

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
2. THIS SITE LIES IN A VE (ELEV. 14 FT) ZONE AREA OF OUTSIDE 500 YEAR FLOOD PLAIN AS SHOWN ON THE FIRM MAP FOR THE CITY OF WARWICK, RI COMMUNITY PANEL NO.44003C0153H, MAP EFFECTIVE SEPTEMBER 18, 2013.
3. THE CONTOURS SHOWN HEREIN ARE BASED UPON THE NAVD88 DATUM.

REFERENCES:

1. A PLAN ENTITLED "PLAT OF SHAWOMET AVE - GREENE ST AND CONNORCUT AVE AND ADJACENT LANDS IN WARWICK, R.I., JULY 25, 1892, SCALE 1" = 100'" WHICH IS LOCATED IN THE WARWICK LAND EVIDENCE RECORDS IN PLAT BOOK 3 PAGE 28 AND PLAT CARD 119.
2. SEAWEED RIGHTS RECORDED IN D.B. 52 PG. 410
3. WELL RIGHTS RECORDED IN D.B. 97 PG. 392

ZONING CRITERIA	
A-40 ZONING	
ZONING DISTRICT	A-40
MINIMUM LOT AREA	23,500 SQ. FT.
MINIMUM LOT WIDTH	100'
MINIMUM LOT FRONTAGE	100'
MINIMUM FRONT YARD SETBACK	25'
MINIMUM SIDE YARD SETBACK	15'
MINIMUM REAR YARD SETBACK	30'
MINIMUM COMMON USABLE OPEN SPACE	35%
MAXIMUM BUILDING HEIGHT	35'

LEGEND
NOT TO SCALE

---	BOUNDARY
---	ABUTTER
---	MAJOR CONTOUR
---	MINOR CONTOUR
---	BUILDING ENVELOPE
---	SEWER LINE
---	WATER LINE
---	GAS LINE
○	IRON PIN
○	UTILITY POLE

A.P. 334 LOT 12
N/F JOSEPH S. &
LORI J. PISCOPIO
D.B. 8023 PG. 41

A.P. 334 LOT 13
N/F ARTHUR V. JOHNSON II
D.B. 7089 PG. 77

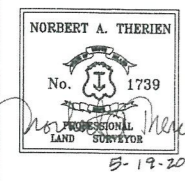
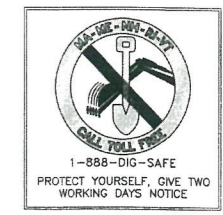
A.P. 334 LOT 16
N/F YOUNG & HYUN LEE
D.B. 10011 PG. 321

A.P. 334 LOT 17
N/F MAUREEN A. DELUISE
D.B. 8471 PG. 275

A.P. 334 LOT 18
N/F PISTOCCO
IRREV. TRUST
D.B. 8727 PG. 181

SITE BENCHMARK
GARAGE SLAB
ELEVATION = 7.11'
DATUM NAVD 88

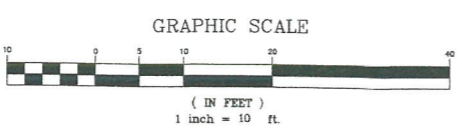
SITE BENCHMARK
PK SET IN POLE #20
ELEVATION = 5.24'
DATUM NAVD 88



THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO SECTION 9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 1 STANDARD/CLASS 3 TOPOGRAPHY
PURPOSE OF SURVEY: EXISTING CONDITIONS PLAN FOR ADDITION

BY: *Norbert A. Therien* DATE: 5-19-2022
NORBERT A. THERIEN, PLS NO. 1739



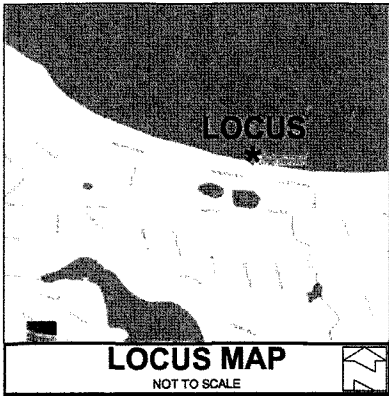
REVISIONS			
No.	DATE	DRWN	CHKD

PRINCIPLE COMPANY, INC.
ENGINEERING DIVISION
27 SAKONNET RIDGE DRIVE
TIVERTON, RI 02878
401.816.5385
SURVEY@PRINCIPLEENGINEERING.COM
PRINCIPLEENGINEERING.COM

EXISTING CONDITIONS
for
ALBERT J. & DIANA GUEVERMONT
AP 334 LOT 14
240 SHAWOMET ROAD
in
WARWICK, RHODE ISLAND

SCALE: 1"=10' SHEET NO: 1 OF 1
DRAWN BY: JML DESIGN BY: CHECKED BY: NAT
DATE: 4-29-2022 PROJECT NO.: CRMC-2022-3

79.1.1048 - 8848 - 210 X 1100



ZONING CRITERIA

A-40 ZONING	
ZONING DISTRICT	A-40
MINIMUM LOT AREA	40,000 SQ. FT.
MINIMUM LOT WIDTH	150'
MINIMUM LOT FRONTAGE	150'
MINIMUM FRONT YARD SETBACK	40'
MINIMUM SIDE YARD SETBACK	30'
MINIMUM REAR YARD SETBACK	40'
MINIMUM LANDSCAPED OPEN SPACE	20%
MAXIMUM BUILDING HEIGHT	35'

LEGEND

NOT TO SCALE	
	BOUNDARY
	ABUTTER
	MAJOR CONTOUR
	MINOR CONTOUR
	BUILDING ENVELOPE
	SEWER LINE
	WATER LINE
	GAS LINE
	IRON PIN
	UTILITY POLE

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.
2. THIS SITE LIES IN A VE (ELEV. 14 FT) ZONE AREA AS SHOWN ON THE FIRM MAP FOR THE CITY OF WARWICK, RI COMMUNITY PANEL NO.44003C0153H, MAP EFFECTIVE SEPTEMBER 18, 2013.
3. THE CONTOURS SHOWN HEREIN ARE BASED UPON THE NAVD88 DATUM.

REFERENCES:

1. A PLAN ENTITLED "PLAT OF SHAWOMET AVE - GREENE ST AND CONNICUT AVE AND ADJACENT LANDS IN WARWICK, R.I., JULY 25, 1892, SCALE 1" = 100' WHICH IS LOCATED IN THE WARWICK LAND EVIDENCE RECORDS IN PLAT BOOK 3 PAGE 28 AND PLAT CARD 118.
2. A PLAN ENTITLED "EXISTING CONDITIONS FOR ALBERT J. & DIANA GUEVREMONT, A.P. 334 LOT 14, 240 SHAWOMET AVENUE, WARWICK, R.I., SCALE 1" = 10', 4/29/22, PREPARED BY PRINCIPLE COMPANY."
3. SEAWEEED RIGHTS RECORDED IN D.B. 52 PG. 410
4. WELL RIGHTS RECORDED IN D.B. 97 PG. 392

A.P. 334 LOT 12
N/F JOSEPH S. &
LORI J. PISCOPIO
D.B. 6025 PG. 41

A.P. 334 LOT 13
N/F ARTHUR V. JOHNSON II
D.B. 7088 PG. 77

A.P. 334 LOT 16
N/F YOUNG & HYON LEE
D.B. 10011 PG. 321

A.P. 334 LOT 17
N/F MAUREEN A. DELUISE
D.B. 8471 PG. 275

A.P. 334 LOT 18
N/F PISTOCCO
IRREV. TRUST
D.B. 8727 PG. 181

SITE BENCHMARK
GARAGE SLAB
ELEVATION = 7.11'
DATUM NAVD 88

SITE BENCHMARK
PK SET IN POLE #20
ELEVATION = 5.24'
DATUM NAVD 88



SMH
RIM: 3.66'
INV. 0.89'
(FLOODED)

SMH
RIM: 3.88'
INV. 0.88'
(FLOODED)

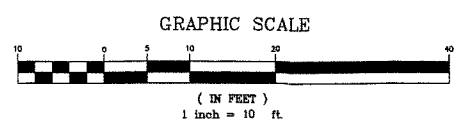
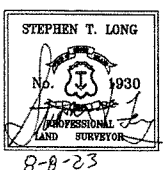
"THIS COMPILATION PLAN HAS BEEN PREPARED FROM A CLASS 1 SURVEY SOURCE OF INFORMATION (REF. #2) AND IS BEING SIGNED AS A CLASS IV SURVEY. DATA WHOSE POSITIONAL ACCURACY AND RELIABILITY HAS NOT BEEN VERIFIED. THE PROPERTY LINES DEPICTED HEREON DO NOT REPRESENT A BOUNDARY OPINION, AND OTHER INFORMATION DEPICTED IS SUBJECT TO SUCH CHANGES AS AN AUTHORITATIVE FIELD SURVEY MAY DISCLOSE."

THIS SURVEY HAS BEEN CONDUCTED AND THE PLAN HAS BEEN PREPARED PURSUANT TO 435-RICR-00-00-1.9 OF THE RULES AND REGULATIONS ADOPTED BY THE RHODE ISLAND STATE BOARD OF REGISTRATIONS FOR PROFESSIONAL LAND SURVEYORS NOVEMBER 25, 2015 AS FOLLOWS:

TYPE OF SURVEY: LIMITED CONTENT BOUNDARY SURVEY
MEASUREMENT SPECIFICATION: CLASS 4 STANDARD/CLASS 3 TOPOGRAPHY

PURPOSE OF SURVEY: EXISTING CONDITIONS PLAN FOR ADDITION

BY: *Stephen T. Long* DATE: 8-8-23
STEPHEN T. LONG, PLS NO. 1930



SHAWOMET AVENUE
(PUBLIC 40' WIDTH)

PROVIDENCE RIVER
CRMC TYPE 1 WATERS

Thomas J. Principe, III
REGISTERED
PROFESSIONAL ENGINEER

REVISIONS			
No.	DATE	DRWN	CHKD
1.	8/1/23	RAW	STL

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ENGINEERING DIVISION
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TIVERTON, RI 02878
401.816.5385
SURVEY@PRINCIPLEENGINEERING.COM

EXISTING CONDITIONS
for
ALBERT J. & DIANA GUEVREMONT
AP 334 LOT 14
240 SHAWOMET AVENUE
in
WARWICK, RHODE ISLAND

SCALE: 1"=10' SHEET NO: 1 OF 3
DRAWN BY: JML DESIGN BY: CHECKED BY: STL
DATE: 8-1-2023 PROJECT NO.: CRMC-2022-3

CRMC STRUCTURAL LOT COVERAGE:

EXISTING DWELLING (TO REMAIN): 1,454 SF
 EXISTING SHED (TO REMAIN): 140 SF
 TOTAL EX. STRUCTURAL LOT COVERAGE: 1,454 SF

PROPOSED ADDITION: 717 SF
 TOTAL PROPOSED STRUCTURAL LOT COVERAGE: 2,171 SF

TOTAL PROPOSED STRUCTURAL LOT COVERAGE (%) =
 (2,171 SF - 1,454 SF) / 1,454 SF = 49.3% < 50%

PROVIDENCE RIVER
 CRMC TYPE 1 WATERS



10 FOOT R.O.W.

A.P. 334 LOT 13
 N/F ARTHUR V. JOHNSON II
 D.B. 7089 PG. 77

**SITE BENCHMARK
 GARAGE SLAB
 ELEVATION = 7.11'
 DATUM NAVD 88**

#240 SHAWOMET AVENUE
 2 STORY WOOD FRAMED DWELLING
 SECOND FLOOR EL. = 15.57'
 A.P. 334 LOT 14
 N/F ALBERT J. & DIANA
 GUEVREMONT JR.
 D.B. 4674 PG. 296
 LOT AREA
 12,750 SQ. FT.
 0.2927 ACRES

SLAB EL. = 7.11'

EXIST. DECK

DECK W/
 CONCRETE PAD
 BELOW

717 SF ADDITION

FOUNDATION
 SLAB EL. = 6.64'

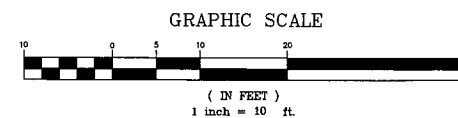
A.P. 334 LOT 16
 N/F YOUNG & HYON LEE
 D.B. 10011 PG. 321

**SITE BENCHMARK
 PK SET IN POLE #20
 ELEVATION = 5.24'
 DATUM NAVD 88**

MAIL
 BOX
 POLE #19

POLE #20

SHAWOMET AVENUE
 (PUBLIC 40' WIDTH)



GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

DRAWING ISSUE:

- CONCEPT
 - CUSTOMER APPROVAL
 - PERMITTING
 - CONSTRUCTION
 - AS-BUILT
 - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION
 SHALL BE USED FOR CONSTRUCTION

PROPOSED CONDITIONS PLAN

Thomas J. Principe, III

 REGISTERED
 PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
 ENGINEERING DIVISION
 27 SAKONNET RIDGE DRIVE
 TIVERTON, RI 02878
 401.816.5385
 ESTABLISHED IN 1941
 PRINCIPLEENGINEERING@GMAIL.COM

REVISIONS			
No.	DATE	DRWN	CHKD

CRMC SUBMISSION PLAN
 for
240 SHAWOMET AVENUE
 AP 334 LOT 14
 in
 WARWICK, RHODE ISLAND

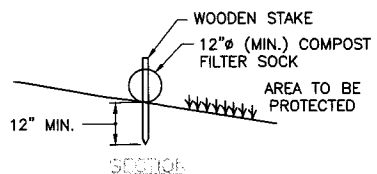
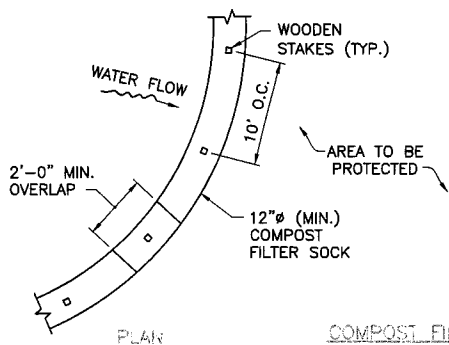
SCALE: 1" = 10' SHEET NO.: 2 of 3
 DRAWN BY: KAB DESIGN BY: KAB CHECKED BY: TJP
 DATE: 03/14/2023 PROJECT NO.: CRMC-2022-3



Users\Admin\Principe Engineering\Dropbox\C.RMC Applications\2022\C.RMC-2022-3-240 Shawomet Avenue_Warwick_Mono Rosorio\SURVE\C.RMC-2022-3 SUBMISSION PLAN.dwg - 2022-3 SUBMISSION PLAN.dwg - DWG To PDF.pcl3

