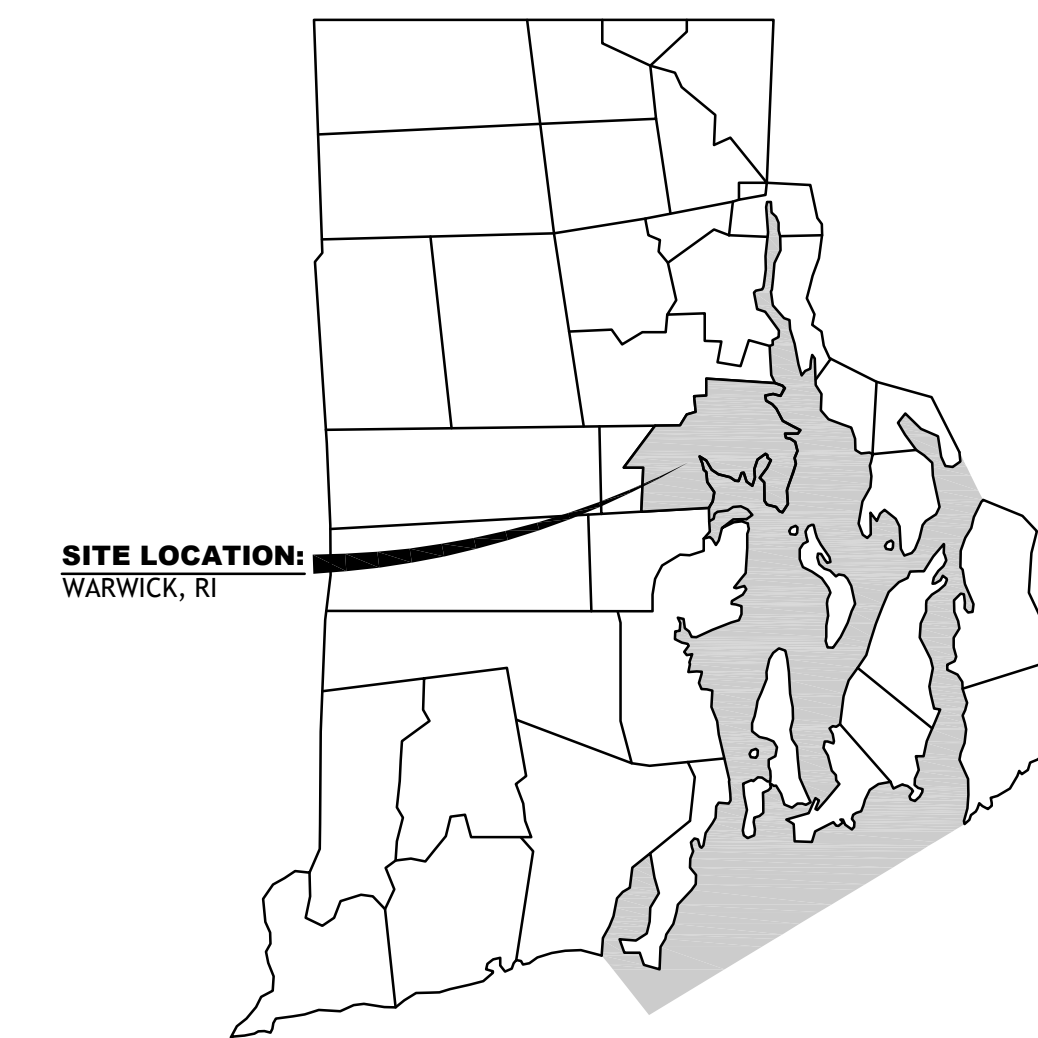


LOCUS MAP (NOT TO SCALE)



STATE WIDE MAP



PRELIMINARY PLAN FOR PROPOSED

ZIRCON STREET EXTENSION

MINOR SUBDIVISION OF LAND

ASSESSOR'S PLAT 244, LOTS 8 AND 241
ZIRCON STREET AND DRUM ROCK AVENUE
WARWICK, RHODE ISLAND

ZONING DISTRICT - A-10

PROJECT TEAM

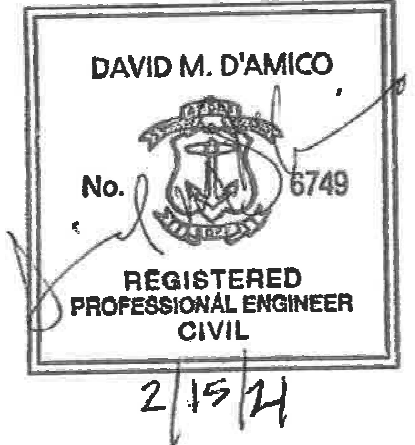
OWNER: SALVATORE J. PETRILLI
97 DRUM ROCK AVE. AND 10 ZIRCON STREET
WARWICK, RI 02886
PHONE: 401-862-5588
FAX: 401-384-6972

CIVIL: D'AMICO ENGINEERING TECHNOLOGY, INC
2080 MINERAL SPRING AVE.
NORTH PROVIDENCE, RI 02911
PHONE: 401-622-1470
FAX: 401-709-0201
EMAIL: DAVID@DENGINEERINGTEC.COM

SURVEYOR: ENGELHARDT SURVEYING, LLC.
18 TIMBERLINE DRIVE
WARWICK, R.I. 02886
PHONE 401-467-1940
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INDEX OF DRAWINGS

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ZIRCON STREET EXTENSION
MINOR SUBDIVISION OF LAND
10 ZIRCON ST. AND 97 DRUM ROCK AVE.
AP. 244, LOT 8 AND 241
WARWICK, RHODE ISLAND

NO.	DATE	DESCRIPTION
1	2-12-21	REVISED CUL-DE-SAC LAYOUT

DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: FEB., 2021
PROJECT NO: 19-0007-01

FINAL PLAN

COVER PLAN

SHEET 1 OF 12

GENERAL NOTES:

1. THE LOCATION AND DEPTH OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR CITY WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCE.

SITE NOTES:

1. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND LEGALLY DISPOSING (R&D) OF ALL MATERIALS INDICATED ON THE PLANS.
2. STOCKPILES OF EARTH MATERIALS SHALL NOT BE LOCATED ADJACENT TO DRAINAGE STRUCTURES.
3. ALL DISTURBED AREAS OUTSIDE OF THE PAVED AREAS WILL RECEIVE A MINIMUM OF 6" OF LOAM AND SEED.
4. THE CONTRACTOR SHALL PROVIDE AND MAINTAIN SURVEY LAYOUT SERVICES FOR THE WORK AND SHALL SUBMIT "AS-BUILT" DRAWINGS OF ALL WORK, WHICH SHALL BE STAMPED AND CERTIFIED BY A RHODE ISLAND REGISTERED PROFESSIONAL LAND SURVEYOR.
5. ANY ITEM OF WORK NOT SPECIFICALLY INDICATED ON THE PLANS BUT IS REQUIRED FOR THE COMPLETE CONSTRUCTION OF THE PROJECT WILL BE CONSIDERED INCIDENTAL TO THE CONTRACT AND INCLUDED IN THE CONTRACT BID PRICE. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING SITE CONDITIONS.
6. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS FOR ACTUAL SIZE OF THE PROPOSED BUILDING.
7. WHERE NECESSARY TO REMOVE CURBS, CATCH BASINS OR DRAINS TO COMPLETE WORK, THE CONTRACTOR SHALL REPLACE SUCH ITEMS TO THE SATISFACTION OF THE ENGINEER AT NO ADDITIONAL COST TO THE OWNER.
8. ANY EXISTING PIPE OR UTILITY DAMAGED BY THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED IMMEDIATELY BY THE CONTRACTOR AT NO COST TO THE OWNER OR ENGINEER.
9. THE CONTRACTOR SHALL RESTORE TO ITS ORIGINAL CONDITION OR REPLACE TREES, SHRUBS, FENCES, SIGNS, GUARDRAILS, DRIVEWAYS, SIDEWALKS AND ANY OTHER OBJECT AFFECTED BY THIS OPERATION.
10. THE TOPS OF ALL VALVE BOXES AND CURB BOXES SHALL BE FLUSH WITH GROUND OR PAVEMENT SURFACE LEVEL AND PLUMB, UNLESS OTHERWISE DIRECTED.
11. ROADWAYS SHALL BE LEFT PASSABLE AT ALL TIMES. CLOSURE OF ROADWAY IS NOT PERMITTED.
12. THE CONTRACTOR SHALL PROVIDE ACCESS TO ALL DRIVEWAYS AT COMPLETION OF EACH DAYS WORK.
13. WATER SERVICE SHALL BE MAINTAINED AT ALL TIMES.
14. ALL LEDGE TO BE REMOVED BY MECHANICAL MEANS.
15. ALL CONSTRUCTION WORK SHALL BE PERFORMED IN THE DRY. THE CONTRACTOR SHALL PROVIDE, OPERATE AND MAINTAIN ALL PUMPS, DRAINS, WET POINTS, SCREENS, OR OTHER FACILITIES NECESSARY TO CONTROL, COLLECT AND DISPOSE OF ALL SURFACE AND SUBSURFACE WATER ENCOUNTERED IN THE PERFORMANCE OF THE WORK.
16. REFER TO PLUMBING PLANS FOR CONTINUATION OF ALL UTILITIES WITHIN 5' (FIVE) FEET OF THE BUILDING.
17. ALL SITE WORK, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, 2013 EDITION (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).

MISCELLANEOUS UTILITY NOTES:

1. PRIOR TO CONSTRUCTION ALL POTENTIAL UTILITY/DRAINAGE CONFLICTS MUST BE IDENTIFIED BY THE CONTRACTOR. ANY MODIFICATIONS TO THE PROPOSED UTILITIES TO AVOID CONFLICTS MUST BE APPROVED BY THE ENGINEER PRIOR TO CONSTRUCTION. NO EXTRA PAYMENT TO THE CONTRACTOR DUE TO RELOCATION'S WILL BE AUTHORIZED.
2. THE UTILITY PLAN DOES NOT DEPICT THE NECESSARY ELECTRICAL CONDUIT/WIRING TO SERVICE THE PROPOSED LIGHTING AND SIGNS, WHICH WILL BE PERFORMED BY THE CONTRACTOR FOR NO ADDITIONAL COST.
3. OVERHEAD ELECTRIC AND TELEPHONE SERVICES ARE TO BE REMOVED BY THE APPROPRIATE UTILITY COMPANY AND COORDINATED BY THE CONTRACTOR.
4. THE CONTRACTOR SHALL AT ALL TIMES PROVIDE A SUFFICIENT NUMBER OF WORKMEN AND GUARDS AS MAY BE NECESSARY TO PROPERLY SAFEGUARD THE PUBLIC FROM THERE OPERATIONS.
5. THE CONTRACTOR SHALL TAKE PRECAUTIONS AGAINST DAMAGING OF PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES AND SHALL PROMPTLY REPAIR AT HIS OWN EXPENSE ANY DAMAGE TO SUCH PAVING, SIDEWALKS, UTILITIES, OR PRIVATE PROPERTIES TO THE SATISFACTION OF THE OWNER OR CITY.
6. EXISTING UTILITY FRAMES AND COVERS FOR SANITARY SEWER, WATER, GAS, STORM DRAINAGE AND OTHER UTILITIES SHALL BE ADJUSTED TO GRADE AS REQUIRED IN NEW PAVING AND PAVEMENT OVERLAY AREAS.

PROPOSED PAVEMENT STRUCTURE:

- CITY**
- 1.5" BITUMINOUS CONCRETE SURFACE COURSE CLASS I-1 (CLASS 12.5 HMA)
 - 2" BITUMINOUS CONCRETE BASE COURSE (CLASS 19 HMA)
 - 12" GRAVEL BORROW SUBBASE

ASPHALT EMULSION TACK COAT TO BE PLACED PRIOR TO SURFACE COURSE PAVING IF BINDER COURSE IS OPENED TO VEHICULAR USE, OR IF BINDER COURSE IS GREATER THAN 30 DAYS OLD.

LAYOUT NOTE:

THE LAYOUT SHOWN REPRESENTS A GRAPHICAL DESIGN, AND PRIOR TO THE CONSTRUCTION, THE CONTRACTOR SHALL ENGAGE A PROFESSIONAL LAND SURVEYOR (PLS) REGISTERED IN THE STATE OF RHODE ISLAND TO SET AND VERIFY ALL LINES AND GRADES. ALL EXISTING UTILITY LOCATIONS AND ELEVATIONS ARE TO BE CONFIRMED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY ITEMS FOUND WHICH DO NOT MATCH THE PLANS MUST BE BROUGHT TO THE ENGINEERS ATTENTION PRIOR TO CONSTRUCTION FOR REVIEW. NO WORK SHALL PROCEED UNTIL AUTHORIZED BY THE ENGINEER.

MAINTENANCE AND PROTECTION OF TRAFFIC NOTES:

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MAINTENANCE AND PROTECTION OF PEDESTRIAN AND VEHICULAR TRAFFIC INCLUDING POLICE PROTECTION. ALL TEMPORARY AND VEHICULAR SIGNS, BARRICADES AND LANE CLOSURES SHALL BE IN CONFORMANCE WITH THE LATEST REVISIONS OF MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.)
2. TEMPORARY CONSTRUCTION SIGNS AND ALL APPLICABLE TRAFFIC CONTROL DIVIDES SHALL BE IN PLACE PRIOR TO THE START OF WORK IN ANY AREA OPEN TO TRAFFIC.
3. THE PRIVATE VEHICLES OF CONSTRUCTION WORKERS SHALL NOT BE PARKED IN THE STATE OR CITY RIGHT-OF-WAY.
4. ALL MAINTENANCE AND PROTECTION OF TRAFFIC CONTROL SETUPS, SIGNS CHANNELING DEVICES, ETC, SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. 1988 EDITION. INCLUDING REVISION 3, SEPTEMBER 3, 1993 AND SUBSEQUENT ADDENDA.
5. SIGN MOUNTINGS SHALL BE IN ACCORDANCE WITH THE R.I.D.O.T. SPECIFICATIONS FOR TEMPORARY CONSTRUCTION SIGNS.

DRAINAGE AND SUBSURFACE DRAINAGE SYSTEM MAINTENANCE SCHEDULE:

UPON PROJECT COMPLETION, THE PROPERTY OWNER SHALL ADHERE TO THE FOLLOWING MAINTENANCE PLAN AND SCHEDULE:

1. CATCH BASINS, MANHOLES AND DRAIN LINES: AN INSPECTION MUST OCCUR ON AN ANNUAL BASIS BY QUALIFIED PERSONNEL TO ENSURE PROPER OPERATION. ANY DEFICIENCY NOTED DURING THE INSPECTION WILL BE IMMEDIATELY REPAIRED OR REPLACED. THE INSPECTION SHOULD, AS A MINIMUM, CONCENTRATE ON THE FOLLOWING:
 - * DAMAGE TO GRATE/ COVERS
 - * EVIDENCE OF STANDING WATER
 - * DEBRIS REMOVAL
 - * STRUCTURAL ALIGNMENT/ INTEGRITY
 - * OIL/WATER SEPARATORS
2. IF SEDIMENT OR ORGANIC DEBRIS BUILD-UP HAS LIMITED THE INFILTRATION CAPABILITIES OF THE UNDERGROUND INFILTRATION CHAMBERS OR TRENCHES TO BELOW THE DESIGN RATE THE SYSTEM MUST BE REMOVED AND RE-CONSTRUCTED. THE SYSTEMS BOTTOM SHOULD BE RESTORED ACCORDING TO ORIGINAL DESIGN SPECIFICATIONS.
3. SEDIMENT REMOVAL: ALL REMOVED SEDIMENT IS TO BE TESTED TO DETERMINE POLLUTANT CONTENT. THE SEDIMENT IS TO BE PROPERLY DISPOSED IN UPLAND AREAS BASED UPON THE TEST RESULTS AND LOCAL, STATE, AND FEDERAL REGULATIONS.

RIDOT

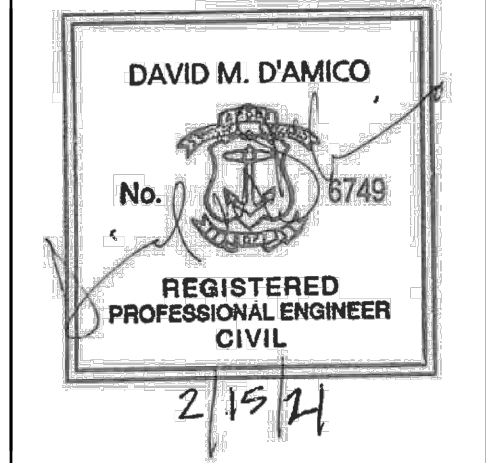
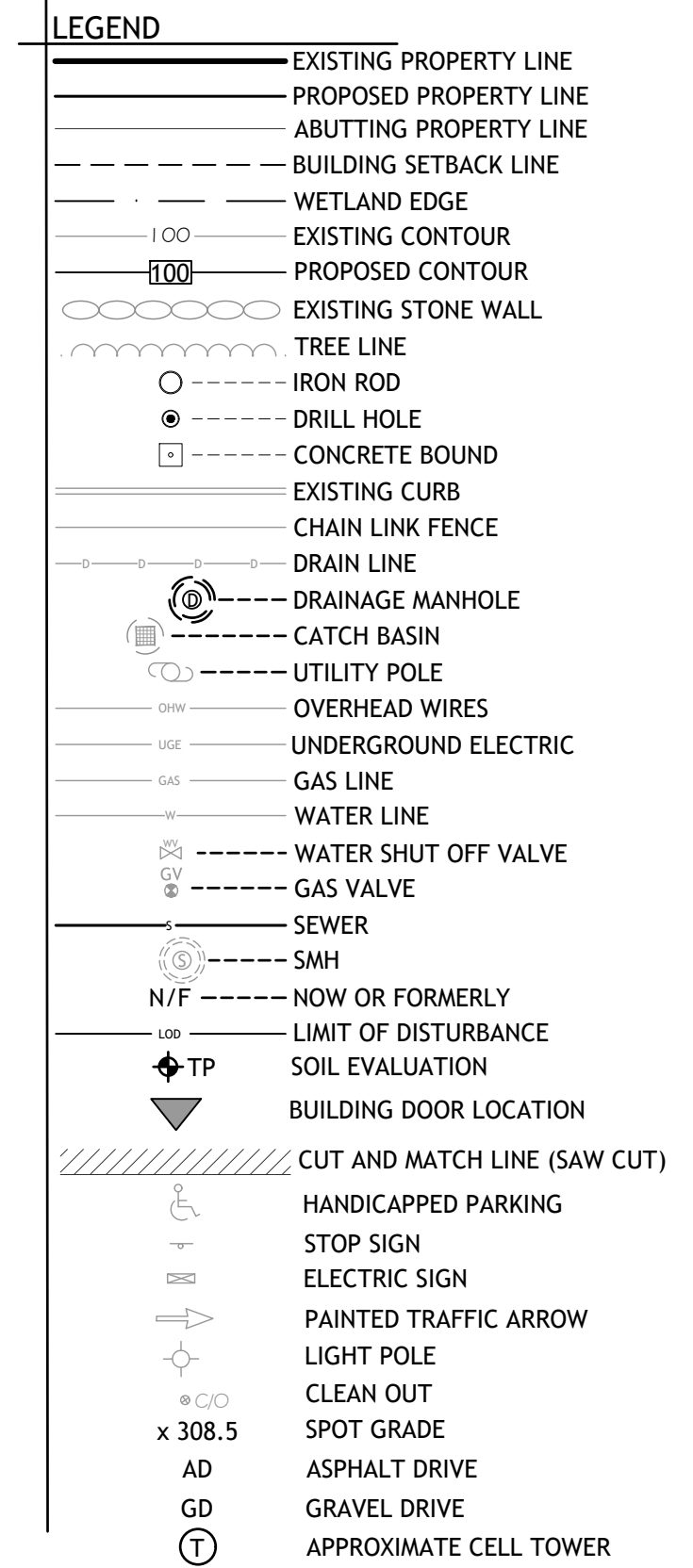
1. ALL WORK WITHIN THE STATE RIGHT-OF-WAY, INCLUDING BUT NOT LIMITED TO, BITUMINOUS PAVEMENT, ROADWAY CONSTRUCTION, AGGREGATE MATERIALS, DRAINAGE STRUCTURES, CURBING, SIDEWALK, LANDSCAPING, SAW CUTTING, ETC. SHALL CONFORM TO THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION, AMENDED AUGUST 2013 (WITH LATEST ADDENDA) AND THE RIDOT STANDARD DETAILS, 1998 EDITION (WITH LATEST ADDENDA).
2. PAVEMENT CUT AND MATCH LONGITUDINAL TERMINUS MUST BE LOCATED AT SHOULDER OR TRAVEL LANE EDGE LINES AND SHOULD NOT TERMINATE WITHIN A TRAVEL LANE.
3. A RIDOT UTILITY PERMIT APPLICATION AND APPROVAL IS REQUIRED FOR ANY UTILITY WORK (INCLUDING SEWER, WATER, GAS, ELECTRIC, ETC.) WITHIN THE STATE RIGHT-OF-WAY TO BE CONDUCTED BY THE CONTRACTOR.

WATER NOTES:

1. ALL INSTALLATIONS, JOINTS, CONSTRUCTION METHODS AND MATERIALS SHALL BE ACCORDING TO THE KENT COUNTY WATER AUTHORITY (KCWA) REQUIREMENTS, AWWA STANDARDS AND GOVERNMENTAL REQUIREMENTS.
2. INSTALLATION OF ALL WATER CONVEYANCES, MAINS, PIPES OR LINES SHALL BE IN ACCORDANCE WITH THE DUCTILE IRON PIPE RESEARCH ASSOCIATION'S INSTALLATION MANUAL AND ANSI/AWWA C600 AND ALL OTHER REQUIREMENTS OF THE KENT COUNTY WATER AUTHORITY.
3. ALL SYSTEM COMPONENTS AND CONSTRUCTION METHODS; SUCH AS PIPE, THRUST BLOCKS, FITTINGS, CASTINGS, ETC. SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL PRIOR TO PURCHASE AND INSTALLATION. THIS SUBMISSION SHALL INCLUDE MANUFACTURER'S LITERATURE, SHOP DRAWINGS, PROPOSED CONSTRUCTION METHODS, ETC.
4. WATER LINE TRENCH TO BE AWWA TYPE 5 A METALIZED DETECTABLE IDENTIFICATION TAPE 2" IN WIDTH, BLUE IN COLOR AND PRINTED WITH "CAUTION WATERLINE BURIED BELOW" SHALL BE UTILIZED OVER ALL MAINS. TAPE SHALL BE SET AT APPROXIMATELY 1' BELOW FINISHED GRADE.
5. THE CONTRACTOR SHALL RECEIVE VERIFICATION FROM THE ENGINEER AS TO THE APPROPRIATE SIZE OF THE DOMESTIC WATER AND FIRE PROTECTION LINE SHOWN ON THE PLANS PRIOR TO ORDERING WATER PIPE RELATED ITEMS.
6. SPECIFIC BENDS ARE SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ADDITIONAL BENDS AS NECESSARY TO INSTALL THE PIPE AT THE REQUIRED DEPTH AND ALIGNMENT.
7. INSPECTION OF ALL INSTALLATIONS SHALL BE CONDUCTED TO ENSURE COMPLIANCE WITH THE RULES AND REGULATIONS OF THE KENT COUNTY WATER AUTHORITY. KENT COUNTY WATER AUTHORITY EMPLOYEES SHALL BE GIVEN FULL ACCESS TO THE PROJECT AT ALL TIMES FOR INSPECTION OR OBSERVATION OF CONSTRUCTION IN PROGRESS AS DEEMED NECESSARY BY THE AUTHORITY. FAILURE TO CONSTRUCT THE NEW EXTENSION OF THE SYSTEM AS PER THE APPROVED DESIGN DRAWINGS OR KENT COUNTY WATER AUTHORITY'S RULES AND REGULATIONS WILL CAUSE IMMEDIATE CESSATION OF ALL CONSTRUCTION WORK. INSPECTION FEES MUST BE PAID IN FULL PRIOR TO COMMENCING INSTALLATION WORK.

