC

DRAWING TITLE:
 SECTIONS & DETAILS

DRAWING NUMBER:
A3.0