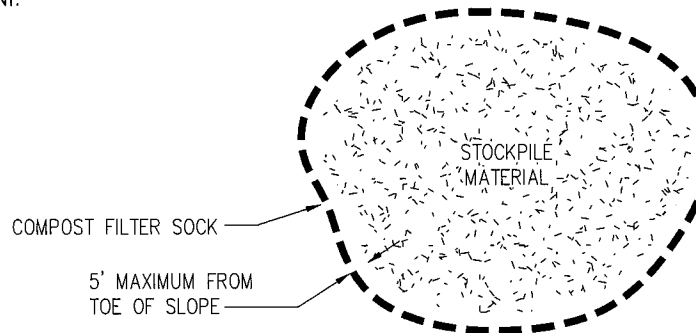
EROSION CONTROL, SOIL STABILIZATION AND SEDIMENT CONTROL PLAN

- PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRUBBING, DEMOLITION OR EARTHWORK ACTIVITY, TEMPORARY EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE PLANS ARE TO BE INSTALLED BY THE CONTRACTOR.
- CONSTRUCTION ACCESS STABILIZATION ENTRANCE PADS ARE TO BE INSTALLED PRIOR TO THE COMMENCEMENT OF SITE GRUBBING OR EARTHWORK ACTIVITY.
- THE PROJECT CONSTRUCTION SEQUENCE, TO THE EXTENT PRACTICAL, SHOULD REQUIRE THE INSTALLATION OF DOWN GRADE AND OFF SITE STORM DRAINAGE SYSTEM IMPROVEMENTS BEFORE THE START OF SITE GRUBBING AND EARTHWORK ACTIVITY.
- TEMPORARY SITE SLOPE TREATMENTS FOR SOIL STABILIZATION SHALL CONSIST OF STRAW, FIBER MULCH, RIP RAP OR PROTECTIVE COVERS SUCH AS MAT OR FIBER LINING (BURLAP, JUTE, FIBERGLASS NETTING, AND EXCELSIOR OR EQUAL PRODUCTS). THESE AND OTHER ACCEPTABLE MEASURES SHALL BE INCORPORATED INTO THE SITE WORK AS WARRANTED OR AS ORDERED BY THE ENGINEER.
- CONSTRUCTION SITES ARE DYNAMIC. THE CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION AND OR MOVEMENT AND MAINTENANCE OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL MEASURES AS NEEDED TO MAXIMIZE THE INTENT OF THE PLAN FOR ALL SITE CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERIODIC INSPECTION, MAINTENANCE, REPAIR, AND REPLACEMENT OF EROSION CONTROLS, SOIL STABILIZATION AND SEDIMENT CONTROL DEVICES UNTIL AN ACCEPTABLE PERMANENT VEGETATIVE GROWTH IS ESTABLISHED. THE CONTRACTOR SHALL MAINTAIN A DETAIL LOG OF ALL EROSION CONTROL INSPECTIONS, COMPLAINTS RELATED TO EROSION OR SEDIMENT, AND CORRECTIVE REMEDIAL MEASURES TAKEN THROUGHOUT THE COURSE OF THE PROJECT CONSTRUCTION.
- SOIL EROSION AND SEDIMENT CONTROL IS NOT LIMITED TO DAMAGES CAUSED BY WATER BUT ALSO INCLUDES EROSION AND SEDIMENT RESULTING FROM WINDS. MEASURES, SUCH AS TEMPORARY GROUND COVERS, WATER AND CALCIUM APPLICATIONS ARE TO BE UNDERTAKEN AS NEEDED TO MINIMIZE WIND RELATED SOIL AND DUST CONTROL.
- STOCK PILES OF EARTH MATERIALS SHALL NOT BE LOCATED NEAR WATERWAYS OR WETLANDS. STOCK PILES SHALL HAVE SIDE SLOPES NO GREATER THAN THIRTY PERCENT (30%). STOCK PILES SHALL BE SURROUNDED ON THE DOWN GRADIENT OF THE EXISTING GROUND SURFACE BY STRAW BALES OR COMPOST FILTER SOCK. THE STOCK PILES SHALL ALSO BE SEEDED OR STABILIZED IN SOME MANNER TO PREVENT SOIL EROSION.
- THE SMALLEST POSSIBLE SITE AREAS SHALL BE DISTURBED OR EXPOSED AT ONE TIME AND DENUDED SLOPES OR WORK AREAS SHALL NOT BE LEFT EXPOSED FOR EXCESSIVE PERIODS OF TIME, SUCH AS INACTIVE PERIODS OR SITE WORK SHUT DOWNS.
- TO THE EXTENT POSSIBLE, ALL DISTURBED AREAS MUST BE SEEDED OR STABILIZED WITHIN THE CONSTRUCTION SEASON. STABILIZATION OF ONE FORM OR ANOTHER SHALL BE ACHIEVED WITHIN FIFTEEN (15) DAYS OF FINAL GRADING.
- EXPOSED STEEP OR LONG SLOPES SHOULD BE TREATED WITH "CRIMPING" OR "TRACKING" TO REDUCE EROSION AND SEDIMENT AND TO TACK DOWN SEEDING OR MULCH APPLICATIONS.
- IF CONCRETE IS TO BE USED ON SITE, THE CONTRACTOR MUST ESTABLISH AND MAINTAIN SPECIFIC WASHOUT AREAS FOR THE CONCRETE TRUCKS WITH APPROPRIATE PROTECTION CONTROLS.
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AND MAINTAINING COLLECTION AND STORAGE LOCATIONS ON-SITE FOR ALL CONSTRUCTION DEBRIS AND TRASH SO THAT THIS MATERIAL DOES NOT BECOME A NEIGHBORHOOD NUISANCE.
- EXISTING TREES AND VEGETATION WILL BE RETAINED WHENEVER FEASIBLE.
- SITE SOIL EROSION AND SOIL STABILIZATION AND SEDIMENT CONTROLS MUST CONFORM TO ALL REQUIREMENTS OF THE APPLICABLE LOCAL COMMUNITY ORDINANCES AND STATE REGULATIONS.

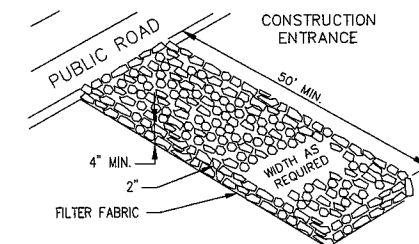


- NOTES:**
- ALL MATERIAL TO MEET REQUIREMENTS OF SECTION 206 OF RI STANDARD SPECIFICATIONS.
 - COMPOST MATERIAL MUST BE ACCEPTED BY THE ENGINEER PRIOR TO PLACEMENT.

PERIMETER EROSION CONTROLS
NOT TO SCALE



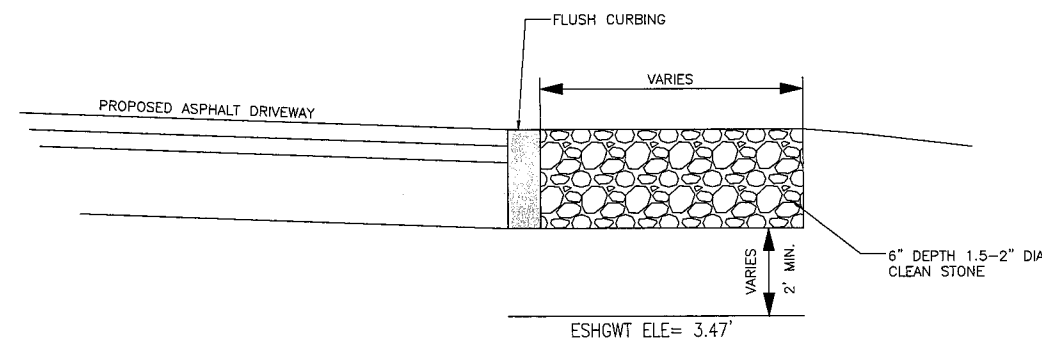
STOCKPILE DETAIL
NOT TO SCALE



MATERIALS SIZE			
SQUARE MESH SIEVES	2" CRUSHED STONE OR GRAVEL	ASTM C-33 NO. 2	ASTM C-33 NO. 3
	% FINER	% FINER	% FINER
2-1/2 INCHES	100	90-100	100
2 INCHES	95-100	35-70	90-100
1-1/2 INCHES	30-55	0-15	35-70
1-1/4 INCHES	0-25	-	-
1 INCH	0-5	-	0-15
3/4 INCH	-	0-5	-
1/2 INCH	-	-	0-5
3/8 INCH	-	-	-

NOTE:
STABILIZATION PAD TO BE IN CONFORMANCE WITH STANDARDS SET FORTH IN THE "CONNECTICUT GUIDELINES FOR SOIL & SEDIMENT CONTROL".

STONE STABILIZATION PAD @ CONSTRUCTION ENTRANCES
NOT TO SCALE



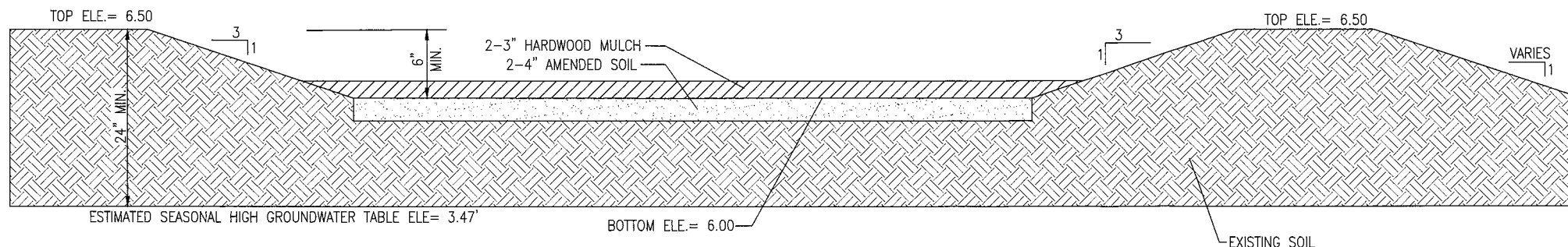
INFILTRATION TRENCH CROSS SECTION
NOT TO SCALE

INFILTRATION TRENCH SIZING=6" DEEP "A" SOILS
834 SF X 0.24 = 200 SF REQ.; 227 SF PROV. OK

BMP REQUIRED MAINTENANCE:

- MONTHLY:**
INSPECT AND REMOVE ANY TRASH
REMOVE ANY INVASIVE SPECIES PLANTS
- ANNUALLY:**
MULCH- SPRING, AS NEEDED
REPLACE ANY DEAD VEGETATION-SPRING
REMOVE DEAD VEGETATION-FALL OR SPRING
PRUNE-SPRING
- AS NEEDED:**
REPLACE SOIL MEDIA AND PLANTS WHEN PONDING DOES NOT SUBSIDE WITHIN 72 HRS
(CAREFUL MAINTENANCE SHOULD PROLONG THIS REQUIREMENT)
- *ALL PLANT MATERIAL SHALL BE WATERED AND MAINTAINED BY THE OWNER TO ASSURE THAT SUITABLE GROWTH HAS BEEN ESTABLISHED.

RAIN GARDEN SIZING=4" DEEP "A" SOILS
717 SF X 0.19 = 137 SF REQ.; 152 SF PROV. OK



SINGLE-FAMILY RAIN GARDEN DETAIL
NOT TO SCALE

- NOTES:**
- MULCH SHALL CONSIST OF NON-DYED, AGED AND SHREDDED HARDWOOD MULCH.
 - AMENDED SOIL SHALL CONSIST OF A 50/50 MIX OF EXCAVATED NATIVE SOIL AND MATURE ORGANIC COMPOST.
 - RAIN GARDEN AREA TO BE PROTECTED FROM CONSTRUCTION TO PREVENT COMPACTION AND SURROUNDED BY COMPOST FILTER SOCK UNTIL UPSLOPE AREAS ARE STABILIZED.
 - DESIGN AND INSTALLATION GUIDELINES SHALL CONFORM TO THE STATE OF RHODE ISLAND STORMWATER MANAGEMENT GUIDANCE FOR INDIVIDUAL SINGLE-FAMILY RESIDENTIAL LOT DEVELOPMENT.

PLANT SPECIES TO BE USED

BOTANICAL NAME	COMMON NAME
ASTER DIVARICATUS	WHITE WOOD ASTER
IRIS VERSICOLOR	BLUE FLAG IRIS
LOBELIA CARDINALIS	CARDINAL FLOWER
OSMUNDA CINNAMOMEA	CINNAMON FERN

*PLANT SPECIES IN ONE GALLON CONTAINERS TO BE INSTALLED AT 2' O.C. IN GROUPS OF THREE WITHIN THE BIORETENTION AREAS, THE SWALE AND THE FLOODPLAIN COMPENSATION AREA.

DRAWING ISSUE:

- CONCEPT
 - CUSTOMER APPROVAL
 - PERMITTING
 - CONSTRUCTION
 - AS-BUILT
 - OTHER:
- ONLY PLANS ISSUED FOR CONSTRUCTION SHALL BE USED FOR CONSTRUCTION

Thomas J. Principe, III
REGISTERED PROFESSIONAL ENGINEER

PRINCIPE COMPANY, INC.
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27 SAKONNET RIDGE DRIVE
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401.816.5385
PRINCIPEENGINEERING@GMAIL.COM

CRMC SUBMISSION PLAN
for
240 SHAWOMET AVENUE
AP 334 LOT 14
in
WARWICK, RHODE ISLAND

SCALE: AS NOTED	SHEET NO: 3 of 3
DRAWN BY: KAB	DESIGN BY: KAB
DATE: 03/14/2023	CHECKED BY: TJP
PROJECT NO.: CRMC-2022-3	

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RENOVATION AND ADDITION OF:
240 SHAWOMET AVE
 SCHEMATIC DESIGN
 NOT FOR CONSTRUCTION
 20 FEBRUARY 2023

DRAWING LIST	
Sheet Number	Sheet Name
01 - GENERAL	
G0.00	COVER
G0.01	PROJECT INFORMATION
G1.00	ZONING PLANS & SUMMARY
02 - EXISTING CONDITIONS	
EX1.01	EXISTING FIRST FLOOR PLAN
EX1.02	EXISTING SECOND FLOOR PLAN
EX1.03	EXISTING ROOF PLAN
EX3.01	EXISTING EXTERIOR ELEVATIONS
EX3.02	EXISTING EXTERIOR ELEVATIONS
EX4.01	EXISTING BUILDING SECTION
EX12.01	EXISTING 3D VIEWS
04 - PROPOSED	
A1.01	FIRST FLOOR PLAN
A1.02	SECOND FLOOR PLAN
A1.03	THIRD FLOOR PLAN
A1.04	ROOF PLAN
A3.01	EXTERIOR ELEVATIONS
A3.02	EXTERIOR ELEVATIONS
A4.01	BUILDING SECTIONS
A12.01	EXTERIOR 3D VIEWS



FAGAN DESIGN
 BUILD STUDIO

FAGAN DESIGN BUILD STUDIO

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RENOVATION AND ADDITION OF:
240 SHAWOMET AVE
 240 SHAWOMET AVENUE
 WARWICK, RHODE ISLAND, 02889

SCHEMATIC DESIGN

ISSUED FOR

NOT FOR CONSTRUCTION

20 FEBRUARY 2023

SCHEMATIC SET

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REVISIONS

NO.	DESCRIPTION

COVER

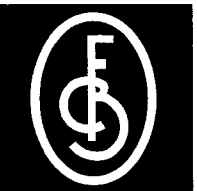
DRAWN BY: VF
 CHECKED BY: CF
 SHEET SIZE: ARCH D 24" X 36"

G0.00

MECHANICAL,
 ELECTRICAL,
 AND PLUMBING

TO BE
 PERMITTED
 DESIGN BUILD

Ref # 10928-240 Shawomet Ave.