GENERAL CONTRACTOR NOTES & REQUIREMENTS:

1. THE CONTRACTOR IS TO NOTIFY DIG SAFE PRIOR TO CONSTRUCTION.
2. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO CONSTRUCTION.
3. CONTRACTOR TO OBTAIN ALL FEDERAL, STATE, AND MUNICIPAL APPROVALS (IF APPLICABLE) PRIOR TO THE START OF CONSTRUCTION.
4. COMPACT, LOAM & SEED ALL DISTURBED AREAS. ADDITIONAL EROSION CONTROLS MAY BE REQUIRED BY THE SITE OR CITY ENGINEER.
5. AN APPROVED SET OF PLANS AND ALL APPLICABLE PERMITS MUST BE AVAILABLE AT THE CONSTRUCTION SITE. DEVIATIONS OR CHANGES WILL NOT BE ALLOWED UNLESS APPROVED BY THE ENGINEER OF RECORD.
6. THE CONTRACTOR SHALL VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. THE CONTRACTOR SHALL ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
7. METHODS AND MATERIALS USED IN THE CONSTRUCTION OF IMPROVEMENTS FOR THIS PROJECT SHALL CONFORM TO THE CURRENT CONSTRUCTION STANDARDS AND SPECIFICATIONS OF THE CITY OF WARWICK, KENT COUNTY WATER AUTHORITY AND THE RHODE ISLAND DEPARTMENT OF TRANSPORTATION.
8. THE CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION AND VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIALS SPECIFICATIONS AND SHALL NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
9. CONTRACTORS SHALL NOTIFY OPERATORS WHO MAINTAIN UNDERGROUND UTILITY LINES IN THE AREA OF PROPOSED EXCAVATION OR BLASTING AT LEAST TWO WORKING DAYS, BUT NOT MORE THEN TEN WORKING DAYS, PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION. ALL WATER, GAS, SEWER AND OTHER UTILITIES SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION.
10. THE CONTRACTOR AGREES THAT HE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER OF RECORD HARMLESS FROM ANY AND ALL LIABILITY, REAL AND ALLEGED IN CONNECTION WITH THE PERFORMANCE OF WORK ON THE PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
11. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE LOCATION OF ALL EXISTING UNDERGROUND UTILITIES AND TO TAKE WHATEVER STEPS NECESSARY TO PROVIDE FOR THEIR PROTECTION. THE ENGINEER HAS DILIGENTLY ATTEMPTED TO LOCATE AND INDICATE ALL EXISTING FACILITIES ON THESE PLANS; HOWEVER, THIS INFORMATION IS SHOWN FOR THE CONTRACTORS CONVENIENCE ONLY. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS OF UTILITIES SHOWN OR NOT SHOWN. THE CONTRACTOR SHALL CONTACT THE UTILITY COMPANIES FOR EXACT LOCATION OF THEIR UTILITIES PRIOR TO STARTING CONSTRUCTION. IT SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR AND REPLACE ANY AND ALL DAMAGED MADE TO UTILITIES BY THE CONTRACTOR.



**ZIRCON STREET EXTENSION
MINOR SUBDIVISION OF LAND
10 ZIRCON ST. AND 97 DRUM ROCK AVE.
AP. 244, LOT 8 AND 241
WARWICK, RHODE ISLAND**

REVISIONS:

NO.	DATE	DESCRIPTION
1	2-12-21	REVISED CUL-DE-SAC LAYOUT

DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: FEB. 2021
PROJECT NO: 19-0007-01

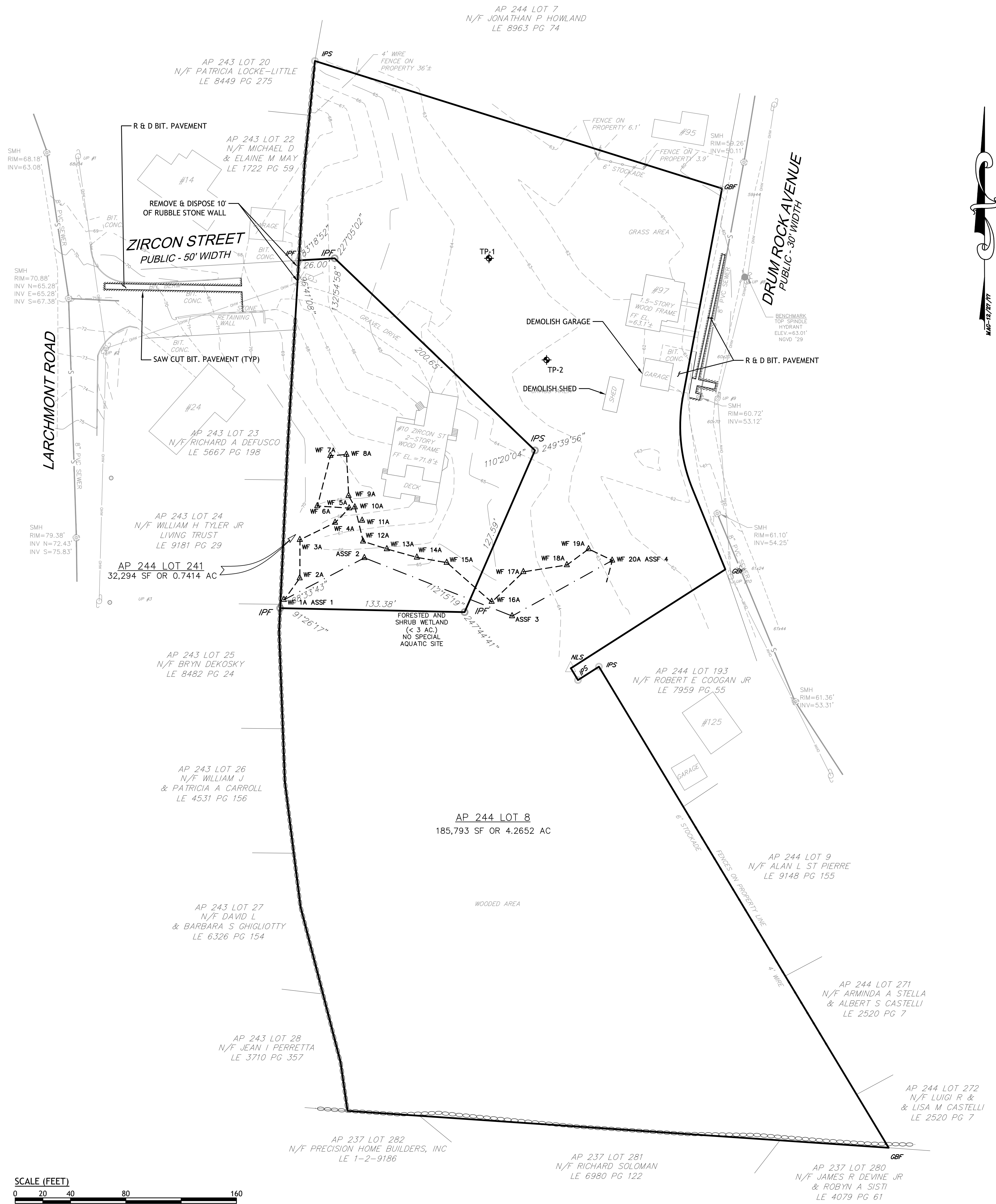
FINAL PLAN

GENERAL NOTES AND LEGEND PLAN

SHEET 2 OF 12

NOTES:

1. INFORMATION BY DETEC PROVIDED ON THIS EXISTING CONDITIONS PLAN IS TO AUGMENT THE BASE SURVEY FOR PERMITTING AND DESIGN WITH THE ADDITION OF SITE SPECIFIC FEATURES AND SITE UTILITIES TAKEN FROM RECORDS AND SITE ON-THE-GROUND MEASUREMENTS. THE PE STAMP IS AFFIXED FOR THIS INFORMATION ONLY.
2. DEMOLITION INFORMATION DEVELOPED BY DETEC.
3. BASED ON FEMA FLOOD INSURANCE RATE MAP (FIRM) FOR THE CITY OF WARWICK; COMMUNITY-PANEL NUMBER 44003 C0129 J DATED OCTOBER 2, 2015, THE SITE IS LOCATED IN ZONE X AND OUTSIDE FLOOD ZONES "A, AE, AH OR AO" OTHER AREAS (AREAS DETERMINED TO BE INSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).



CLASS I PROPERTY LINE AND III TOPOGRAPHIC SURVEY CONDUCTED BY:

ENGELHARDT SURVEYING, LLC.
 18 TIMBERLINE DRIVE
 WARWICK, RI 02886
 PHONE 401-467-1940

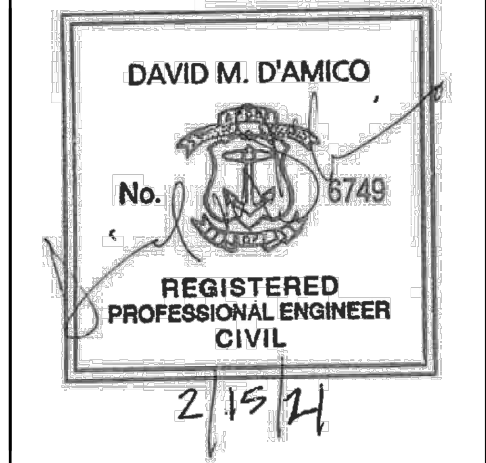
ZONING INFORMATION TABLE:

ZONING CRITERIA	REQUIRED	EXIST. LOT 8	EXIST. LOT 241
ZONING DISTRICT	A-10	A-10	A-10
MINIMUM LOT AREA	10,000 SF	185,793 SF	32,294 SF
MINIMUM LOT FRONTAGE	100**	284.09'	50.3'
MINIMUM LOT WIDTH	100**	299.8'	253.4'
MIN. FRONT/CORNER YARD SETBACK	25'	13.6'	72.6'
MIN. SIDE YARD SETBACK	15'	73.2'	10.5'
MIN. REAR YARD SETBACK	20'	110.6'	53.6'
MAXIMUM BUILDING HEIGHT	35'	< 35'	< 35'

* EXISTING NON-CONFORMING DIMENSION OF RECORD
 ** FOR LOTS FRONTING A CUL-DE-SAC 80% OF THE REQUIREMENT



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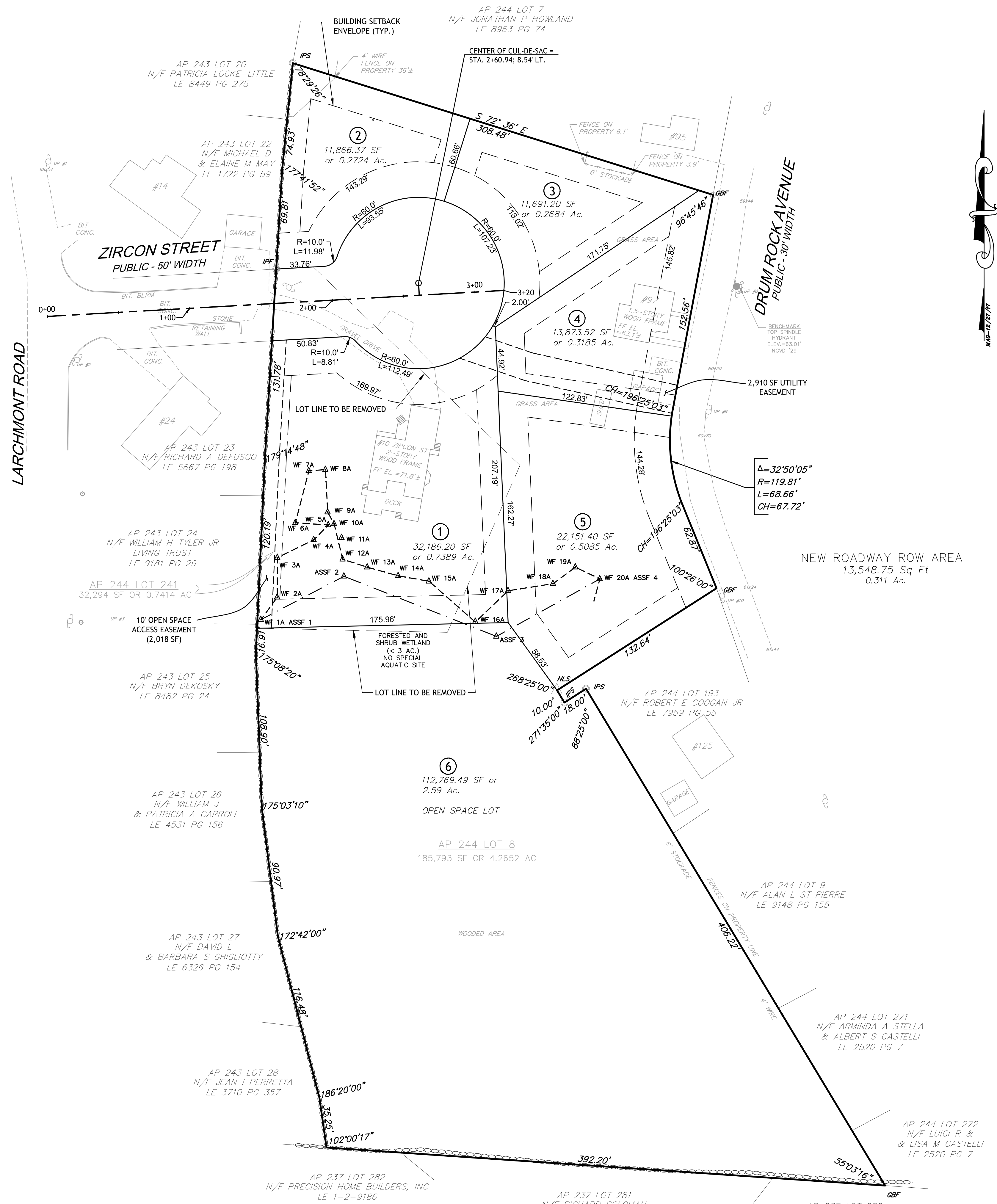
**ZIRCON STREET EXTENSION
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 10 ZIRCON ST. AND 97 DRUM ROCK AVE.
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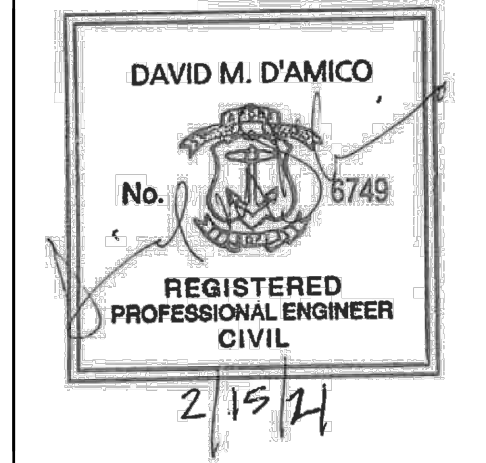
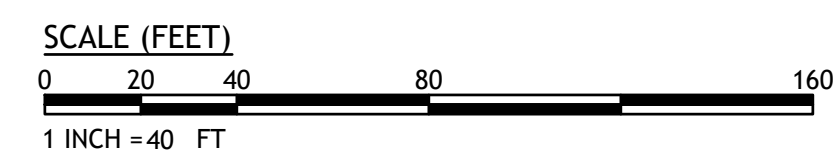
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ZONING INFORMATION TABLE:

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ZONING DISTRICT	A-10	A-10	A-10	A-10
MINIMUM LOT AREA	10,000 SF	185,793 SF	32,294 SF	> 10,000 SF
MINIMUM LOT FRONTAGE	100'	284.09'	50.3'	> 100'
MINIMUM LOT WIDTH	100'	299.8'	253.4'	> 100'
MIN. FRONT/CORNER YARD SETBACK	25'	13.6'	72.6'	> 25'
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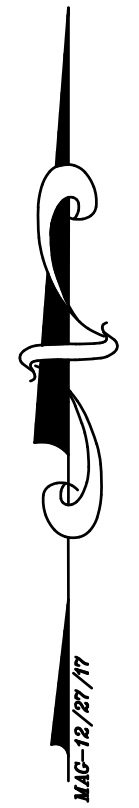
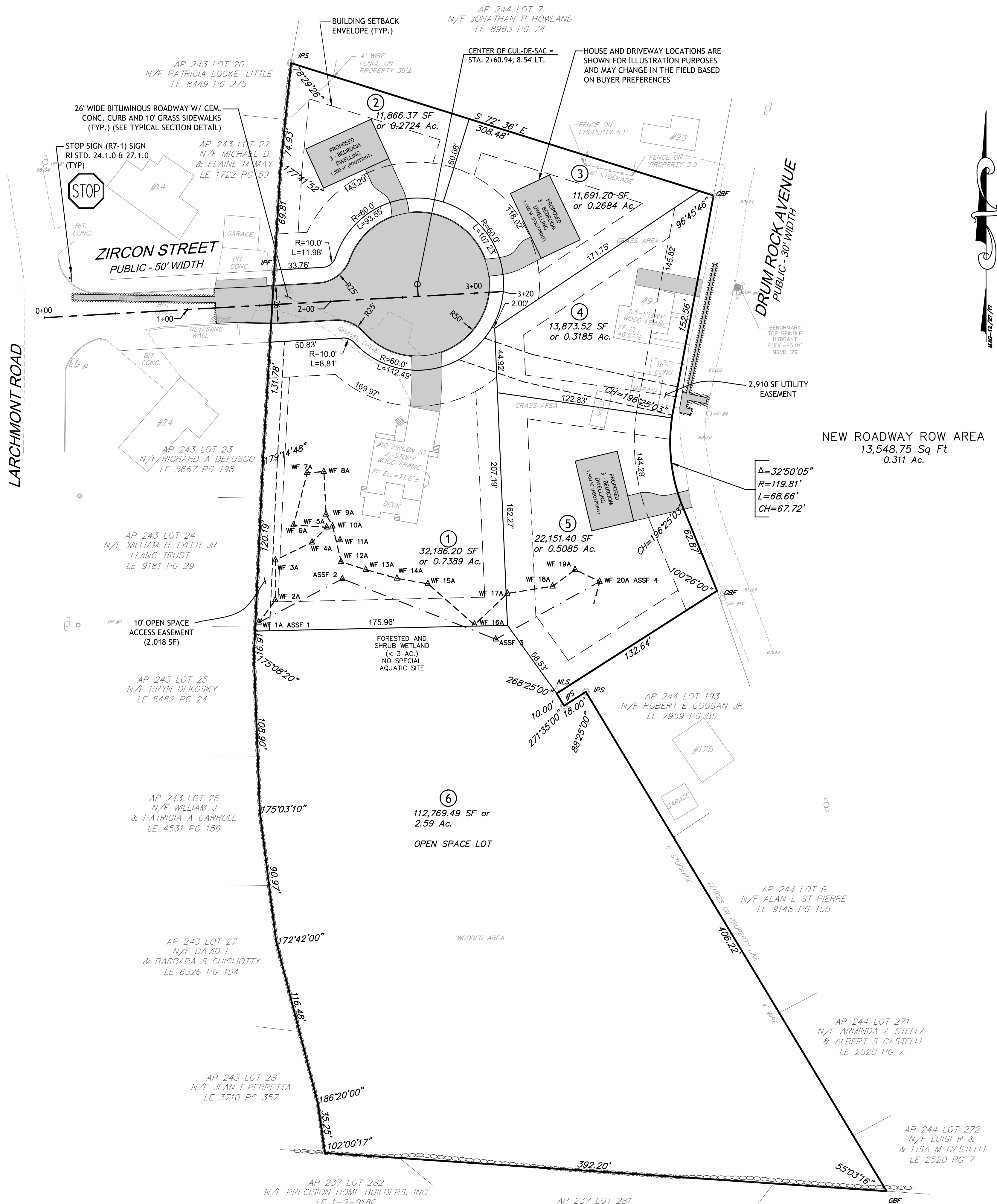
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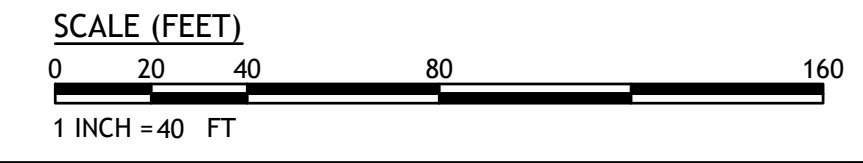
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* EXISTING NON-CONFORMING DIMENSION OF RECORD
 ** FOR LOTS FRONTING A CUL-DE-SAC 80% OF THE REQUIREMENT



DEtec.
 D'AMICO ENGINEERING TECHNOLOGY, INC.
 Civil, Transportation - Land Use
 2080 Mineral Springs Rd., North Providence, RI 02911
 (401) 923-4470 fax (401) 923-1190 www.damicoengineering.com

DAVID M. D'AMICO
 No. 5749
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 2/15/21

**ZIRCON STREET EXTENSION
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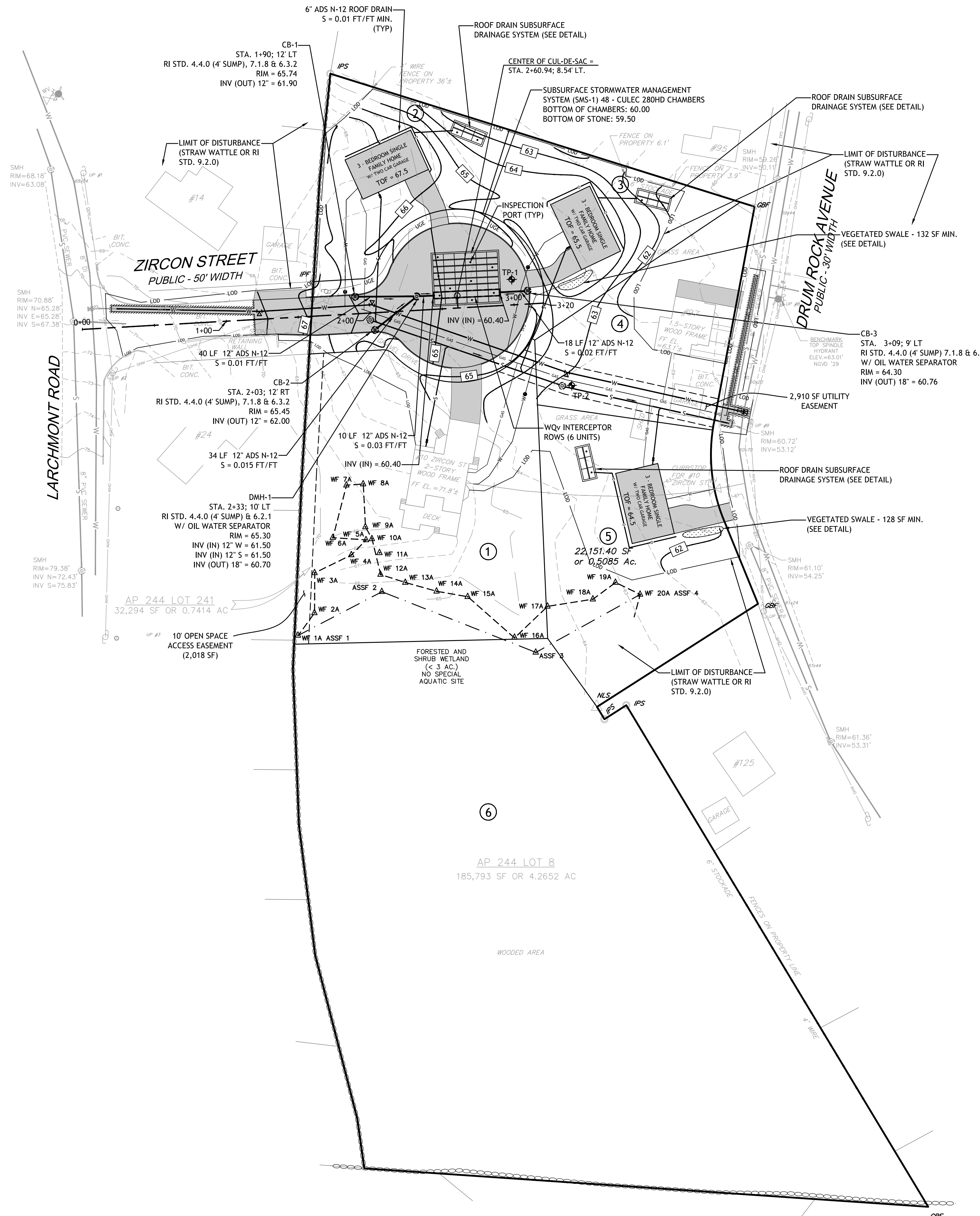
DESIGNED BY: DMD
 DRAWN BY:
 CHECKED BY: DMD
 DATE: FEB. 2021
 PROJECT NO: 19-0007-01

FINAL PLAN

SITE PLAN

SHEET 5 OF 12

NOTE:
 THE LOCATION AND DEPTHS OF EXISTING UTILITIES ARE APPROXIMATE AND HAVE BEEN PLOTTED FROM THE LATEST AVAILABLE INFORMATION. THE UTILITY LOCATIONS ARE APPROXIMATE AND MAY NOT BE ALL INCLUSIVE. THE CONTRACTOR SHALL CHECK AND VERIFY THE LOCATION OF ALL EXISTING UTILITIES, BOTH OVERHEAD AND UNDERGROUND, AND "DIG-SAFE" MUST BE NOTIFIED PRIOR TO COMMENCING ANY CONSTRUCTION OPERATIONS. RESTORATION AND REPAIR OF DAMAGE TO EXISTING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR WITH NO ADDITIONAL COST TO THE OWNER. NO EXCAVATION SHALL COMMENCE UNTIL ALL INVOLVED UTILITY COMPANIES AND/OR TOWN WHOSE FACILITIES MIGHT BE AFFECTED BY ANY WORK TO BE PERFORMED BY THE CONTRACTOR ARE NOTIFIED AT LEAST 72 HOURS IN ADVANCED.