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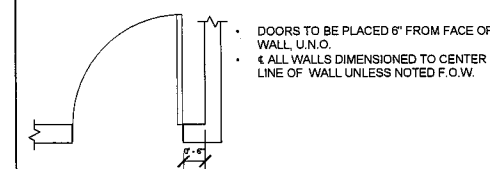
COMMON ABBREVIATIONS

ABV	ABOVE	L.E.D.	LIGHT EMITTING DIODE
A/C	AIR CONDITION	L.H.	LEFT HAND
ACC.	ACCESS(IBLE)	LIB.	LIBRARY
ACT	ACOUSTICAL CEILING TILE	LKR	LOCKER
ADDL.	ADDITIONAL	LVL	LAMINATED VENEER LUMBER
ADJ.	ADJUSTABLE (OR) ADJACENT	LOC.	LOCATION
A/E	ARCHITECT/ENGINEER	L.O.W.	LIMIT OF WORK
A.F.F.	ABOVE FINISH FLOOR	LVR	LOUVER
A/HJ	AUTHORITY HAVING JURISDICTION	MAS.	MASONRY
ALUM.	ALUMINUM	MAT.	MATERIAL
ALT.	ALTERNATE	MAX.	MAXIMUM
ANOD.	ANODIZED	MECH.	MECHANICAL
ARCH.	ARCHITECT(URAL)	MED.	MEDIUM
A.P.	ACCESS PANEL	MEMB	MEMBRANE
APT	APARTMENT	MDF	MEDIUM DENSITY FIBERBOARD
APPROX.	APPROXIMATE	MNL	MINIMUM
ASI	ARCHITECT'S SUPPLEMENTAL INSTRUCTION	MISC.	MISCELLANEOUS
AUTO.	AUTOMATIC	M.O.	MASONRY OPENING
AUX.	AUXILIARY	M.R.	MOISTURE RESISTANT
BAS	BUILDING AUTOMATION SYSTEM	MTD	MOUNTED
BD	BOARD	MTL	METAL
BDRM	BEDROOM	N.A.	NOT APPLICABLE
BITUM.	BITUMINOUS	NAT.	NATURAL
BLDG	BUILDING	N.C.	NOISE CRITERIA
BLKG	BLOCKING	N.I.C.	NOT IN CONTRACT
BLW	BELOW	NKL	NICKEL
BSMT	BASEMENT	NOM.	NOMINAL
BOT	BOTTOM	N.R.C.	NOISE REDUCTION COEFFICIENT
BRK	BRICK	N.T.S.	NOT TO SCALE
BRZ	BRONZE	O.C.	ON CENTER
BTWN	BETWEEN	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
CAB.	CABINET	OFDI	OWNER FURNISHED OWNER INSTALLED
C.F.M.F.	COLD-FORMED METAL FRAMING	O.H.	OPPOSITE HAND
C.L.	CENTER LINE	OPNG	OPENING
CLG	CEILING	OPP	OPPOSITE
CLR	CLEAR(ANCE)	ORIG.	ORIGINAL
C.J.	CONTROL JOINT	OVHD	OVERHEAD
CNU	CONCRETE MASONRY UNIT	OZ.	OUNCE
COL	COLUMN	PERP	PERPENDICULAR
COMP.	COMPRESS(ED), (ION), (IBLE)	PLAM	PLASTIC LAMINATE
CONC.	CONCRETE	PNT	PAINT
CONST.	CONSTRUCTION	PTD	PAINTED
CONT.	CONTINUE, (OUS)	PR	PAIR
COORD.	COORDINATE	P.T.	PRESSURE TREATED
CPT	CARPET	PTN	PARTITION
CPR	COPPER	PLYWD	PLYWOOD
C.T.	CERAMIC TILE	Q.T.	QUARRY TILE
C.T.E.	CONNECT TO EXISTING	R.B.	RESILIENT BASE
C.U.H.	CABINET UNIT HEATER	R.D.	ROOF DRAIN
DBL	DOUBLE	REF.	REFRIGERATOR
DEMO	DEMOLISH, (LITON)	REQ.	REQUIRE(D)
DET.	DETAIL	RES.	RESILIENT
D.F.	DRINKING FOUNTAIN	REV.	REVISION
DH	DOUBLE HUNG	R.H.	RIGHT HAND
DIA.	DIAMETER	RM	ROOM
DIAG.	DIAGONAL	R.O.	ROUGH OPENING
DIM.	DIMENSION	SCHED.	SCHEDULE
DN	DOWN	SECT.	SECTION
DR	DOOR	SF	SQUARE FEET
DS	DOWNSPOUT	SHT	SHEET
DTL	DETAIL	SHTH	SHEATHING
DWG	DRAWING	SM.	SIMILAR
DX	DUPLEX	SPEC.	SPEC (IFIED) (IFICATION)
EA.	EACH	SRL	SUBMITTAL REVIEW LETTER
EL	ELEVATION	SQ.	SQUARE
ELEC.	ELECTRIC(AL)	S.S.	STAINLESS STEEL
ELEV.	ELEVATOR	S.S.M.	SOLID SURFACE MATERIAL
EMER.	EMERGENCY	STC	SOUND TRANSMISSION COEFFICIENT
EMS	EMERGENCY MANAGEMENT SYSTEM	STD	STANDARD
E.J.	EXPANSION JOINT	STOR.	STORAGE
EQ	EQUAL	STL	STEEL
EQUIP	EQUIPMENT	STRUCT.	STRUCTURAL
ETR	EXISTING TO REMAIN	SUSP.	SUSPEN(ED)
EXG	EXISTING	SYS.	SYSTEM
EXT.	EXTERIOR	T&G	TONGUE AND GROOVE
F.A.	FIRE ALARM	TBD	TO BE DETERMINED
F.A.R.	FLOOR AREA RATIO	TEL	TELEPHONE
F.C.U.	FAN COIL UNIT	TEMP	TEMPORARY
F.D.	FLOOR DRAIN	THK	THICKNESS
FDN	FOUNDATION	THR	THRESHOLD
F.E.	FIRE EXTINGUISHER	THRU	THROUGH
FEC	FIRE EXTINGUISHER CABINET	T.O.	TOP OF
F&E	FURNITURE, FIXTURE, AND EQUIPMENT	TSTAT	THERMOSTAT
FGL	FIBERGLASS	TYP.	TYPICAL
FIN.	FINISH	TZ	TERRAZZO
FIXT.	FIXTURE	U.H.	UNIT HEATER
FL.	FLOOR	U.N.O.	UNLESS NOTED OTHERWISE
FLUOR.	FLUORESCENT	U.O.N.	UNLESS NOTED OTHERWISE
F.O.	FACE OF	VERT.	VERTICAL
F.P.	FIRE PROTECTION	V.I.F.	VERIFY IN FIELD
FT	FEET	V.R.	VAPOR RETARDER
FTG	FOOTING	w	WITH
FURN.	FURNITURE	W.C.	WATER CLOSET
GA	GAGE	WD	WOOD
GALV	GALVANIZED	WIN.	WINDOW
GB	GRAB BAR	Z.C.C.	ZINC COATED COPPER
GL	GLASS	&	AND
GLAM	GLUE LAMINATED BEAM		
GLZ	GLAZING		
GWB	GYPSON BOARD		
HC	HANDICAP		
HDF	HIGH DENSITY FIBERBOARD		
HM	HOLLOW METAL		
HDWR	HARDWARE		
HOR.	HORIZONTAL		
HR	HOUR		
HT	HEIGHT		
IN.	INCHES		
INCL.	INCLUDE(D), (ING)		
INFO.	INFORMATION		
INSUL.	INSULATION		
INT.	INTERIOR		
J.C.	JANITOR'S CLOSET		
J-BOX	JUNCTION BOX		
JT	JOINT		
KIT.	KITCHEN		
LAB.	LABORATORY		
LAV.	LAVATORY		
LB	POUND(S)		

SYMBOLS

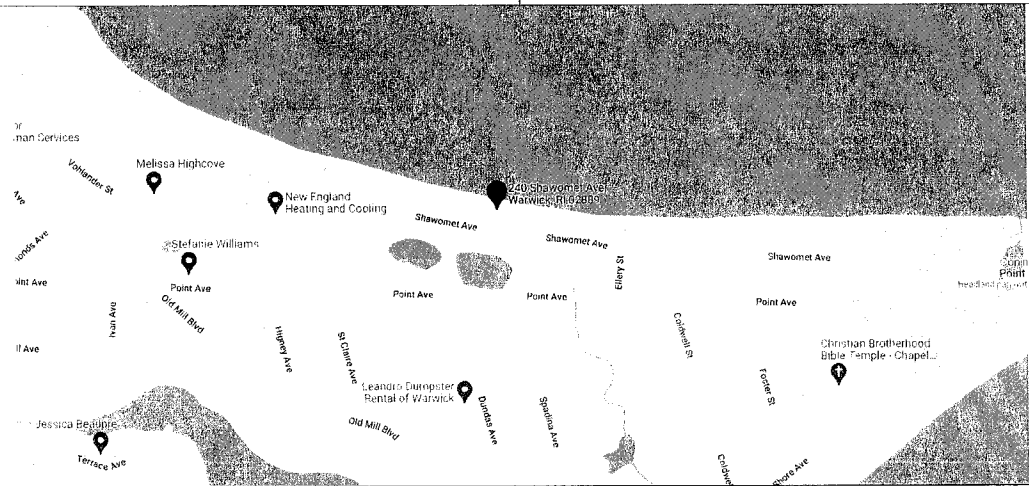
EXTERIOR ELEVATION	
INTERIOR ELEVATION	
SECTION	
ELEVATION	
SPOT ELEVATION	
COLUMN GRID MARK	
ROOM NAME AND MARK	
DOOR MARK	
WALL TYPE	
WINDOW TYPE	
FURNITURE / SPECIALTY EQUIPMENT MARK	
BREAK LINE	
LEADER	
DIMENSION	
REVISION CLOUD	
ALIGN	
FLOOR FINISH	
MOCKUP LOCATION	

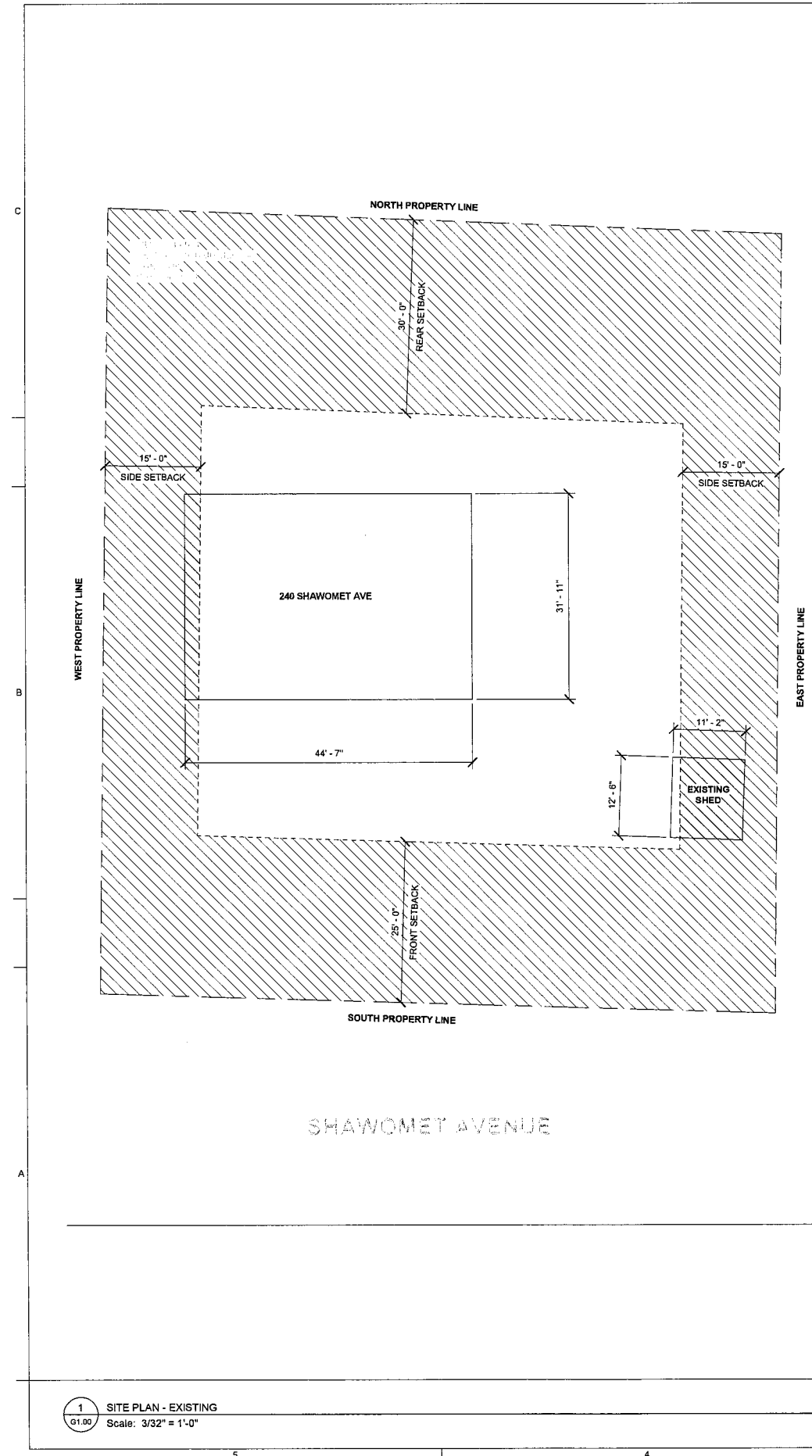
TYPICAL DOOR NOTES



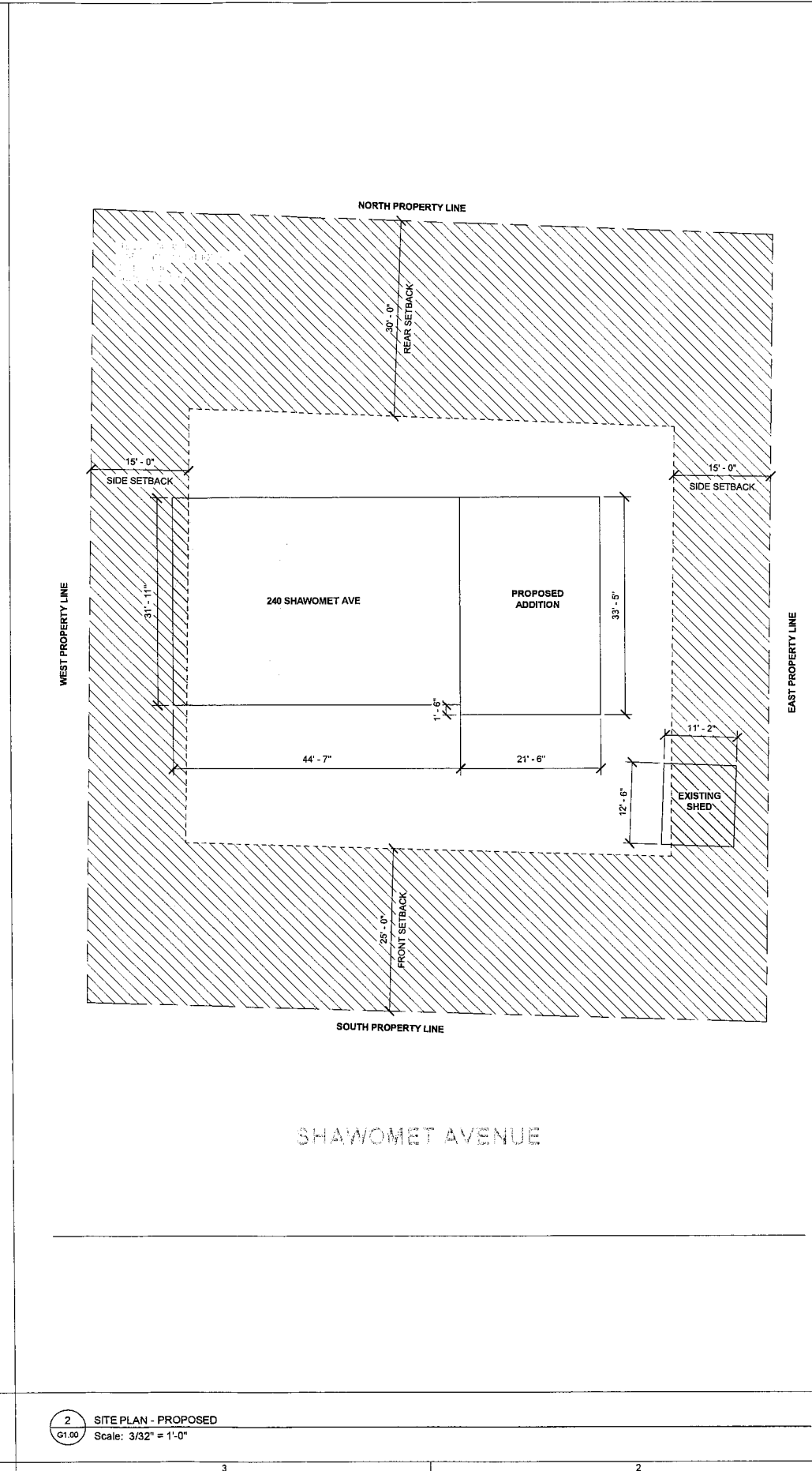
MATERIAL DRAFTING PATTERNS

	ALUMINUM
	BRICK
	CONCRETE
	CONCRETE BLOCK
	CERAMIC TILE, HORIZONTAL SURFACE
	CERAMIC TILE, VERTICAL SURFACE
	EARTH
	ENGINEERED WOOD (MDF, HDF, ETC.)
	EXISTING, UNEXCAVATED
	GLASS, SPECIALTY
	GLASS, HORIZONTAL SURFACE
	GLASS, VERTICAL SURFACE
	GYPSON PLASTER
	METAL (STEEL, ETC.)
	PLASTIC
	PLYWOOD
	POROUS FILL (GRAVEL, CRUSHED STONE, ETC.)
	RIGID INSULATION
	RUBBLE
	SHINGLE
	WOOD (EDGE GRAIN)
	WOOD (END GRAIN)
	WOOD (FACE GRAIN)
	GENERIC 1
	GENERIC 2
	GENERIC 3
	GENERIC 4
	GENERIC 5
	GENERIC 6





1 SITE PLAN - EXISTING
G1.00 Scale: 3/32" = 1'-0"



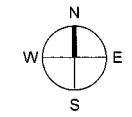
2 SITE PLAN - PROPOSED
G1.00 Scale: 3/32" = 1'-0"

ZONING SUMMARY

MBLU	334-0014		
USE CODE	101		
DESIGNATED ZONE	A-40		
NEIGHBORHOOD	130		
FLOATING OVERLAY	N/A		
USE	SINGLE FAMILY		
ACREAGE	0.29		
YEAR BUILT	1977		
BUILDING STYLE	RAISED RANCH		
MINIMUM LOT SIZE (SQFT.)	23,500		
MINIMUM FRONTAGE (FT.)	100		
	MAXIMUM	EXISTING	PROPOSED
LOT COVERAGE (% OF LOT)	20	12.5	18
BUILDING HEIGHT (FT.)	35	22	30
	MINIMUM REQ.	EXISTING	PROPOSED
OPEN SPACE	80	87.5	81.5
PARKING	2	2+	2+
	FRONT	SIDE	REAR
MINIMUM SETBACKS (FT.)	25	15	30

NOTE: SURVEY BASED ON INFORMATION PROVIDED ON TOWN GIS, VISION APPRAISAL AND FIELD VERIFICATION.

NORTH ARROW



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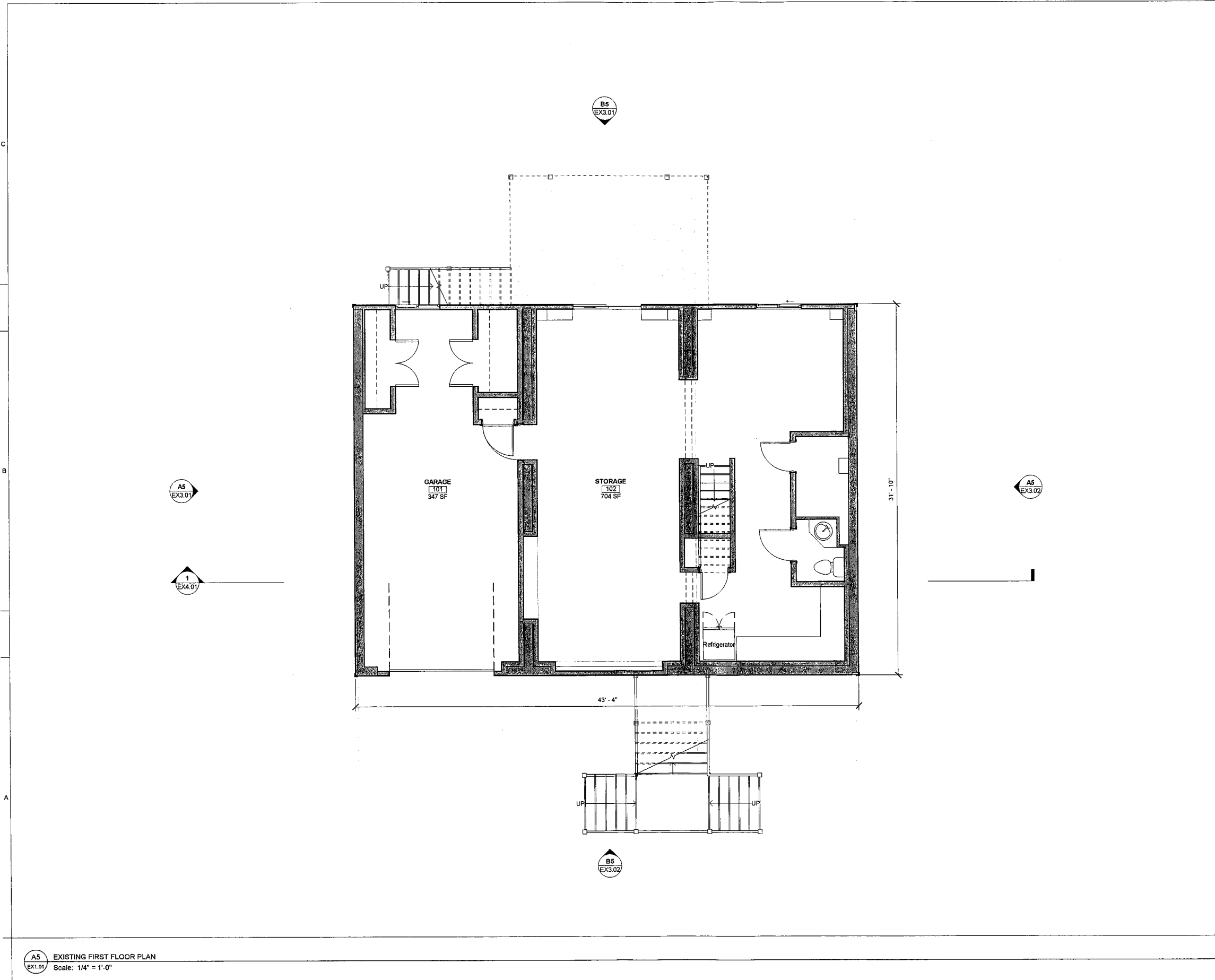
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REVISIONS

ZONING PLANS & SUMMARY

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CHECKED BY: CF
SHEET SIZE: ARCH D 24" X 36"

G1.00



GENERAL NOTES

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- CONTRACTOR TO ENSURE THAT CONSTRUCTION MEETS REQUIREMENTS OF SBC-2 RHODE ISLAND STATE BUILDING ONE AND TWO FAMILY DWELLING CODE ADOPTING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- CONTRACTOR TO VERIFY ALL DIMENSIONS

NORTH ARROW

WALL TYPE LEGEND

- EXISTING
- DEMOLISHED
- NEW CONSTRUCTION



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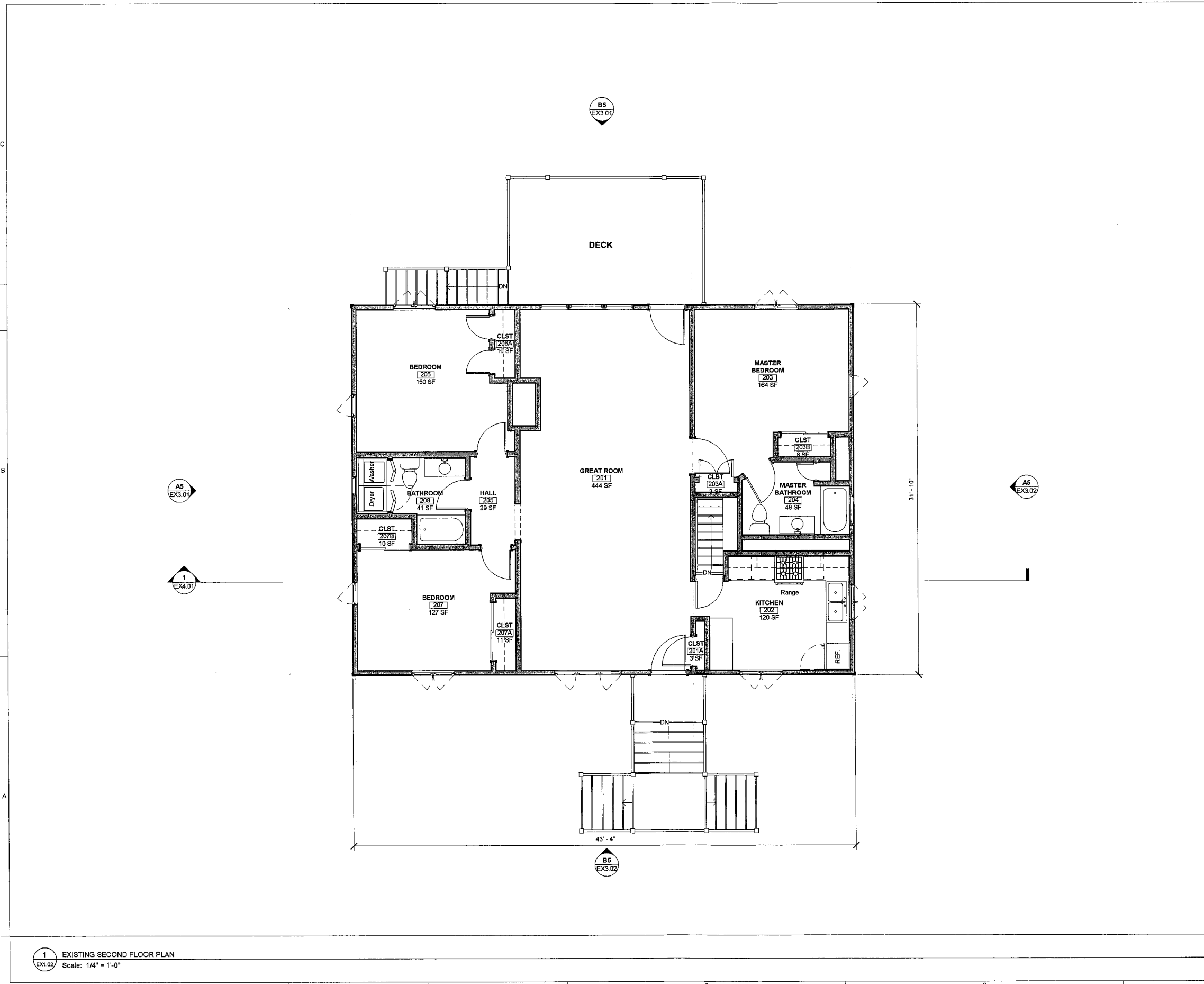
NO.	DESCRIPTION

EXISTING FIRST FLOOR PLAN

DRAWN BY: VF
CHECKED BY: CF
SHEET SIZE: ARCH D 24" X 36"

EX1.01

A5 EX1.01 EXISTING FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"



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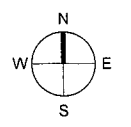
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EXISTING SECOND FLOOR PLAN

DRAWN BY: VF
CHECKED BY: CF
SHEET SIZE: ARCH D 24" X 36"

EX1.02

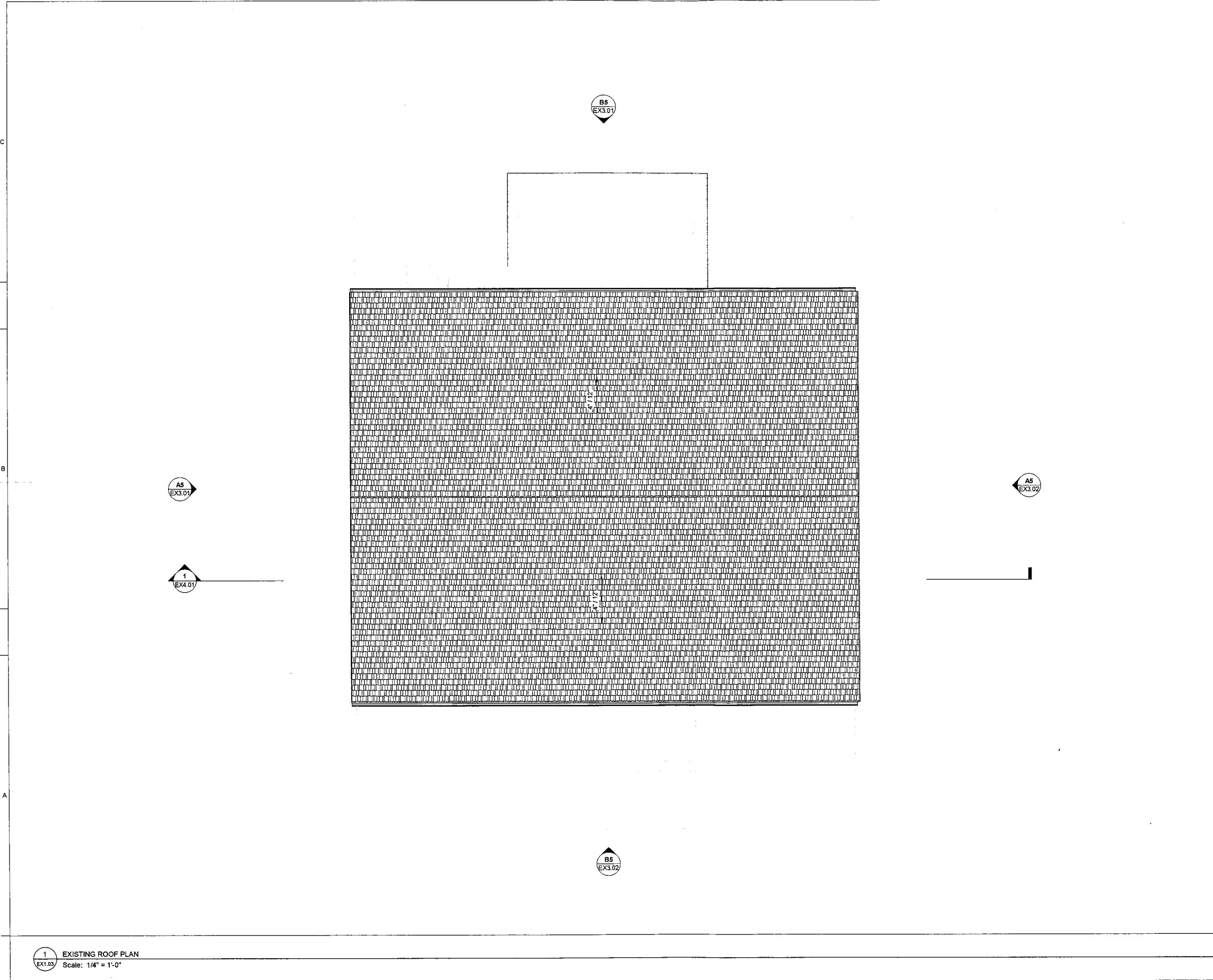
NORTH ARROW



WALL TYPE LEGEND

- EXISTING
- DEMOLISHED
- NEW CONSTRUCTION

1 EXISTING SECOND FLOOR PLAN
EX1.02 Scale: 1/4" = 1'-0"



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EXISTING ROOF PLAN

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EX1.03

1 EX1.03 EXISTING ROOF PLAN
Scale: 1/4" = 1'-0"

5 4 3 2 1



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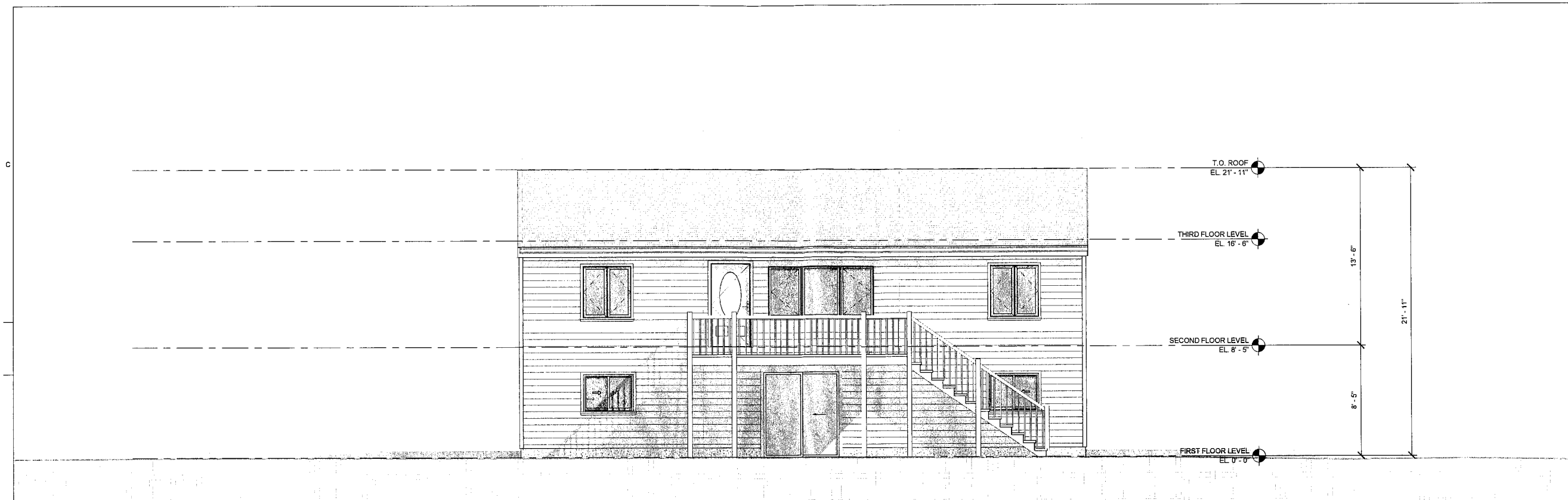
EXISTING EXTERIOR
ELEVATIONS