TEST HOLE DATA TABLE

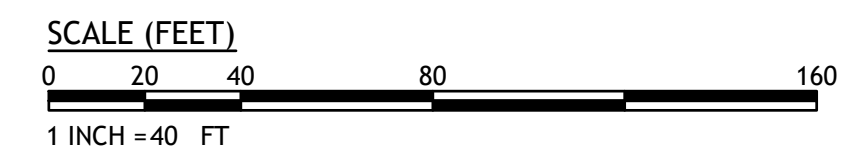
TH	ELEV	SHGWT
1	63.5	55.5
2	62.8	54.8

SOIL EVALUATIONS CONDUCTED BY:
 ECOSYSTEM SOLUTIONS, INC.
 24 KENMORE ST.
 WEST WARWICK, RI 02893

- UTILITY NOTES:**
1. GAS, ELECTRIC AND COMMUNICATIONS SERVICE TO BE DESIGNED BY NATIONAL GRID. THE LOCATIONS SHOWN ON THIS PLAN IS FOR CONFLICT PLANNING ONLY AND OR APPROXIMATE.

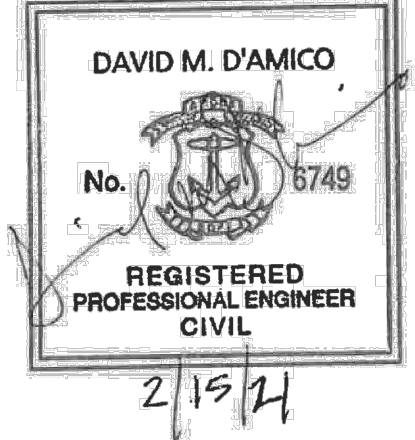


LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL **DIGSAFE** AT **1-888-DIG-SAFE** OR **1-888-344-7233**



N:\19-0007_S&I_Prel\11101 Drum Rock Ave\Zircon Street Extension Preliminary 2 Plan Set 2-12-21.dwg Feb. 15, 2021 11:47am

DEtec.
 D'AMICO ENGINEERING TECHNOLOGY, INC.
 Civil - Transportation - Land Use
 2080 Mineral Spring Ave., North Providence, RI 02911
 (401) 622-1470 (401) 355-1160 fax www.damicoeng.com



**ZIRCON STREET EXTENSION
 MINOR SUBDIVISION OF LAND
 10 ZIRCON ST. AND 97 DRUM ROCK AVE.
 AP. 244, LOT 8 AND 241
 WARWICK, RHODE ISLAND**

REVISIONS:

NO.	DATE	DESCRIPTION
1	2-12-21	REVISED CUL-DE-SAC LAYOUT

DESIGNED BY: DMD
 DRAWN BY:
 CHECKED BY: DMD
 DATE: FEB. 2021
 PROJECT NO: 19-0007-01

FINAL PLAN

GRADING AND DRAINAGE PLAN

SHEET 6 OF 12

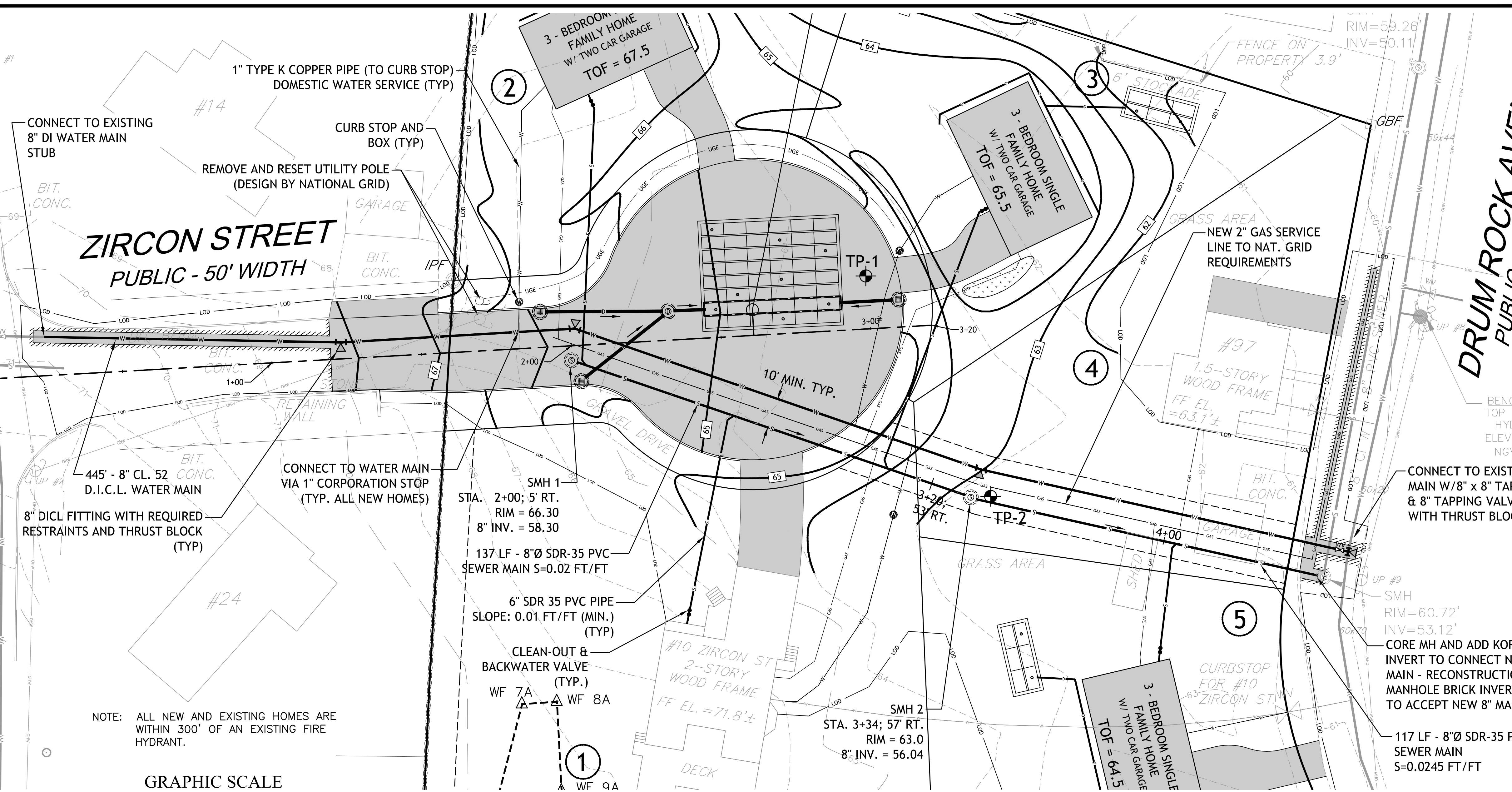
SMH
RIM=68.18'
INV=63.08'

SMH
RIM=70.88'
INV N=65.28'
INV E=65.28'
INV S=67.38'

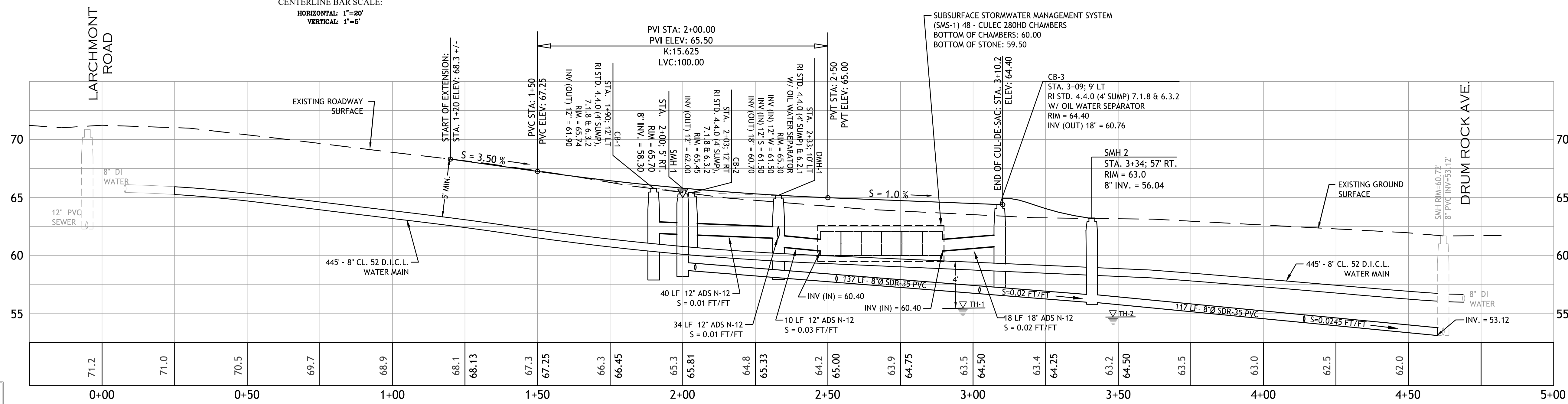
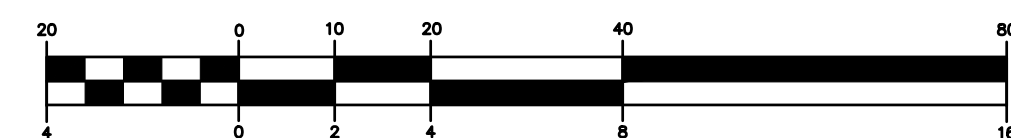
LARCHMONT ROAD

ZIRCON STREET
PUBLIC - 50' WIDTH

DRUM ROCK AVENUE
PUBLIC - 30' WIDTH



GRAPHIC SCALE



ZIRCON STREET EXTENSION PROFILE VIEW

Detec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil - Transportation - Land Use
2080 Mineral Spring Ave., North Providence, RI 02911
(401) 622-1470 (401) 363-1190 fax www.damicoengtec.com

DAVID M. D'AMICO
No. 6749
REGISTERED PROFESSIONAL ENGINEER CIVIL
2/15/11

ZIRCON STREET EXTENSION
MINOR SUBDIVISION OF LAND
10 ZIRCON ST. AND 97 DRUM ROCK AVE.
AP. 244, LOT 8 AND 241
WARWICK, RHODE ISLAND

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DRAWN BY:
CHECKED BY: DMD
DATE: FEB. 2021
PROJECT NO: 19-0007-01

FINAL PLAN

PLAN AND PROFILE PLAN

SHEET
7 OF 12

N:\19-0007-Sal_Pc\190101 Drum Rock Ave\Zircon Street Extension Preliminary 2 Plan Set 2-12-21.dwg Feb. 15, 2021 11:48am

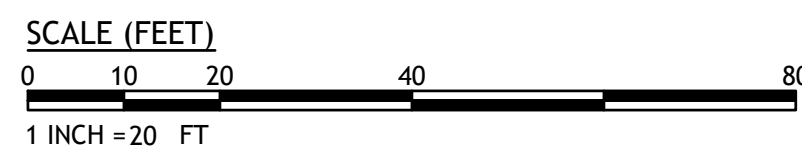
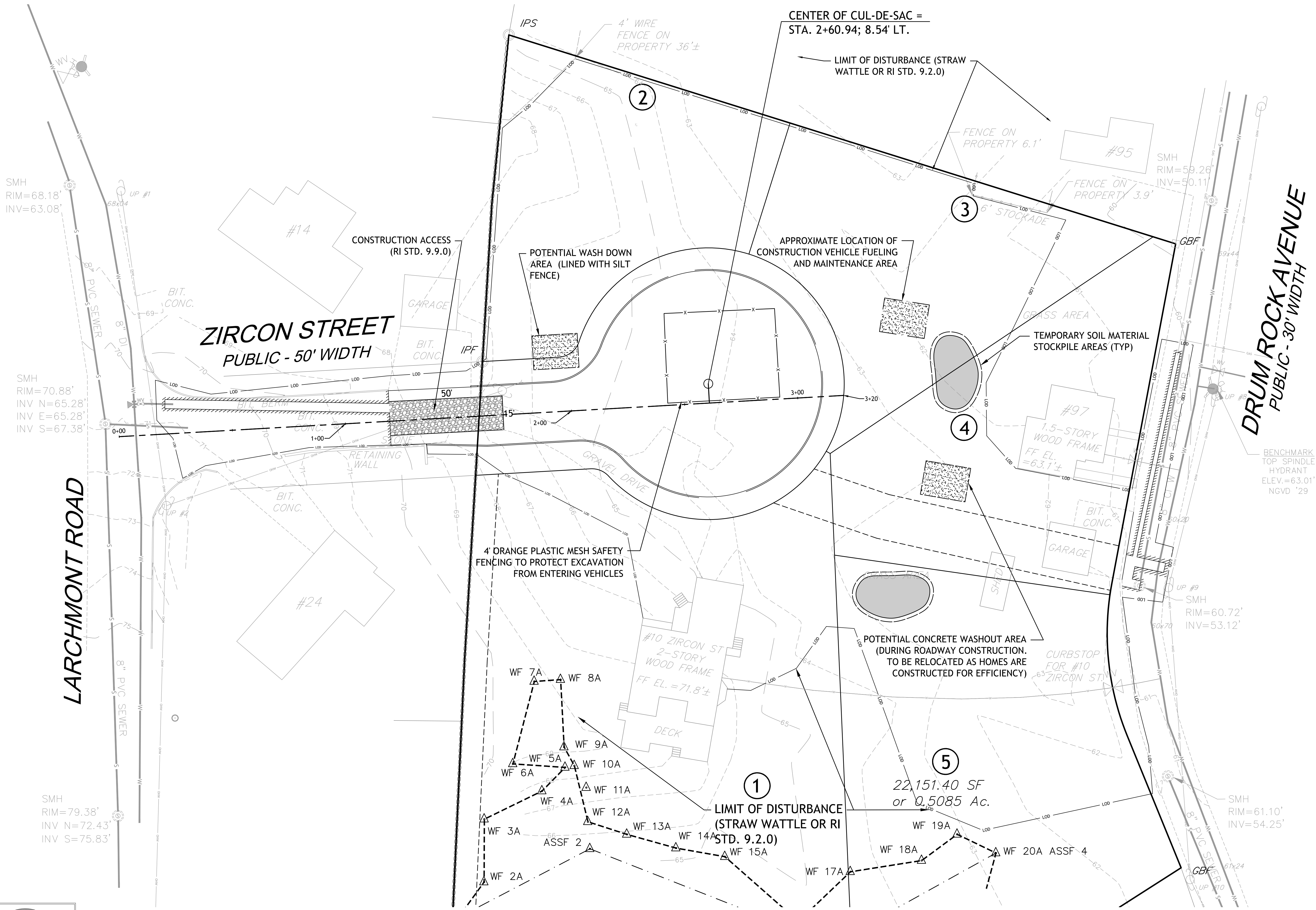


LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE, EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233

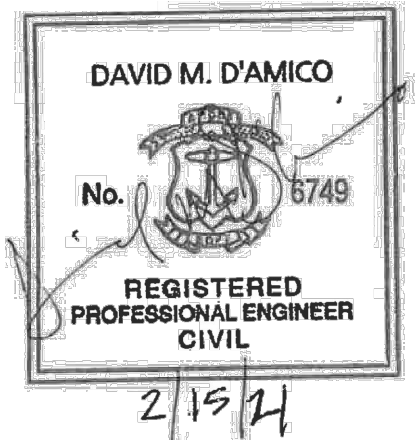
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LOCATION OF EXISTING UTILITIES SHOWN, ARE FROM GATE LOCATION AND EXISTING DOCUMENTATION AND MAY NOT BE ACCURATE. EXACT LOCATION TO BE DONE BY THE APPROPRIATE UTILITY COMPANY OR MUNICIPALITY PRIOR TO ANY EXCAVATION CALL DIGSAFE AT 1-888-DIG-SAFE 1-888-344-7233



Detec.
 D'AMICO ENGINEERING TECHNOLOGY, INC.
 Civil, Transportation, Land Use
 2080 Mineral Spring Ave., North Providence, RI 02911
 (401) 822-1470 (401) 952-1190 fax www.damicoengineering.com



**ZIRCON STREET EXTENSION
 MINOR SUBDIVISION OF LAND
 10 ZIRCON ST. AND 97 DRUM ROCK AVE.
 AP. 244, LOT 8 AND 241
 WARWICK, RHODE ISLAND**

REVISIONS:

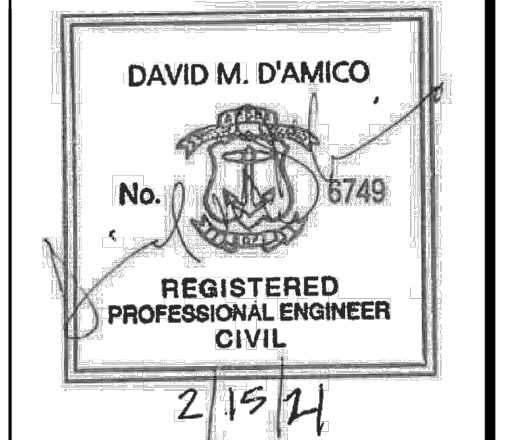
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 CHECKED BY: DMD
 DATE: FEB. 2021
 PROJECT NO: 19-0007-01

FINAL PLAN

**SOIL EROSION
 AND SEDIMENT
 CONTROL
 PLAN**

**SHEET
 8 OF 12**



**ZIRCON STREET EXTENSION
 MINOR SUBDIVISION OF LAND
 10 ZIRCON ST. AND 97 DRUM ROCK AVE.
 AP. 244, LOT 8 AND 241
 WARWICK, RHODE ISLAND**

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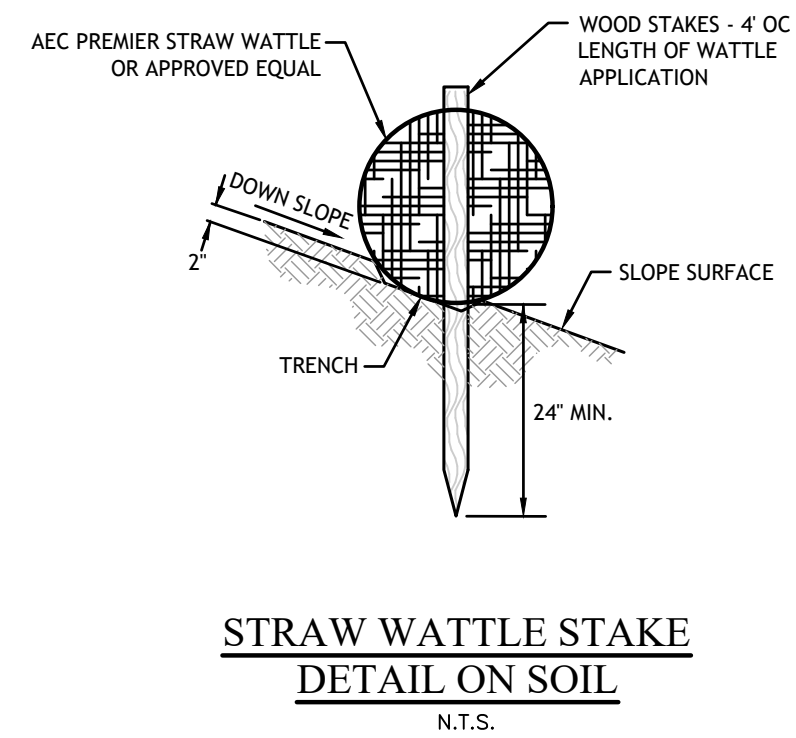
FINAL PLAN
SOIL EROSION CONTROL DETAILS
SHEET 9 OF 12

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

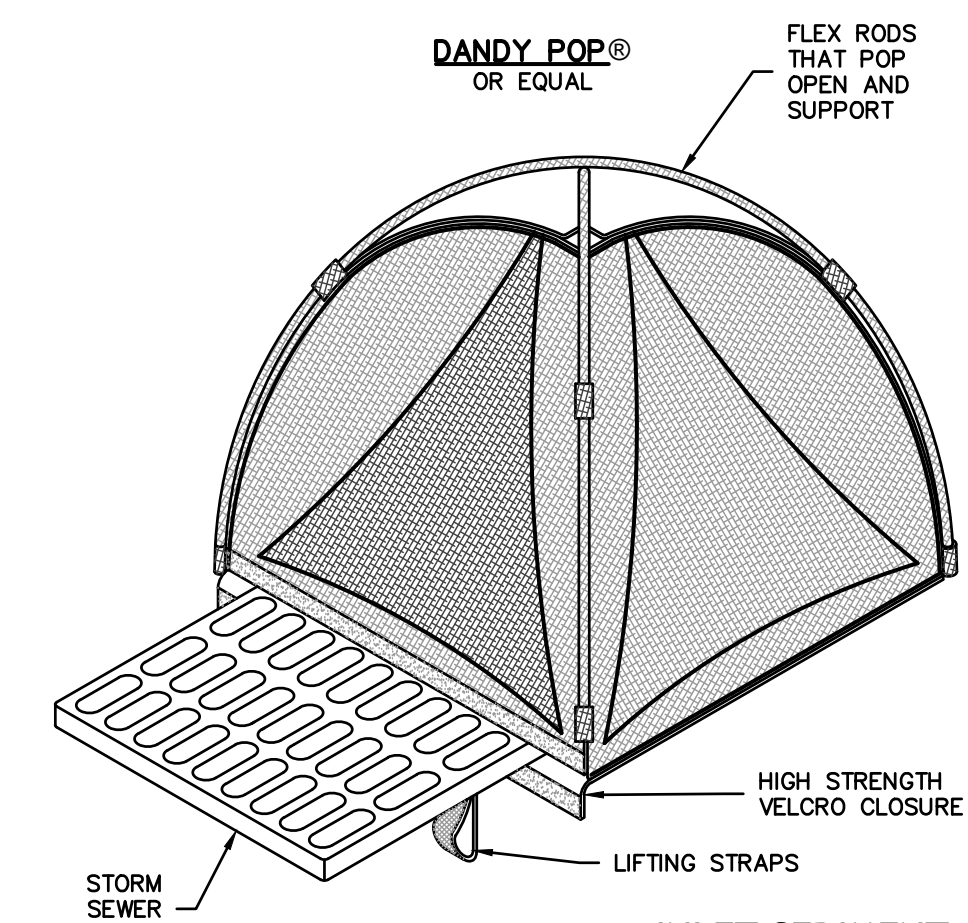
- THE HAYBALE, WATTLE AND SILT FENCE LINE ILLUSTRATED ON THESE PLANS SHALL SERVE AS THE STRICT LIMIT OF DISTURBANCE FOR THE PROJECT WITHIN OR ADJACENT TO REGULATED FRESHWATER WETLAND AREAS.
- THE LIMITS OF CLEARING, GRADING, AND DISTURBANCE SHALL BE KEPT TO A MINIMUM WITHIN THE PROPOSED AREA OF CONSTRUCTION. ALL AREAS OUTSIDE OF THESE LIMITS, AS DEPICTED ON THE PLAN SHALL BE TOTALLY UNDISTURBED, TO REMAIN IN NATURAL CONDITION.
- ALL CATCH BASINS AND CULVERTS SHALL BE PROTECTED WITH STAKED HAYBALES (R.I. STD. 9.8.0) DURING CONSTRUCTION ACTIVITIES. ALL PROPOSED STORM WATER DISCHARGE AREAS SHALL BE LINED WITH A RIPRAP SPLASH PAD AND PROTECTED WITH STAKED HAYBALE OUTLET PROTECTION (R.I. STD. 9.1.0), OR STAKED HAYBALE WITH SILT FENCE (R.I. STD. 9.3.0) SHALL ALSO BE INSTALLED AT ALL EXISTING STORMWATER DISCHARGE LOCATIONS WHERE DISTRIBUTING PIPES, CATCH BASINS, AND MANHOLES ARE TO BE CLEANED AND FLUSHED.
- ALL DISTURBED SLOPES EITHER NEWLY CREATED OR CURRENTLY EXPOSED SHALL BE SEEDED, PROTECTED AND MAINTAINED BY THE CONTRACTOR. THE CONTRACTOR SHALL REGULARLY CHECK ALL SEEDED AREAS TO ENSURE THAT A GOOD STAND IS MAINTAINED.
- ALL HAYBALES, TEMPORARY TREATMENT (HAY, STRAW, ETC.) AND TEMPORARY EROSION PROTECTION SHALL BE MAINTAINED BY THE CONTRACTOR THROUGHOUT CONSTRUCTION AND SHALL REMAIN IN PLACE UNTIL AN ACCEPTABLE STAND OF GRASS OR APPROVED GROUND COVER IS ESTABLISHED.
- STOCKPILES OF TOPSOIL SHALL NOT BE LOCATED NEAR WATERWAYS. THEY SHALL HAVE SIDE SLOPES OF NO GREATER THAN 2:1 AND SHALL BE TEMPORARILY SEEDED AND/OR STABILIZED PER CONTRACT SPECIFICATIONS.
- THE HAYBALES SHALL BE CHECKED BY THE CONTRACTOR ON A WEEKLY BASIS AND AFTER EACH STORM FOR UNDERMINING OR DETERIORATION. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY HAYBALES AS NEEDED. THE CONTRACTOR SHALL CLEAN THE ACCUMULATED SEDIMENT IF HALF OF THE ORIGINAL HEIGHT OF THE HAY-BALES BECOMES FILLED WITH SEDIMENTS.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE FOR THE ENTIRE DURATION OF THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL FOLLOW THE DIRECTION OF THE ENGINEER OR OWNER'S REPRESENTATIVE WITH REGARD TO INSTALLATION, MAINTENANCE, AND REPAIR OF ALL SOIL EROSION AND SEDIMENTATION CONTROLS ON THE PROJECT SITE. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROLS (HAYBALES, SILT FENCE, ETC.) SHALL BE MAINTAINED UNTIL ALL EXPOSED SOILS ARE SATISFACTORILY STABILIZED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AND/OR RESEEDING ALL AREAS THAT DO NOT DEVELOP WITHIN ONE YEAR FROM THE COMPLETION OF CONSTRUCTION.
- ALL REFERENCED SOIL EROSION AND SEDIMENTATION CONTROLS INCLUDING MATERIALS USED, APPLICATION RATES AND THE INSTALLATION PROCEDURES SHALL BE PERFORMED PER THE "RHODE ISLAND EROSION AND SEDIMENTATION HANDBOOK", DATED 1989, REVISED 2014.