DRAWN BY: VF

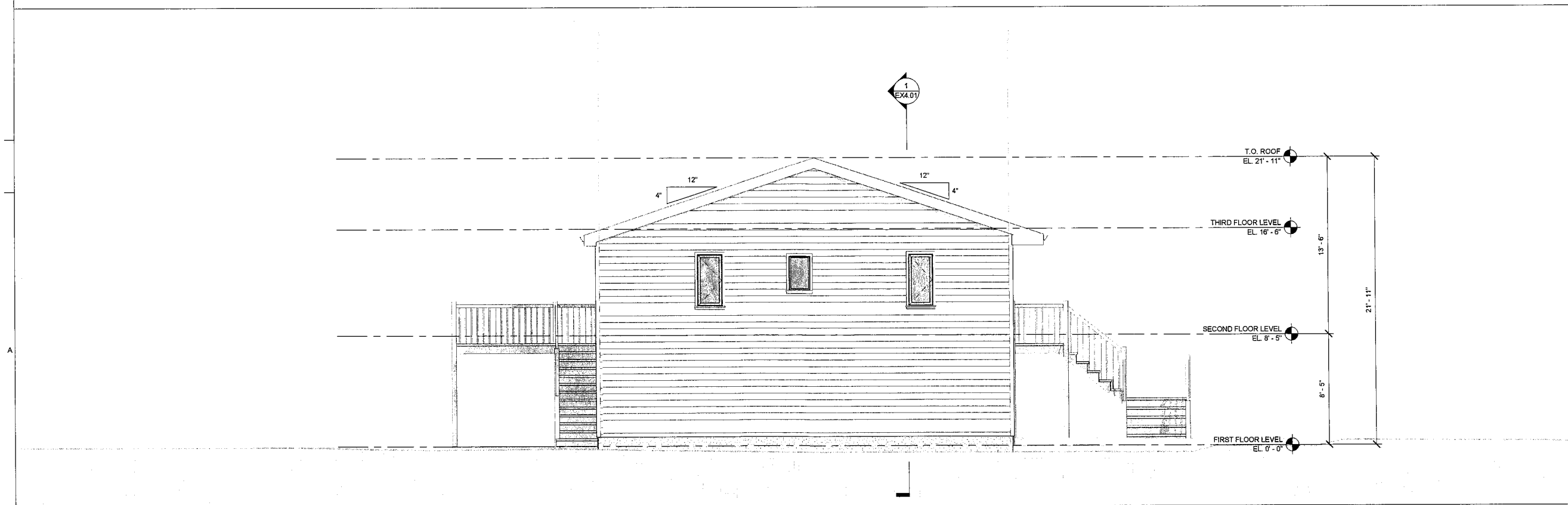
CHECKED BY: CF

SHEET SIZE: ARCH D 24" X 36"

EX3.01



B5 EXISTING NORTH EXTERIOR ELEVATION
EX3.01 Scale: 1/4" = 1'-0"



A5 EXISTING WEST EXTERIOR ELEVATION
EX3.01 Scale: 1/4" = 1'-0"

5 4 3 2 1



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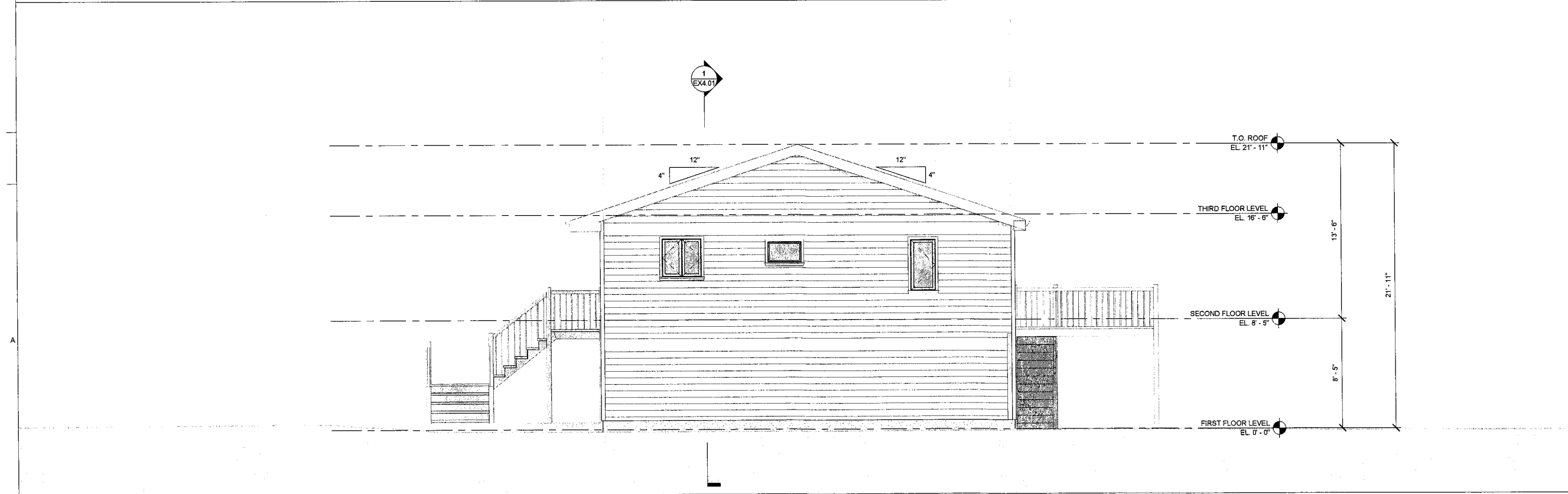
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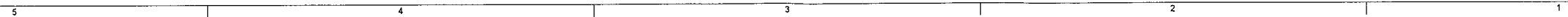
EX3.02



B5 EXISTING SOUTH EXTERIOR ELEVATION
EX3.02 Scale: 1/4" = 1'-0"



A5 EXISTING EAST EXTERIOR ELEVATION
EX3.02 Scale: 1/4" = 1'-0"





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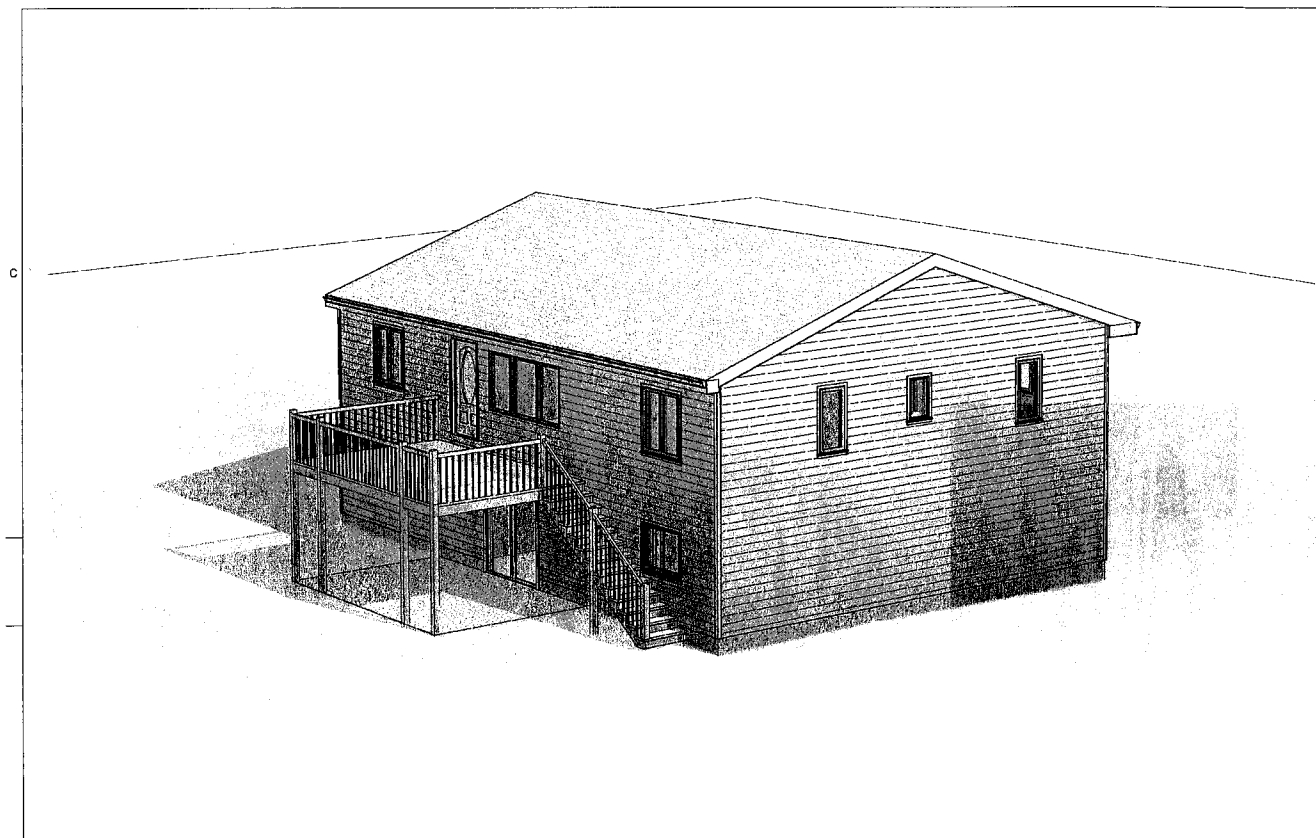
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DRAWN BY: VF

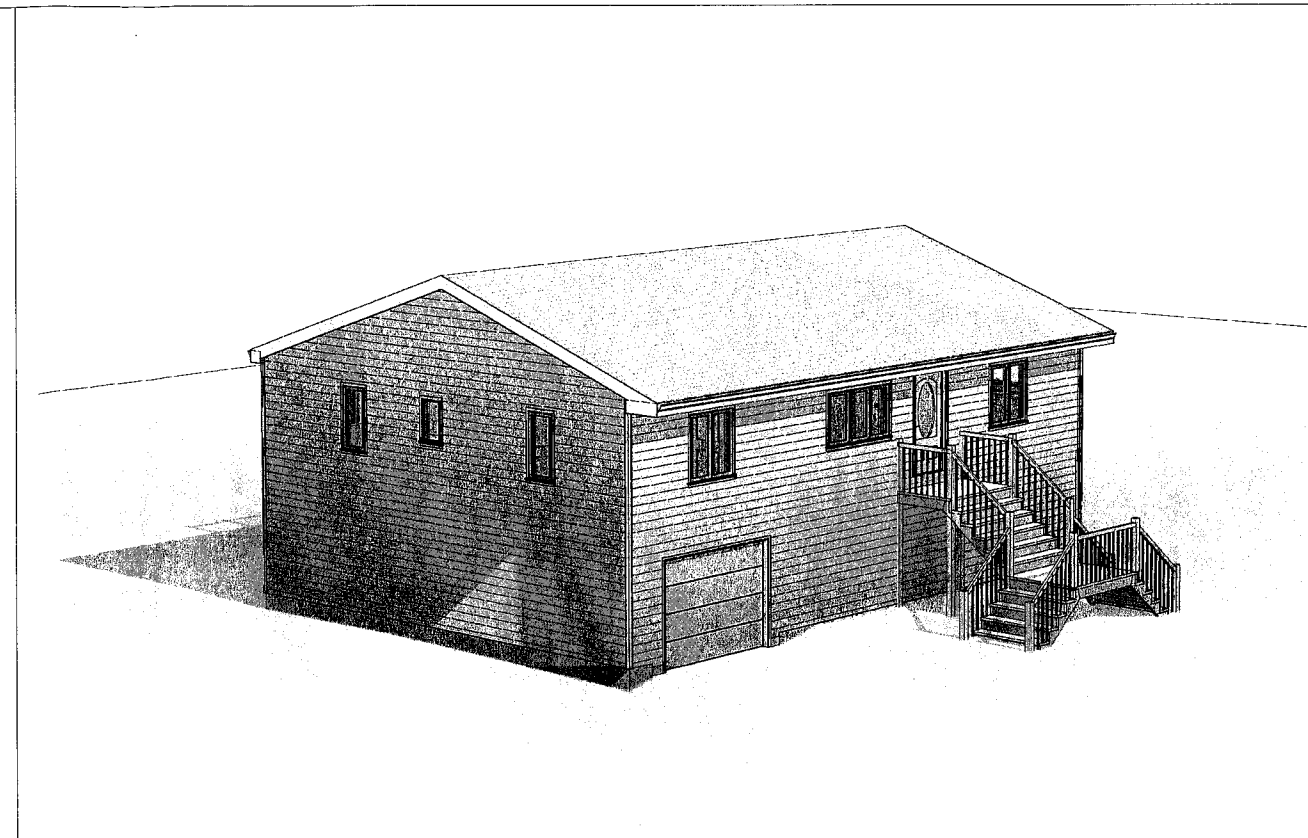
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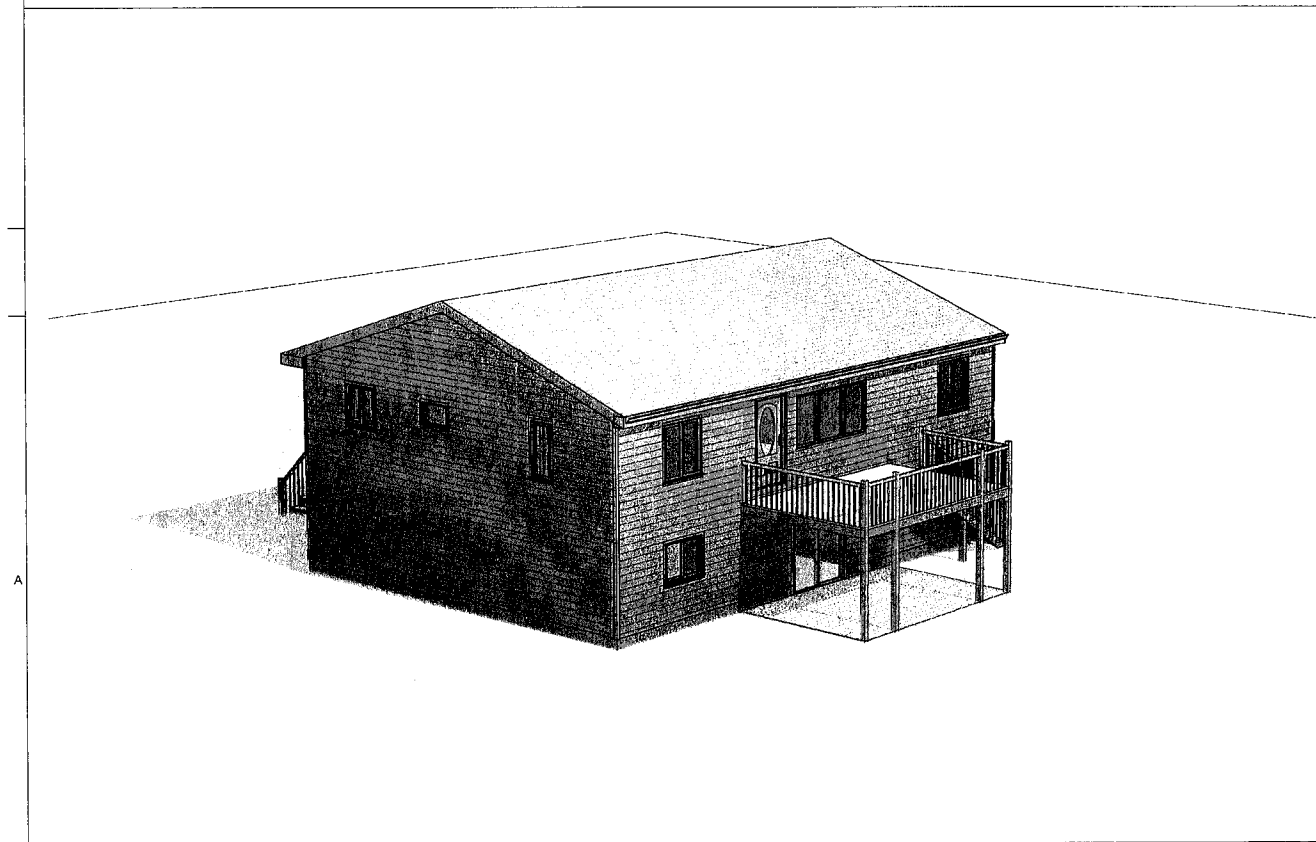
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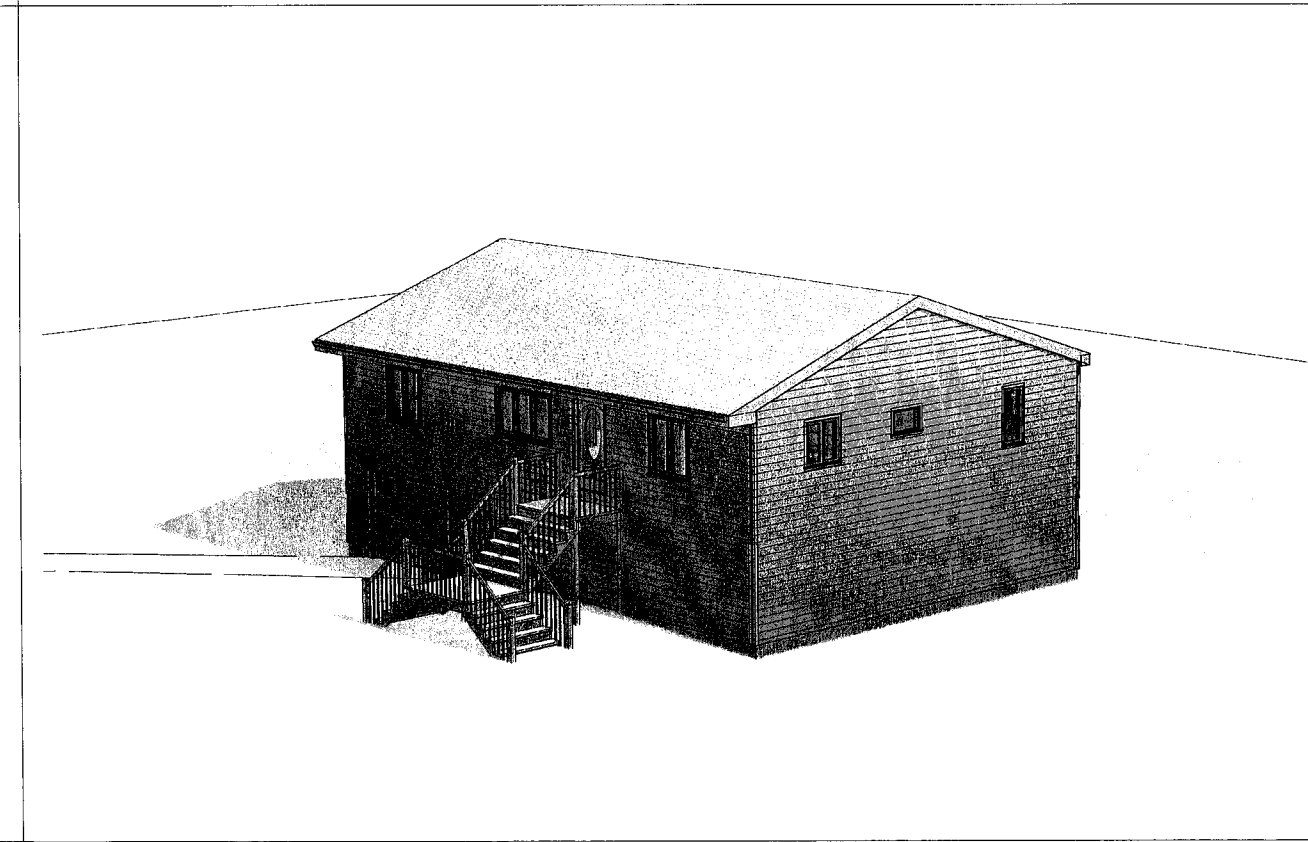
1 EXISTING 3D View 1
EX12.01 Scale:



2 EXISTING 3D View 2
EX12.01 Scale:



3 EXISTING 3D View 3
EX12.01 Scale:



4 EXISTING 3D View 4
EX12.01 Scale:

5

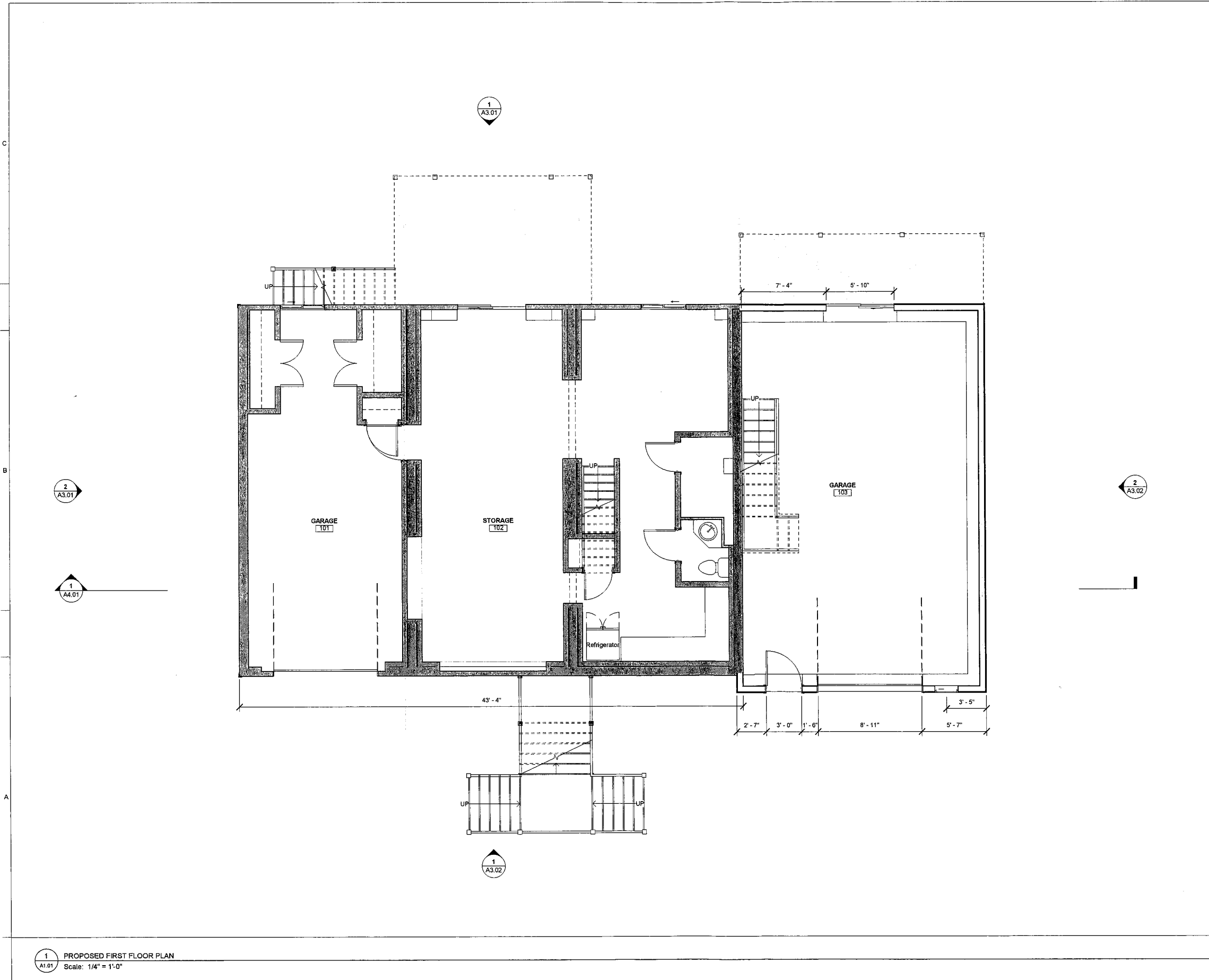
4

3

2

1

1



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- CONTRACTOR TO VERIFY ALL DIMENSIONS

GENERAL SYMBOLS

P1 PENDANT LIGHT FIXTURE	RECESS ELECTRIC PANEL
RECESSED CAN LIGHT	DUPLEX RECEPTACLE
EXHAUST FAN/LIGHT COMBO, VENT TO EXTERIOR	WATERPROOF DUPLEX RECEPTACLE
S1 BATHROOM SCONCE LIGHT FIXTURE	GFI DUPLEX RECEPTACLE
S2 EXTERIOR SCONCE LIGHT FIXTURE	COUNTER HEIGHT GFI DUPLEX RECEPTACLE
\$ LIGHT SWITCH	E ELECTRIC METER
\$D DIMMER LIGHT SWITCH	G GAS METER
\$3 THREE WAY LIGHT SWITCH	C CABLE JACK



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RENOVATION AND ADDITION OF:
240 SHAWOMET AVE
240 SHAWOMET AVENUE
WARWICK, RHODE ISLAND, 02889

SCHEMATIC DESIGN
ISSUED FOR
NOT FOR CONSTRUCTION
20 FEBRUARY 2023

SCHEMATIC SET
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REVISIONS

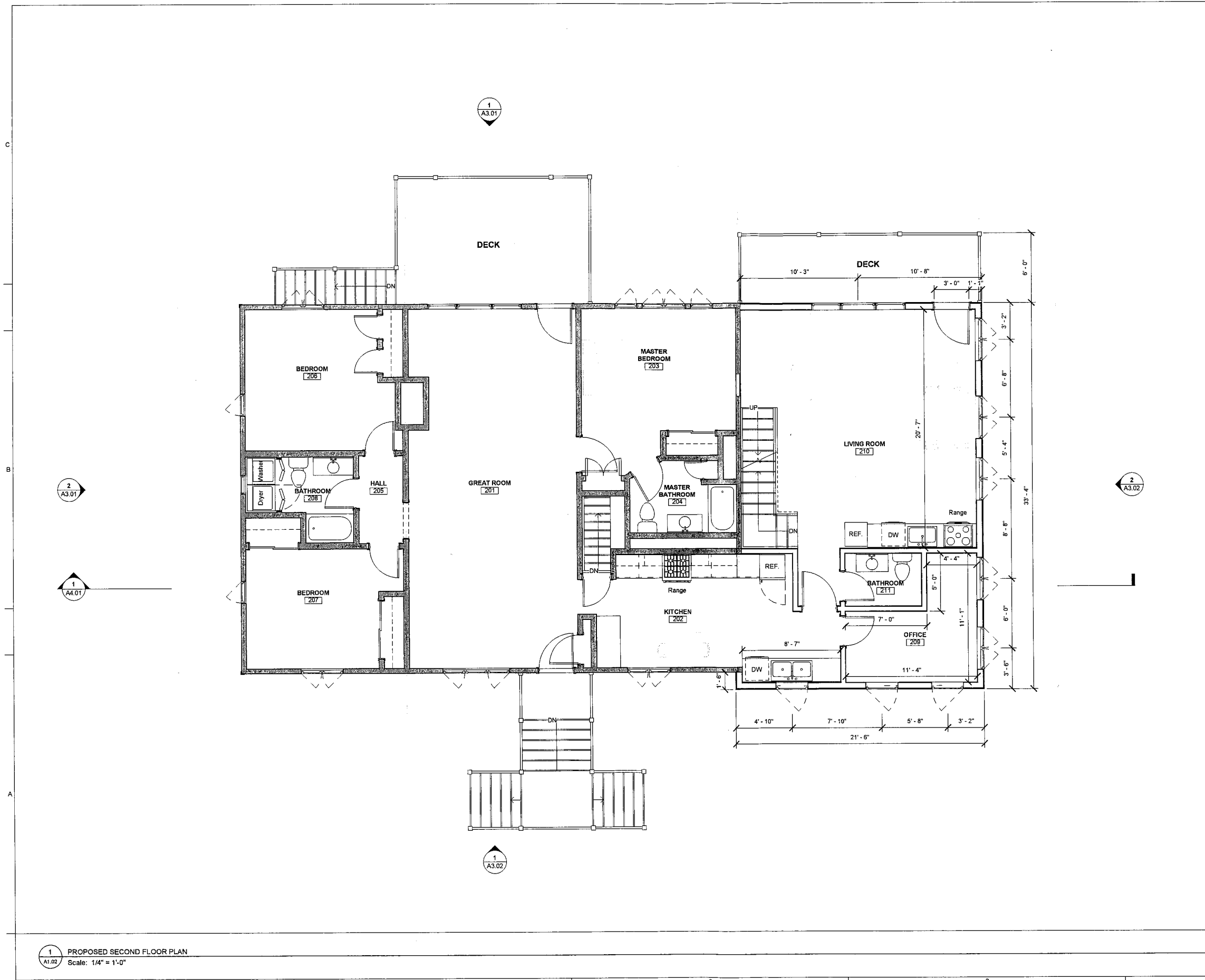
NO.	DESCRIPTION

FIRST FLOOR PLAN

DRAWN BY: VF
CHECKED BY: CF
SHEET SIZE: ARCH D 24" X 36"

A1.01

1 PROPOSED FIRST FLOOR PLAN
A1.01 Scale: 1/4" = 1'-0"



GENERAL NOTES

- ALL LOAD BEARING AND STRUCTURAL ITEMS TO BE DESIGNED AND REVIEWED BY A STRUCTURAL ENGINEER
- CONTRACTOR TO ENSURE THAT CONSTRUCTION MEETS REQUIREMENTS OF SBC-2 RHODE ISLAND STATE BUILDING ONE AND TWO FAMILY DWELLING CODE ADOPTING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
- CONTRACTOR TO VERIFY ALL DIMENSIONS

GENERAL SYMBOLS

PENDANT LIGHT FIXTURE	RECESS ELECTRIC PANEL
RECESSED CAN LIGHT	DUPLEX RECEPTACLE
EXHAUST FAN/LIGHT COMBO, VENT TO EXTERIOR	WATERPROOF DUPLEX RECEPTACLE
BATHROOM SCONCE LIGHT FIXTURE	GFI DUPLEX RECEPTACLE
EXTERIOR SCONCE LIGHT FIXTURE	COUNTER HEIGHT GFI DUPLEX RECEPTACLE
LIGHT SWITCH	ELECTRIC METER
DIMMER LIGHT SWITCH	GAS METER
THREE WAY LIGHT SWITCH	CABLE JACK

NORTH ARROW

WALL TYPE LEGEND

EXISTING
DEMOLISHED
NEW CONSTRUCTION



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RENOVATION AND ADDITION OF:
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REVISIONS

NO.	DESCRIPTION

SECOND FLOOR PLAN
DRAWN BY: VF
CHECKED BY: CF
SHEET SIZE: ARCH D 24" X 36"

A1.02

1 PROPOSED SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"



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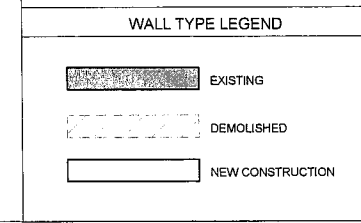
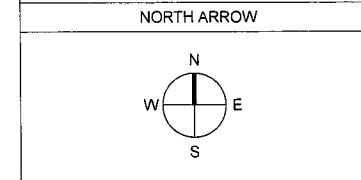
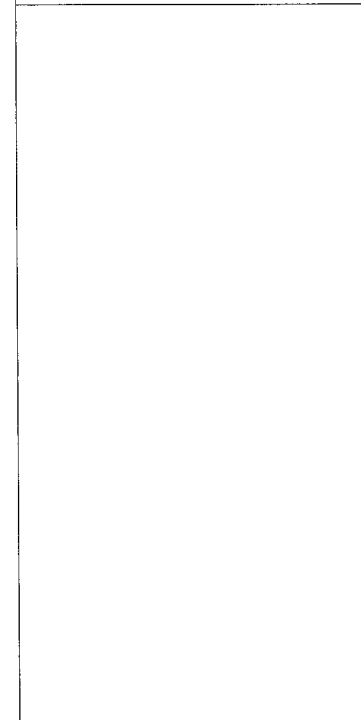
SCHEMATIC SET
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REVISIONS	

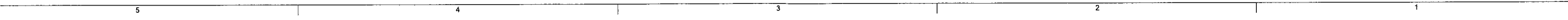
THIRD FLOOR PLAN
DRAWN BY: VF
CHECKED BY: CF
SHEET SIZE: ARCH D 24" X 36"

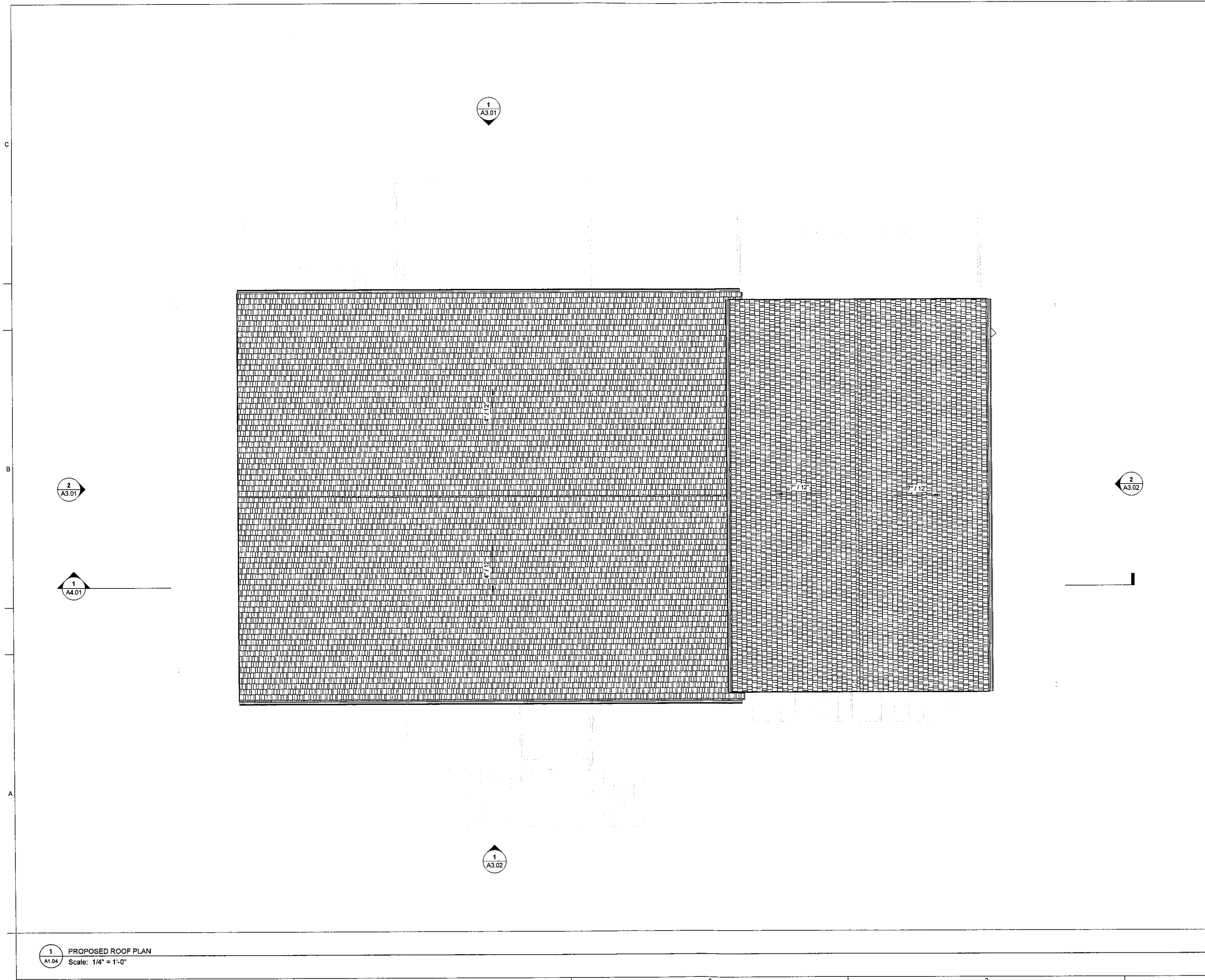
A1.03

- GENERAL NOTES**
- ALL LOAD BEARING AND STRUCTURAL ITEMS TO BE DESIGNED AND REVIEWED BY A STRUCTURAL ENGINEER
 - CONTRACTOR TO ENSURE THAT CONSTRUCTION MEETS REQUIREMENTS OF SBC-2 RHODE ISLAND STATE BUILDING ONE AND TWO FAMILY DWELLING CODE ADOPTING THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
 - CONTRACTOR TO VERIFY ALL DIMENSIONS
- GENERAL SYMBOLS**
- | | |
|--|--------------------------------------|
| PENDANT LIGHT FIXTURE | RECESS ELECTRIC PANEL |
| RECESSED CAN LIGHT | DUPLEX RECEPTACLE |
| EXHAUST FAN/LIGHT COMBO VENT TO EXTERIOR | WATERPROOF DUPLEX RECEPTACLE |
| BATHROOM SCONCE LIGHT FIXTURE | GFI DUPLEX RECEPTACLE |
| EXTERIOR SCONCE LIGHT FIXTURE | COUNTER HEIGHT GFI DUPLEX RECEPTACLE |
| LIGHT SWITCH | ELECTRIC METER |
| DIMMER LIGHT SWITCH | GAS METER |
| THREE WAY LIGHT SWITCH | CABLE JACK |



1 PROPOSED THIRD FLOOR PLAN
Scale: 1/4" = 1'-0"





GENERAL NOTES

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- CONTRACTOR TO VERIFY ALL DIMENSIONS

GENERAL SYMBOLS

	PENDANT LIGHT FIXTURE		RECESS ELECTRIC PANEL
	RECESSED CAN LIGHT		DUPLEX RECEPTACLE
	EXHAUST FAN/LIGHT COMBO, VENT TO EXTERIOR		WATERPROOF DUPLEX RECEPTACLE
	BATHROOM SCONCE LIGHT FIXTURE		GFI DUPLEX RECEPTACLE
	EXTERIOR SCONCE LIGHT FIXTURE		COUNTER HEIGHT GFI DUPLEX RECEPTACLE
	LIGHT SWITCH		ELECTRIC METER
	DIMMER LIGHT SWITCH		GAS METER
	THREE WAY LIGHT SWITCH		CABLE JACK



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REVISIONS

NO.	DESCRIPTION

ROOF PLAN
DRAWN BY: VF
CHECKED BY: CF
SHEET SIZE: ARCH D 24" X 36"

A1.04

1 PROPOSED ROOF PLAN
Scale: 1/4" = 1'-0"



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REVISIONS

NO.	DESCRIPTION

EXTERIOR ELEVATIONS

DRAWN BY: VF

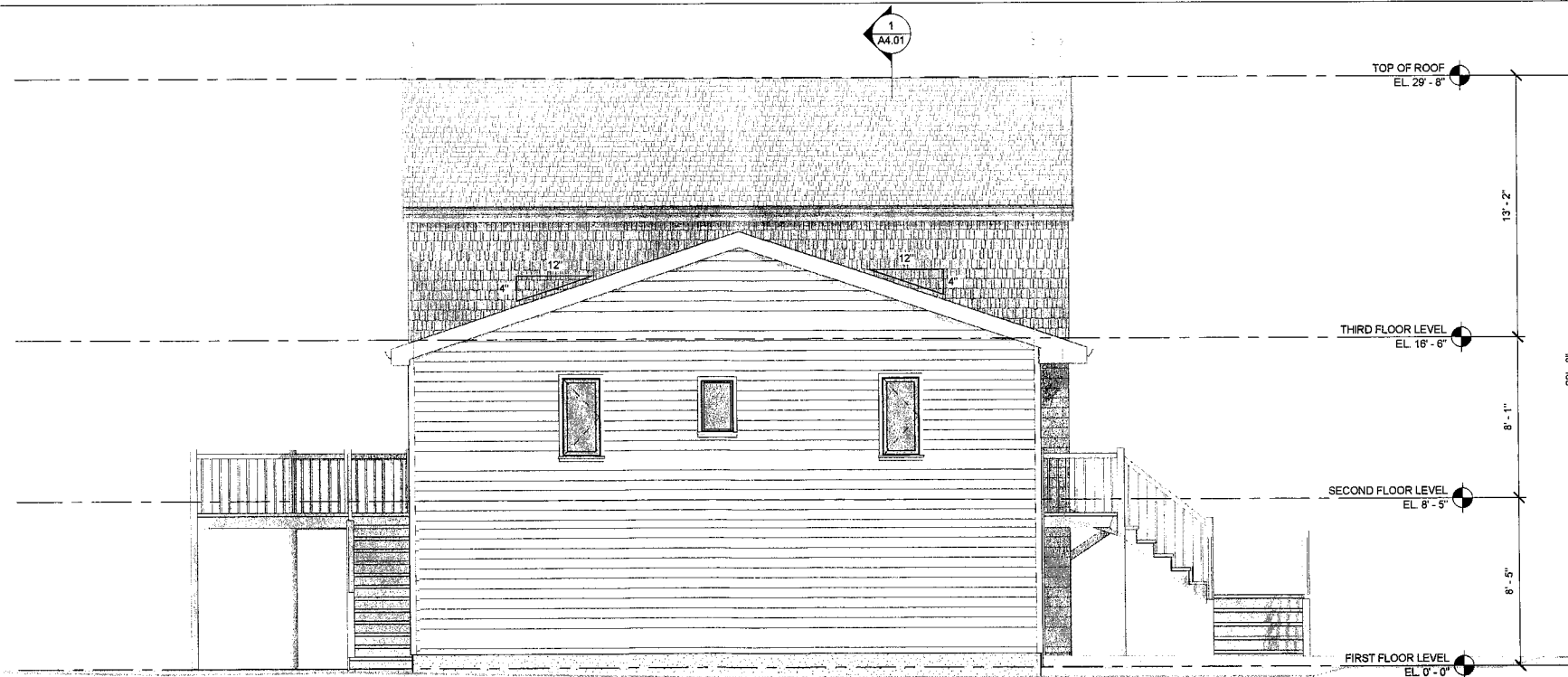
CHECKED BY: CF

SHEET SIZE: ARCH D 24" X 36"

A3.01



1 PROPOSED NORTH EXTERIOR ELEVATION
A3.01 Scale: 1/4" = 1'-0"

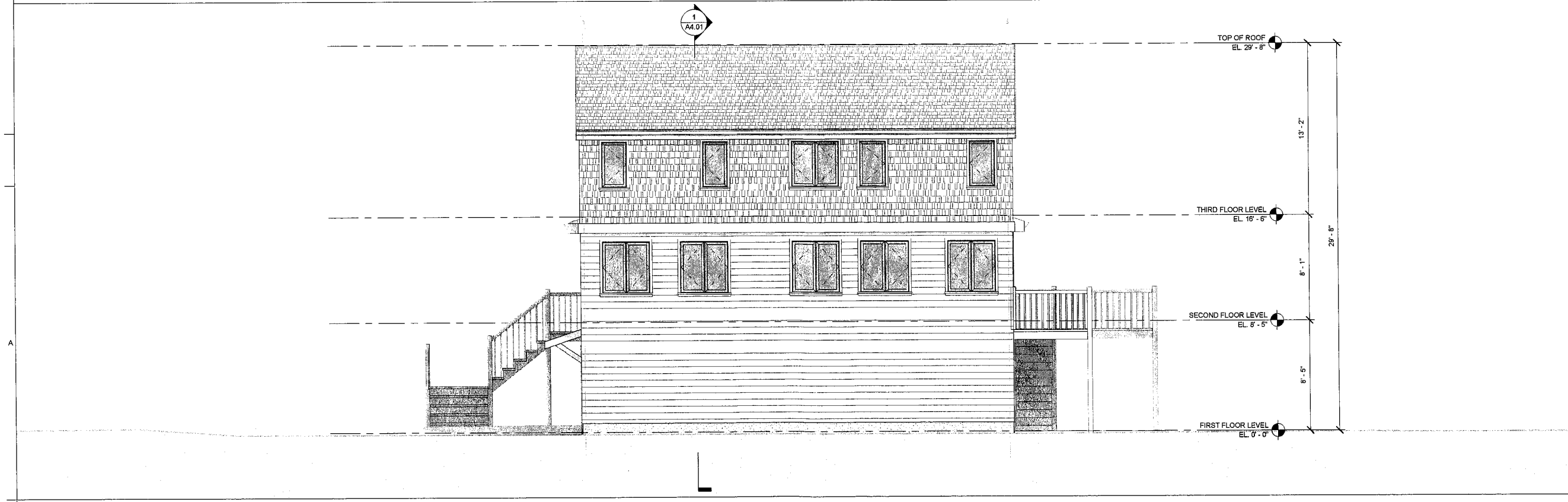


2 PROPOSED WEST EXTERIOR ELEVATION
A3.01 Scale: 1/4" = 1'-0"

5 4 3 2 1



1 PROPOSED SOUTH EXTERIOR ELEVATION
 A3.02 Scale: 1/4" = 1'-0"



2 PROPOSED EAST EXTERIOR ELEVATION
 A3.02 Scale: 1/4" = 1'-0"



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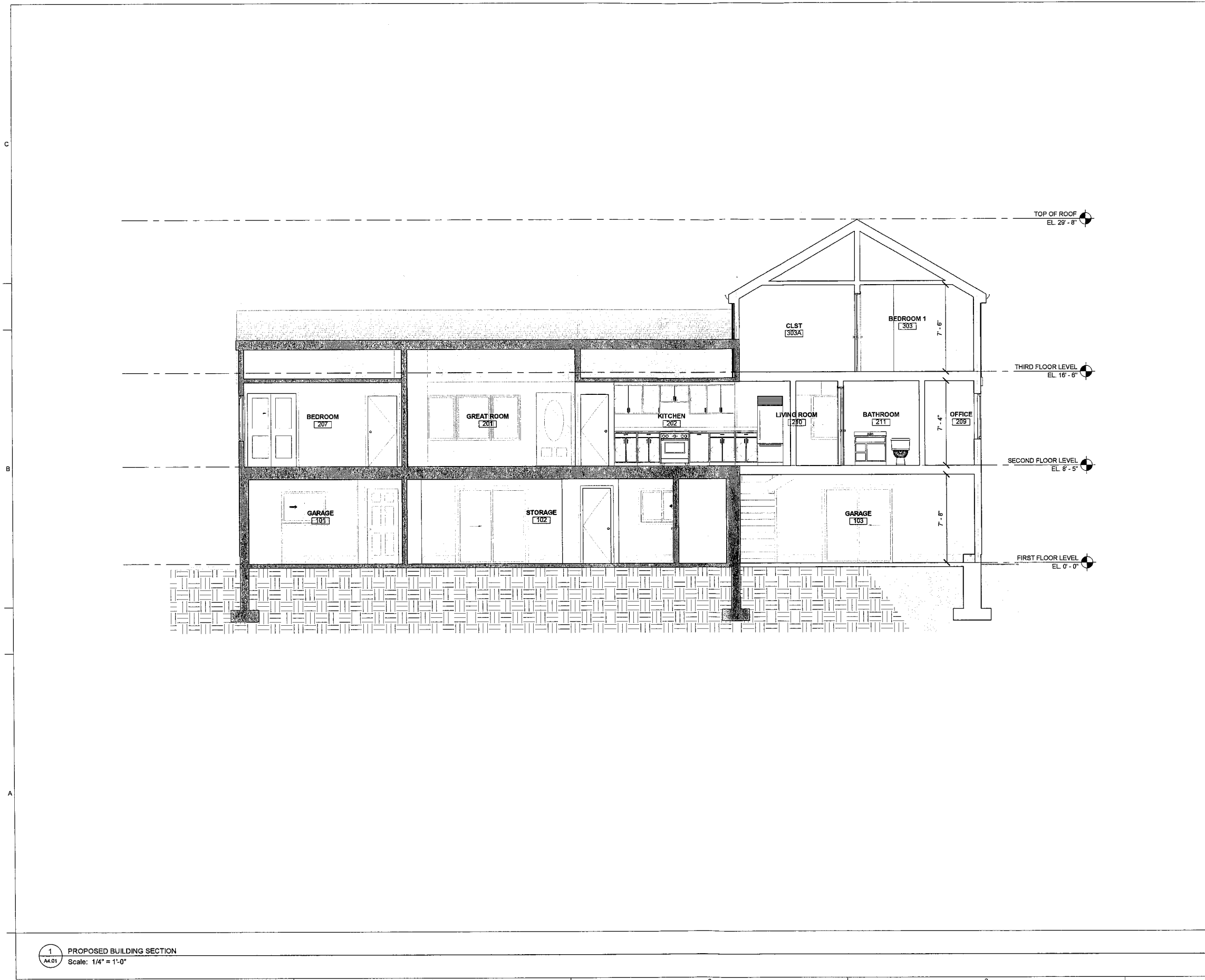
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NO.	DESCRIPTION	DATE