BMP MAINTENANCE SCHEDULE

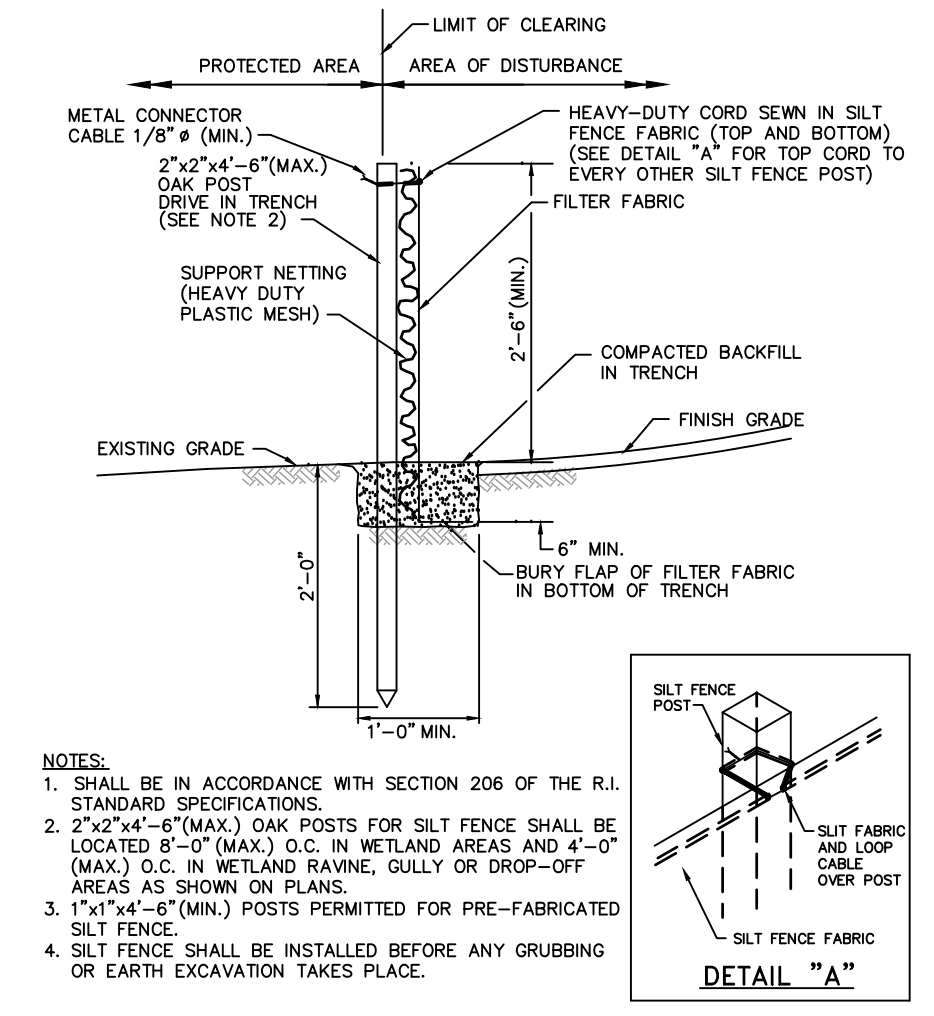
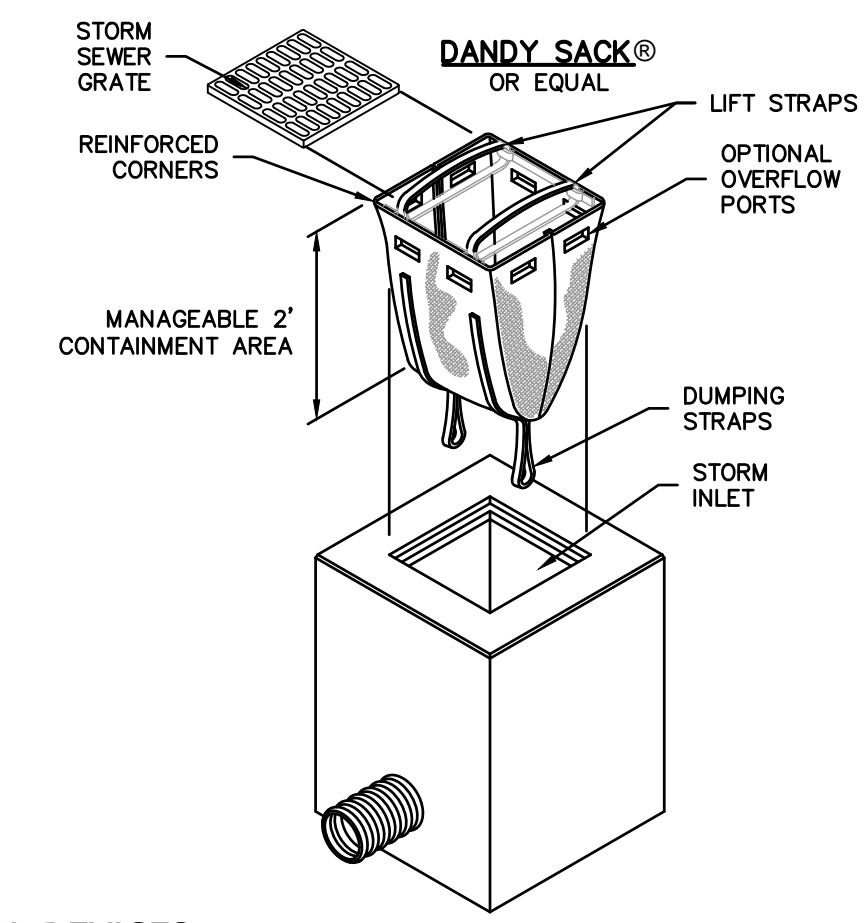
- ALL MAINTENANCE (INCLUDING CLEANING) REQUIRED DURING THE CONSTRUCTION PHASE OF THE PROJECT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONSTRUCTION EQUIPMENT AND TRAFFIC SHALL BE RESTRICTED FROM TRAVELING OVER THE INFILTRATION TRENCH AND/OR SUBSURFACE CHAMBER AREAS TO MINIMIZE COMPACTION OF THE SOIL.
- MEASURES NEEDED TO ENSURE THE PROPER OPERATION OF THE STORMWATER DRAINAGE SYSTEMS AND WATER QUALITY CONTROL SYSTEMS TO INCLUDE INSPECTION, CLEANING AND REPAIRS TO ALL PIPES, INTAKE AND DISCHARGE STRUCTURES (INCLUDING RIP-RAP SPLASH PADS), CATCH BASIN SUMPS, AND MANHOLES.
- INSPECTION OF ALL SLOPES, BERMS, AND OTHER CONTROL STRUCTURES (INCLUDING ROADWAY SIDE SLOPES, FOR STRUCTURAL INTEGRITY, STABILITY AND EVIDENCE OF SOIL EROSION, SHALL INCLUDE MAINTENANCE OF THESE STRUCTURES IF NECESSARY. INSPECTIONS SHALL BE PERFORMED FOLLOWING ALL RAIN EVENTS OF 1/2 INCH RAINFALL OR MORE IN A 24-HOUR PERIOD, OR BIMONTHLY IF NO RAINFALL EVENT OCCURS.
- UPON COMPLETION OF PROJECT CONSTRUCTION, AND PRIOR TO VACATING THE SITE, THE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION, REPAIR ANY VEGETATIVE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES, (SEEDING, PLANTING, ETC.) WHERE REQUIRED, AND REPAIR (OR REMOVE WHERE APPROPRIATE) ANY TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL DEVICES. AFTER PERMANENT SOIL STABILIZATION ON THE ENTIRE SITE HAS OCCURRED, ALL TEMPORARY CONTROL MEASURES MUST BE REMOVED.
- AFTER THE COMPLETION OF PROJECT CONSTRUCTION AND THE FINAL STABILIZATION OF THE ENTIRE SITE, THE INSPECTION AND MAINTENANCE OF ALL STORMWATER FACILITIES MUST BE PERFORMED.
- REPLANTING, REGRADING, OR OTHER REPAIRS NEEDED AS A RESULT OF SOIL EROSION AND SEDIMENTATION PROCESSES SHALL BE DONE PROMPTLY TO ENSURE PROPER FUNCTIONING OF THE ENTIRE SYSTEM.
- ANY TRASH, DEBRIS, ETC. SHOULD BE REMOVED FROM ANY WETLAND AREAS, SWALE, AND PIPE OUTLETS.
- ALL DISTURBED AREAS WILL BE LOAMED AND SEEDED UNLESS DIRECTED OTHERWISE.



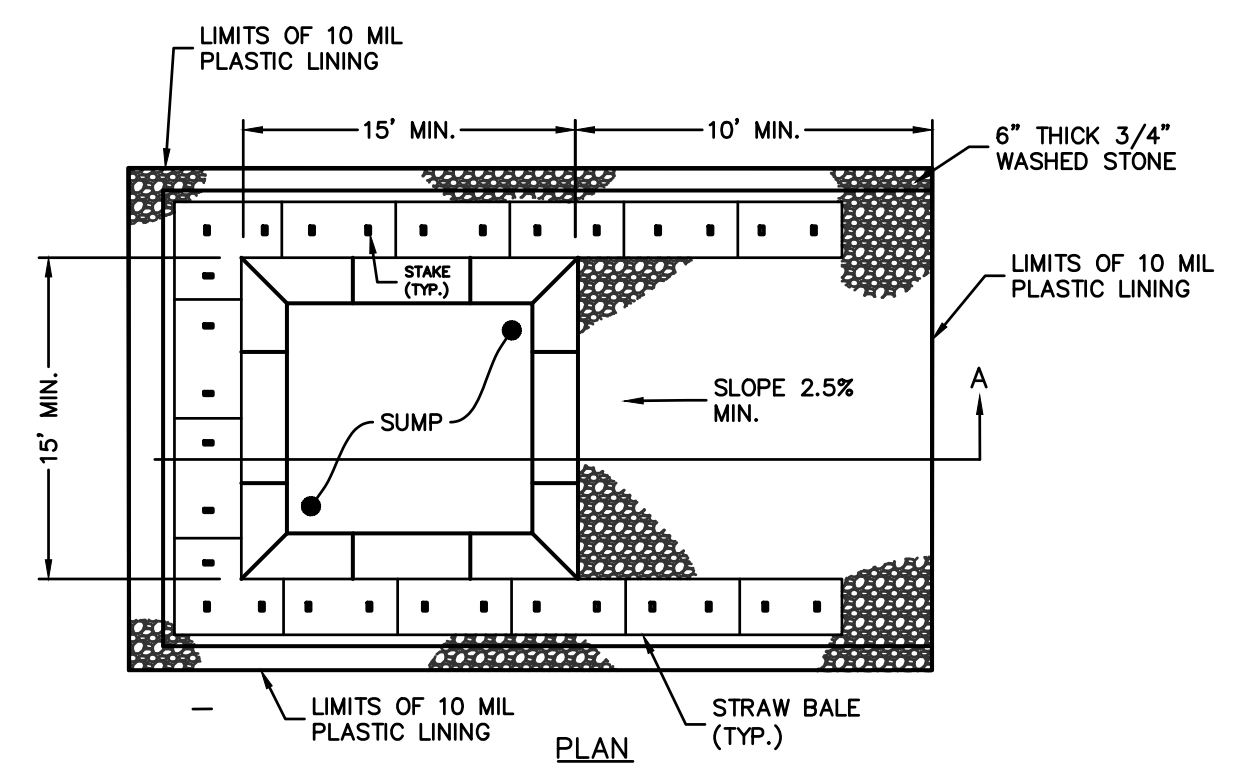
**STRAW WATTLE STAKE
 DETAIL ON SOIL**
 N.T.S.



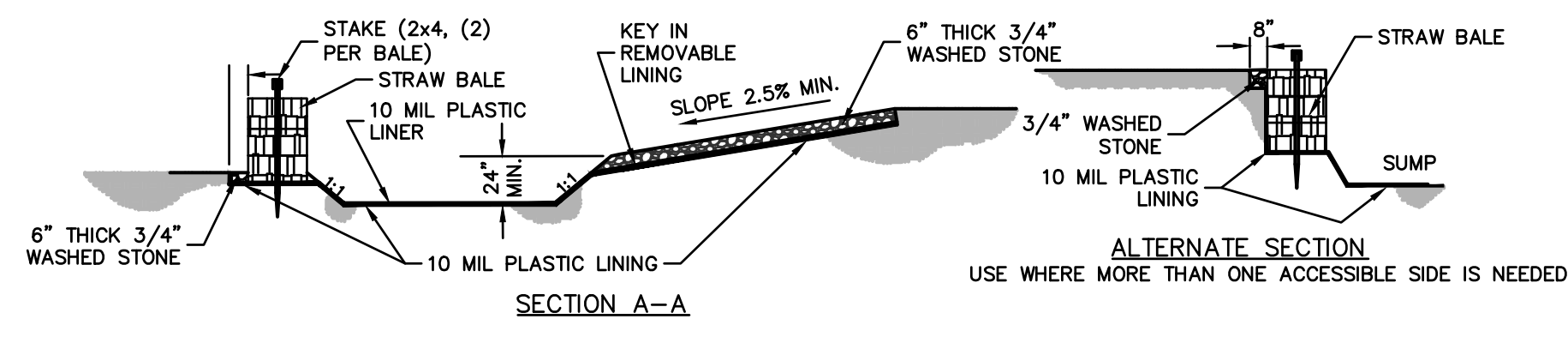
INLET SEDIMENT CONTROL DEVICES
 NOT TO SCALE



694 SILT FENCE DETAIL
 R.I. STANDARD 9.2.0



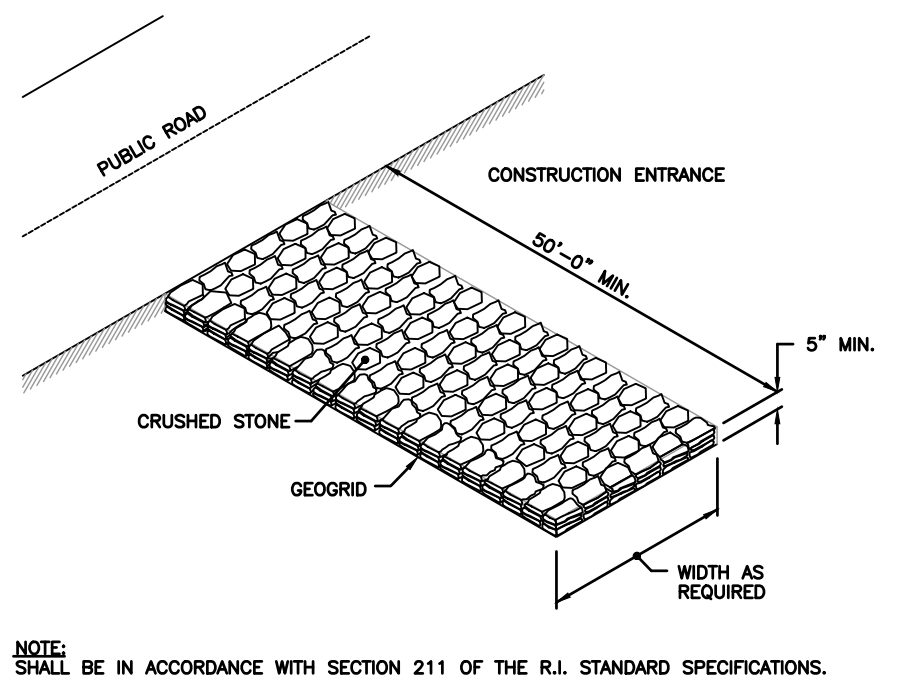
WASHOUT SIGN



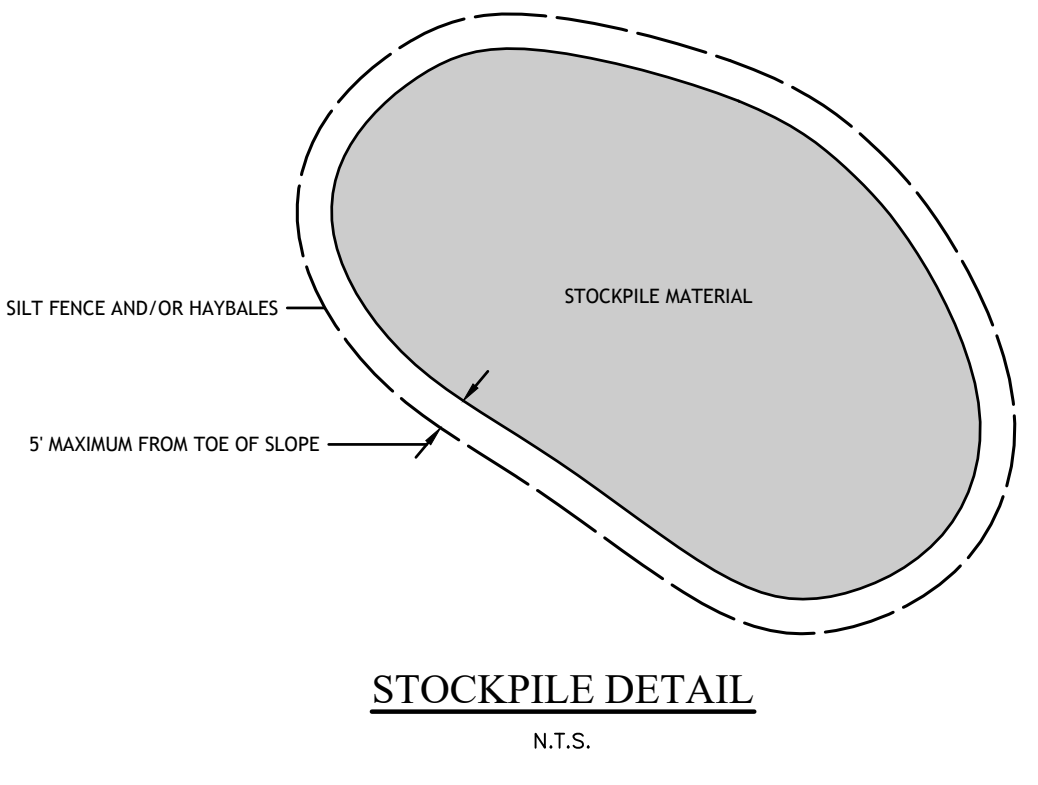
NOTES:

- PIT IS SPECIFICALLY DESIGNATED, DIKED AND CONTAINED TO PREVENT CONTACT BETWEEN CONCRETE WASH AND STORMWATER.
- WASH WATER SHALL NOT BE ALLOWED TO FLOW TO SURFACE WATER.
- FACILITY MUST HOLD SUFFICIENT VOLUME TO CONTAIN CONCRETE WASTE WITH A MINIMUM FREEBOARD OF 12\"/>

CONCRETE WASHOUT AREA
 (NOT TO SCALE)

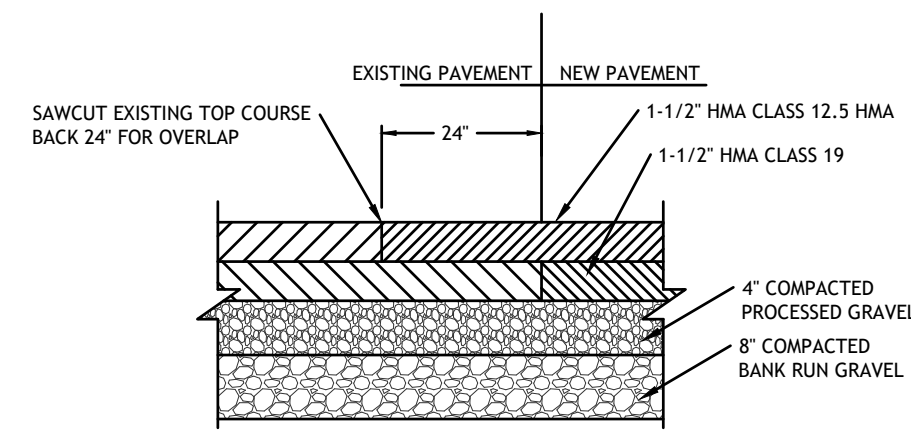


CONSTRUCTION ACCESS
 N.T.S.

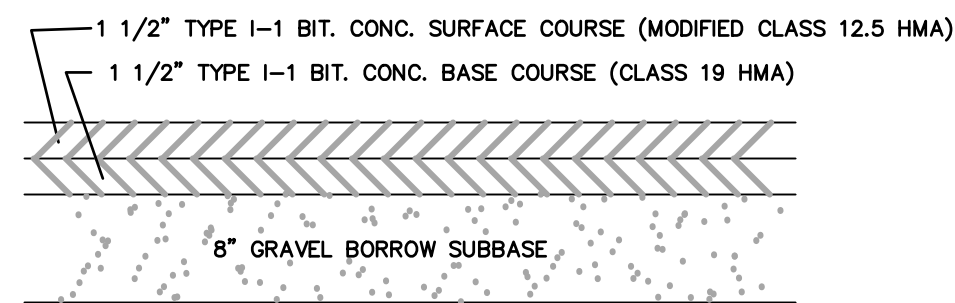


STOCKPILE DETAIL
 N.T.S.

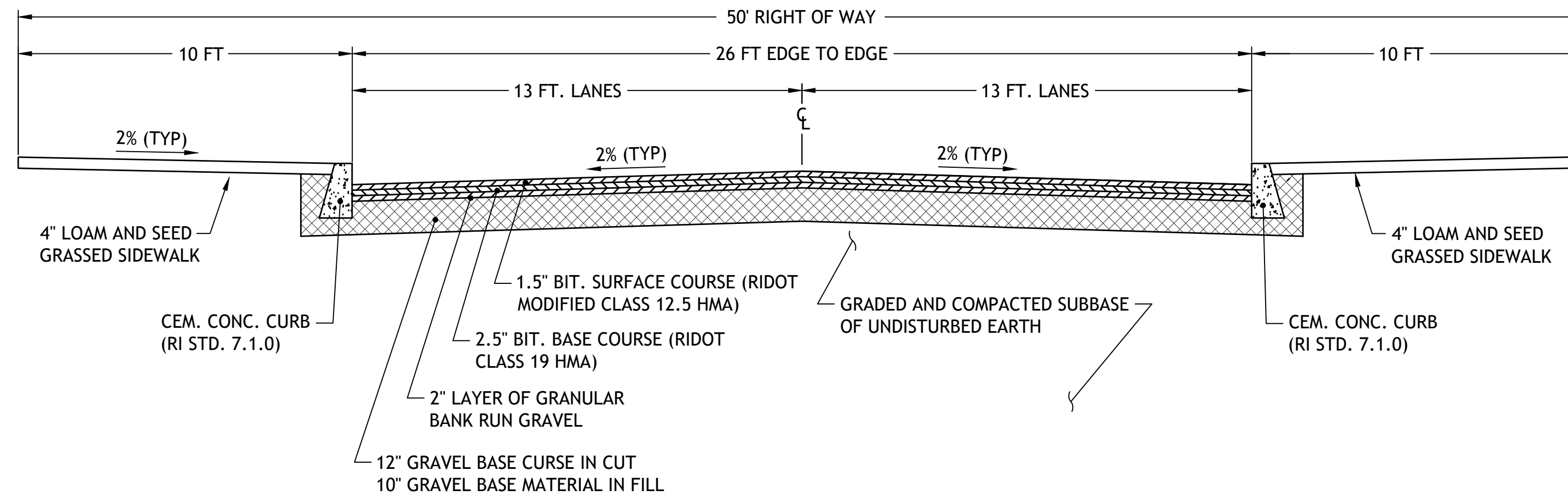
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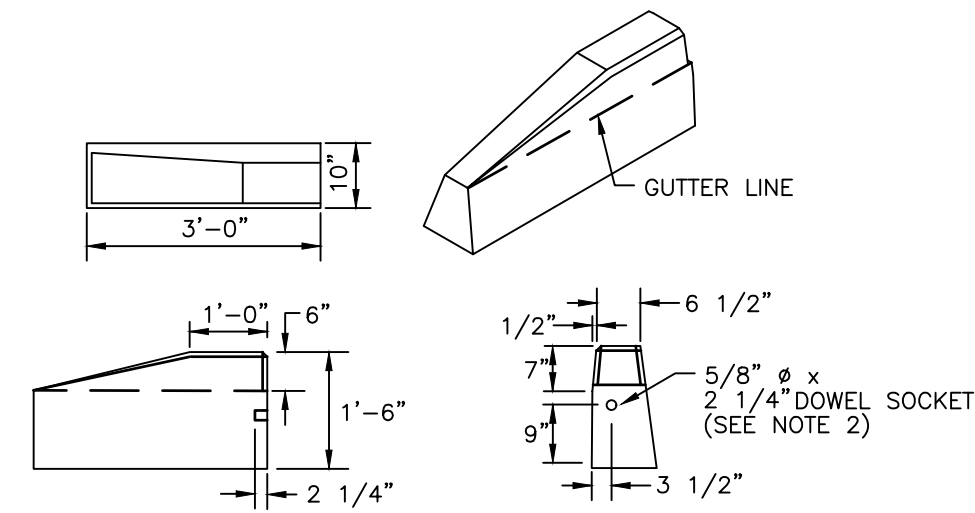
PAVEMENT CUT & MATCH
NOT TO SCALE



PAVEMENT CROSS SECTION - DRIVEWAYS
NOT TO SCALE

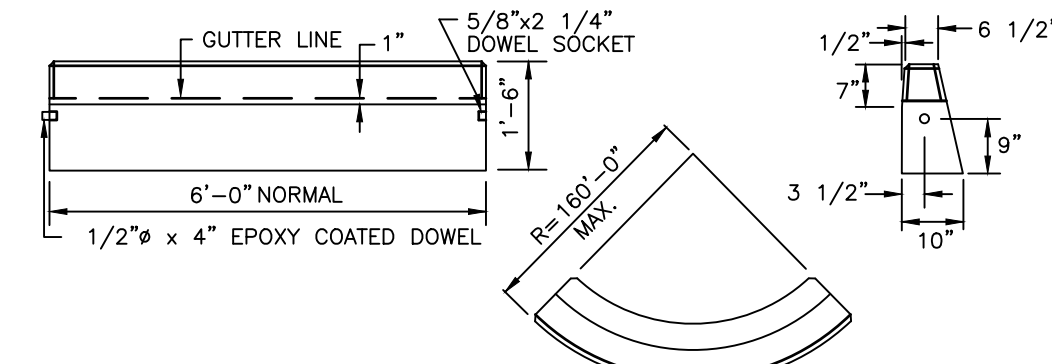


TYPICAL ROAD SECTION
SCALE: NOT TO SCALE



- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. DRAWING SHOWS TRANSITION CURB FOR ONE DIRECTION, FOR OTHER DIRECTION USED OPPOSITE HAND AND INCLUDE A 1/2\"/>

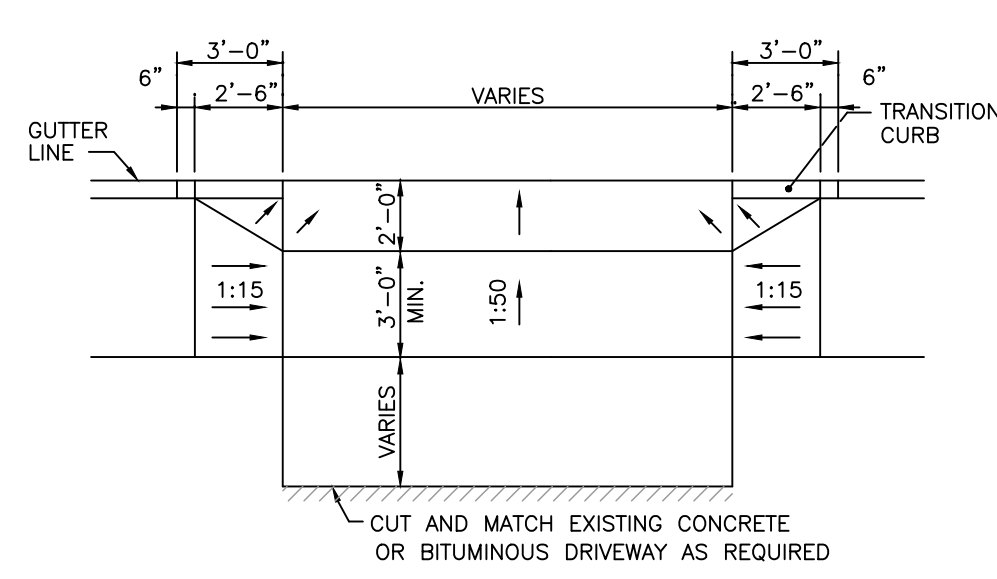
3'-0\"/>



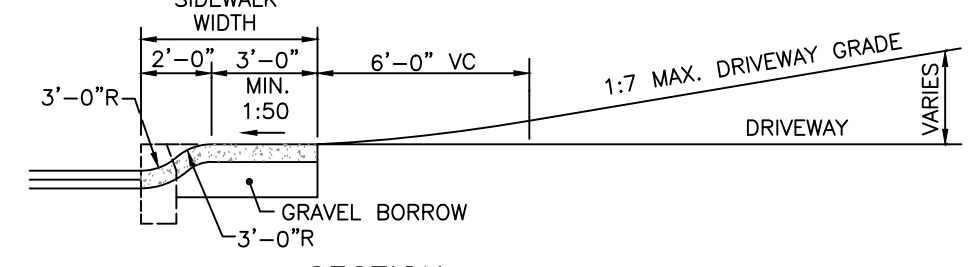
CIRCULAR CURB

- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. MINIMUM LENGTH OF STRAIGHT OR CIRCULAR FILLER PIECES TO BE 3'-0\"/>

PRECAST CONCRETE CURB STANDARD 7.1.0

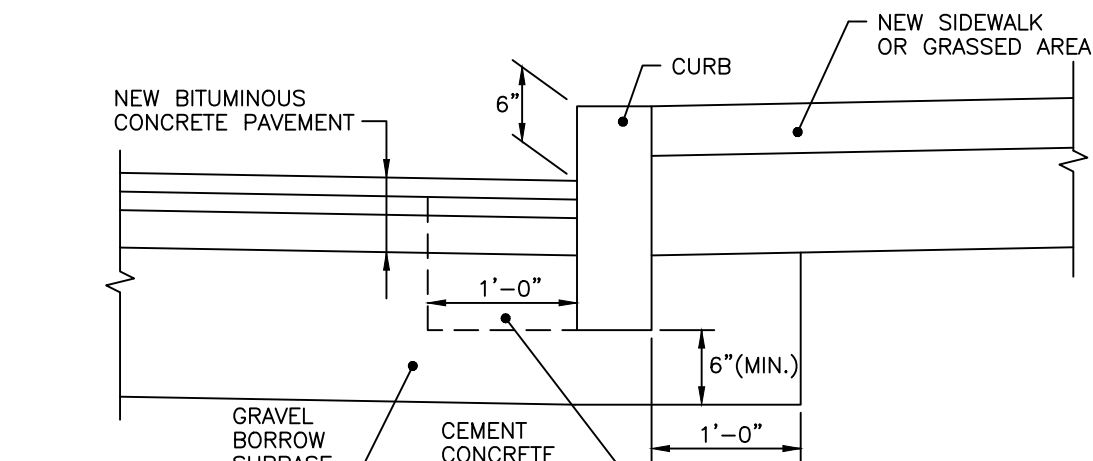


ELEVATION



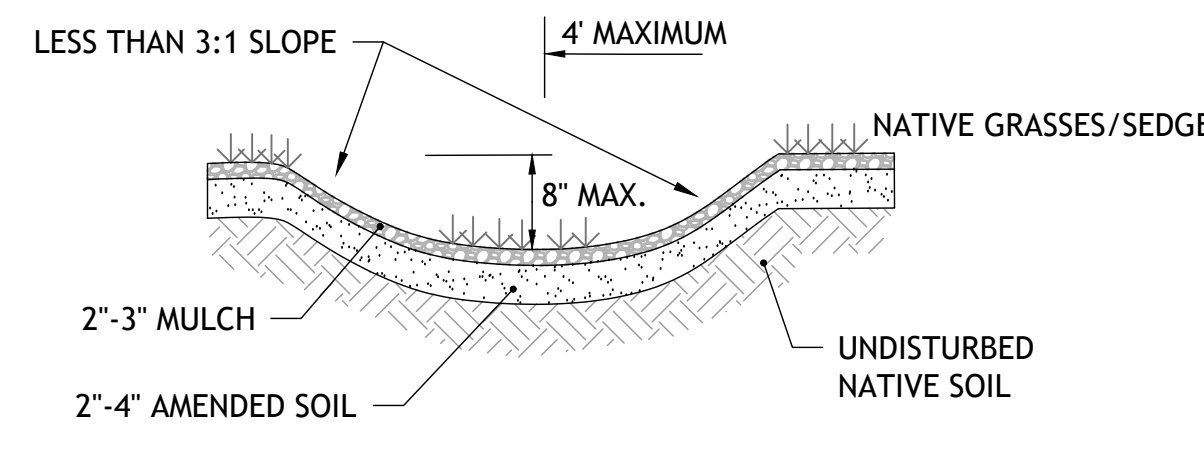
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 905 OF THE R.I. STANDARD SPECIFICATIONS.
2. WHEN DRIVEWAY IS BELOW BACK EDGE OF SIDEWALK PROFILE, STD. 43.4.1 MUST BE USED.

DRIVEWAY DEVELOPMENT FOR 3'-0\"/>



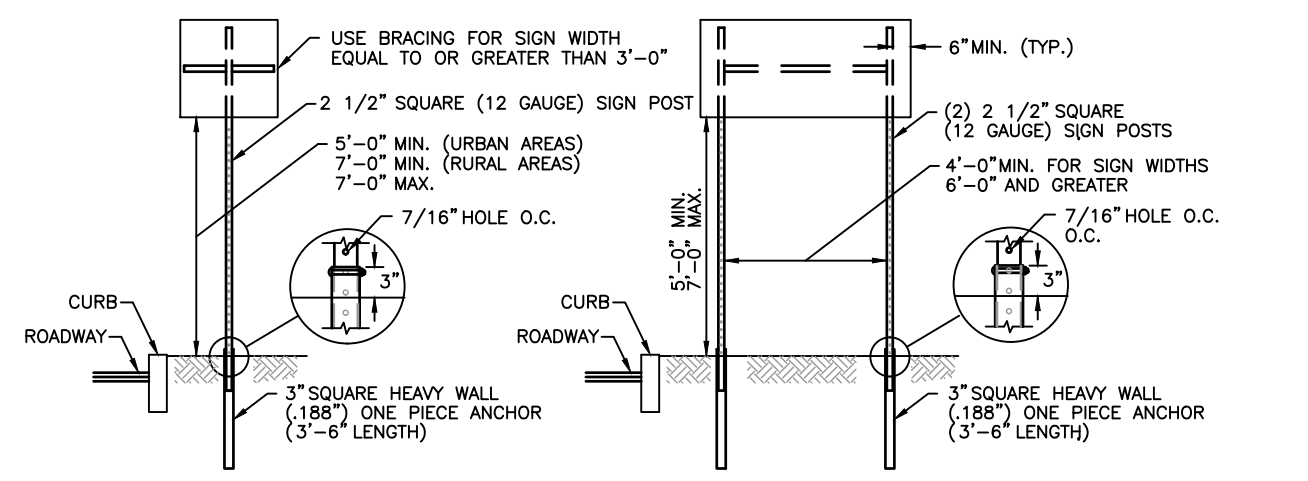
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE R.I. STANDARD SPECIFICATIONS.
2. CEMENT CONCRETE SHALL BE USED ONLY WHEN THE CURB IS SET AFTER THE BASE AND/OR BINDER COURSES ARE IN PLACE. OTHERWISE THE CEMENT CONCRETE WILL BE ELIMINATED AND THE GRAVEL BROUGHT UP TO BOTTOM OF THE BASE COURSE.

CURB SETTING DETAIL R.I. STANDARD 7.6.0

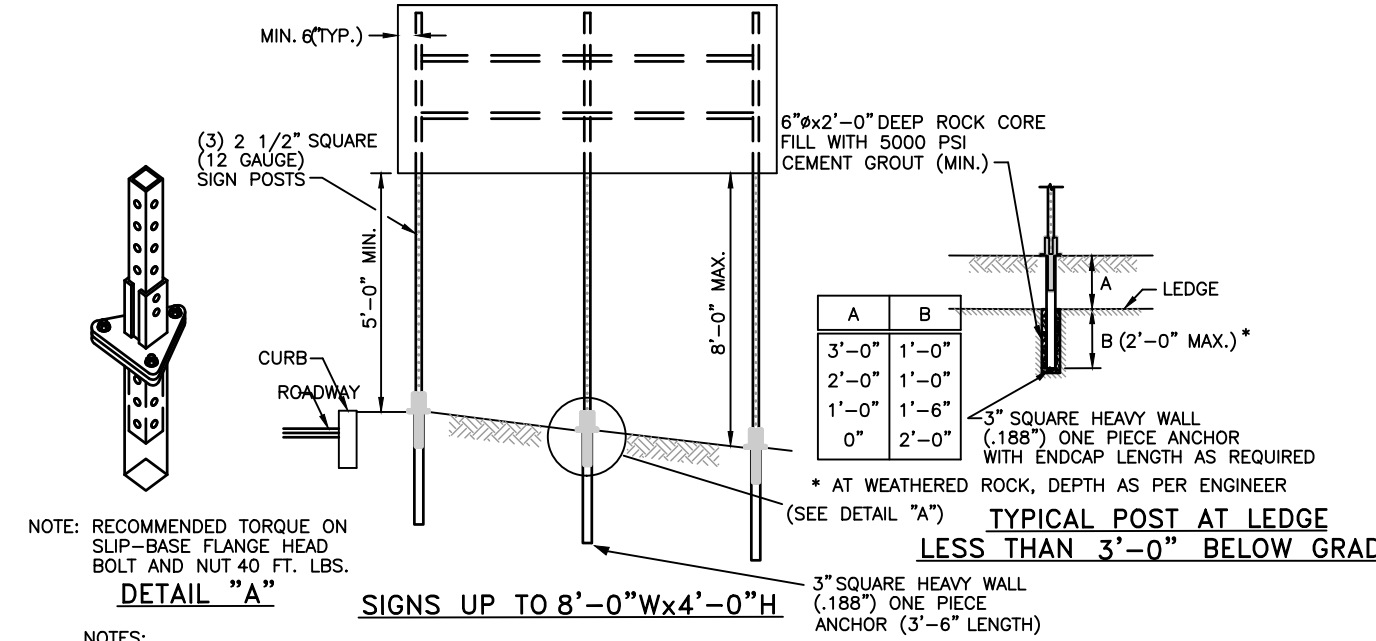


- NOTE: AMENDED SOIL SHOULD BE A 50 / 50 MIXTURE OF THE EXCAVATED NATIVE SOILS AND MATURE ORGANIC COMPOST

VEGETATIVE SWALE DETAIL
SCALE: NOT TO SCALE

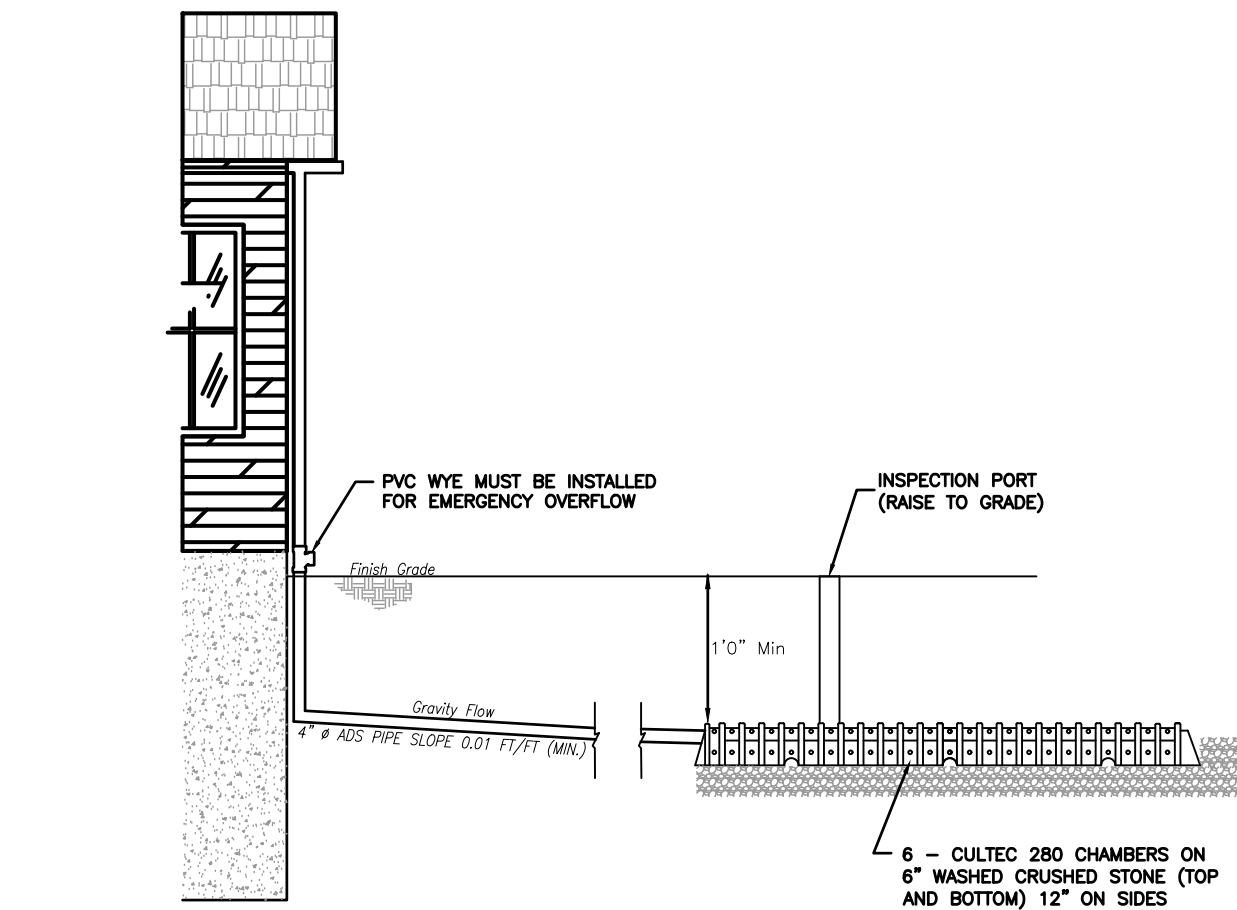


SIGNS UP TO 12 SQ. FT. **SIGNS UP TO 28 SQ. FT.**

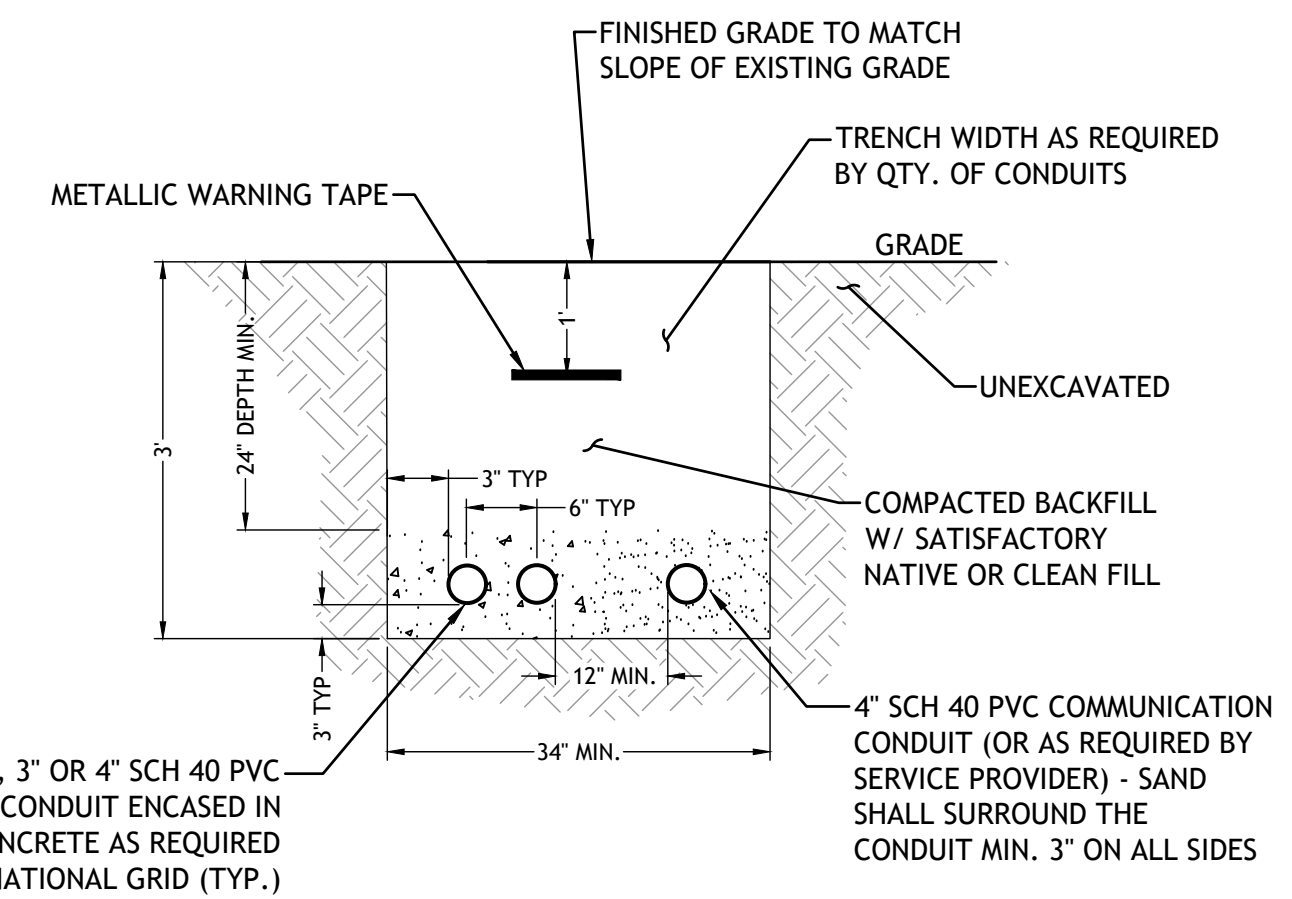


- NOTE: RECOMMENDED TORQUE ON SLIP-BASE FLANGE HEAD BOLT AND NUT 40 FT. LBS.
- NOTES:
1. SHALL BE IN ACCORDANCE WITH SECTION 1.15 OF THE R.I. STANDARD SPECIFICATIONS.
2. SIGN SUPPORTS HAVE BEEN DESIGNED IN ACCORDANCE WITH AASHTO SPECIFICATIONS FOR A 10-YEAR MEAN WIND RECURRENT INTERVAL.
3. FOR INSTALLATION IN GROUND OR BITUMINOUS CONCRETE DRIVE SIGN POST ANCHOR TO REQUIRED DEPTH SO THAT THE HOLE WILL MATCH TO SIGN POST ABOVE GROUND FOR THE BOLT CONNECTION. INSERT SIGN POST AND BOLT IN PLACE.
4. FOR INSTALLATION IN CONCRETE SEE STD. 25.3.0 AND FOLLOW THE PROCEDURE IN NOTE 2.
5. FOR INSTALLATION IN LEDGE LESS THAN 3'-0\"/>

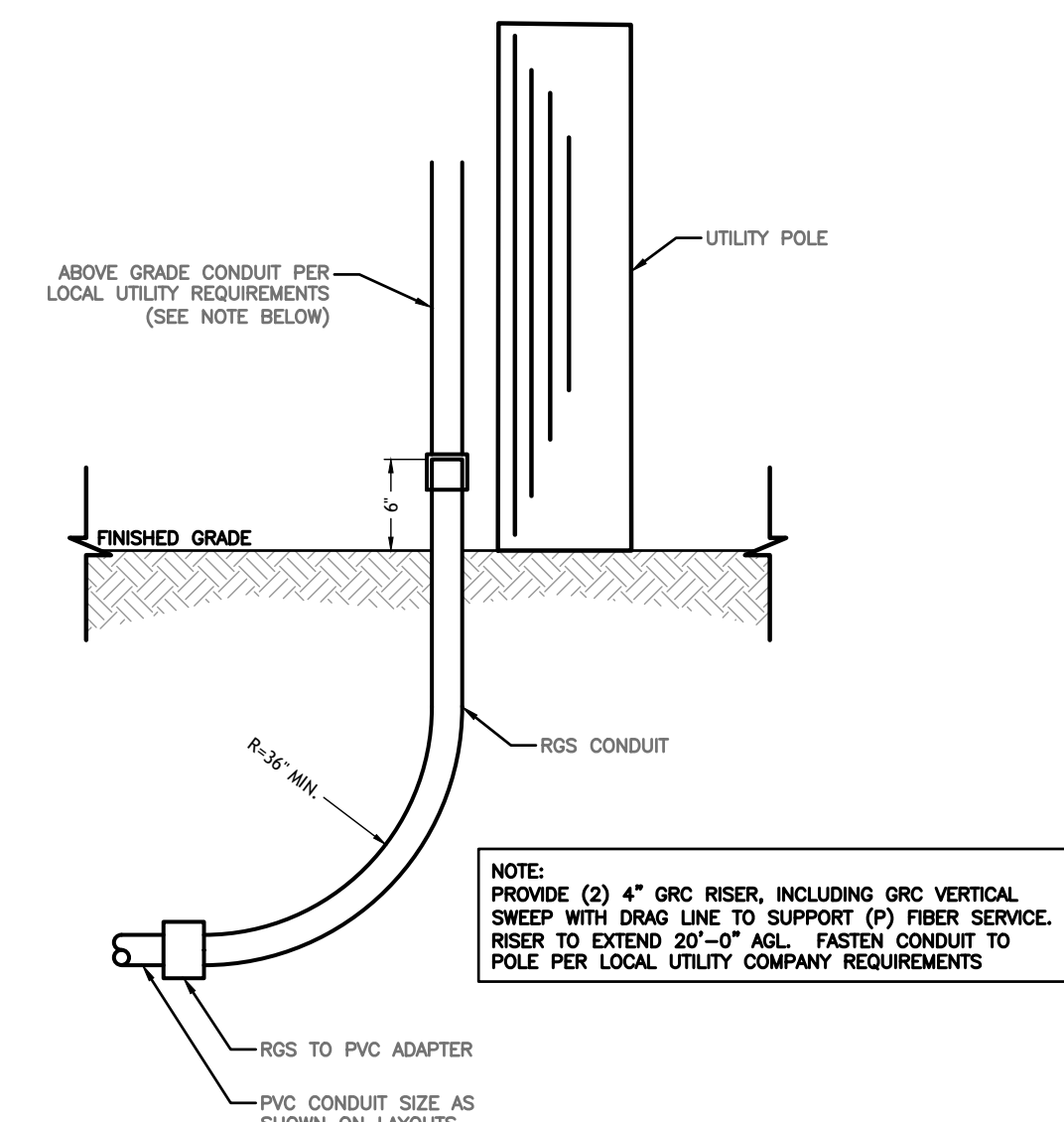
SIGN POST SELECTION AND INSTALLATION DETAILS
SQUARE POST (SIGNS UP TO 8'-0\"/>



ROOFTOP INFILTRATION CHAMBERS
TYPICAL SECTION EACH FOR HALF ROOF OR FULL ROOF
NOT TO SCALE



ELEC. & COMM. CONDUIT LINE TRENCH
N.T.S.



UTILITY POLE RISER DETAIL
N.T.S.



ZIRCON STREET EXTENSION
MINOR SUBDIVISION OF LAND
10 ZIRCON ST. AND 97 DRUM ROCK AVE.
AP. 244, LOT 8 AND 241
WARWICK, RHODE ISLAND

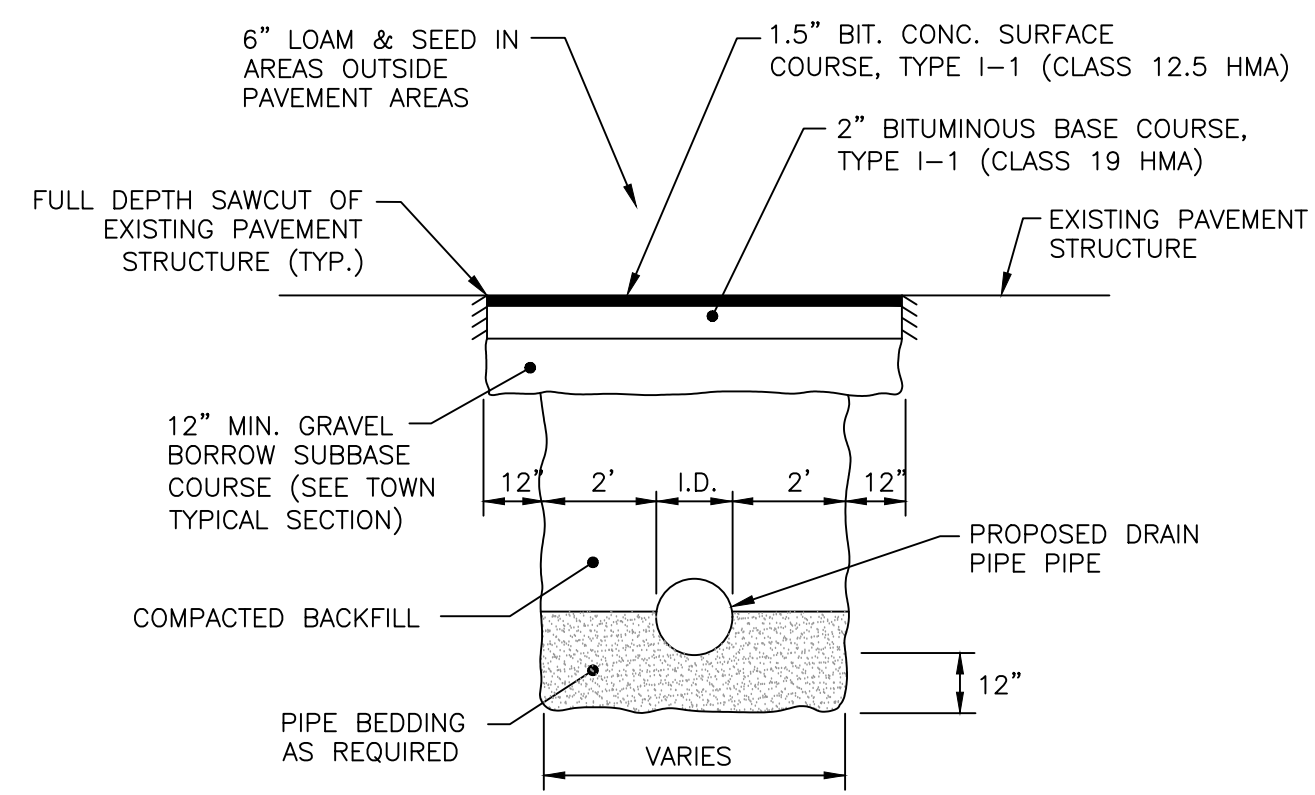
NO.	DATE	DESCRIPTION
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DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: FEB. 2021
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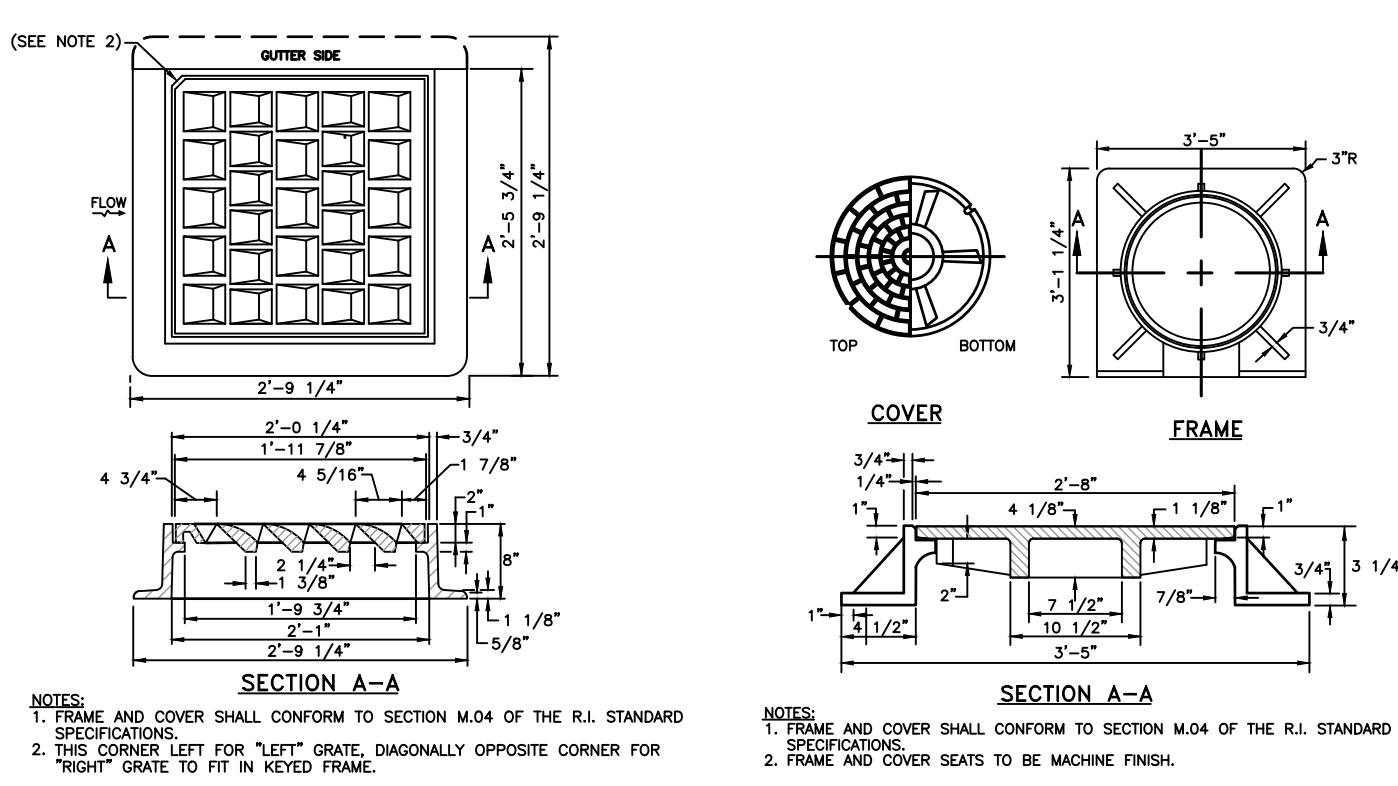
FINAL PLAN

SITE DETAILS
PLAN NO. 1

SHEET
10 OF 12

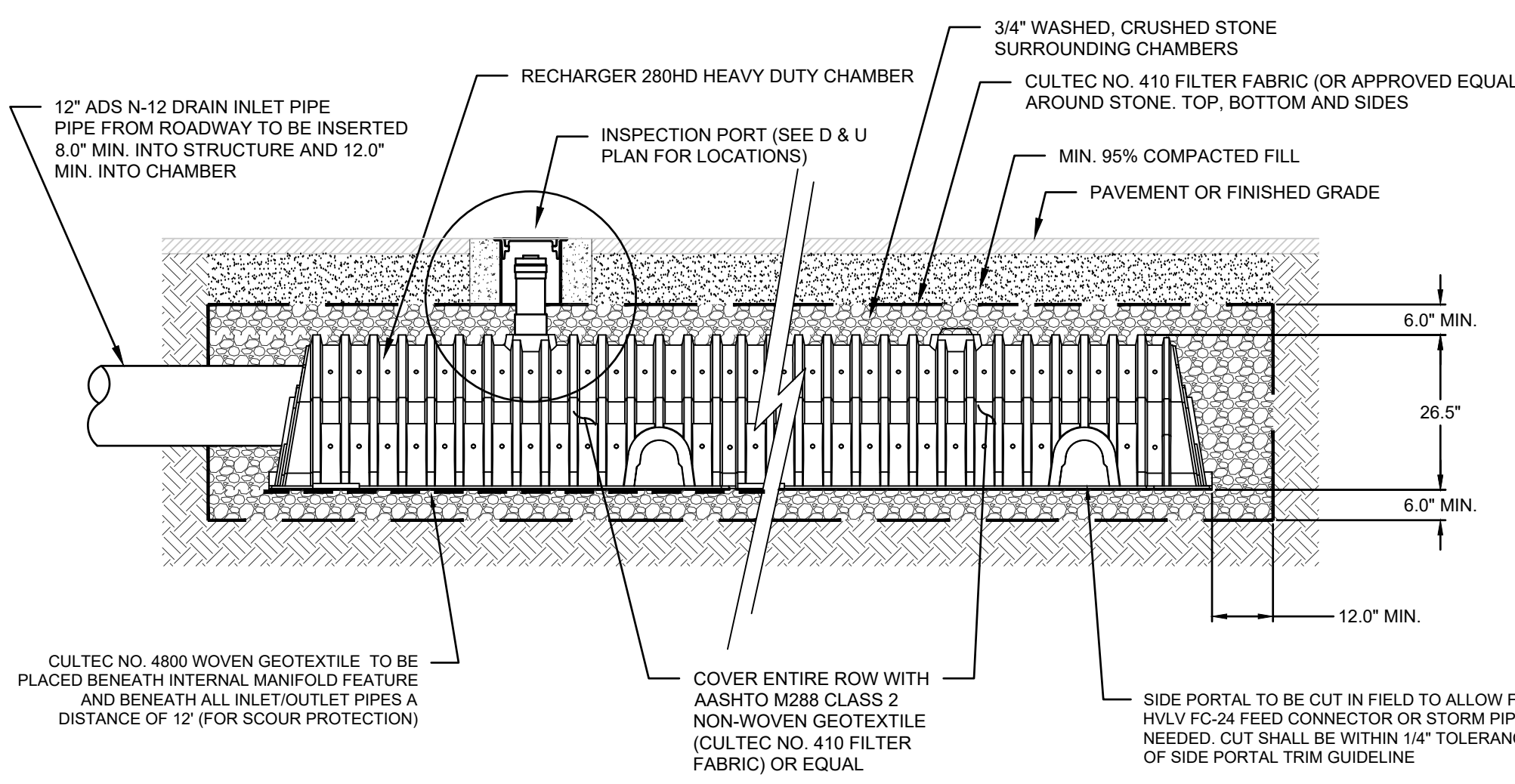
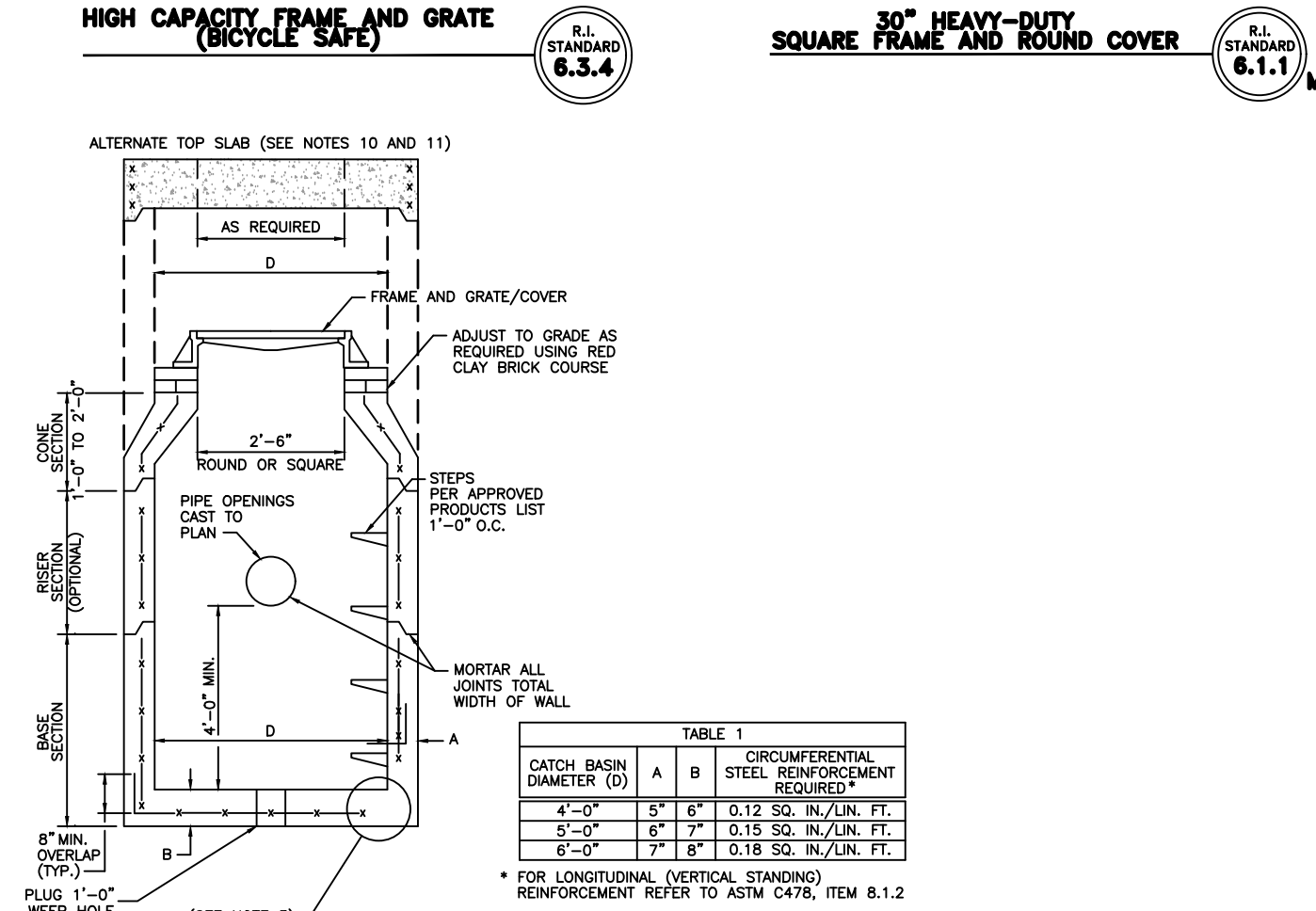


TYPICAL TRENCH AND PAVEMENT PATCH DETAIL

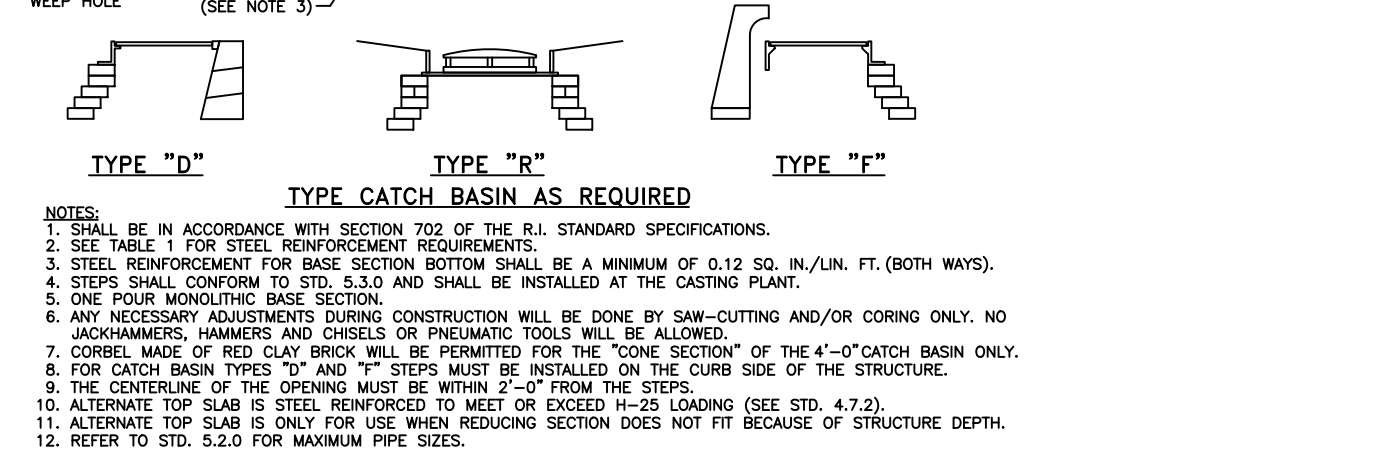


GENERAL NOTES
 RECHARGER 280HD BY CULTEC, INC. OF BROOKFIELD, CT. STORAGE PROVIDED = 9.21 CF/FT PER DESIGN UNIT. REFER TO CULTEC, INC.'S CURRENT RECOMMENDED INSTALLATION GUIDELINES. MAXIMUM ALLOWED COVER OVER TOP OF UNIT SHALL BE 12\"/>

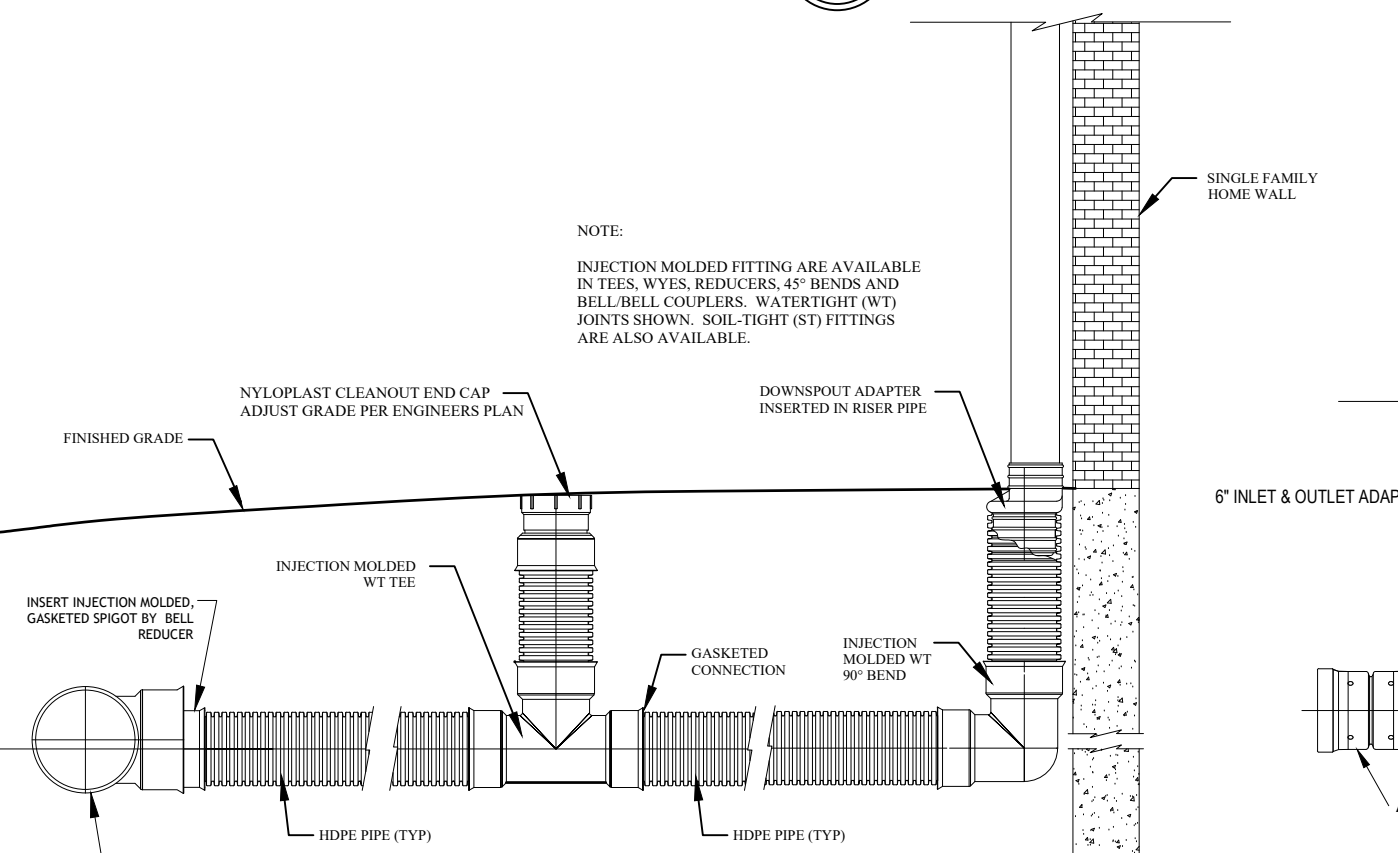
CROSS SECTION VIEW FOR SMS 1



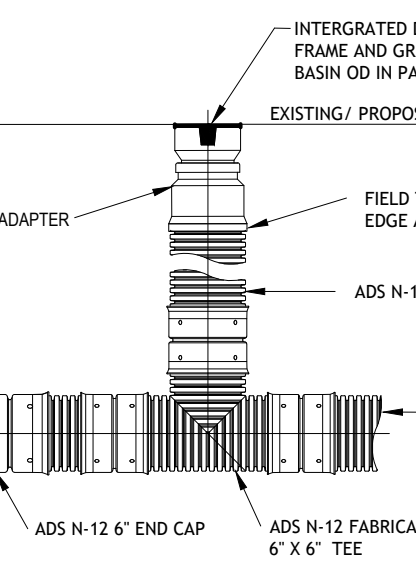
WQV BMP ISOLATOR ROWS



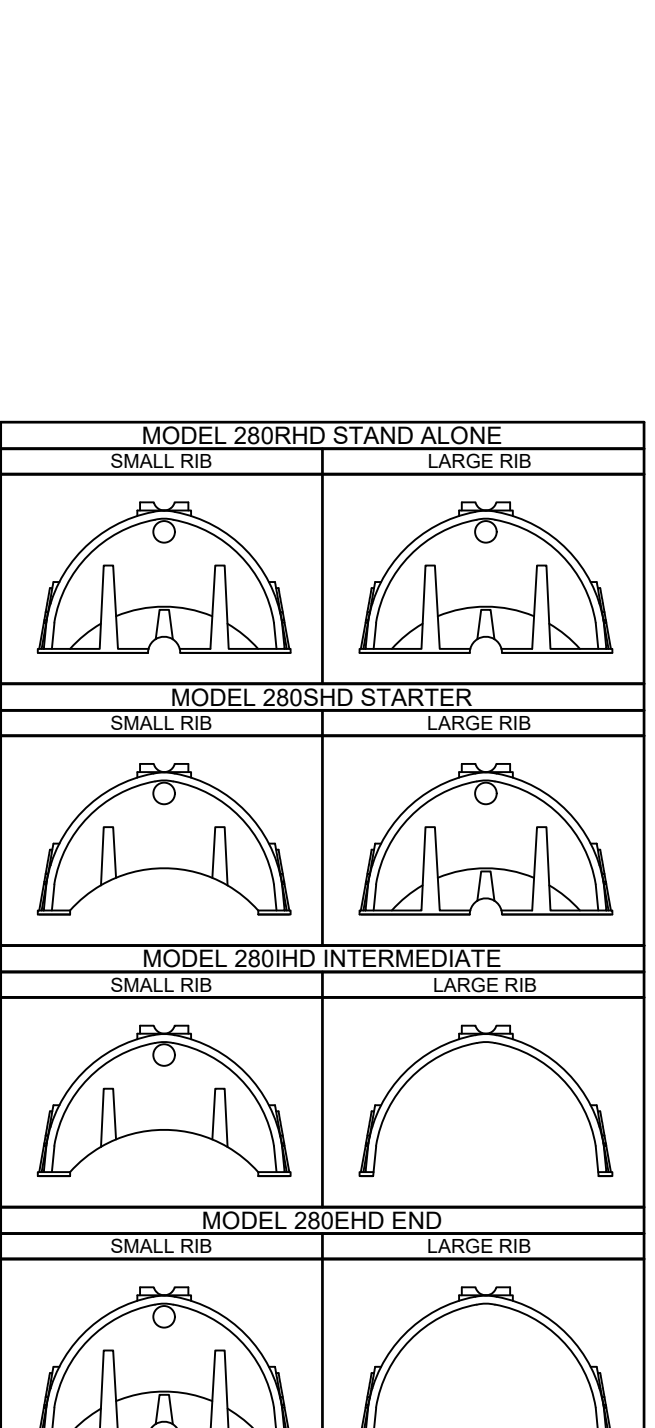
PRECAST 4\"/>



ROOF DRAIN W/CLEAN OUT DETAIL



ADS CLEANOUT IN PAVEMENT AREAS



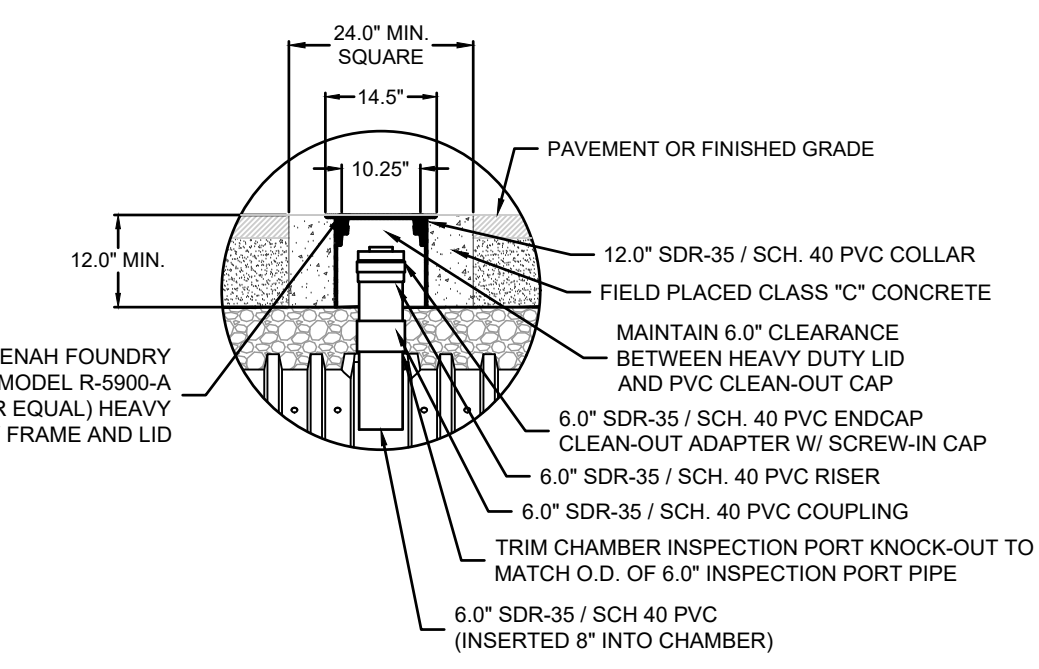
CULTEC RECHARGER 280HD CHAMBER DETAILS

CULTEC RECHARGER 280HD SPECIFICATIONS

- GENERAL
 CULTEC RECHARGER 280HD CHAMBERS ARE DESIGNED FOR UNDERGROUND STORMWATER MANAGEMENT. THE CHAMBERS MAY BE USED FOR RETENTION, RECHARGING, DETENTION OR CONTROLLING THE FLOW OF ON-SITE STORMWATER RUNOFF.
- CHAMBER PARAMETERS
- THE CHAMBER WILL BE MANUFACTURED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832).
 - THE CHAMBER WILL BE VACUUM THERMOFORMED OF BLACK POLYETHYLENE.
 - THE CHAMBER WILL BE ARCH IN SHAPE.
 - THE CHAMBER WILL BE OPEN-BOTTOMED.
 - THE CHAMBER WILL BE JOINED USING AN INTERLOCKING OVERLAPPING RIB METHOD. CONNECTIONS MUST BE FULLY SHOULDERED OVERLAPPING RIBS, HAVING NO SEPARATE COUPLINGS OR SEPARATE END WALLS.
 - THE NOMINAL CHAMBER DIMENSIONS OF THE CULTEC RECHARGER 280HD SHALL BE 26.5 INCHES TALL, 47 INCHES WIDE AND 8 FEET LONG. THE INSTALLED LENGTH OF A JOINED RECHARGER 280HD SHALL BE 7 FEET.
 - MAXIMUM INLET OPENING ON THE CHAMBER END WALL IS 18 INCHES.
 - THE CHAMBER WILL HAVE TWO SIDE PORTALS TO ACCEPT CULTEC HVLV® FC-24 FEED CONNECTORS TO CREATE AN INTERNAL MANIFOLD. NOMINAL INSIDE DIMENSIONS OF THE SIDE PORTAL SHALL HAVE A WIDTH OF 11.25\"/>

CULTEC NO. 20L™ POLYETHYLENE LINER

- GENERAL
 CULTEC NO. 20L™ POLYETHYLENE LINER IS DESIGNED AS AN IMPERVIOUS UNDERLAYMENT TO PREVENT SCOURING OF THE STONE BASE CAUSED BY WATER MOVEMENT WITHIN THE CULTEC SYSTEM. CULTEC NO. 20L POLYETHYLENE LINER IS TO BE PLACED BENEATH HVLV FC-24 FEED CONNECTORS WHEN UTILIZING INTERNAL MANIFOLD AND BENEATH ALL INLET PIPES.
- LINER PARAMETERS
- THE LINER WILL BE PROVIDED BY CULTEC, INC. OF BROOKFIELD, CT. (203-775-4416 OR 1-800-428-5832).
 - THE LINER WILL BE BLACK IN APPEARANCE.
 - THE LINER WILL HAVE A NOMINAL THICKNESS OF 20 MIL (0.51 mm).
 - THE LINER WILL HAVE A WEIGHT OF 93 LBS/MSF.
 - THE LINER WILL HAVE A TENSILE STRENGTH @ BREAK 1\"/>



INSPECTION PORT DETAIL

DAMICO ENGINEERING TECHNOLOGY, INC.
 Civil, Transportation - Land Use
 2080 Mineral Spring Ave., North Providence, RI 02911
 (401) 622-1470 (401) 953-1190 fax www.damicoengineering.com

DAVID M. DAMICO
 No. 5749
 REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 2/15/14

ZIRCON STREET EXTENSION
 MINOR SUBDIVISION OF LAND
 10 ZIRCON ST. AND 97 DRUM ROCK AVE.
 AP. 244, LOT 8 AND 241
 WARWICK, RHODE ISLAND

REVISIONS:

NO.	DATE	DESCRIPTION
1	2-12-21	REVISED CUL-DE-SAC LAYOUT

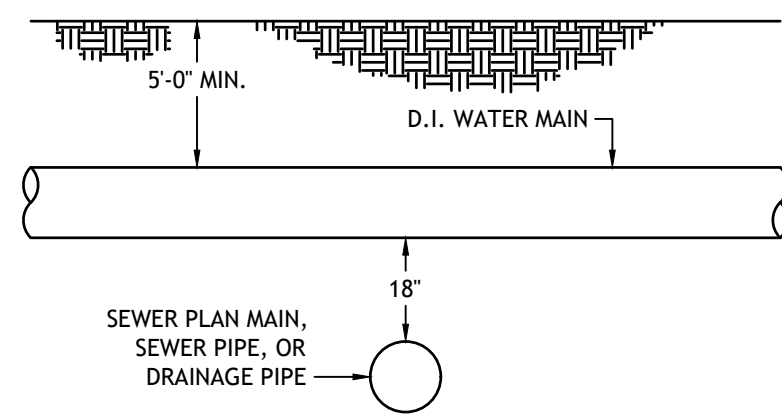
DESIGNED BY: DMD
 DRAWN BY: DMD
 CHECKED BY: DMD
 DATE: FEB. 2021
 PROJECT NO: 19-0007-01

FINAL PLAN

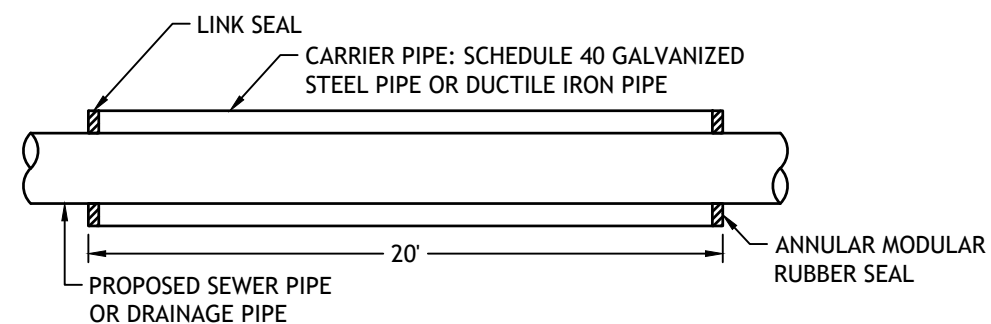
**SITE DETAILS
 PLAN NO. 2**

**SHEET
 11 OF 12**

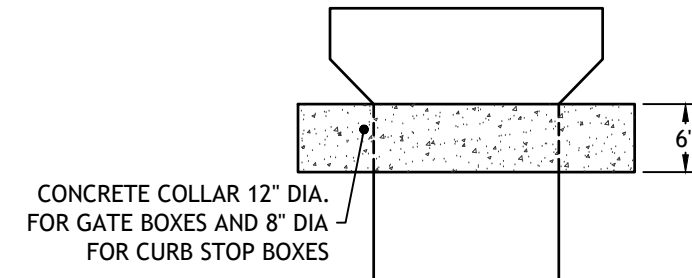
N:\19-0007-Site\Peritri001 Drum Rock Ave\Zircon Street Extension Preliminary 2 Plan Set 2-12-21.dwg Feb. 15, 2021 11:52am



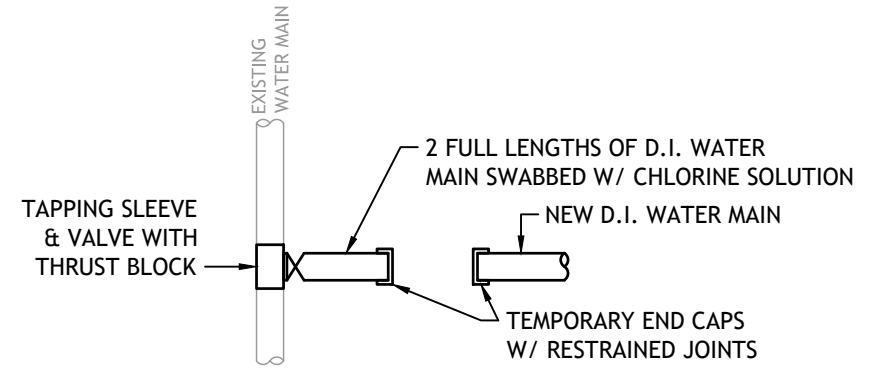
- NOTES:**
1. THE VERTICAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHALL BE A MINIMUM OF 18 INCHES.
 2. THE HORIZONTAL SEPARATION BETWEEN THE WATER MAIN AND THE PROPOSED UTILITY SHALL BE MINIMUM OF 10 FEET.
 3. IF 1 OR 2 CANNOT BE MAINTAINED THE PROPOSED UTILITY SHALL BE INSTALLED WITHIN A CARRIER PIPE UPON WRITTEN APPROVAL BY THE KCWA.
 4. SEWER MAIN AND SERVICES ARE NOT ALLOWED TO CROSS OVER THE TOP OF WATER MAIN
 5. CONCRETE ENCASUREMENT IS NOT ALLOWED.



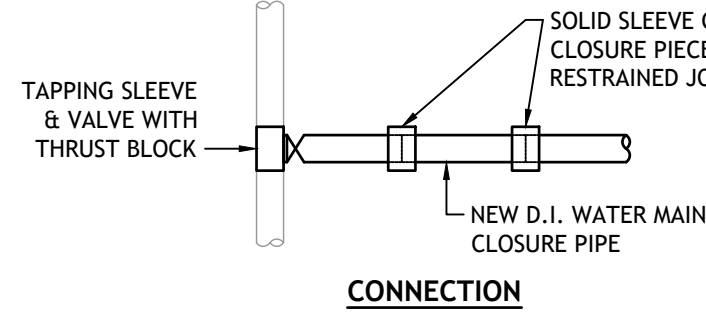
KENT COUNTY WATER AUTHORITY UTILITY SEPARATION
NOT TO SCALE



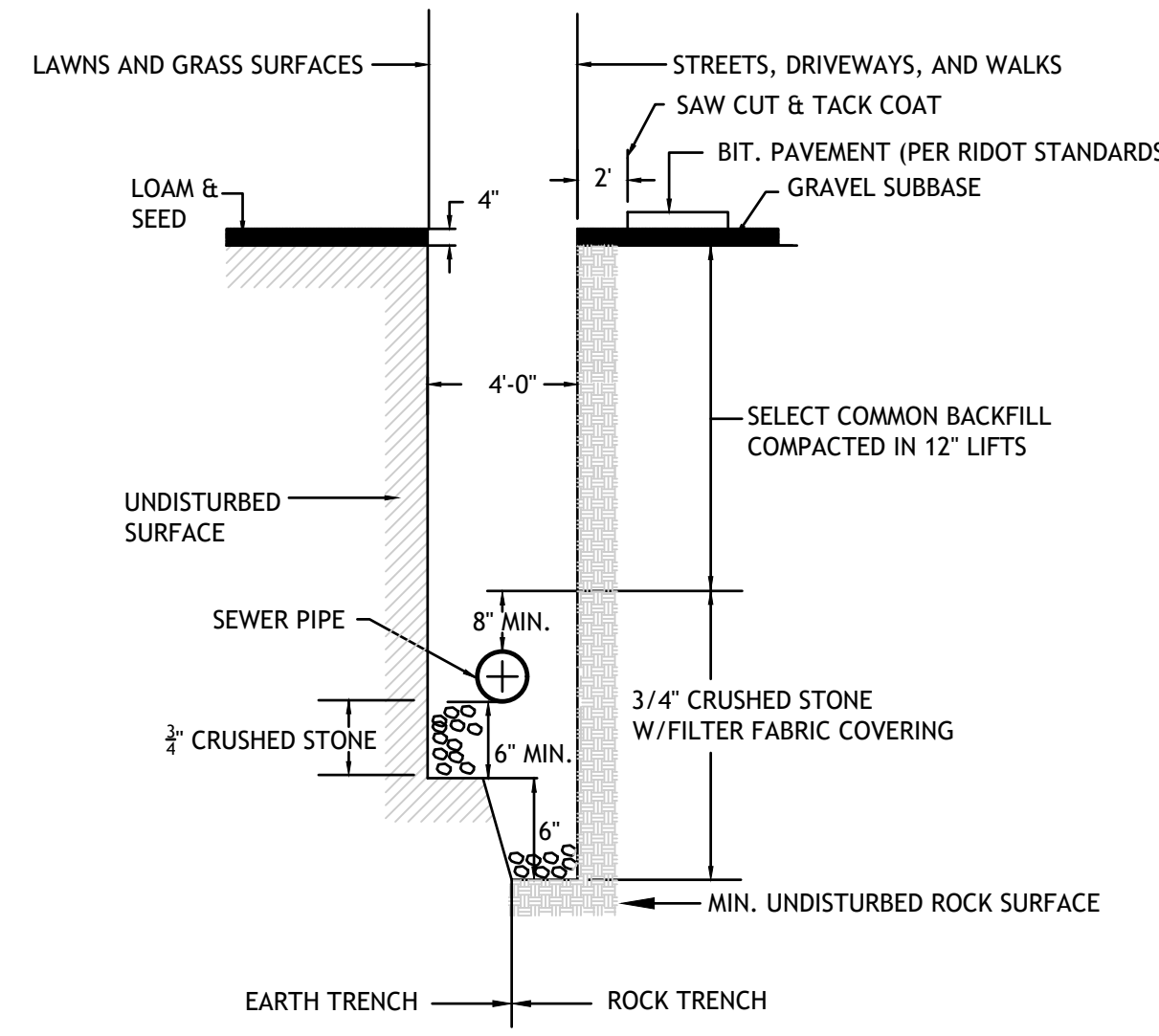
KENT COUNTY WATER AUTHORITY CONCRETE COLLAR
NOT TO SCALE



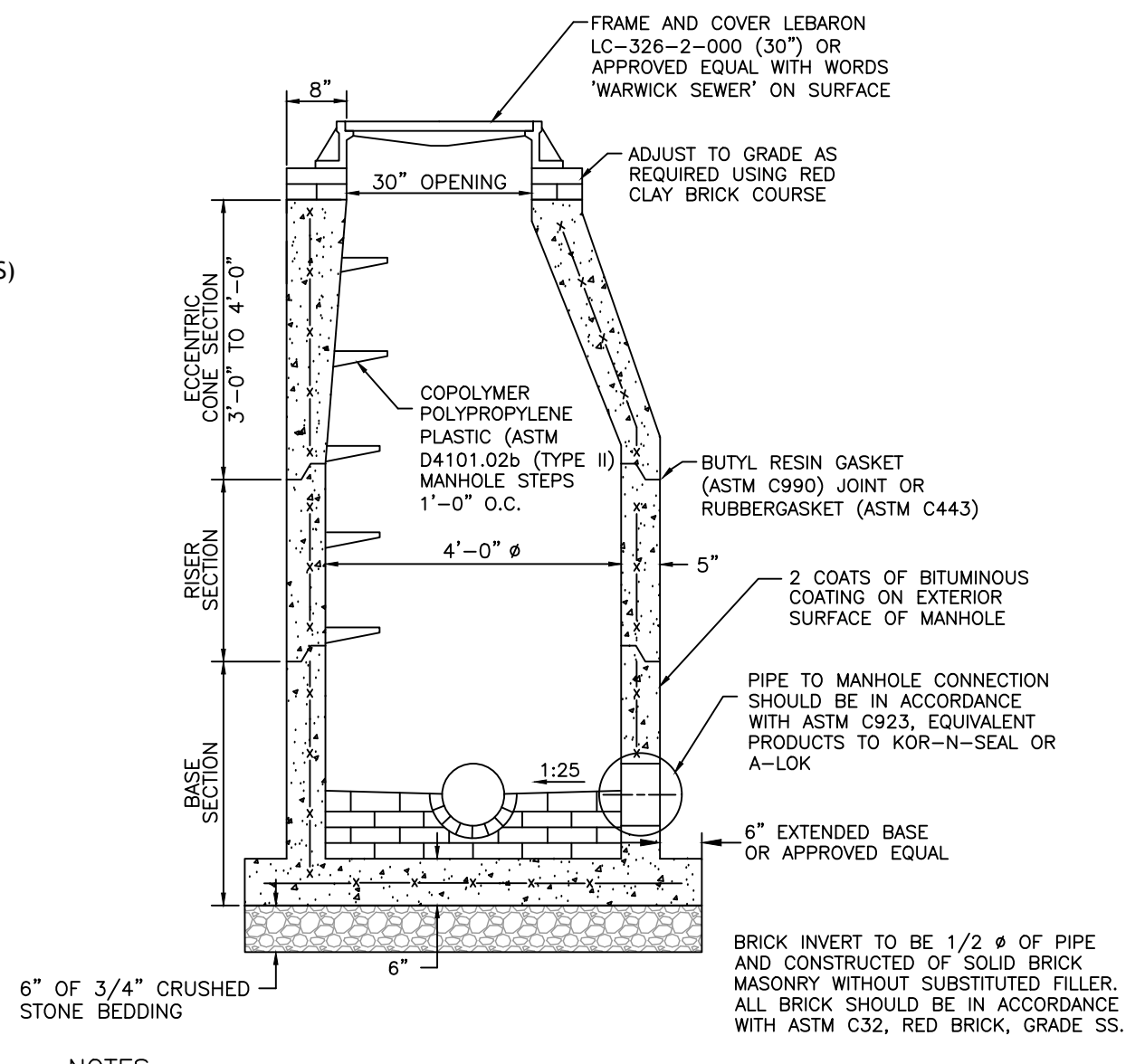
- PRIOR TO CONNECTION**
- NOTES:**
1. PRIOR TO FINAL APPROVAL FOR PERMANENT CONNECTION FROM CITY, CONTRACTOR SHALL PERFORM PRESSURE TESTING AND CHLORINATION.
 2. SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.



CONNECTION OF NEW WATER MAIN TO EXISTING WATER MAIN
NOT TO SCALE

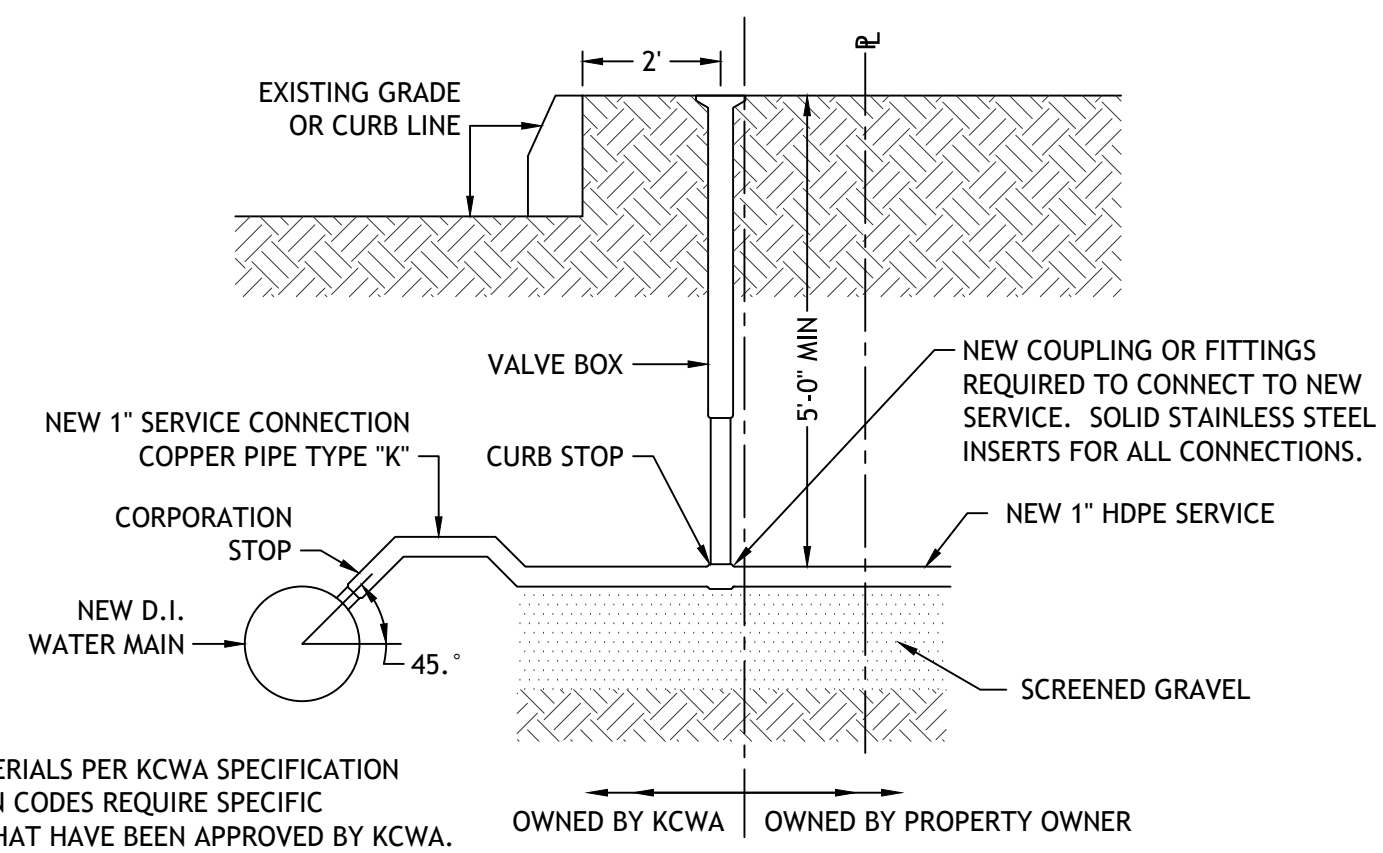


TYPICAL SEWER LINE TRENCH DETAIL
NO SCALE



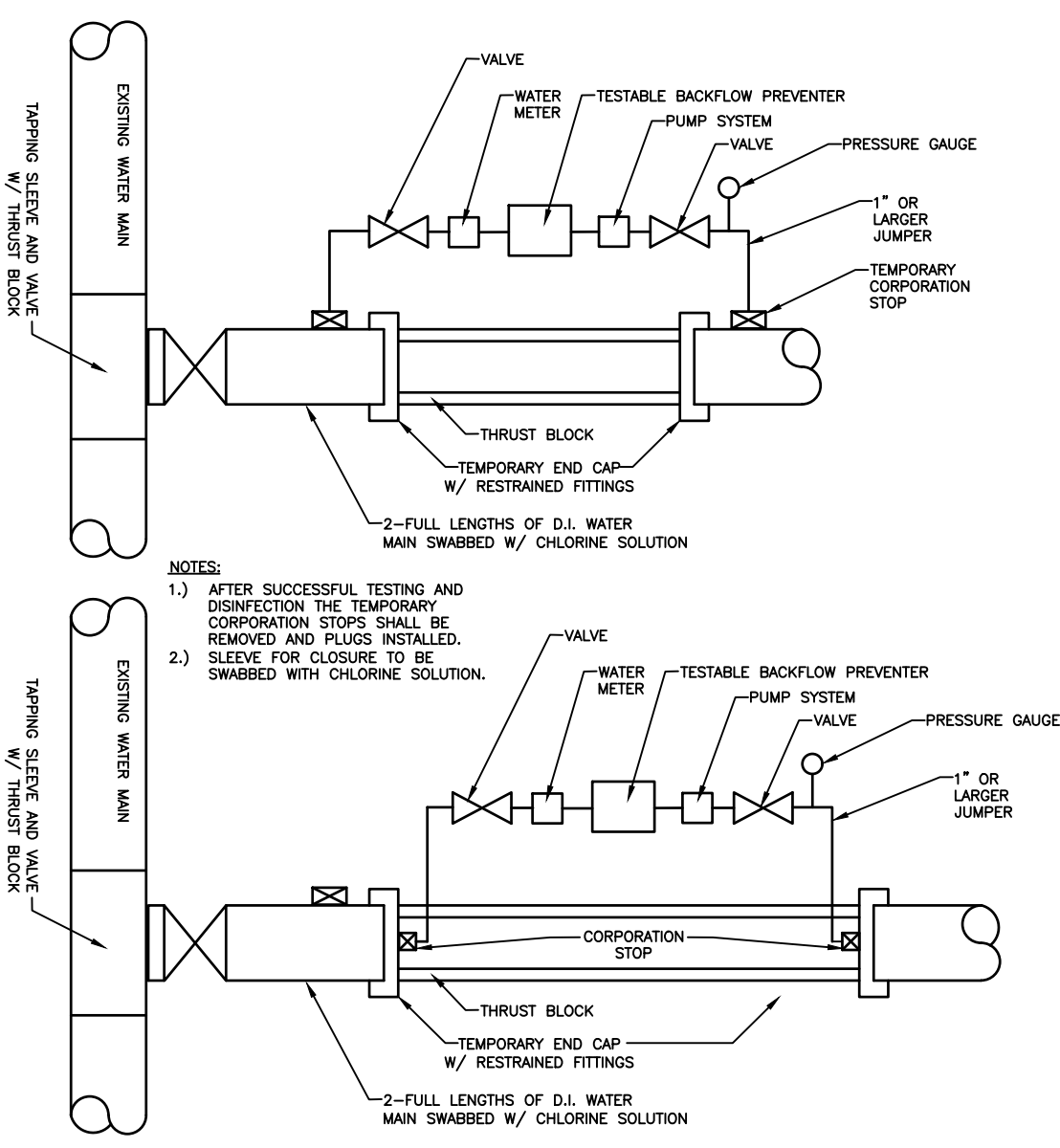
- NOTES:**
1. MANHOLE SHALL BE MANUFACTURED IN ACCORDANCE WITH ASTM-C478
 2. INVERT AND TABLE SHALL CONSIST ENTIRELY OF BRICK AND MORTAR.
 3. ANY NECESSARY ADJUSTMENTS DURING CONSTRUCTION WILL BE DONE BY SAW-CUTTING
 4. ALL STEPS SHOULD BE FACTORY INSTALLED BY THE MANHOLE MANUFACTURER 12-INCHES ON CENTER WITH PROPER VERTICAL ALIGNMENT.

TYPICAL SANITARY MANHOLE DETAIL
NOT TO SCALE



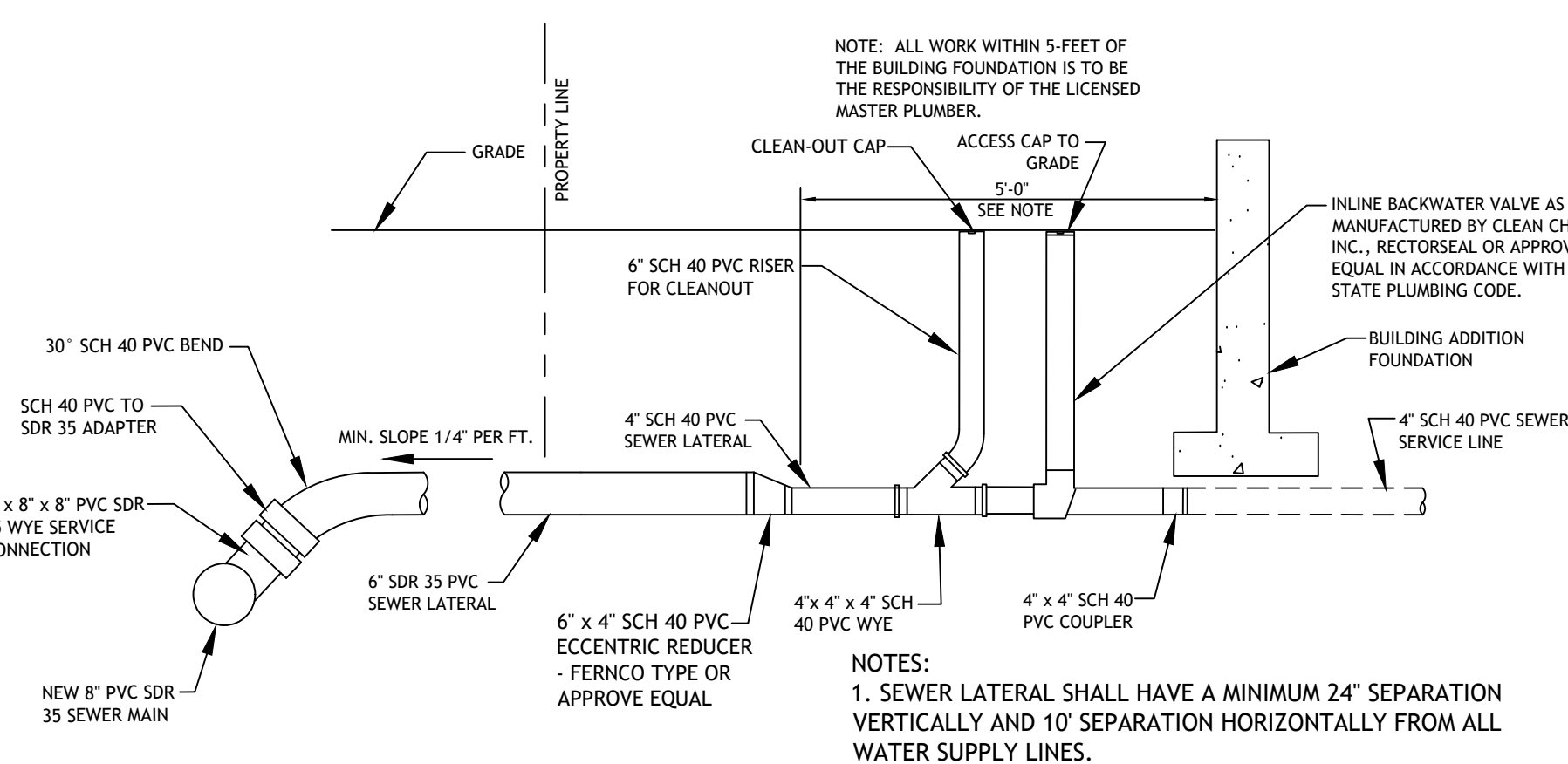
- NOTE:**
1. SERVICE MATERIALS PER KCWA SPECIFICATION UNLESS TOWN CODES REQUIRE SPECIFIC MATERIALS THAT HAVE BEEN APPROVED BY KCWA.
 2. SERVICE LINE FROM CURB BOX TO BUILDING SHALL BE INSPECTED, TESTED AND APPROVED BY THE LOCAL PLUMBING INSPECTOR.

KENT COUNTY WATER AUTHORITY SERVICE CONNECTION
NOT TO SCALE



- NOTES:**
- 1) AFTER SUCCESSFUL TESTING AND DISINFECTION THE TEMPORARY CONNECTION STOPS SHALL BE REMOVED AND PLUGS INSTALLED.
 - 2) SLEEVE FOR CLOSURE TO BE SWABBED WITH CHLORINE SOLUTION.

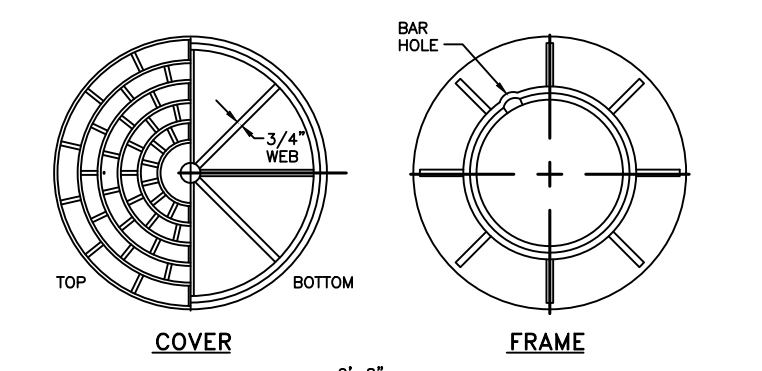
KENT COUNTY WATER AUTHORITY TEMPORARY CONNECTION FOR PRESSURE TESTING AND DISINFECTION
NOT TO SCALE



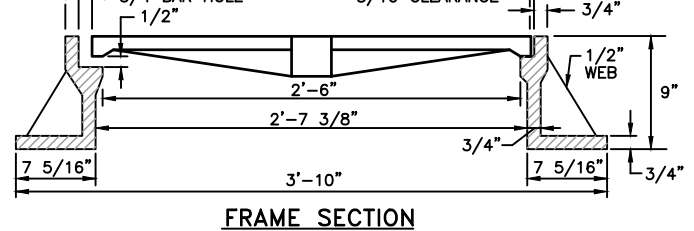
- NOTE:** ALL WORK WITHIN 5 FEET OF THE BUILDING FOUNDATION IS TO BE THE RESPONSIBILITY OF THE LICENSED MASTER PLUMBER.

- NOTES:**
1. SEWER LATERAL SHALL HAVE A MINIMUM 24" SEPARATION VERTICALLY AND 10" SEPARATION HORIZONTALLY FROM ALL WATER SUPPLY LINES.
 2. SEE CITY OF WARWICK STANDARD DETAILS FOR ADDITIONAL SEWER SERVICE DETAILS.

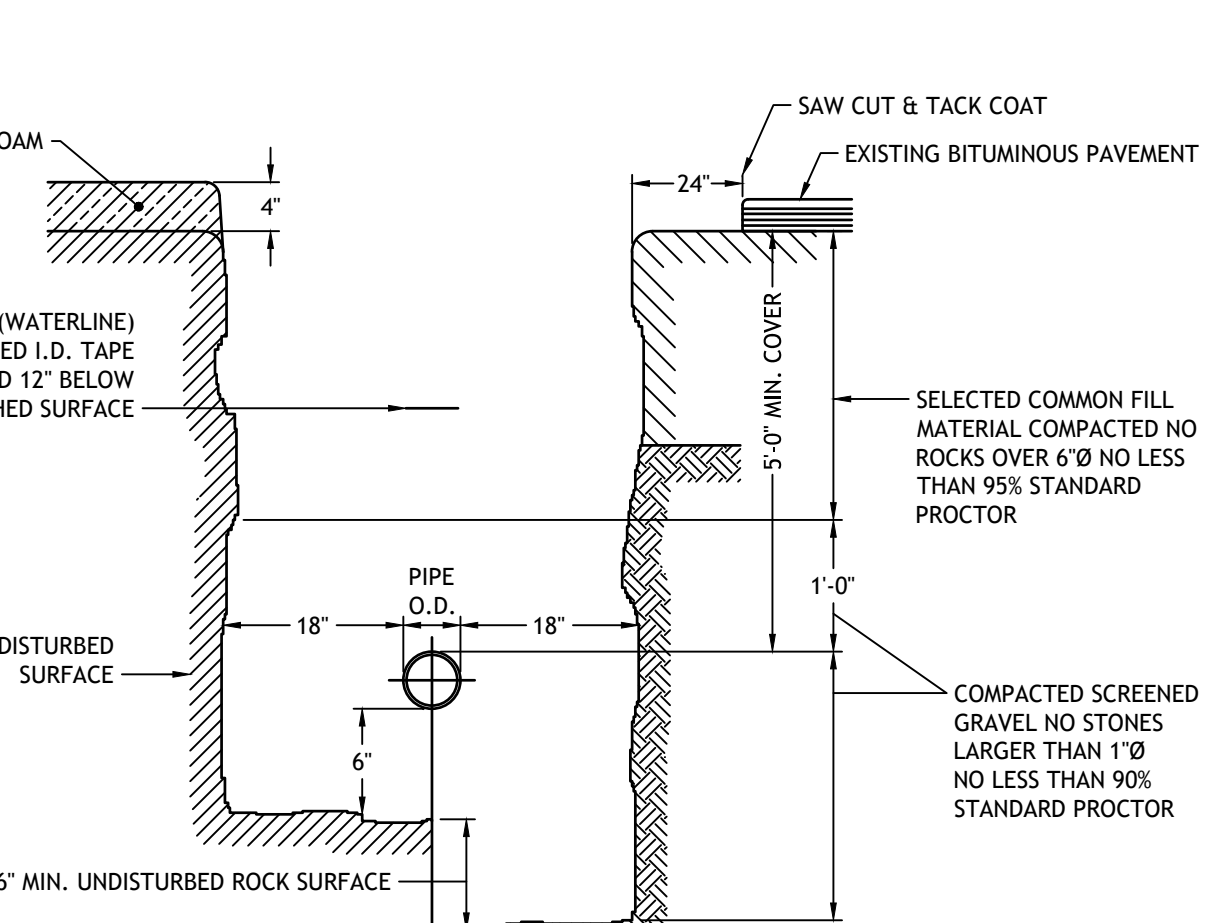
SEWER SERVICE LATERAL AT BUILDING DETAIL
NOT TO SCALE



30" HEAVY-DUTY ROUND FRAME AND COVER MODIFIED WITH WORDS 'WARWICK SEWER' ON COVER SURFACE
B.S. STANDARD 8.2.1 MOD.

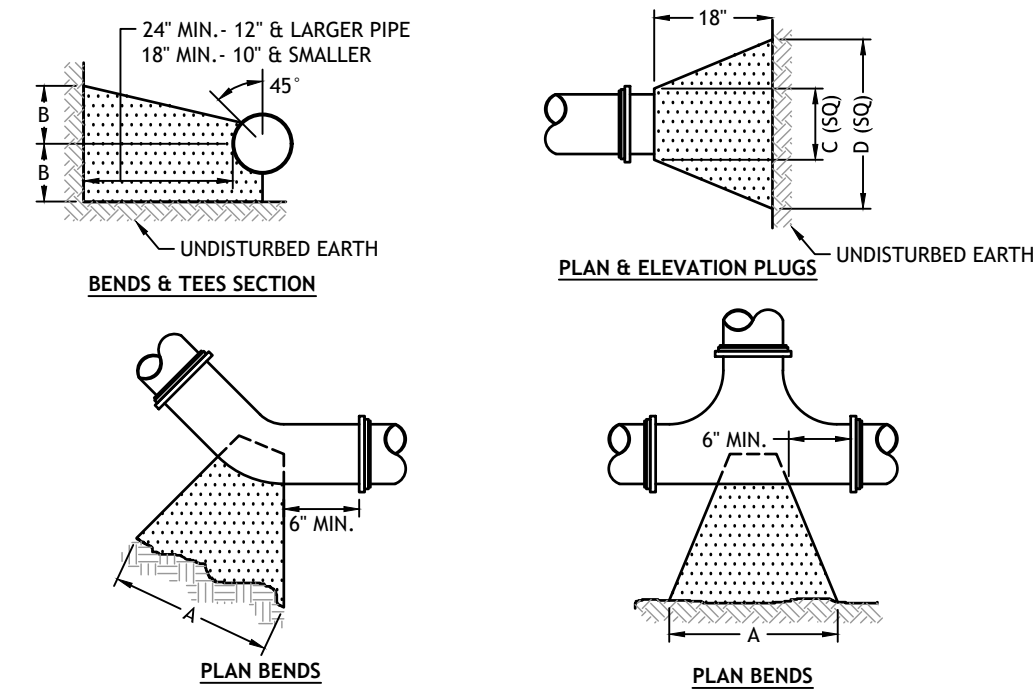


30" HEAVY-DUTY ROUND FRAME AND COVER MODIFIED WITH WORDS 'WARWICK SEWER' ON COVER SURFACE
B.S. STANDARD 8.2.1 MOD.



- NOTES:**
1. ROADWAY RESTORATION IN ACCORDANCE WITH COMMUNITY OR RIDOT.
 2. SEE CITY OF WOONSOCKET STANDARD DETAILS FOR FURTHER REFERENCE.

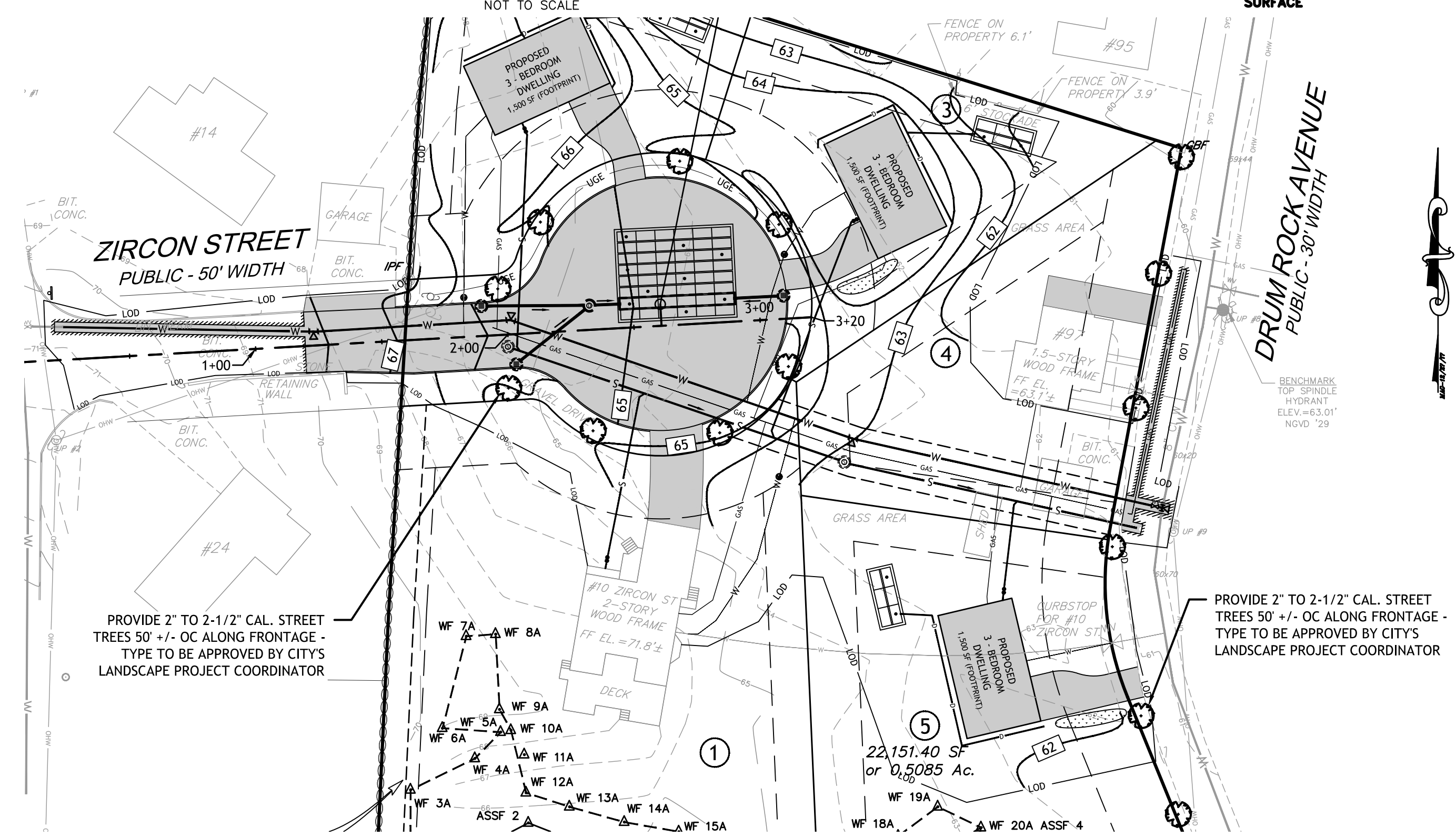
WATER TRENCH INSTALLATION IN ROCK AND SOIL
NOT TO SCALE



- NOTE:**
1. ALL CONCRETE SHALL BE 400 P.S.I. @ 28 DAYS.
 2. CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED EARTH. FORMS TO BE USED AS NECESSARY.
 3. FORMS TO BE USED AS NECESSARY.
 4. ALL BOLTS AND NUTS TO BE PROTECTED FROM CONCRETE AND EASILY ACCESSIBLE WHEN THRUST BLOCK INSTALLED.
 5. REGISTERED PROFESSIONAL ENGINEERS IN THE STATE OF R.I. SHALL VERIFY ALL CALCULATIONS DURING DESIGN TO MEET CONDITIONS OF PROJECT AND CITY REQUIREMENTS.

SIZE	TEES				PLUGS				90° BEND		45° BEND		22 1/2° BEND		11 1/4° BEND	
	A	B	C	D	A	B	C	D	A	B	A	B	A	B	A	B
4"	22"	12"	22"	12"	24"	16"	20"	10"	14"	7"	11"	5"				
6"	30"	18"	30"	18"	35"	22"	27"	15"	19"	12"	13"	8"				
8"	38"	24"	38"	24"	46"	29"	33"	22"	25"	14"	19"	10"				

THRUST BLOCK
NOT TO SCALE



PROVIDE 2" TO 2-1/2" CAL. STREET TREES 50' +/- OC ALONG FRONTAGE - TYPE TO BE APPROVED BY CITY'S LANDSCAPE PROJECT COORDINATOR

PROVIDE 2" TO 2-1/2" CAL. STREET TREES 50' +/- OC ALONG FRONTAGE - TYPE TO BE APPROVED BY CITY'S LANDSCAPE PROJECT COORDINATOR

ZIRCON STREET EXTENSION STREET TREE LOCATION PLAN
SCALE: 1" = 40'

Detec.
D'AMICO ENGINEERING TECHNOLOGY, INC.
Civil - Transportation - Land Use
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(401) 622-1470 (401) 363-1190 fax www.damicoengr.com

DAVID M. D'AMICO
No. 6749
REGISTERED PROFESSIONAL ENGINEER CIVIL
2/15/14

ZIRCON STREET EXTENSION
MINOR SUBDIVISION OF LAND
10 ZIRCON ST. AND 97 DRUM ROCK AVE.
AP. 244, LOT 8 AND 241
WARWICK, RHODE ISLAND

REVISIONS:

NO.	DATE	DESCRIPTION
1	2-12-21	REVISED CUL-DE-SAC LAYOUT

DESIGNED BY: DMD
DRAWN BY:
CHECKED BY: DMD
DATE: FEB. 2021
PROJECT NO: 19-0007-01

FINAL PLAN

SITE DETAILS PLAN NO. 3

SHEET 12 OF 12