EXTERIOR ELEVATIONS
 DRAWN BY: VF
 CHECKED BY: CF
 SHEET SIZE: ARCH D 24" X 36"

A3.02



GENERAL NOTES

- ALL LOAD BEARING AND STRUCTURAL ITEMS TO BE DESIGNED AND REVIEWED BY A STRUCTURAL ENGINEER
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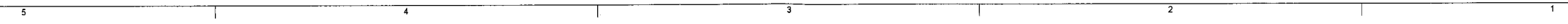
WALL TYPE LEGEND

- EXISTING
- DEMOLISHED
- NEW CONSTRUCTION

BUILDING SECTIONS
 DRAWN BY: VF
 CHECKED BY: CF
 SHEET SIZE: ARCH D 24" X 36"

A4.01

1 PROPOSED BUILDING SECTION
 Scale: 1/4" = 1'-0"





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RENOVATION AND ADDITION OF:
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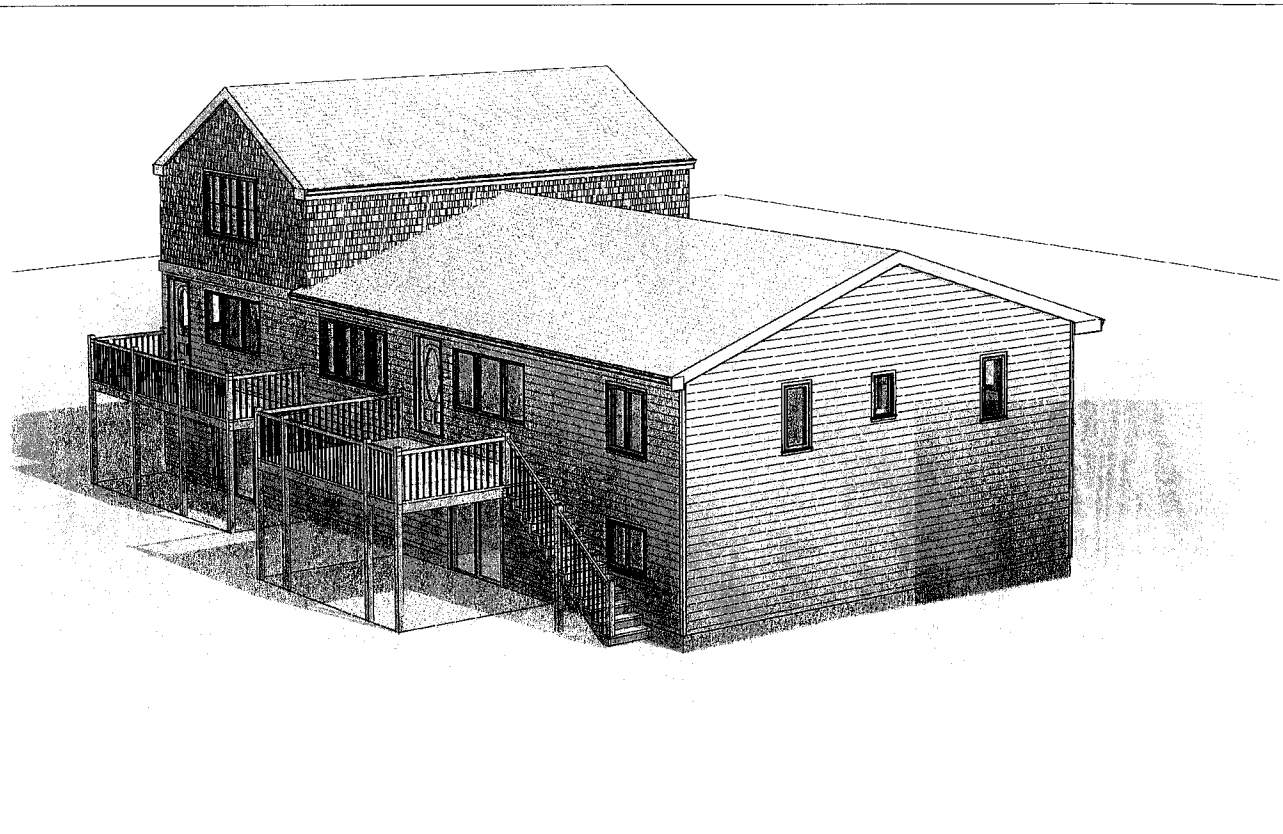
EXTERIOR 3D VIEWS

DRAWN BY: VF

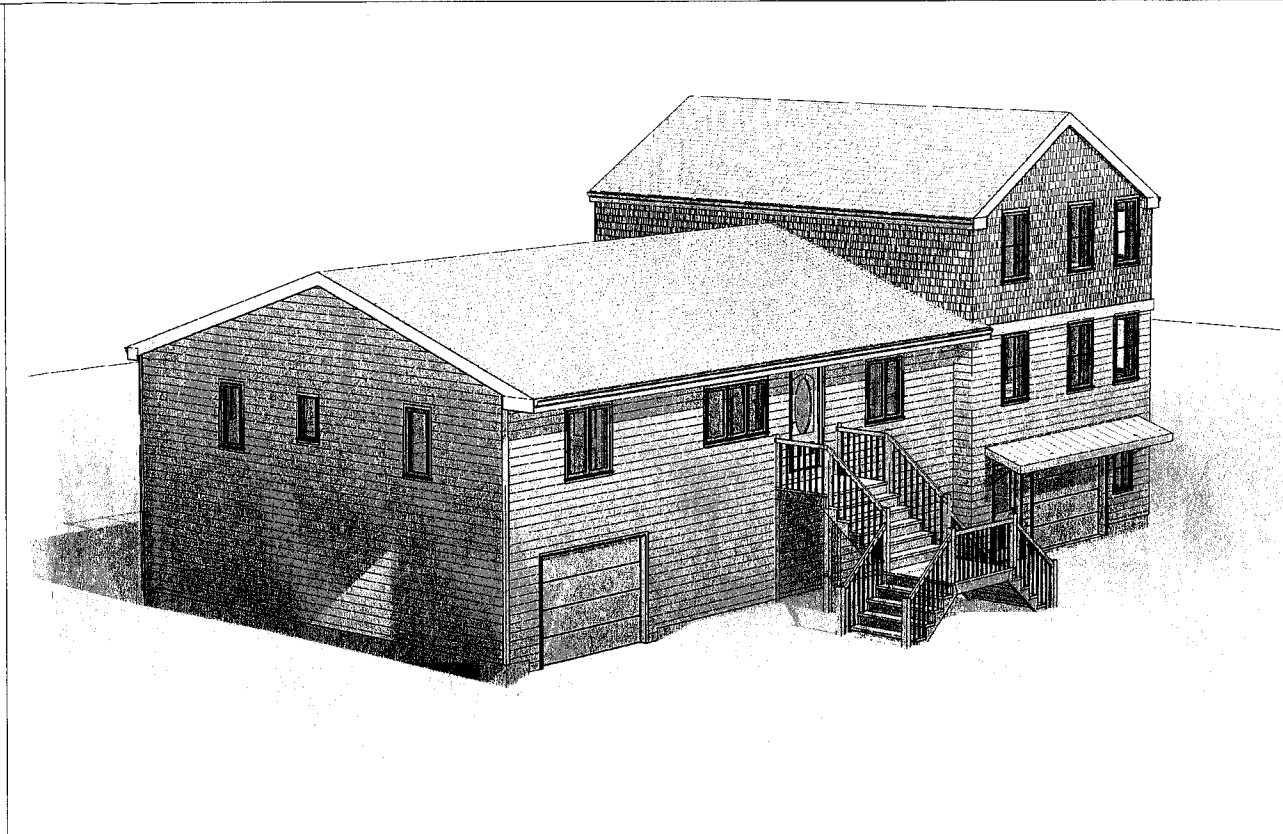
CHECKED BY: CF

SHEET SIZE: ARCH D 24" X 36"

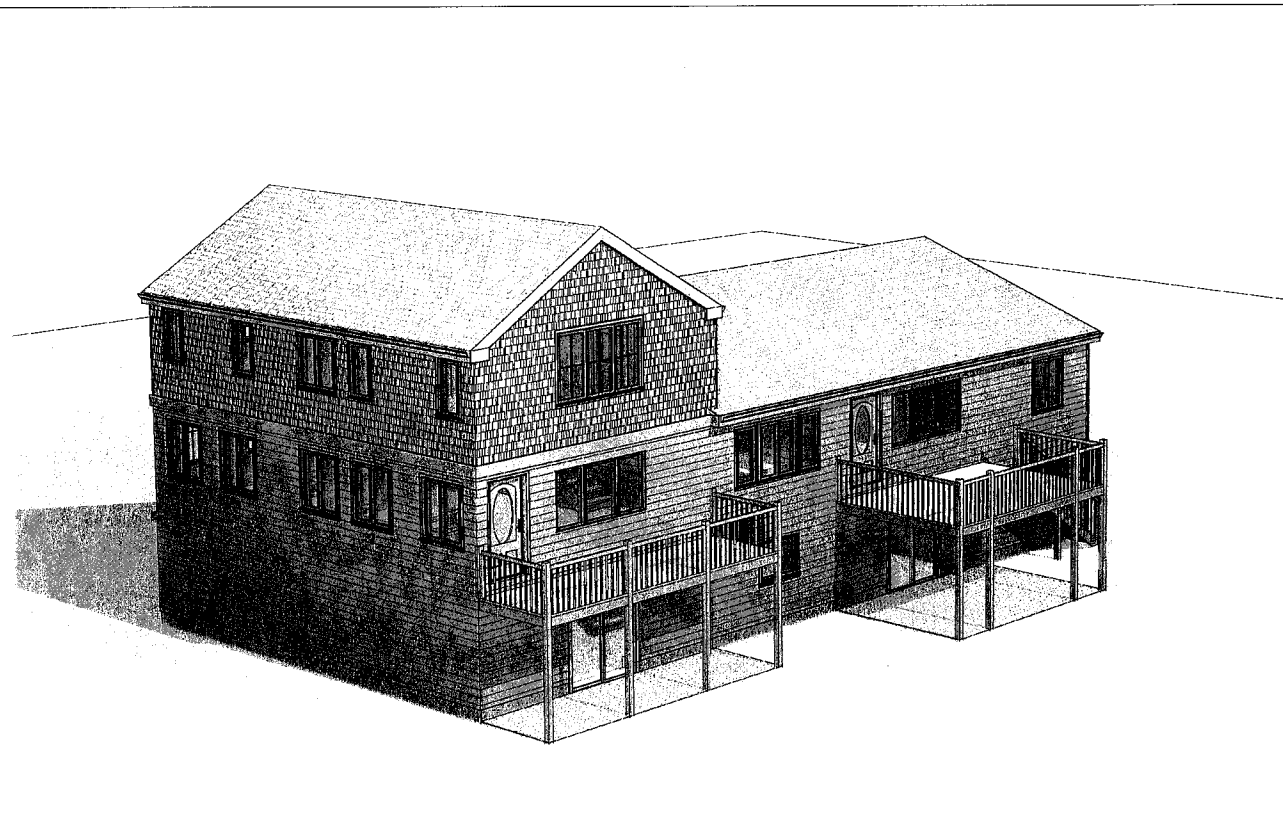
A12.01



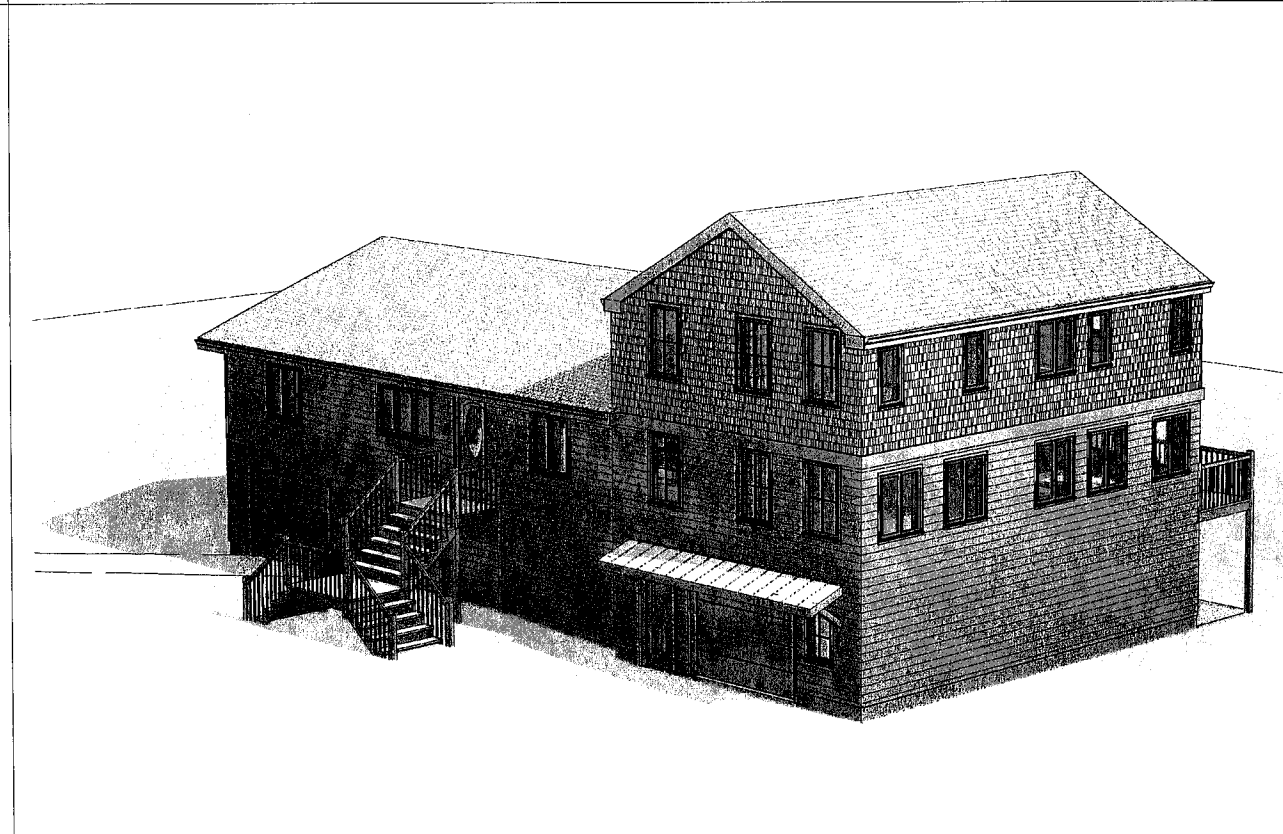
1 PROPOSED 3D View 1
A12.01 Scale:



2 PROPOSED 3D View 2
A12.01 Scale:



3 PROPOSED 3D View 3
A12.01 Scale:



4 PROPOSED 3D View 4
A12.01 Scale: